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LANDSCAPE & PARKING MATERIAL CHANGE

2773 SOUTH OCEAN BOULEVARD PALM BEACH, FLORIDA



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Lake Worth Beach, FL 33460
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ARC-23-110
AUGUST 23, 2023 MEETING
ZON-23-079
SEPTEMBER 13, 2023 MEETING

SCOPE OF WORK:

- Remove Existing Drive Material
- Install New Drive Material
- Two Proposed Awnings at Existing North & South Building Entrances
- New Landscape
- Landscape Lighting

CONSULTANTS:
Survey
Perimeter Surveying & Mapping
947 Clint Moore Road
Boca Raton, FL 33487
(561) 241-9988

JOB #: 1008

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

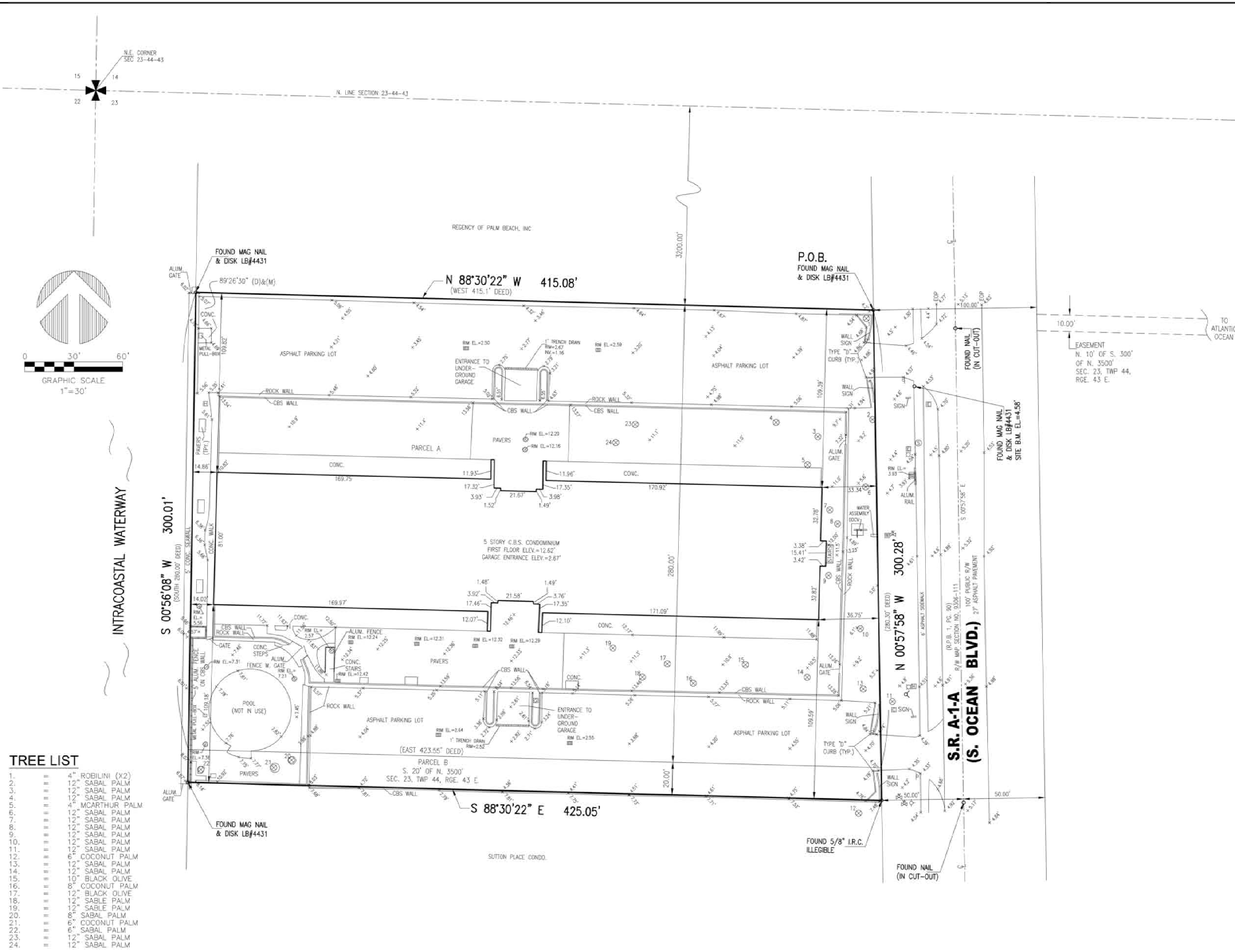
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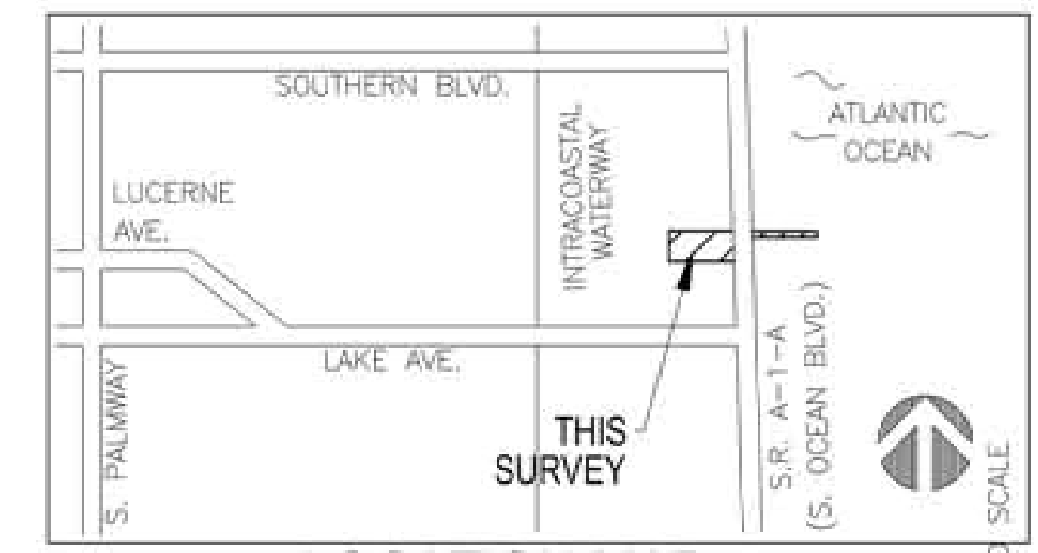
TREE LIST	
1.	ROBINIA (X2)
2.	SABAL PALM
3.	SABAL PALM
4.	SABAL PALM
5.	MCARTHUR PALM
6.	SABAL PALM
7.	SABAL PALM
8.	SABAL PALM
9.	SABAL PALM
10.	SABAL PALM
11.	SABAL PALM
12.	COCONUT PALM
13.	SABAL PALM
14.	SABAL PALM
15.	BLACK OLIVE
16.	COCONUT PALM
17.	BLACK OLIVE
18.	SABAL PALM
19.	SABAL PALM
20.	SABAL PALM
21.	COCONUT PALM
22.	SABAL PALM
23.	SABAL PALM
24.	SABAL PALM

LEGAL DESCRIPTION

PARCEL A:
A PARCEL OF LAND IN SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43, IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA; DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A, AS SHOWN ON ROAD PLAT BOOK 1, PAGE 90, AND A LINE PARALLEL TO AND 3200 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, RUN WEST, ALONG SAID PARALLEL LINE 415.1 FEET, MORE OR LESS, TO A POINT IN A CONCRETE BULKHEAD; THENCE, RUN SOUTH (MAKING AN ANGLE OF 89°26'30" WITH THE PRECEDING COURSE, MEASURED FROM EAST TO SOUTH), ALONG SAID CONCRETE BULKHEAD A DISTANCE OF 280.0 FEET, MORE OR LESS, TO A POINT IN A LINE PARALLEL TO AND 3480 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, EAST ALONG SAID PARALLEL LINE 423.55 FEET, MORE OR LESS, TO A POINT IN THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A; THENCE, NORTH ALONG SAID RIGHT OF WAY LINE 280.30 FEET, MORE OR LESS, TO A POINT OF BEGINNING;
AND RIGHT OF WAY AND EASEMENT AS SET FORTH IN DEED BOOK 1107, PAGE 253, PALM BEACH COUNTY RECORDS, OVER THE FOLLOWING DESCRIBED PREMISES:
THE NORTH 10 FEET OF THE SOUTH 300 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING BETWEEN THE EAST RIGHT OF WAY LINE OF STATE ROAD A-1-A AND THE WATERS OF ATLANTIC OCEAN.
PARCEL B:
THE SOUTH 20 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING WEST OF STATE ROAD A-1-A RIGHT OF WAY.
SUBJECT TO EASEMENTS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.
SAID LANDS SITUATE IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, AND CONTAIN 2.893 ACRES, MORE OR LESS.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE W. R/W LINE OF S.R. A-1-A HAVING A BEARING OF S. 00°57'58" E, AS REFERENCED TO THE STATE PLANE COORDINATES SYSTEM, NORTH AMERICAN DATUM OF 1983 (90 ADJ.), FLORIDA EAST ZONE.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM USCGS BENCHMARK "D-315", ELEVATION: 4.24'.
- PROPERTY ADDRESS: 2773 S. OCEAN BLVD. PALM BEACH, FL.
- FLOOD INFORMATION IS AS FOLLOWS:
COMMUNITY NUMBER : 120220
PANEL NUMBER : 0781
DATE OF FIRM INDEX : 10-05-2018
ZONE : AE (EL. 6.0)



ABBREVIATIONS

AC	AIR CONDITIONER
ALF	ALUMINUM FENCE
C.B.R.	CONCRETE BLOCK & STUCCO
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
DDCV	DOUBLE DETECTOR CHECK VALVE
(D)	DEED
DE	DRAINAGE EASEMENT
ELEV.	ELEVATION
FF	FINISHED FLOOR
GAR.	GARAGE
G.A.	GRATE ELEVATION
I.E.	INVERT ELEVATION
IP	IRON PIPE
IR	IRON ROD
IRC	IRON ROD & CAP
L.M.E.	LAKE MAINTENANCE EASEMENT
(M)	MEASURED
MON.	MONUMENT
N/D	NAIL AND DISC
P.B.	POINT OF BEGINNING
P.B.C.R.	PALM BEACH COUNTY RECORDS
PG.	PAGE
PROP.	PROPOSED
R	RADIUS
R.P.B.	ROAD PLAT BOOK
R.E.	RIM ELEVATION
R/W	RIGHT-OF-WAY
S.R.	STATE ROAD
TYP.	TYPICAL
U.E.	UTILITY EASEMENT

LEGEND

⊗	WATER METER
⊕	ELECTRIC SERVICE
⊙	TELEPHONE BOX
⊞	CABLE TV BOX
⊚	DRAINAGE MANHOLE
⊛	SANITARY MANHOLE
⊜	WATER VALVE
⊝	SIGN
⊞	FIRE HYDRANT
⊞	CATCH BASIN
⊞	PLAT BOOK
⊞	WOOD UTILITY POLE
⊞	CONCRETE UTILITY POLE
⊞	CENTERLINE
⊞	EXISTING ELEVATION
⊞	ELECTRIC PULLBOX

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 54-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111
DATE OF LAST FIELD WORK: AUGUST 2, 2022



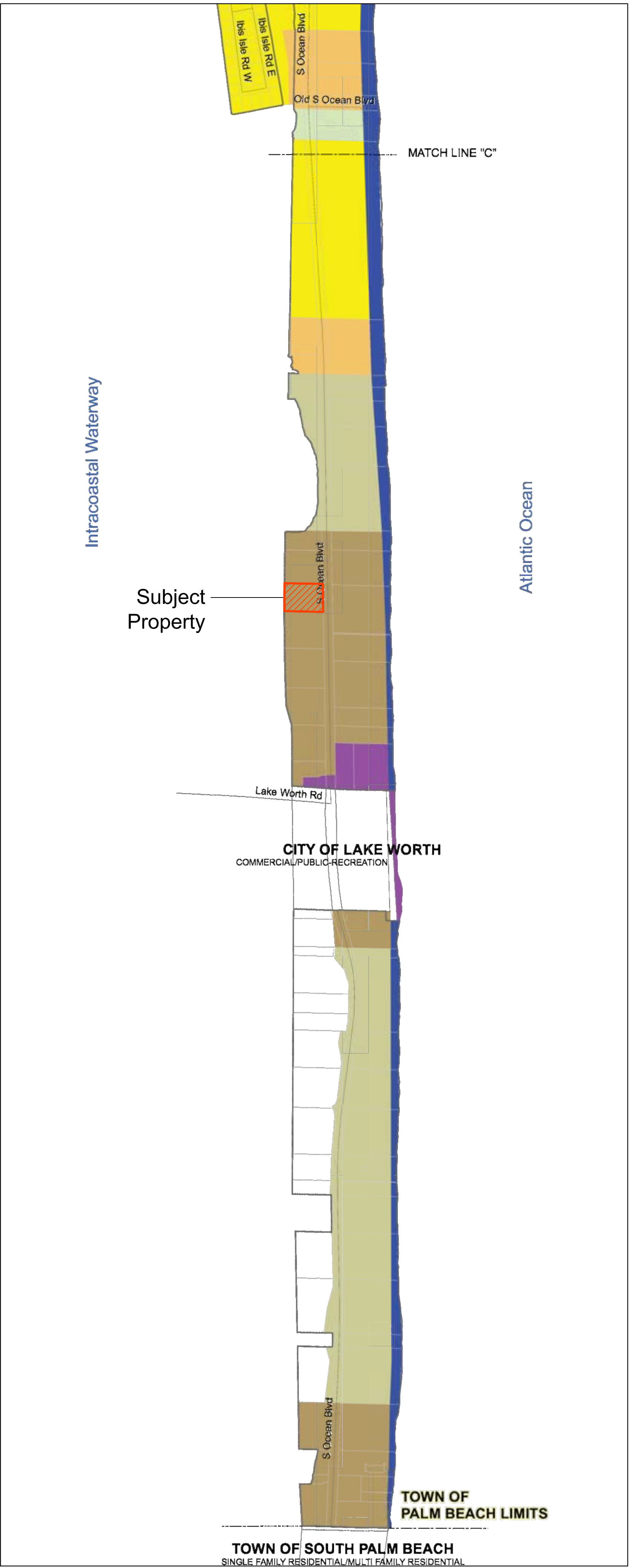
BOUNDARY, TOPOGRAPHIC AND TREE SURVEY CARLYLE HOUSE 2773 S. OCEAN BLVD. PALM BEACH, FL. 33480

947 Clint Moore Road
Boca Raton, FL 33487
Tel: (561) 241-9988
Fax: (561) 241-5182

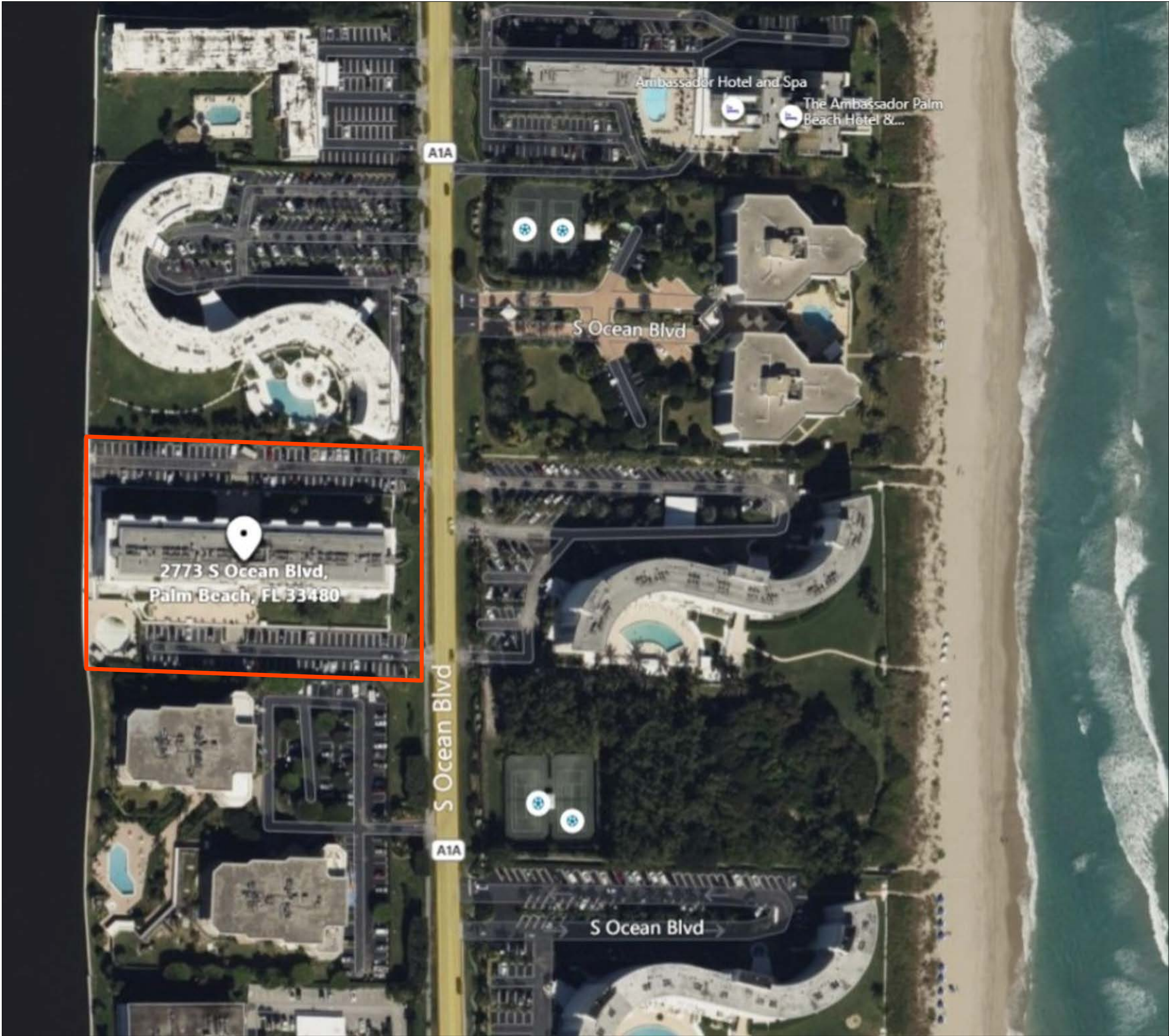
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JOB NO.	22162
SCALE	1"=30'
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CHECKED	JSH
SHEET	1 of 1

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VICINITY LOCATION MAP
N.T.S.



LOCATION PLAN
N.T.S.

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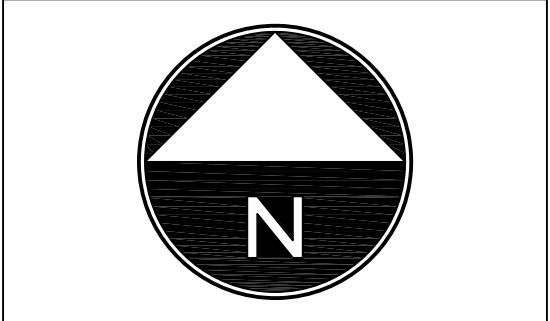
VICINITY LOCATION MAP & LOCATION PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1008

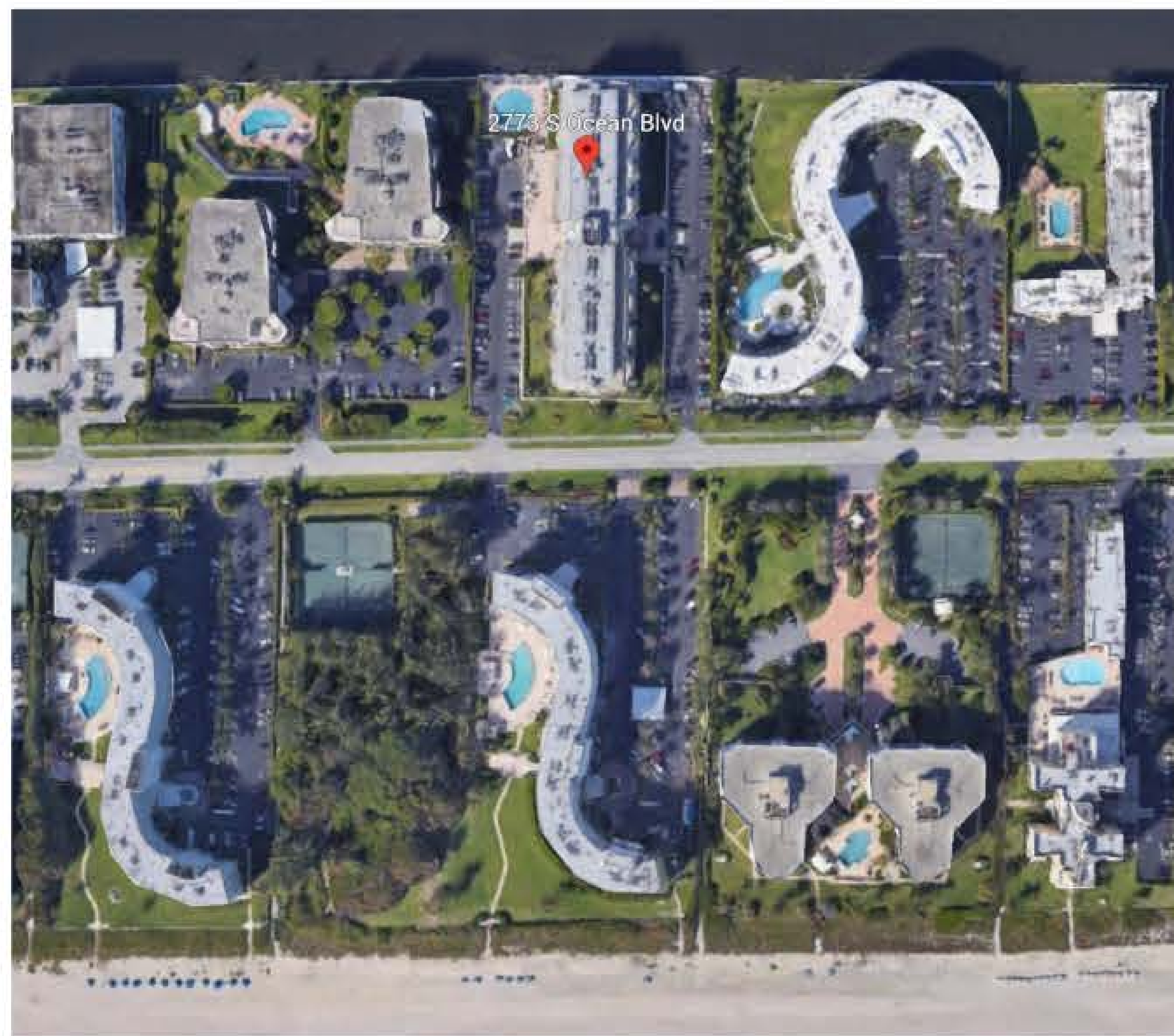
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V1

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Aerial Photo of Surrounding Area



Project Site: South Entrance



Project Site: 2773 South Ocean Blvd



Project Site: North Entrance


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PHOTOGRAPHS OF SURROUNDING PROPERTIES

Carlisle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1008

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P1



2760 South Ocean Blvd



2760 South Ocean Blvd



2760 South Ocean Blvd



2770 South Ocean Blvd

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2774 South Ocean Blvd



2774 South Ocean Blvd



2780 South Ocean Blvd



2778 S Ocean Blvd

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PHOTOGRAPHS OF SURROUNDING PROPERTIES

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Palm Beach, Florida

JOB #: 1008

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P3



South Drive Entrance



Site Walls to be removed



Pedestrian Access



Front facade and Coquina site wall



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CURRENT PHOTOGRAPHS OF SITE

Carlyle House
2773 South Ocean Boulevard
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JOB #: 1008

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P4



Existing Landscape-North Side (Upper Garden)



Existing Landscape-North Side (Upper Garden)



Existing Landscape-South Side (Upper Garden)





Existing Asphalt Parking



Existing Egress to Building



Existing Monument Sign

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EXISTING & PROPOSED SITE PLANS

1/32" = 1'-0"

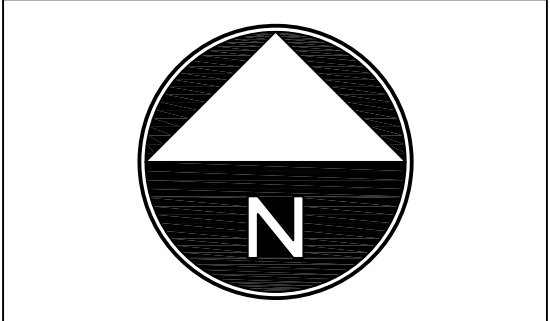
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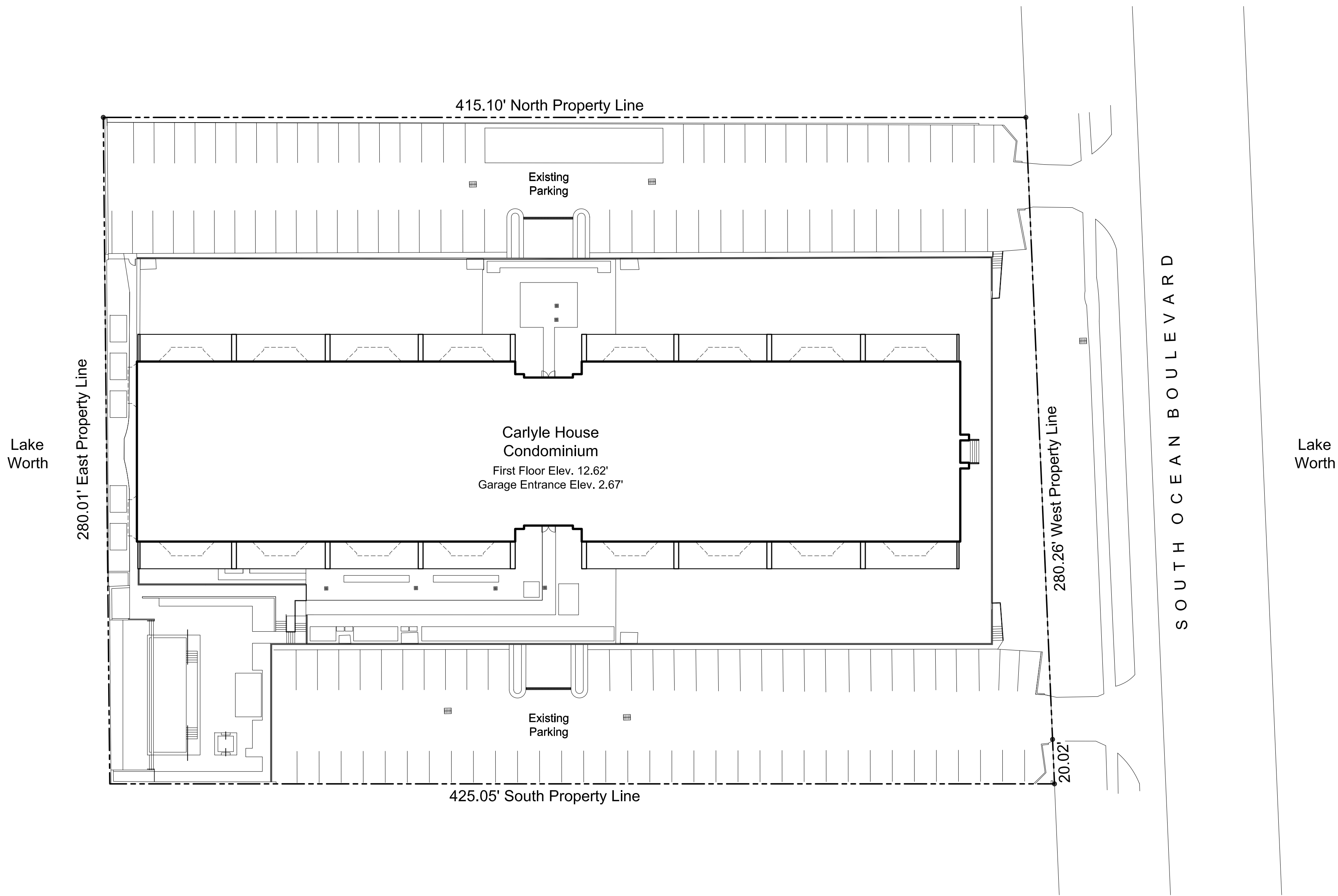
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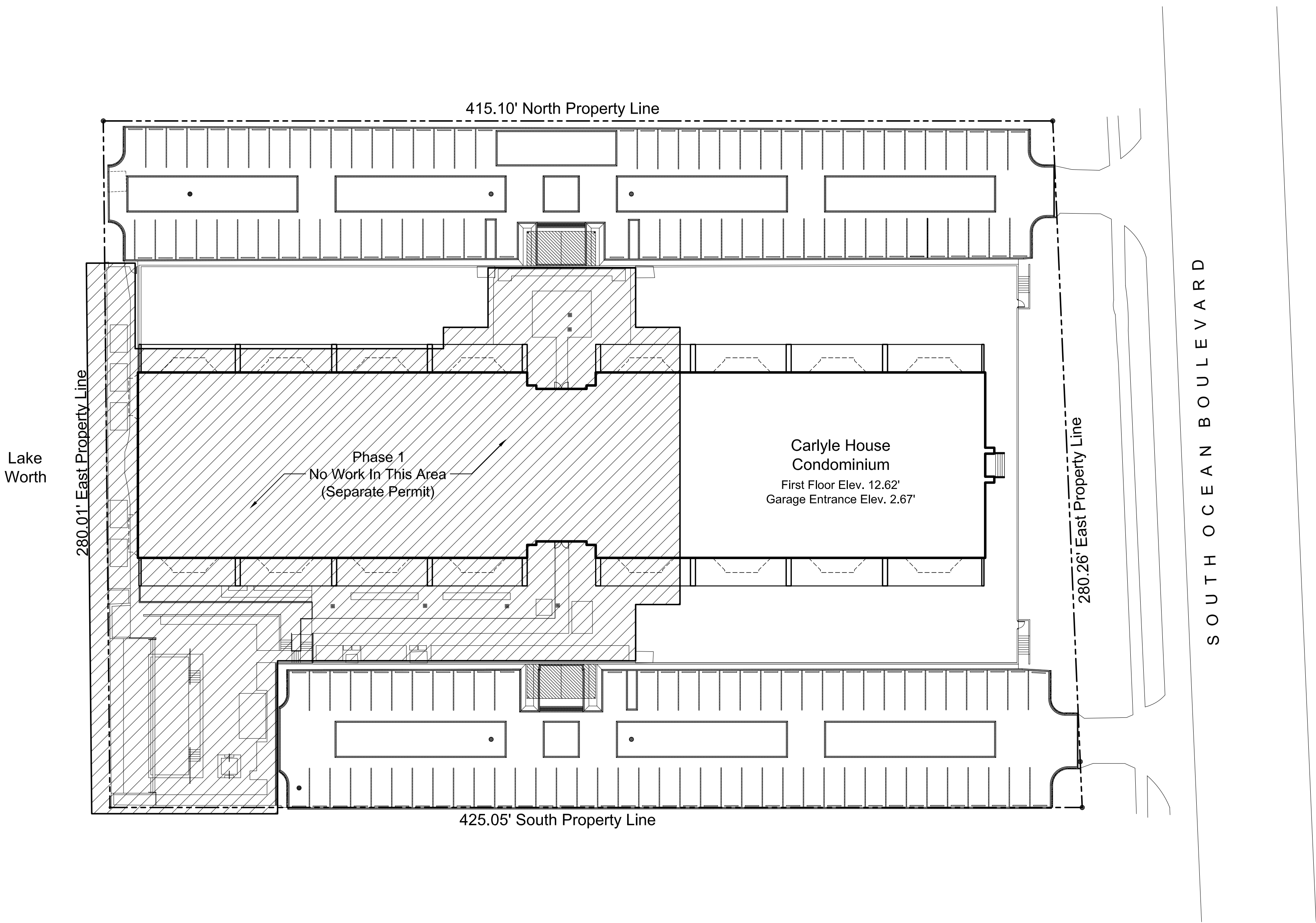
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SP1



EXISTING SITE PLAN



PROPOSED SITE PLAN

- NOTES:
1. All existing perimeter site walls to remain
 2. All existing mechanical equipment located on roof to remain on roof
 3. All existing pool equipment located in pool equipment room to remain in pool equipment room

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Zoning Legend			
Property Address:	2773 SOUTH OCEAN BOULEVARD, PALM BEACH, FL 33480		
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL		
Structure Type:	MULTI-FAMILY		
	Required/Allowed	Existing (Phase 1)	Proposed (Phase 2)
Lot Size (sq ft)	40,000	126,022.55	N/C
Lot Depth	200.00'	425.08'	N/C
Lot Width	150.00'	300.00'	N/C
Lot Coverage (Sq Ft and %)	27,724.96 (22.00%)	31,963.22 (25.36%)	32,863.22 (26.08%)
Enclosed Square Footage (1st & 2nd Fl., Basement, Accs., Structure, etc.)	N/A	29,628.46 (23.51%)	N/C
Cubic Content Ration (CCR) (R-B ONLY)	N/A	N/A	N/A
* Front Yard Setback (Ft.)	25.00' or ht. of bldg.	34.25'	N/C
* Side Yard Setback (1st Story) (Ft.)	30.00' or ht. of bldg.	30.17'	N/C
* Side Yard Setback (2nd Story) (Ft.)	30.00' or ht. of bldg.	30.17'	N/C
* Rear Yard Setback (Ft.)	30.00'	54.42'	N/C
Angle of Vision (Deg.)	N/A	N/A	N/C
Building Height (Ft.)	35.00'	58.88'	N/C
Overall Building Height (Ft.)	40.00'	72.67'	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C
Max. Amount of Fill Added to Site (Ft.)	3.63'	N/A	N/C
Finished Floor Elev. (FFE)(NAVD)	7.00'	12.62'	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C
Landscape Open Space LOS (Sq Ft and %)	44,107.89 (35.00%)	26,079.09 (20.69%)	26,797.38 (21.26%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
** Native Plant Species %	Please refer to separate landscape legend.		

* Indicate each side yard with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

REV BF 20220616

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

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TOWN OF PALM BEACH ZONING LEGEND

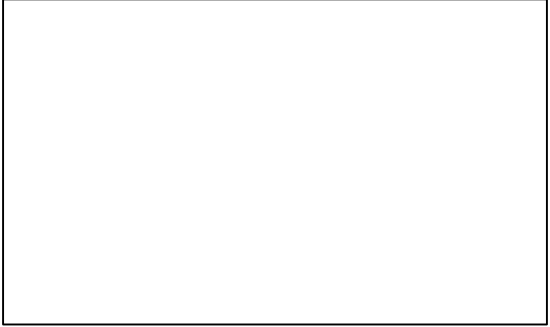
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Z1

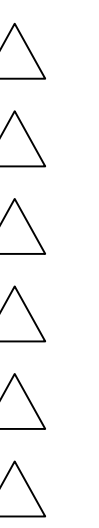


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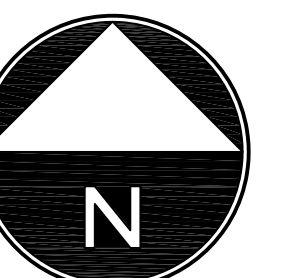
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EXISTING/DEMOLITION PLAN

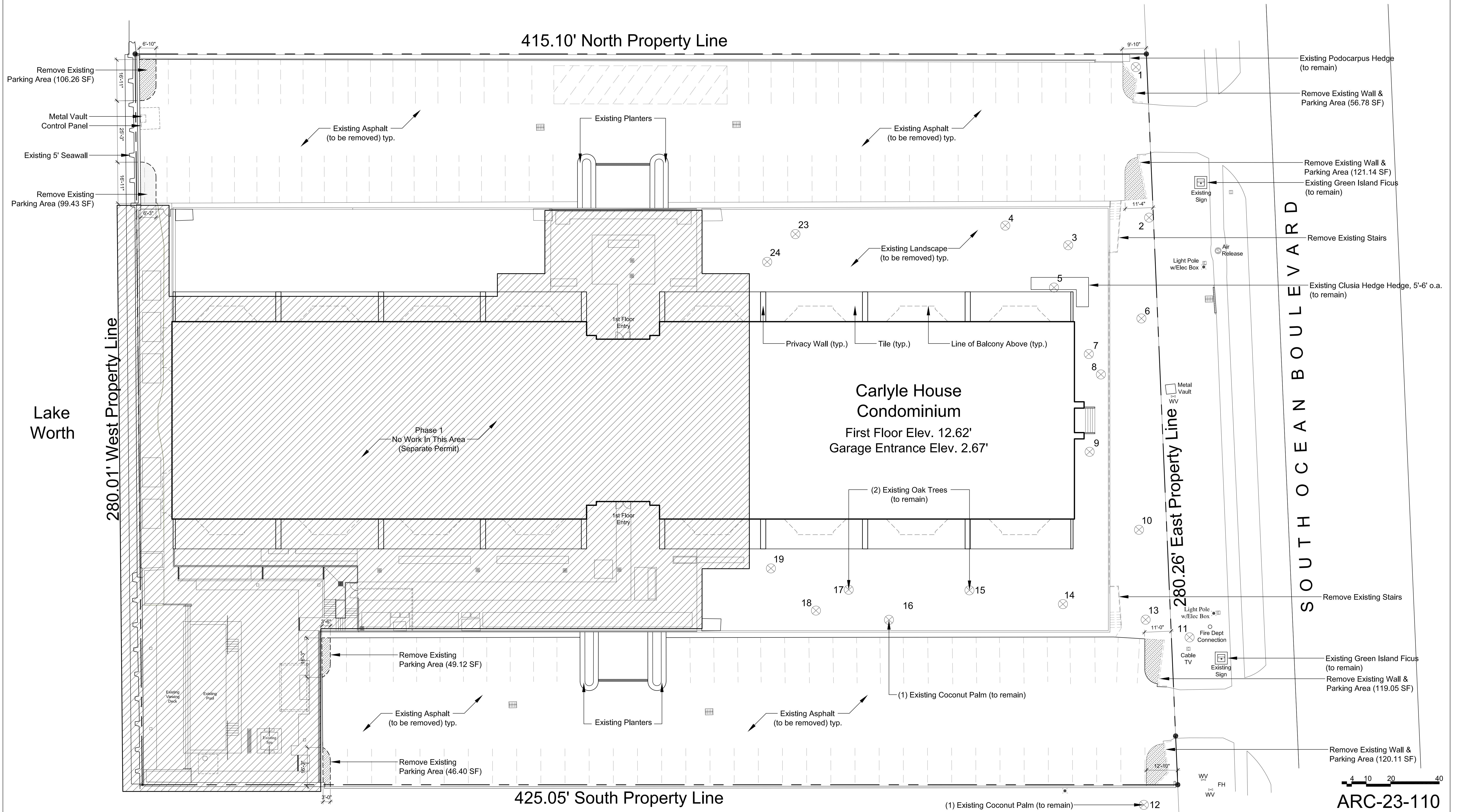
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EX1



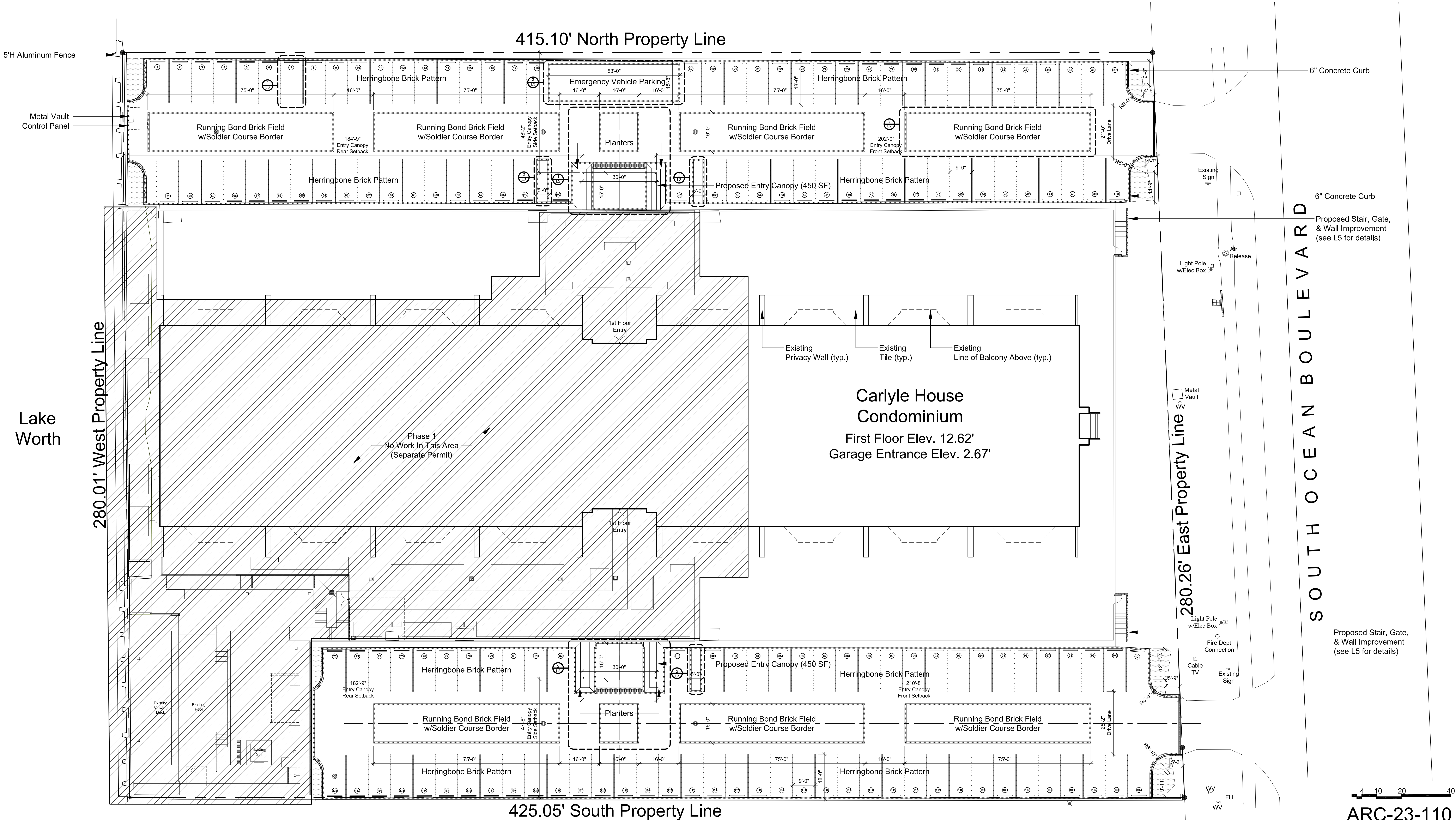
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Parking Space Count - North Lot			
	Required	Existing	Proposed
Standard Parking Lot Spaces	71	72	71
Accessible Parking Lot Spaces	3	0	4
EV Charging Spaces	0	0	1
Total Spaces	74	72	76

Parking Space Count - South Lot			
	Required	Existing	Proposed
Standard Parking Lot Spaces	65	67	67
Accessible Parking Lot Spaces	2	0	2
Total Spaces	67	67	69

Parking Space Count - Overall Lot Total			
	Required	Existing	Proposed
Standard Parking Lot Spaces	136	139	138
Accessible Parking Lot Spaces	5	0	6
EV Charging Spaces	0	0	1
Total Spaces	141	139	145




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PARKING PLAN/HARDSCAPE PLAN

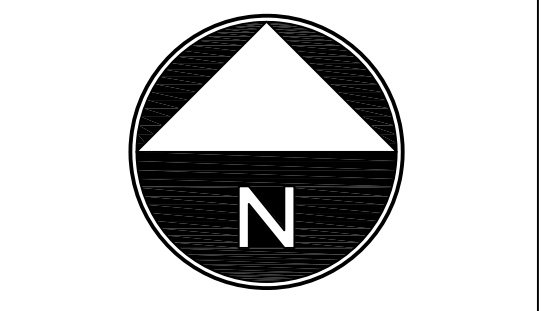
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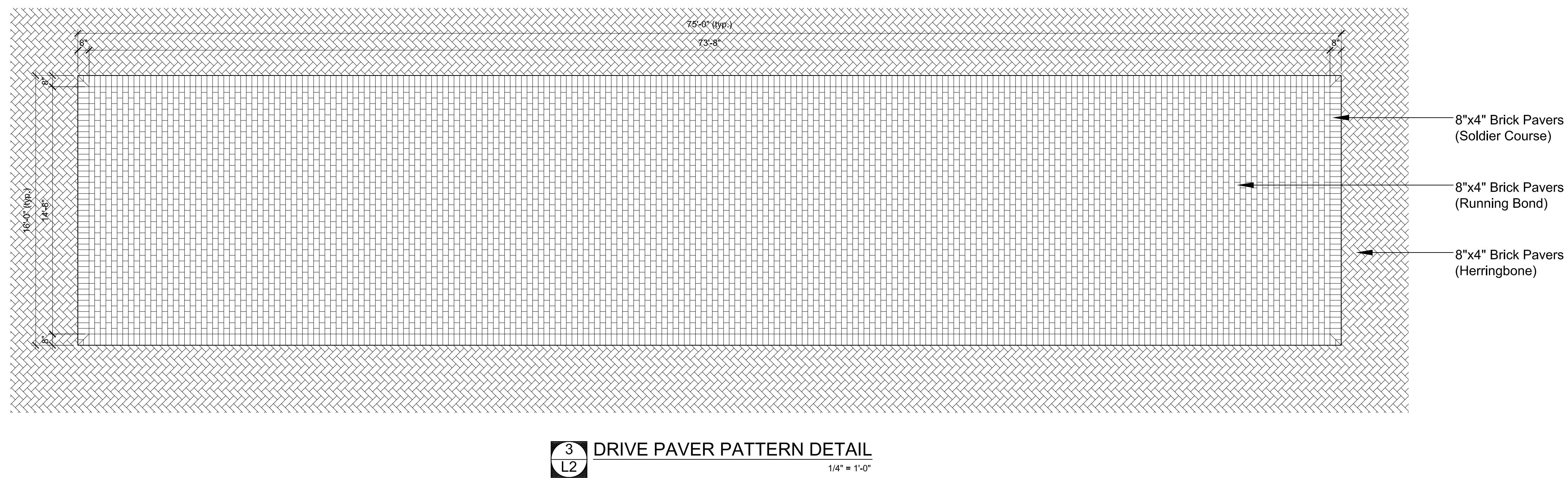
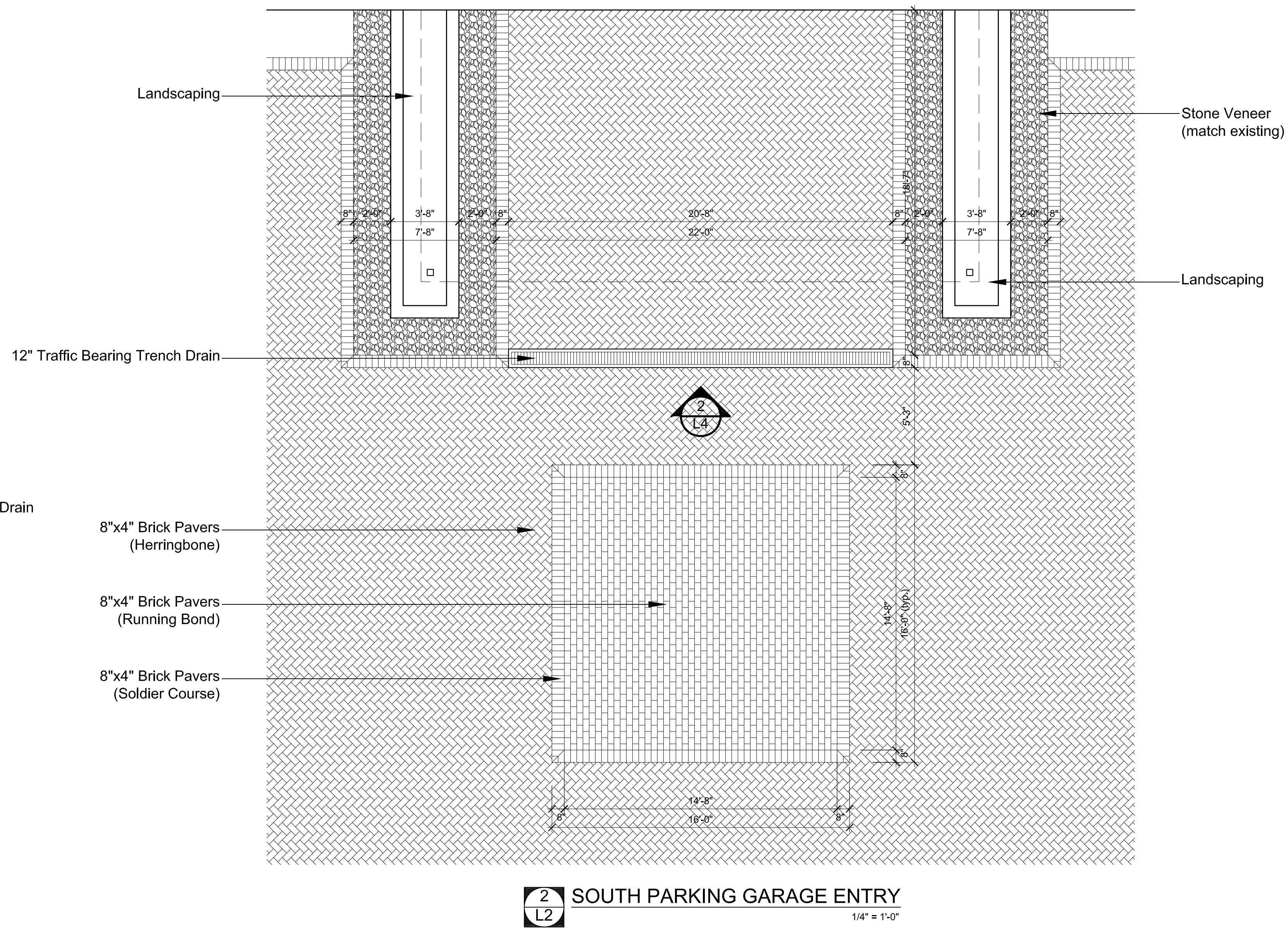
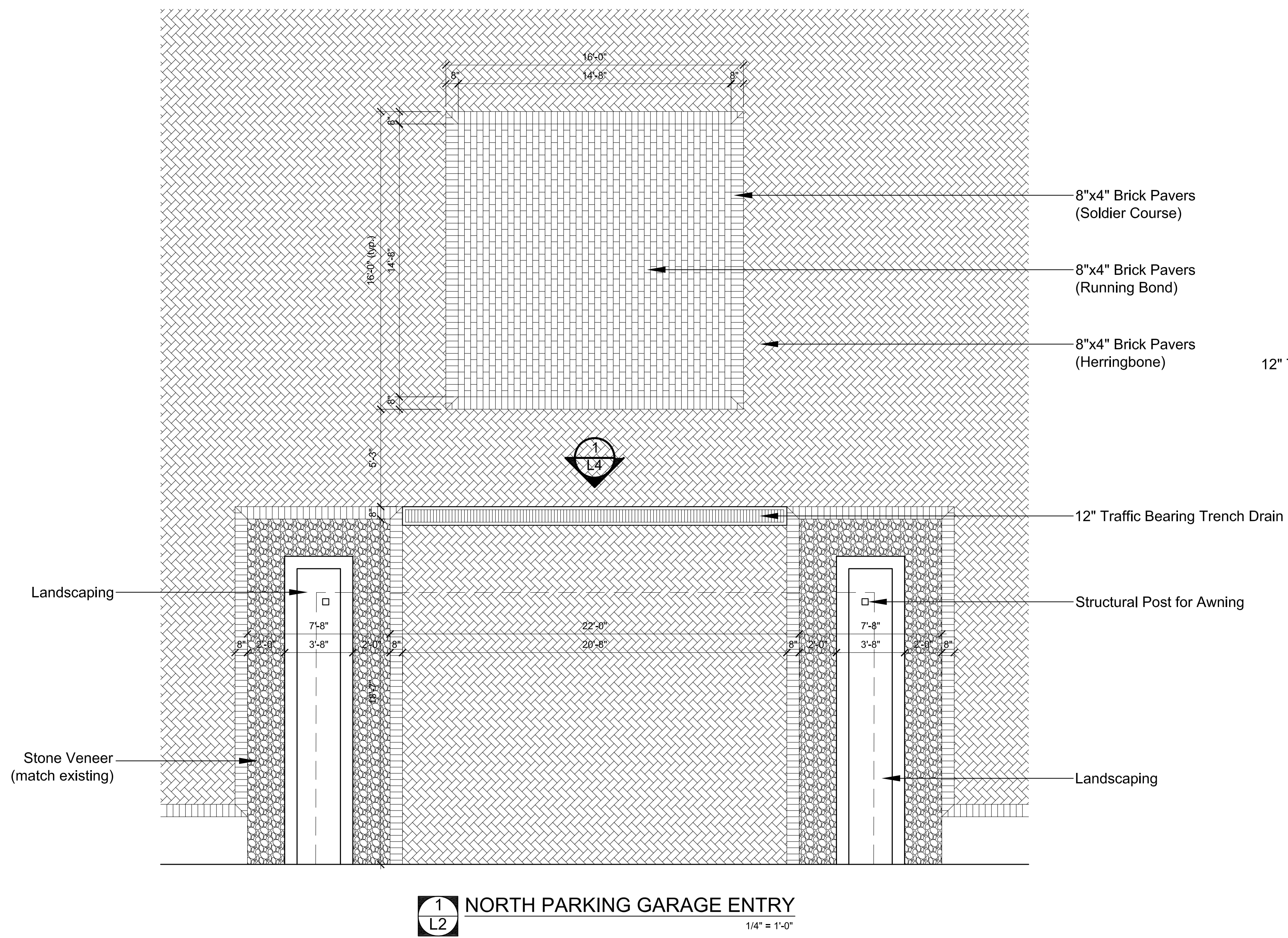
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PARKING PLAN DETAILS

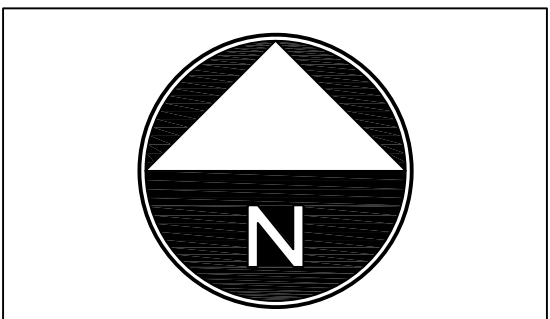
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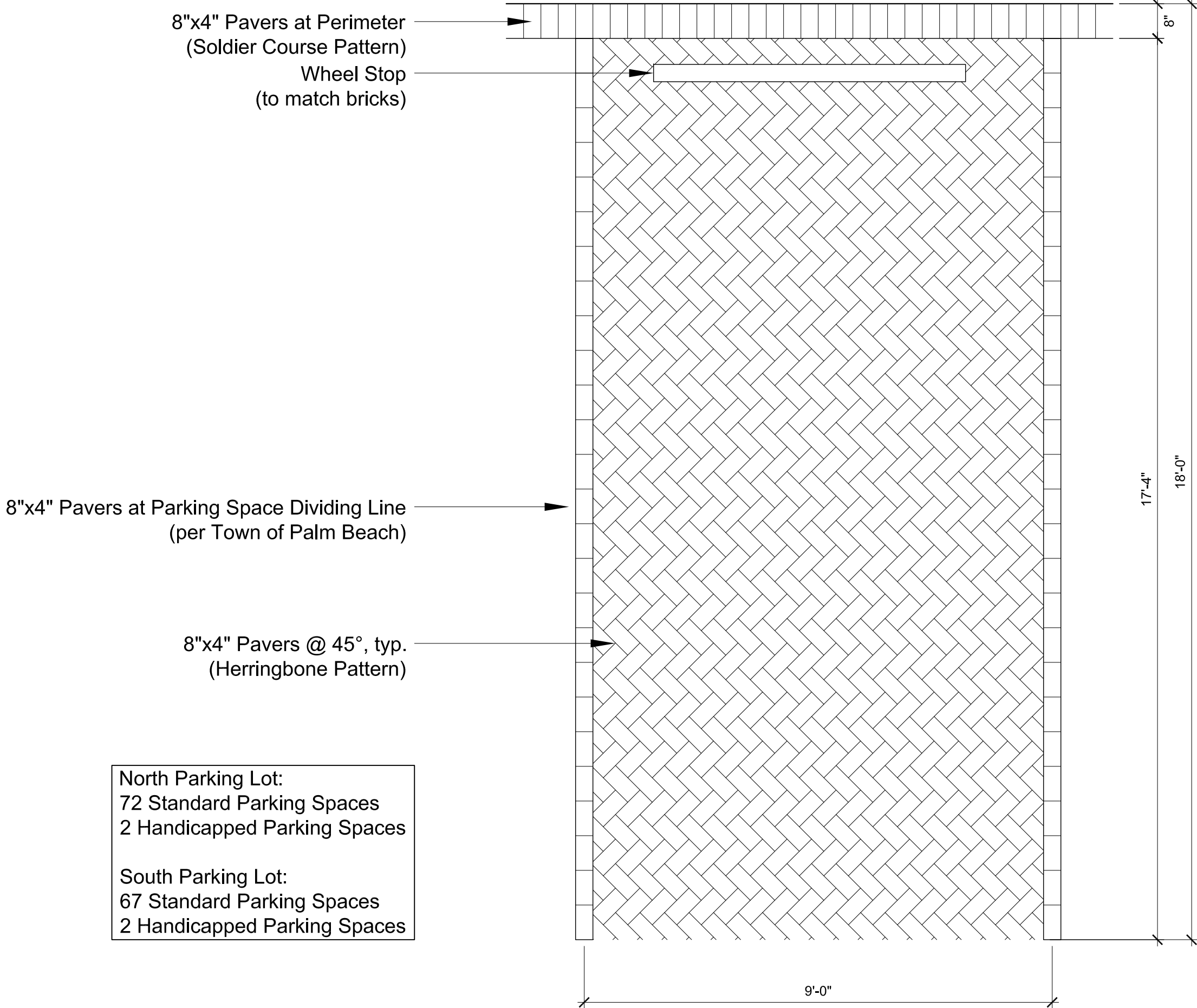
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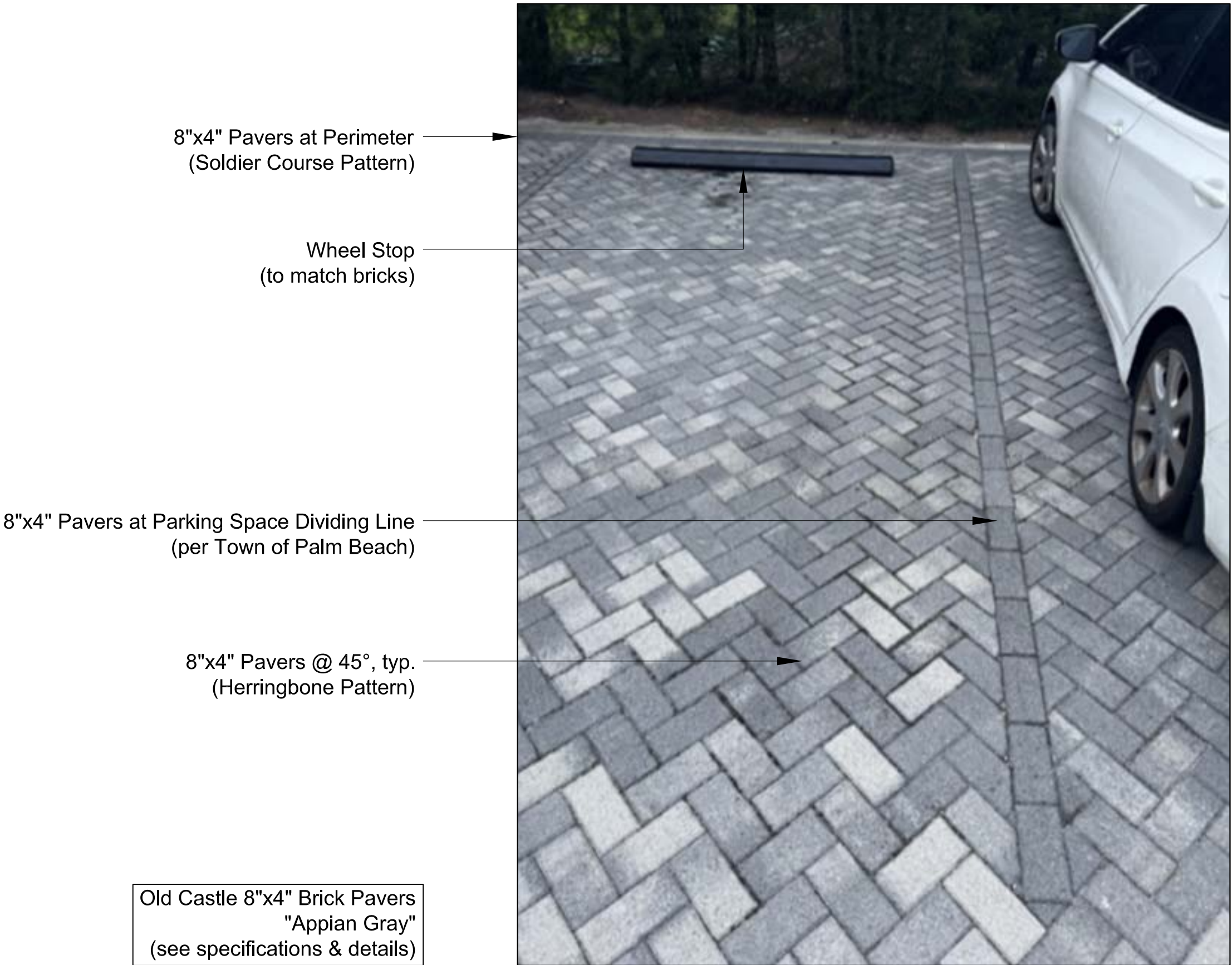


L2

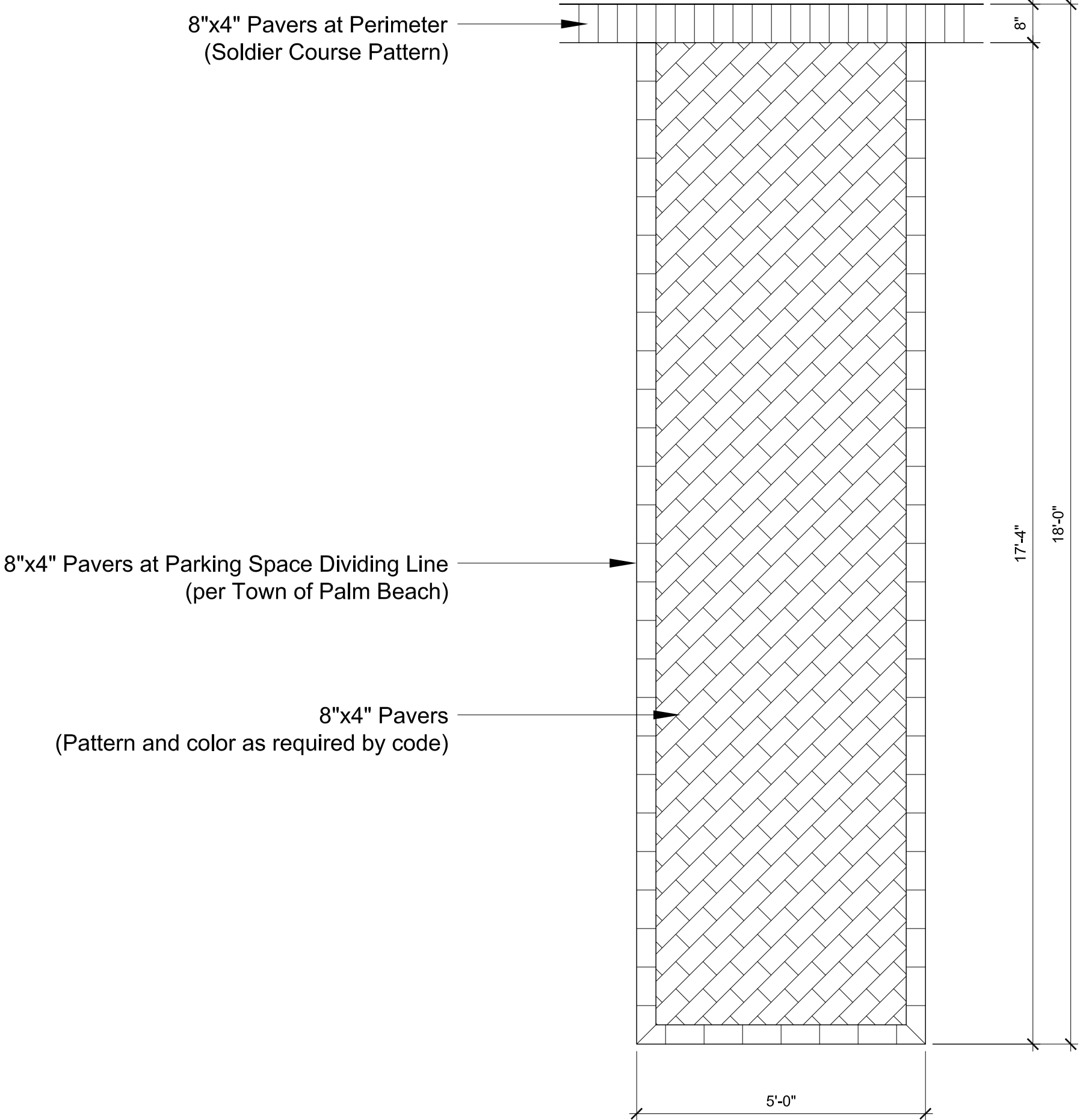
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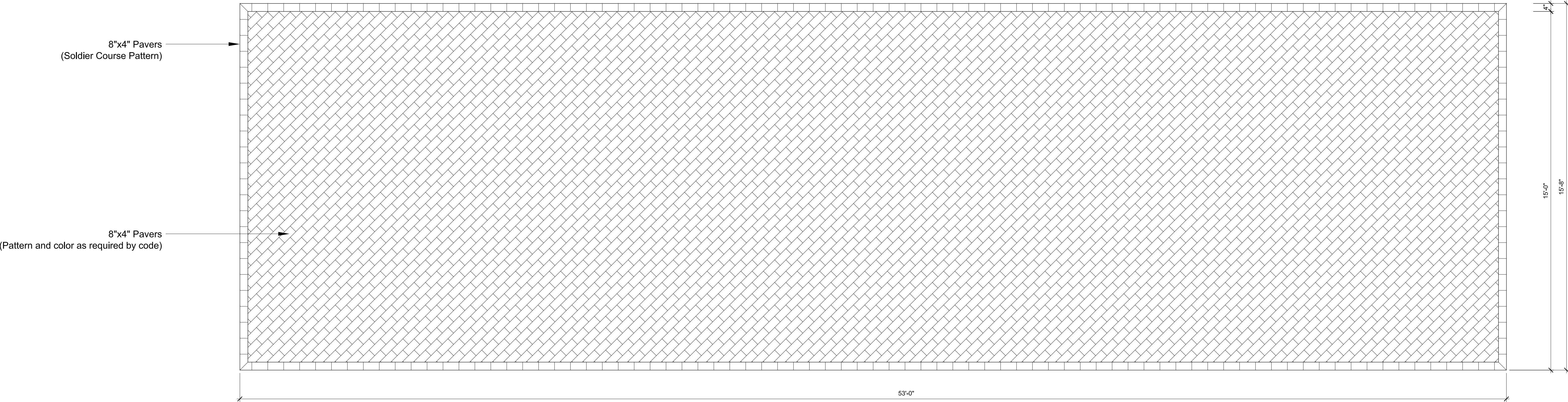
1 TYPICAL PARKING SPACE DETAIL
1/4" = 1'-0"



TYPICAL PAVING PATTERN EXAMPLE



2 TYPICAL HANDICAPPED LOADING DETAIL
1/4" = 1'-0"



3 EMERGENCY VEHICLE PARKING DETAIL
1/4" = 1'-0"

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ZON-23-079
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PARKING MATERIALS & DETAILS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

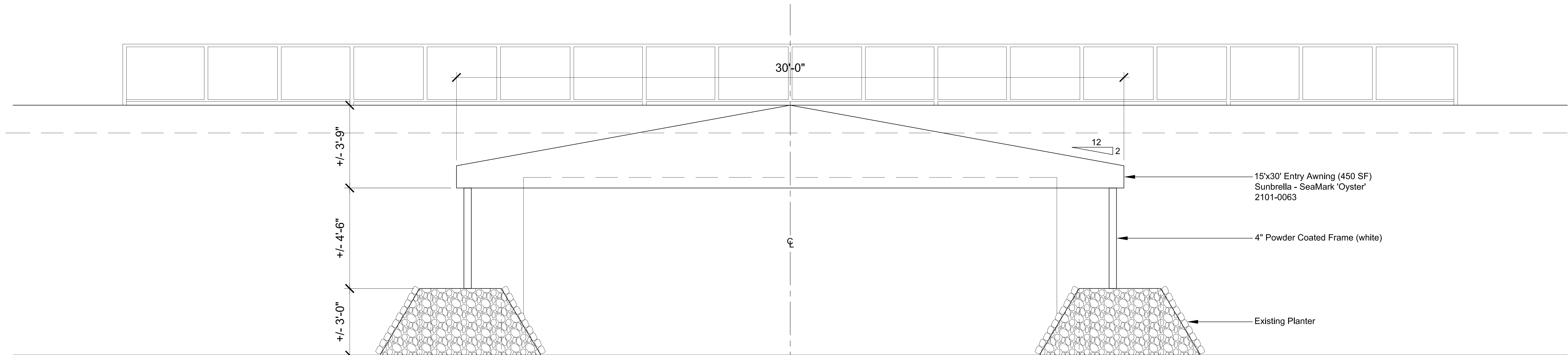
JOB #: 1008

DATE ISSUED:
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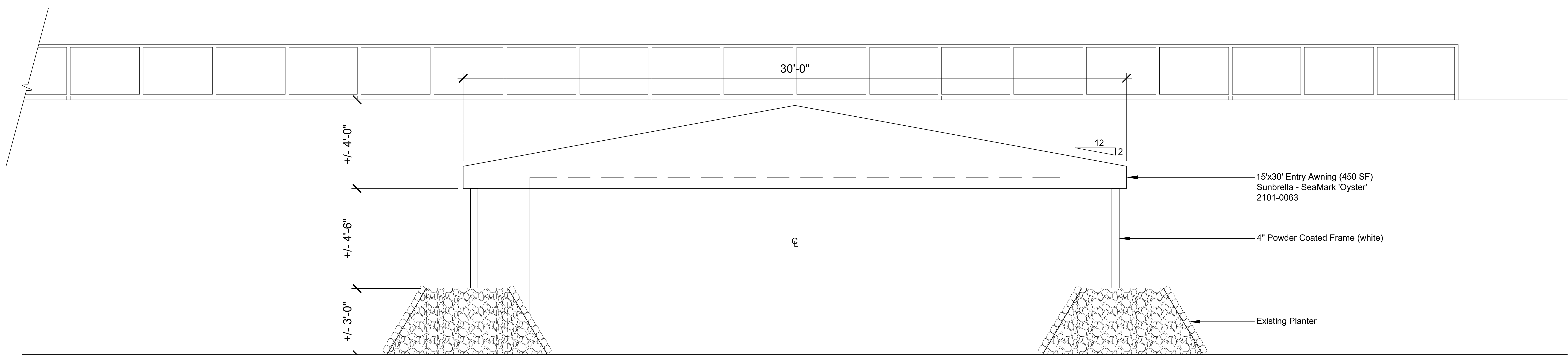
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L3

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1 NORTH GARAGE ENTRY PLANTER DETAIL



2 SOUTH GARAGE ENTRY PLANTER DETAIL



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AWNING ELEVATIONS & DETAILS

1/2" = 1'-0"

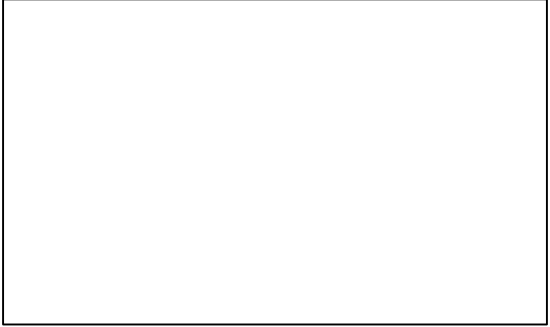
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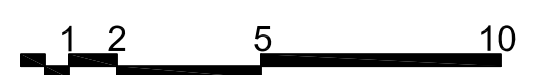
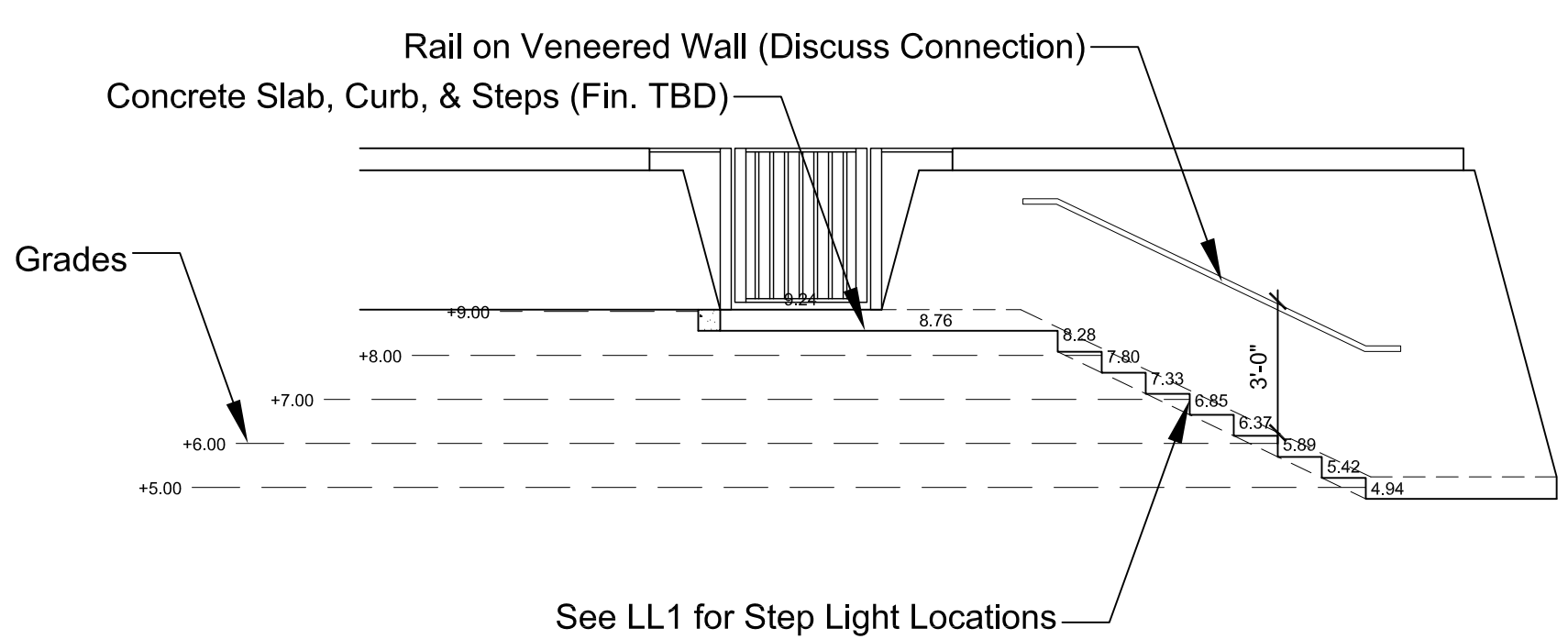
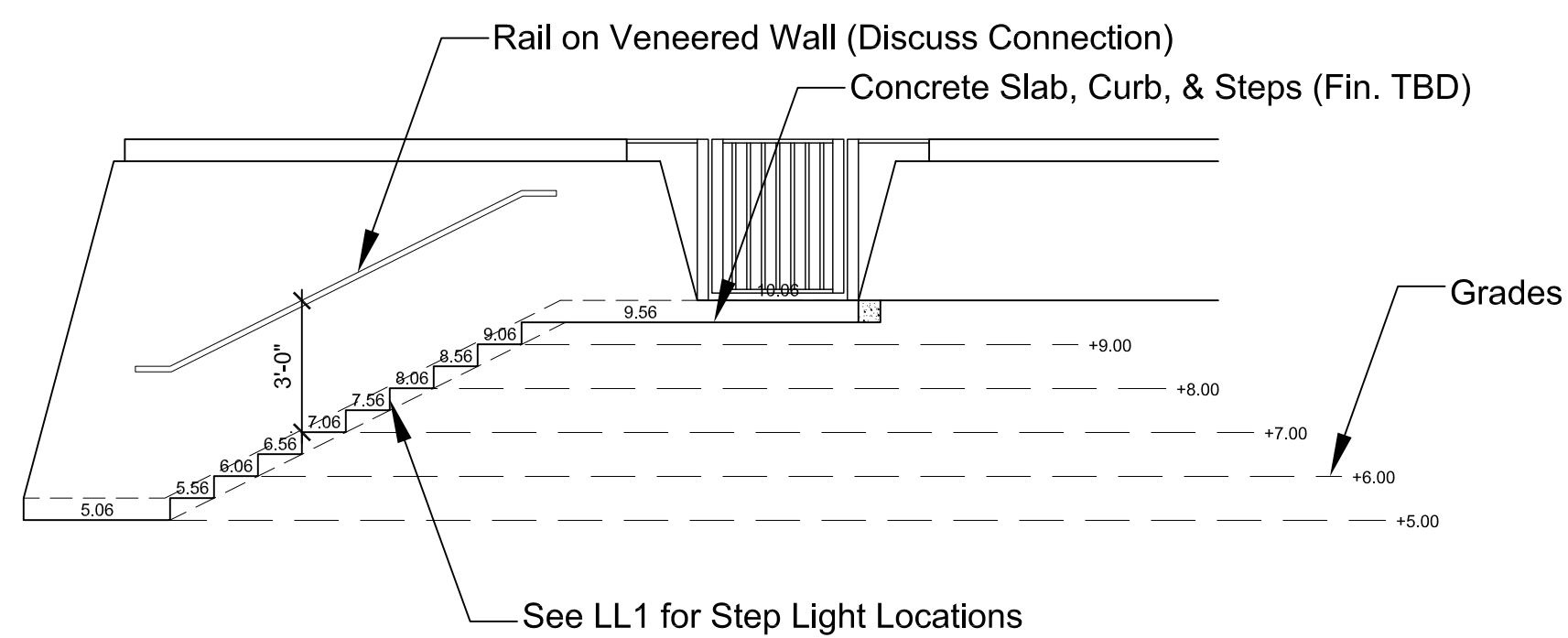
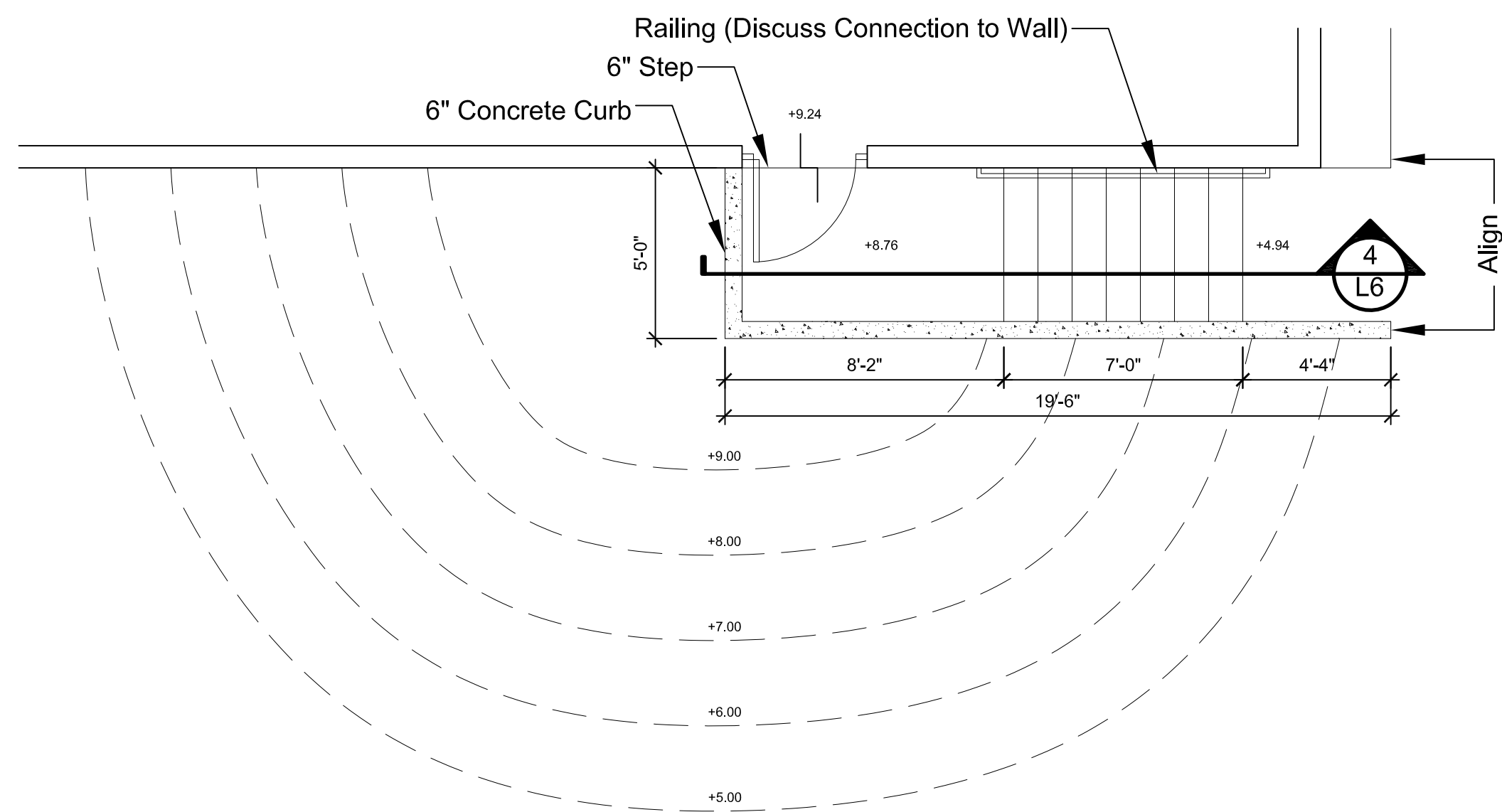
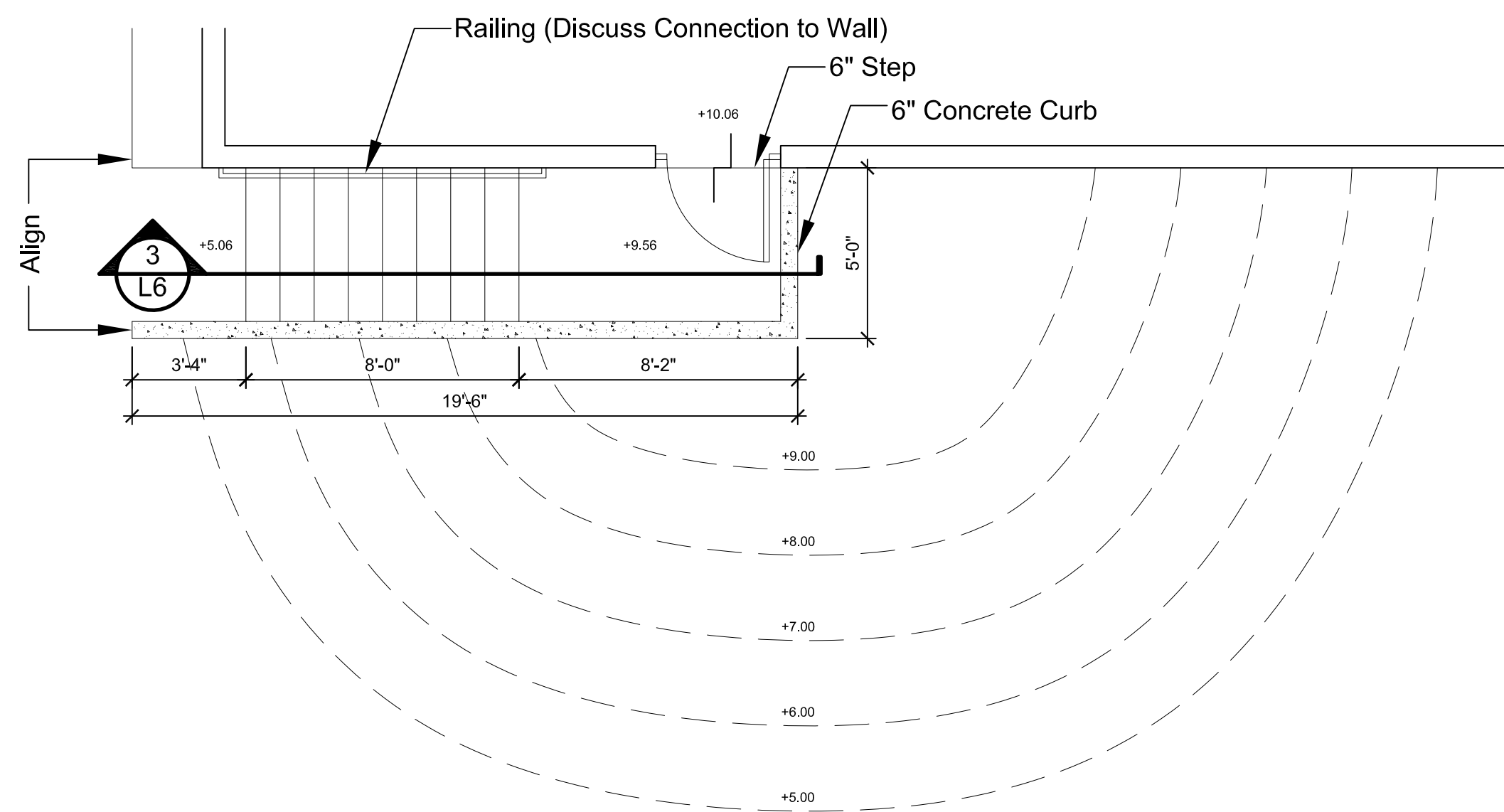
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L4

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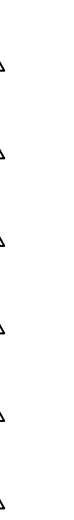
SCALE: 1/4" = 1'-0"

STAIR, GATE, & WALL IMPROVEMENT

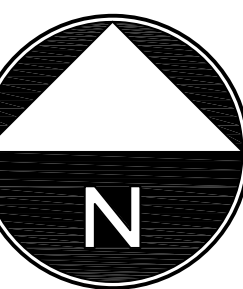
Carlyle House
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L6

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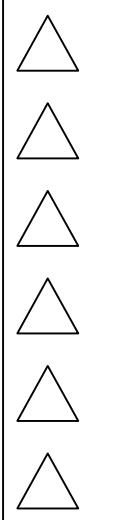
1/16" = 1'-0"

LANDSCAPE LIGHTING PLAN

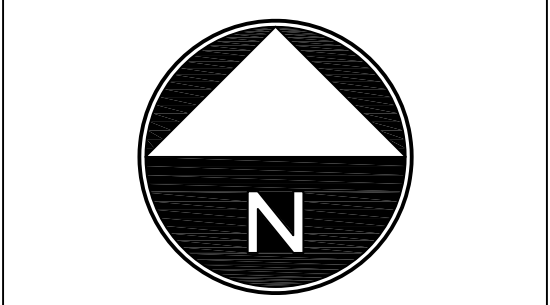
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2773 South Ocean Boulevard
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JOB #: 1008

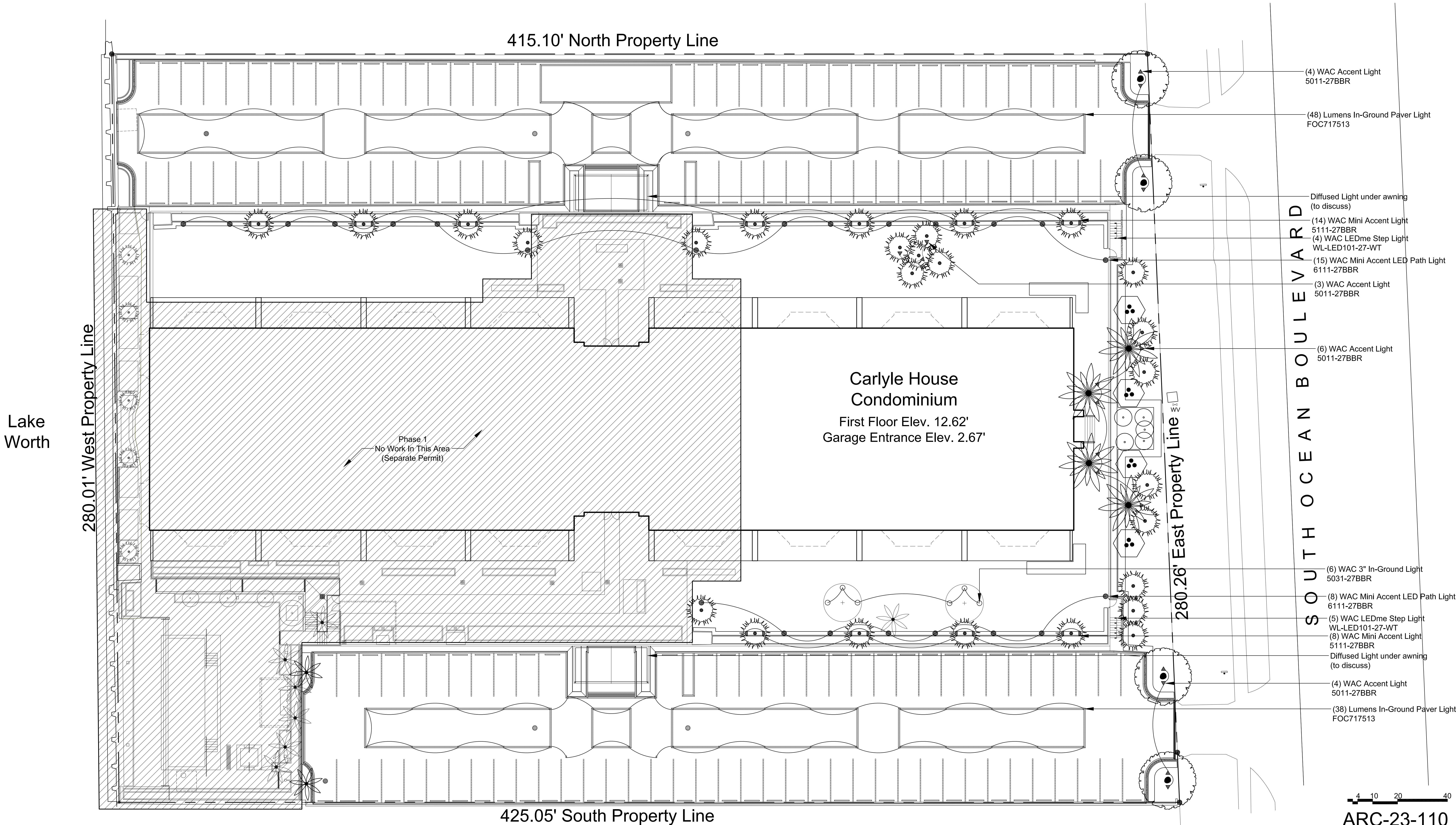
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LL1



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LIGHTING LEGEND

Symbol	Qty.	Manufacturer	Model Number	Volts	Type
	17	WAC Lighting	5011-27BBR	12	Accent
	22	WAC Lighting	5111-27BBR	12	Mini Accent
	23	WAC Lighting	6111-27BBR	12	Mini Accent LED Path
	9	WAC Lighting	WL-LED101-27-WT	120	LEDme Step
	6	WAC Lighting	5031-27BBR	12	3" In-Ground
	86	Lumens	FOC717513	12	In-Ground Paver

WAC LANDSCAPE LIGHTING

Fixture Type:

 Catalog Number:
 Project: _____
 Locations: _____

PURPOSE DESCRIPTION:
 Continuous accent luminaires. One fixture replaces all older landscape accent lights.

FEATURES:

- Adjustable and lockable beam angle
- Integral gasket
- IP68 rated. Protected against high pressure water jets
- Includes stainless steel bracket
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed-wire light housing
- Polycarbonate lens - heat and shock resistant
- Maximum combined lumens output at voltage drop
- US, VSI Listed
- BSL dimmable with remote XCLV dimmer

SPECIFICATIONS:

Input: 120VAC Transformer is required
Power: 100 WATT (max.) 120W
Beam Angle: 5° to 110° (in)

Beam Height: 12' max.
CRI: 90
Rated Life: 1,000 hours

ORDERING NUMBER		Color Temp.	Frost
5811	Accent 12V	B1 Warm White	B1 Black on Aluminum
		B2 Cool White	B2 Bronze on Aluminum
		B3 Daylight	B3 Bronze on Brass

5011:

Example 5811-0088E

www.lighting.com Phone (800) 526-2288 Fax (800) 526-2285	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1710 Alondra Avenue Little Rock, AR 72212	Western Distribution Center 1710 Alondra Avenue Ontario, CA 91766
--	---	---	---

HBL Lighting wishes the right to modify the design of our products at any time as part of the company's continuous improvement program. APR 12, 2007

[illegible]

MINI ACENT LED PATH

CONTINUITY 11111111

PRODUCT DESCRIPTION

Continuity is an award winning line. One fixture supplies all other fixtures in an accent lighting application.

FEATURES

- Continuous Adjustable Recessed Arms, Adjusted at 10°, 20°, 40°, 60°, 90°
- Continuously Adjustable Lightness Control, Indexed at 10%, 20%, 40%, 60%, 90%
- Adjustable beam spread
- PNEC coated, Protected against high pressure water jets
- Includes a cable hutch design
- Solid die-cast brass or corrosion resistant aluminum
- Factory mounted wire tight fixture
- Constant output for 50,000 hours
- Can be used as an accent or downlight
- 2700K or 3000K color temperature
- Superior die-castable aluminum, 4' lead wire and direct burial girth listed wire included
- U.S.A. & U.S.A. Listed

ORDERING NUMBER

	Color Temp.	Finish	
6111	Single	2700K Warm White	BBR
6211	Double	3000K Pure White	BBR
			Brushed or Brass
			Brushed or Aluminum

6111- BBR

Example: 6111-0088

westgroup.com
Phone: 877-333-1248
Fax: 877-333-1249

Headquarters/Eastern Distribution Center
14 Parkway Park Drive
Port Washington, NY 11050

Central Distribution Center
10001 Century Blvd.
Little Rock, AR 72202

Western Distribution Center
1700 Northwest Avenue
Ontario, CA 91760

AKS Lighting reserves the right to modify the design or the products at any time as part of the company's continuous improvement program.

WAC

LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

SPECIFICATIONS

6111 100W
100WAC (Transformer is included)
Power 100W
Input Voltage 120V AC
Beam Angle 10-90°
Beam Life 100,000 hours

6211 200W
200WAC (Transformer is included)
Power 200W
Input Voltage 120V AC
Beam Angle 10-90°
Beam Life 100,000 hours

Model: WL-LED101 LEDnme® Step Light

WAC LIGHTING® Responsible Lighting®

Feature Type:

Category Number:

Location:

PRODUCT DESCRIPTION

Recessed, warm white (3000°K) step light with dual-recessed power cord ports allows for seamless range of fixtures, closets, tunnels, and more. The recessed design allows for easy installation on any surface, pattern, depth, balcony area, walkway and building perimeter.

Features an architect-honed design, energy efficient for long lasting performance and easy installation. Creates an attractive, recessed appearance of night.

- Direct wiring, no driver needed
- Low profile, flush to wall architecturally with visible hardware
- AASB free material
- Recessed lighting, best of shadow with minimum glare
- Up to 3000 hours can be connected in parallel
- 2 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die cast aluminum

Power: Direct wiring, no outside driver needed

Light Source: 1000000 (400000) 277V special order (3000K) Amber, 4000K

Beam Angle: High Beam 25°, DM 30°

Light Source: 1000000 (400000) 277V special order (3000K) Amber, 4000K

Weight: 2.5 lbs. Total minimum size dimensions of 1 1/2" x 1 1/2" x 1 1/2"

Mounting: Flush Mount for flush mount

Dimming: Dim to 10% with DM driver (120V only)

Approved Suppliers: Lightstar USA 740001-USA & NITEL 4005

Lightstar USA 740010-USA, Lightstar USA 740011-USA, NITEL 4005

Lightstar USA 740012-USA, Lightstar USA 740013-USA, NITEL 4005

Standard: IP68, UL & CUL Listed for wet locations, Type 24 Compliant (2019 only)

ORDER NUMBER

Model #	Light Color	Finish
WL-LED101-1200	27 3000K	AW
WL-LED101-1200	4000K	AW
WL-LED101-1200	4000K	WT

Example: WL-LED101-1200-WT

For 277V, add "V" before CUL. WL-LED101-1200-V

wacighting.com
844-868-1248
Fax: 844-868-1245

Headquarters/Eastern Distribution Center
10000 Highway 33
Fort Washington, NY 13050

Central Distribution Center
10000 Highway 33
Lima, Peru 01000

Western Distribution Center
1700 Highway 33
Cala, CA 91600

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[illegible]

Rectangle LED Power Light By Focus Industries

Rectangle LED Power Light
By Focus Industries

Product Options

Material: Stainless Steel

Details

High impact acrylic lens
Rated for 10,000 hours of life
Approved for food areas only
Indicator pressure rating: 8000 lbs
Warning: 120V indicator head screws
are not to be tampered with
Warning: On board integrated LED AC input
Voltage range 9V to 120 volts
ETL Listed
Maximum 2 zones
Made in USA

Dimensions

Fixture: Length 8", Width 4", Height 2.25"

Lighting

Lamp Type	LED Bulb In
Volts	12
Color Temp	3000 (Soft White)
Equivalent	N/A
Ballast, CFL or	
LED Bulb Can	
Be Used	

Notes:

Prepared by:

Prepared for:
Project:
Revised:
Drawn:
Approved:

Additional Details

Product URL:

<https://www.lumens.com/rectangle-led-power-light-by-focus-industries/F0C717523.html>

Rating: ETL Listed Unit

ITEM#: F0C717523

Created May 24th, 2023

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JULY 11, 2023

LANDSCAPE LIGHTING SPECIFICATIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1008

DATE ISSUED:
JULY 11, 2023

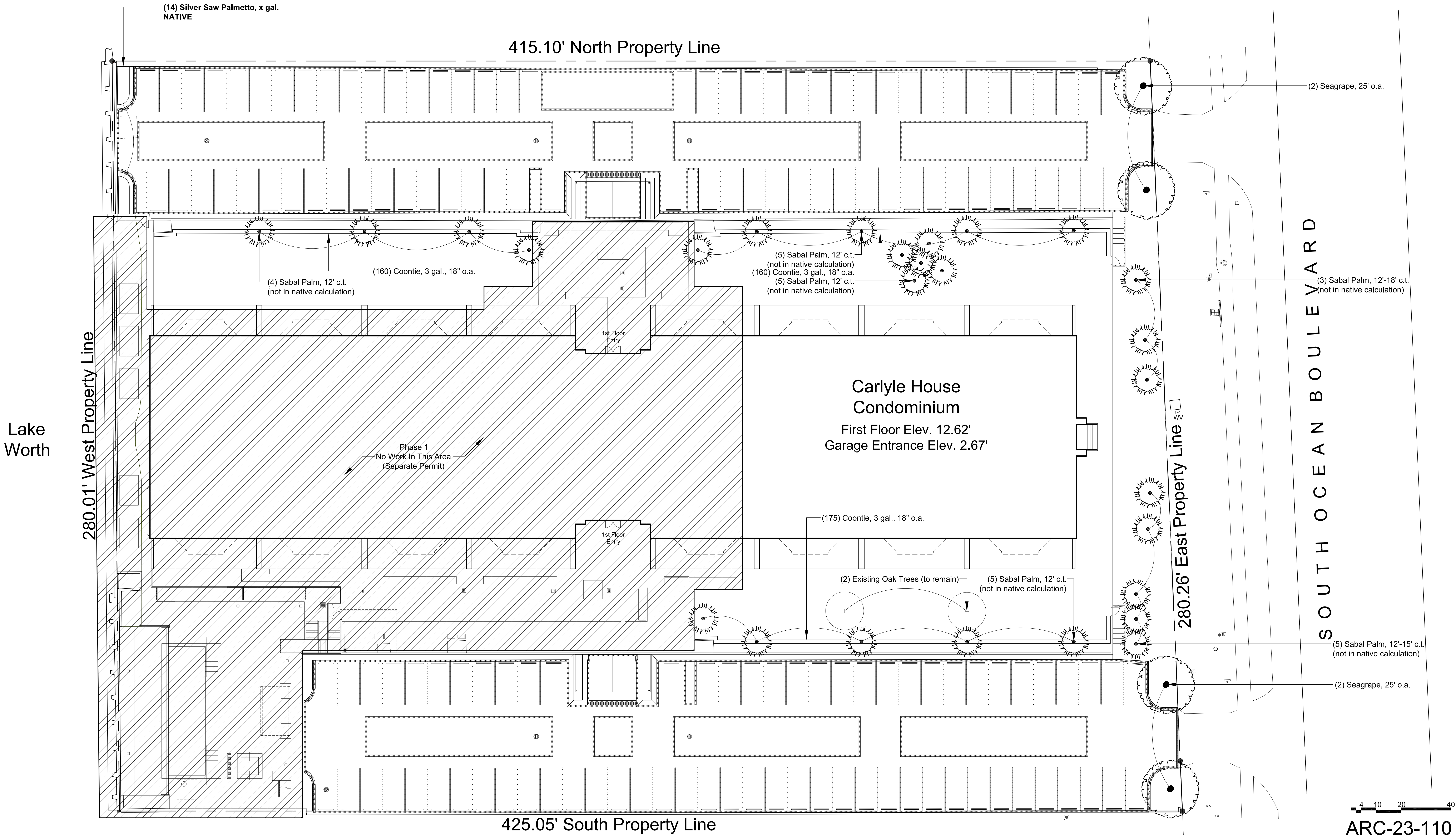
DATE PLOTTED
JULY 11, 2023

LL2

Landscape Legend			
Property Address: 2773 SOUTH OCEAN BOULEVARD			
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
	Required (Phases 1 & 2)	Existing (Phase 1)	Proposed (Phases 1&2)
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	26,079.09 (20.69%)	26,797.38 (21.26%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native Trees %	4.2 (30% of 14)	3 (75%)	9 (64%)
Native Shrubs & Vines %	680.1 (30% of 2,267)	427 (36%)	936 (41%)
Native Groundcover %	60.3 SF (30% of 201 SF)	201 SF (100%)	201 SF (100%)

To determine qualifying native vegetation, use either:
The Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List
OR
The Florida Native Plant Society Native Plants for Your Area List
Note: Modification as >50% of existing landscape/greenspace are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.
This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openness data shall be incorporated on to corresponding zoning legend.
See Ord. 003-2023 REV BP 20230626

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NATIVE LANDSCAPE DIAGRAM & CALCULATIONS

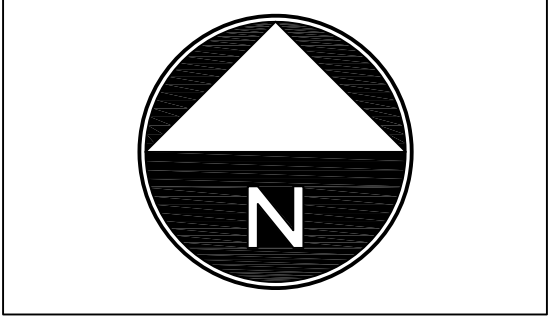
1/16" = 1'-0"

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Palm Beach, Florida

JOB #: 1008

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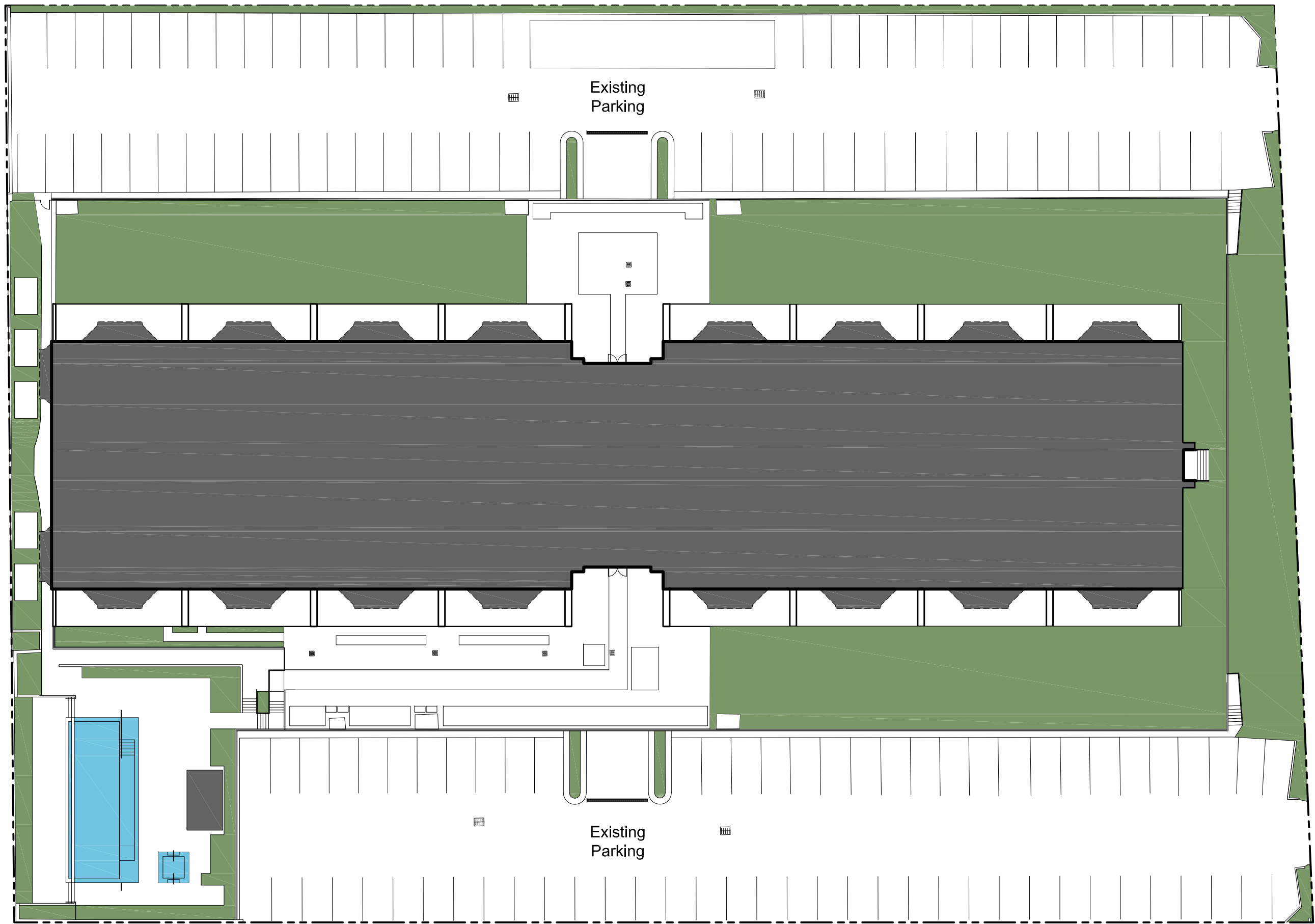
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NL1

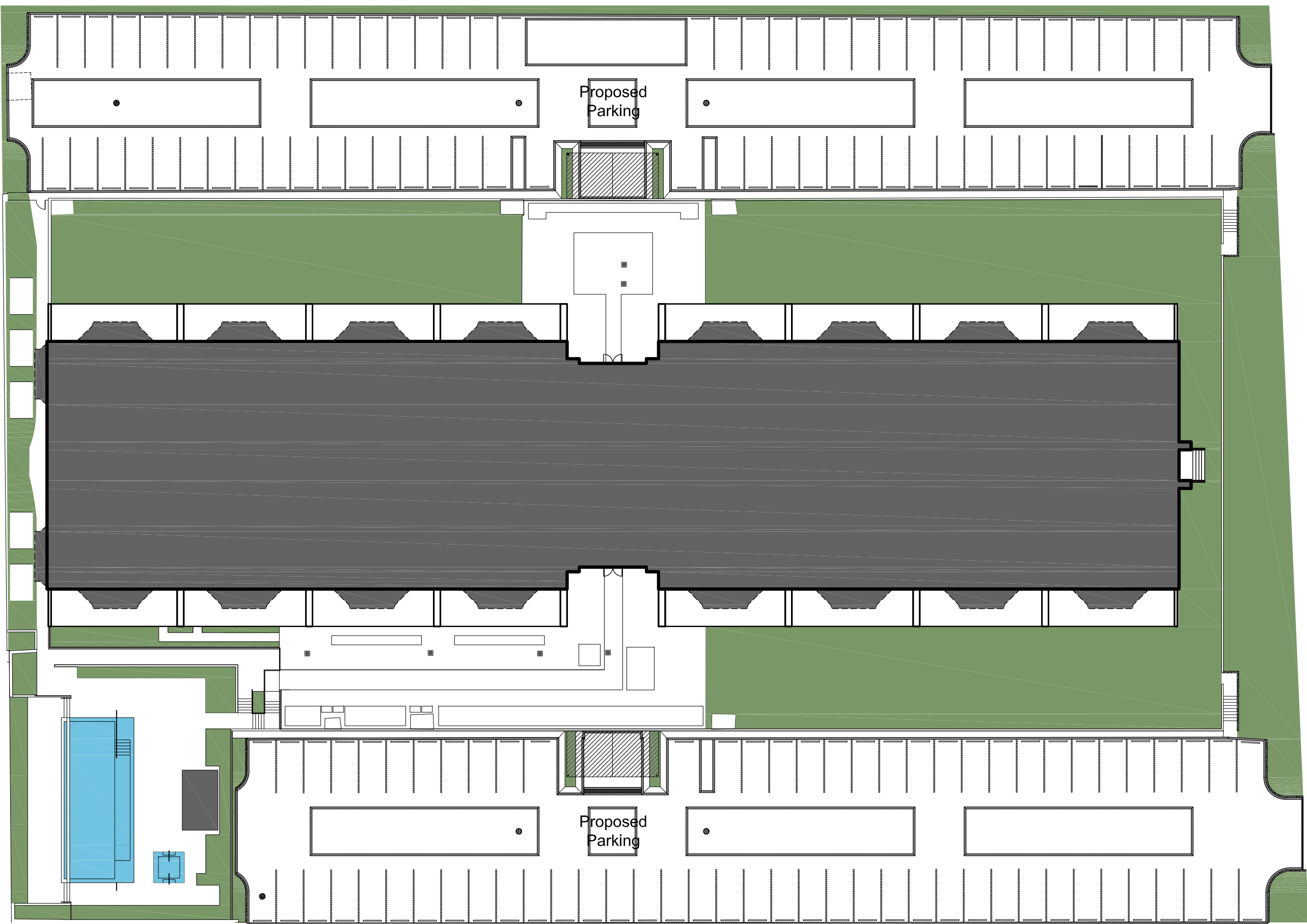
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EXISTING LANDSCAPE OPEN SPACE DIAGRAM
(Phase 1)

LOT - OVERALL			
- Existing	126,022.55 SQ.FT.	100.00%	
LANDSCAPE - OVERALL			
- Required	44,107.89 SQ.FT.	35.00%	
- Existing	26,079.09 SQ.FT.	20.69%	
LOT COVERAGE			
- Max Allowable	27,724.96 SQ.FT.	22.00%	
- Existing	31,963.22 SQ.FT.	25.36%	
HARDSCAPE			
- Existing	67,980.24 SQ.FT.	53.95%	



PROPOSED LANDSCAPE OPEN SPACE DIAGRAM
(Phase 2)

LOT - OVERALL			
- Existing	126,022.55 SQ.FT.	100.00%	
LANDSCAPE - OVERALL			
- Required	44,107.89 SQ.FT.	35.00%	
- Existing	26,079.09 SQ.FT.	20.69%	
- Proposed	26,797.38 SQ.FT.	21.26%	
LOT COVERAGE			
- Max Allowable	27,724.96 SQ.FT.	22.00%	
- Existing	31,963.22 SQ.FT.	25.36%	
- Proposed	32,863.22 SQ.FT.	26.08%	
HARDSCAPE			
- Existing	67,980.24 SQ.FT.	53.95%	
- Proposed	66,361.95 SQ.FT.	52.66%	



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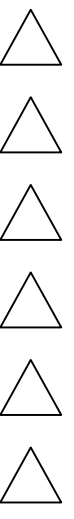
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LANDSCAPE OPEN SPACE DIAGRAMS & CALCULATIONS

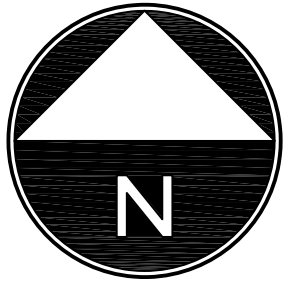
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Z2



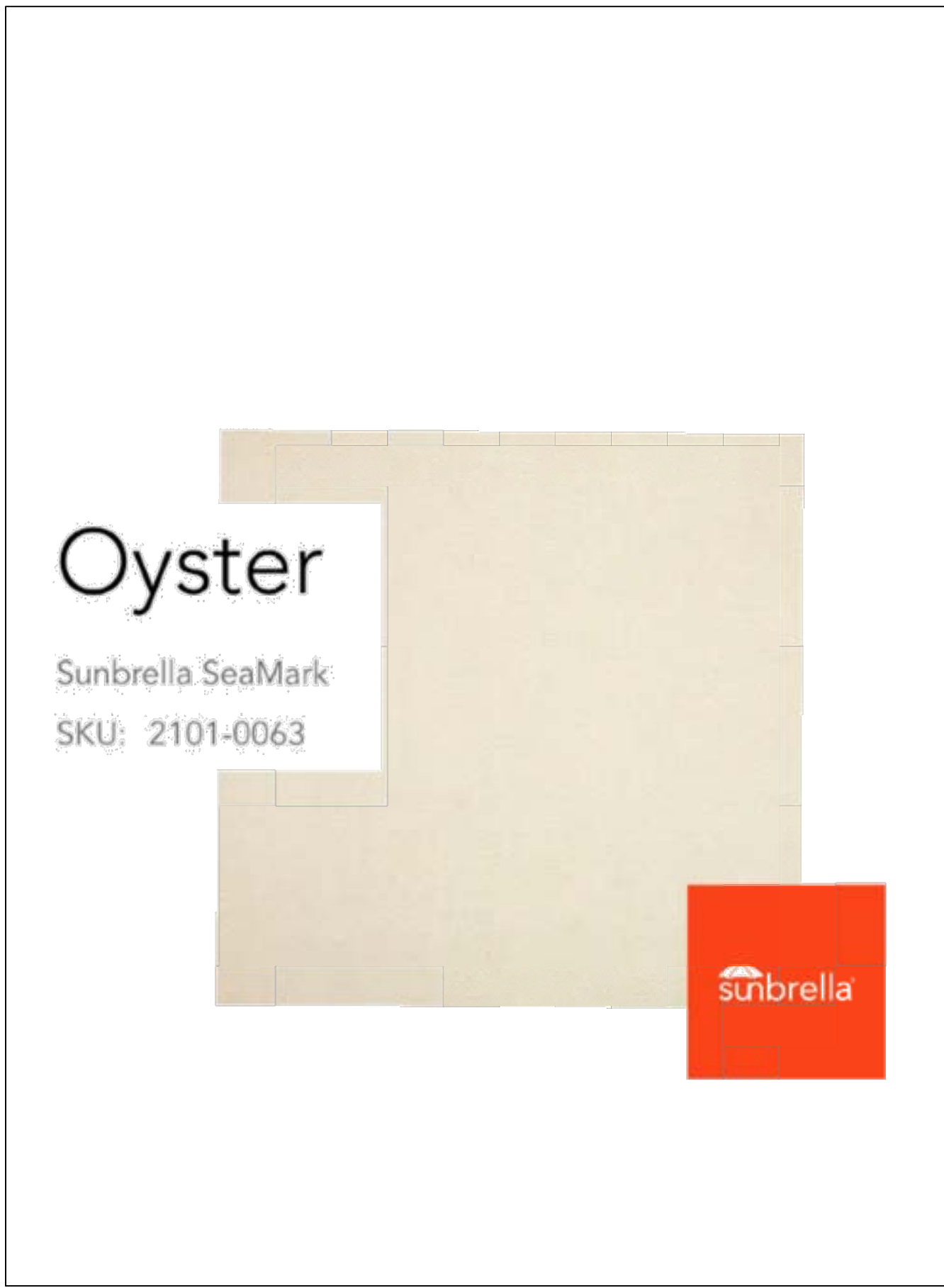
1 TYPICAL PARKING SPACE PAVING PATTERN
M1 Pattern Only - Refer to 2/M1 for color



2 'OLD CASTLE' APIAN GRAY MIX PAVERS
M1



3 AWNING LOCATION
M1 Refer to L1 for exact location & size



4 AWNING MATERIAL
M1



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MATERIALS & FINISHES

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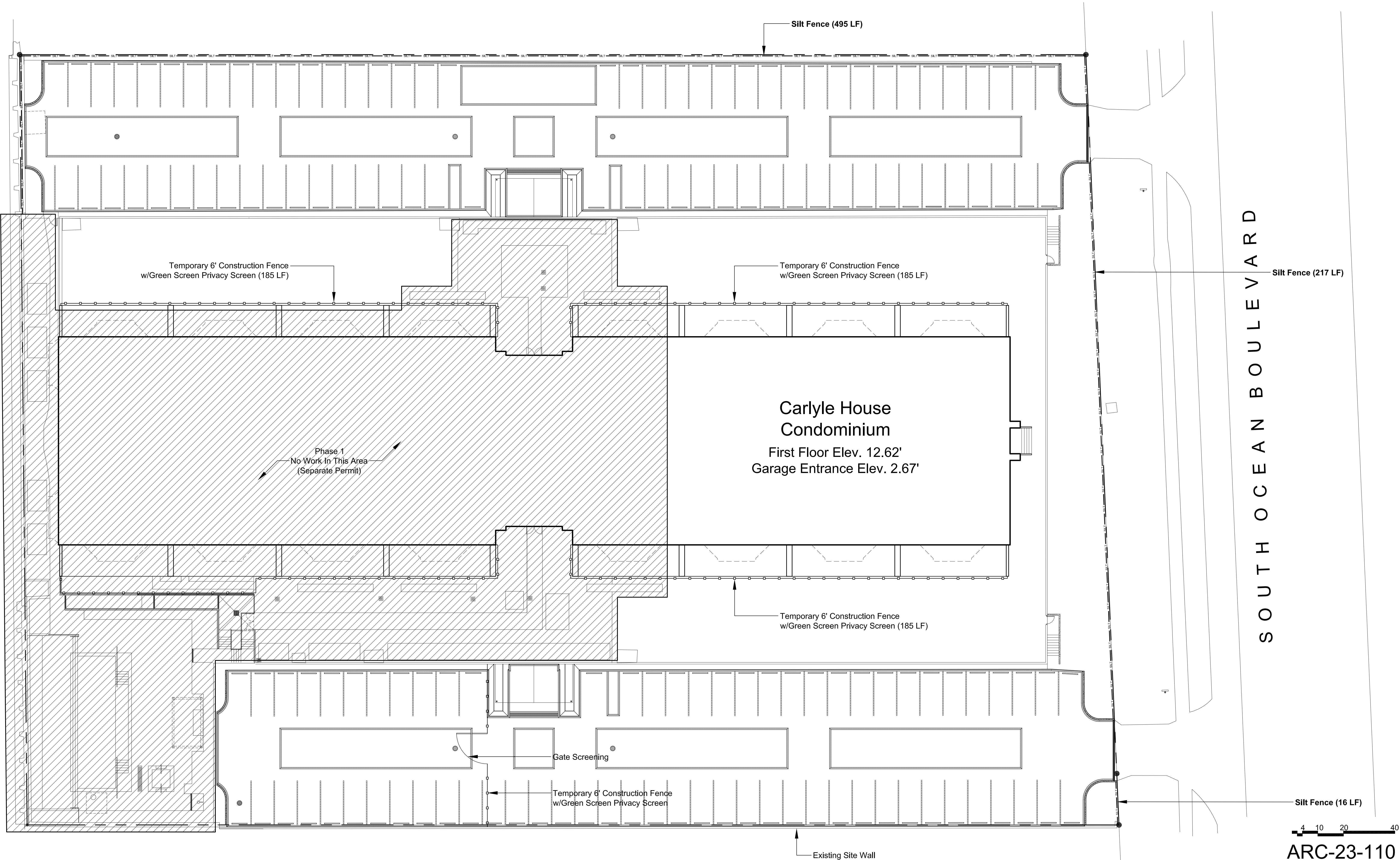
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Lake Worth

SOUTH OCEAN BOULEVARD



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CONSTRUCTION SCREENING PLAN

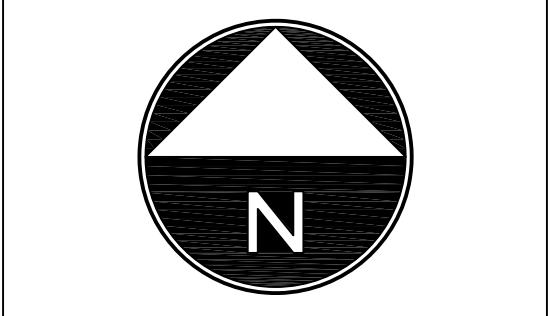
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JOB #: 1008

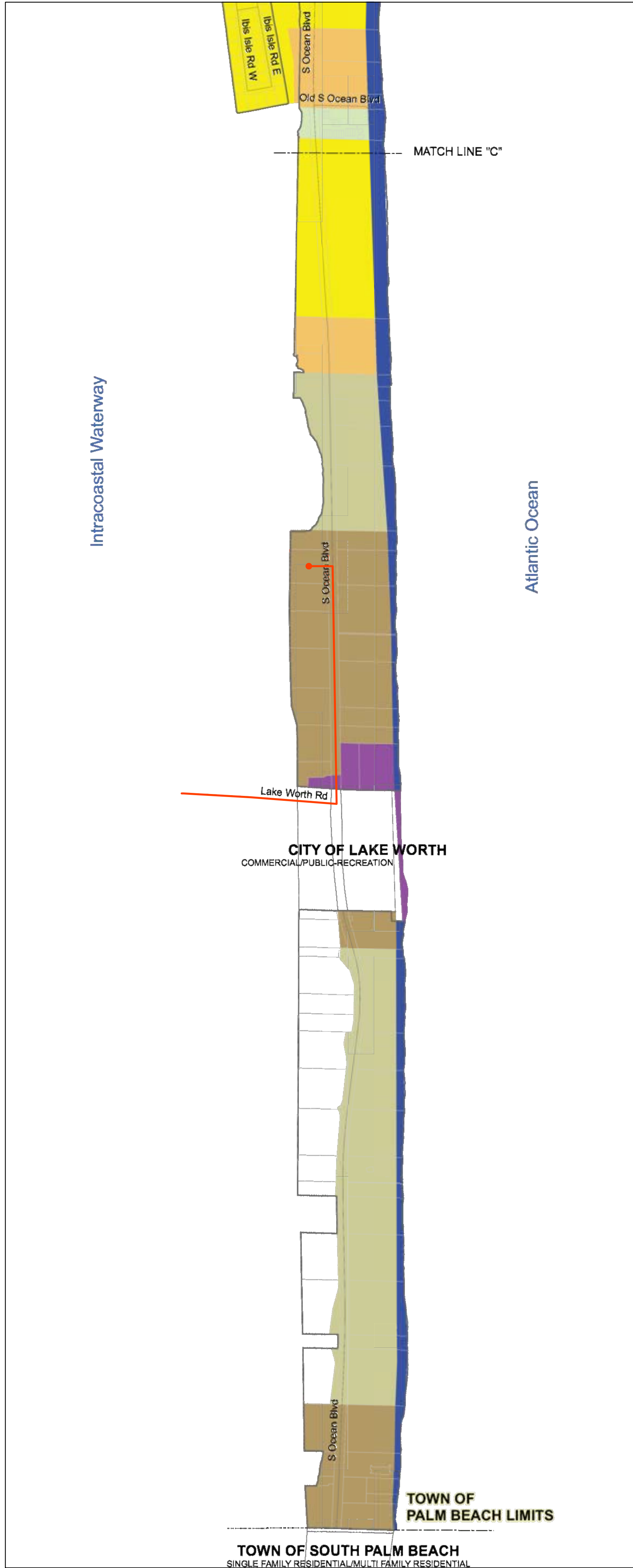
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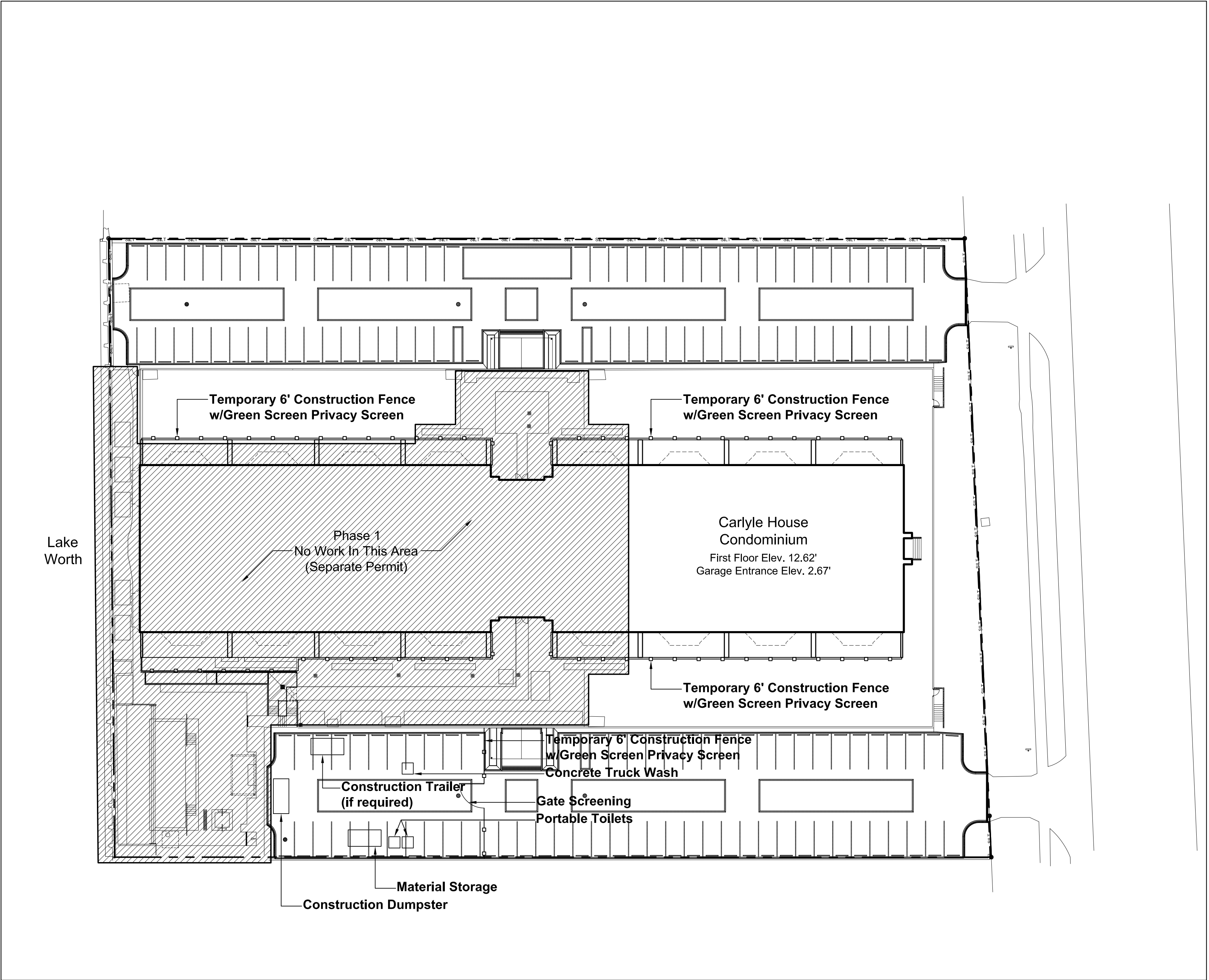
TRUCK LOGISTICS PLAN
N.T.S.

ROUTE TO SUBJECT PROPERTY:
Enter the Town of Palm Beach via Lake Avenue over the Lake Worth bridge. Turn left (north) on A1A. Continue north on A1A for approximately 1/2 mile. Subject property will be on the left (west) side.

MAXIMUM TRUCK LENGTH:
60'

MAXIMUM NUMBER OF TRIPS TO SUBJECT PROPERTY:
50 (estimated)

CONSTRUCTION SCHEDULE (theoretical and to be determined by GC):
Month 1 Site Prep, Relocation, and Demolition
Month 2 Site Utility Work, Grading, and Drainage
Month 3-4 Paver Installation
Month 5 Landscape and Landscape Lighting
(1 month contingency for unforeseen circumstances)



CONSTRUCTION STAGING PLAN
N.T.S.

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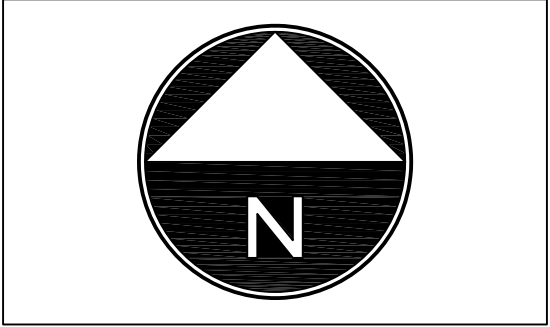
CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1008

DATE ISSUED:
JULY 11, 2023

DATE PLOTTED:
JULY 11, 2023



CS2

1889 Rational Method, Q = CIA
Q1 = 4.63 cfs peak runoff rate in cubic feet per second (impervious)
Q2 = 1.20 cfs peak runoff rate in cubic feet per second (pervious)
Qt = 5.83 cfs peak runoff rate in cubic feet per second (total)
Q1 = 5.7851 ac-in/hr. peak runoff rate in acre inches per hour (total)

C1 = 1 runoff coefficient impervious
C2 = 0.2 runoff coefficient pervious
i = 2 in/hr. rainfall intensity in inches per hour
A1 = 2.296 ac drainage area in acres (impervious)
A2 = 0.597 ac drainage area in acres (pervious)
1 foot = 12 inches conversion
1 acre = 43560 sq ft conversion
1 hour = 3600 sec conversion
1 cfs = 448.8 gpm

area 6" PVC 0.20 SF
velocity 29.7 fps
Max flow 2618 gpm

8" PVC 0.34906585 SF
16.71126902 fps 2fps min.
10fps max.

10" PVC 0.545415391 SF
10.69521218 fps

12" PVC

SFWMD Exfiltration Trenches G-1 from 2020 Permit Manual
L = 1.78E+02 ft total length of trench in feet
W = 15 ft width of trench in feet
FS = 2 factor of safety, 2 minimum for geological uncertainties
%WQ = 50% percent reduction in WQ treatment volume based on method, 50% for wet/dry retention
Vwq = 5.7851 ac-in/hr volume of treatment provided by trench in 1 hour; needs to exceed runoff quantity
Vadd = 0 ac-in/hr volume of treatment provided by trench in 1 hour in addition to Vwq;
K = 3.53E-04 cfs/ft2-ft hydraulic conductivity in cubic feet per second per square foot per foot of head; 5x10-5 default value
H2 = 4 ft depth to water table or head on saturated surface; difference between grade and lowest elevation allowing discharge from trench or water table
Du = 2 ft unsaturated trench depth; depth from top of trench in unsaturated zone to water table
Ds = 1 ft saturated trench depth; depth to bottom of trench from water table
site grade assumed to be approximately 4.5'
GW table assumed to be 1.5'
Du + Ds = 3' depth trench

1889 Rational Method, Q = CIA - for 7 in/hour
Q1 = 0.06 cfs peak runoff rate in cubic feet per second (impervious)
Q2 = 0.00 cfs peak runoff rate in cubic feet per second (pervious)
Qt = 0.06 cfs peak runoff rate in cubic feet per second (total)
Q1 = 0.0562 ac-in/hr. peak runoff rate in acre inches per hour (total)

C1 = 1 runoff coefficient impervious
C2 = 0.2 runoff coefficient pervious
i = 7 in/hr. rainfall intensity in inches per hour
A1 = 0.008 ac drainage area in acres (impervious)
A2 = 0.000 ac drainage area in acres (pervious)
1 foot = 12 inches conversion
1 acre = 43560 sq ft conversion
1 hour = 3600 sec conversion
1 cfs = 448.8 gpm

Palm Beach is Zone 10 - Range of 7 to 10.5 inches per hour

Head-ift 7 ft
Head-friction ft
Head-residual 0 ft

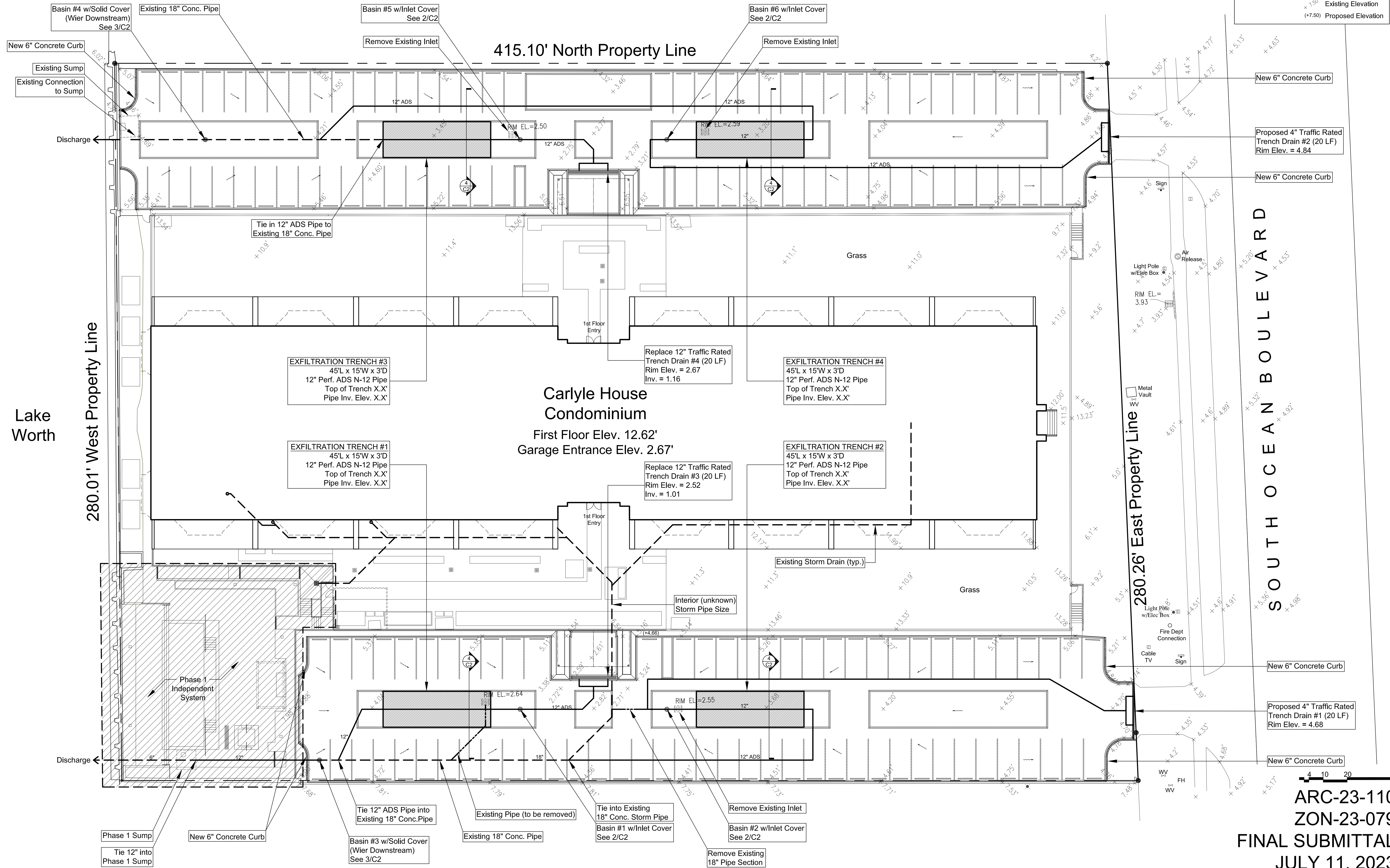
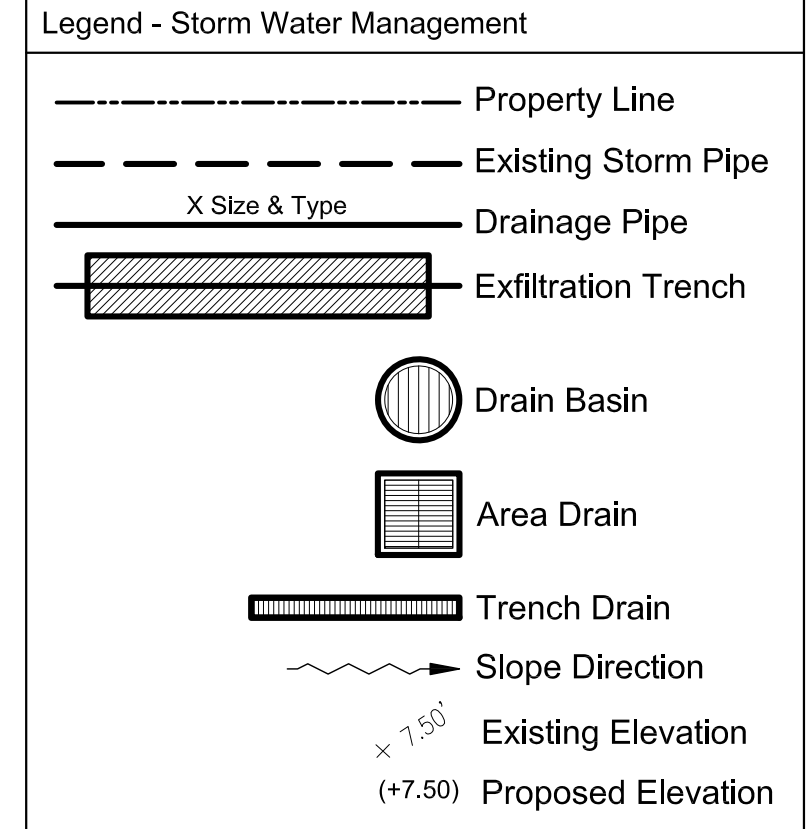
1889 Rational Method, Q = CIA - for 10.5 in/hour
Q1 = 0.09 cfs peak runoff rate in cubic feet per second (impervious)
Q2 = 0.00 cfs peak runoff rate in cubic feet per second (pervious)
Qt = 0.09 cfs peak runoff rate in cubic feet per second (total)
Q1 = 0.0844 ac-in/hr. peak runoff rate in acre inches per hour (total)

C1 = 1 runoff coefficient impervious
C2 = 0.2 runoff coefficient pervious
i = 10.5 in/hr. rainfall intensity in inches per hour
A1 = 0.008 ac drainage area in acres (impervious)
A2 = 0.000 ac drainage area in acres (pervious)
1 foot = 12 inches conversion
1 acre = 43560 sq ft conversion
1 hour = 3600 sec conversion
1 cfs = 448.8 gpm

area 4" PVC 0.09 SF 2" PVC 0.0 SF
velocity 0.97 fps 3.9 fps 2fps min.
Max flow 38.17916667 gpm 10fps max.

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction services.

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PE36171

1/16" = 1'-0"

SITE GRADING & DRAINAGE PLAN

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ARC-23-110
ZON-23-079

C1

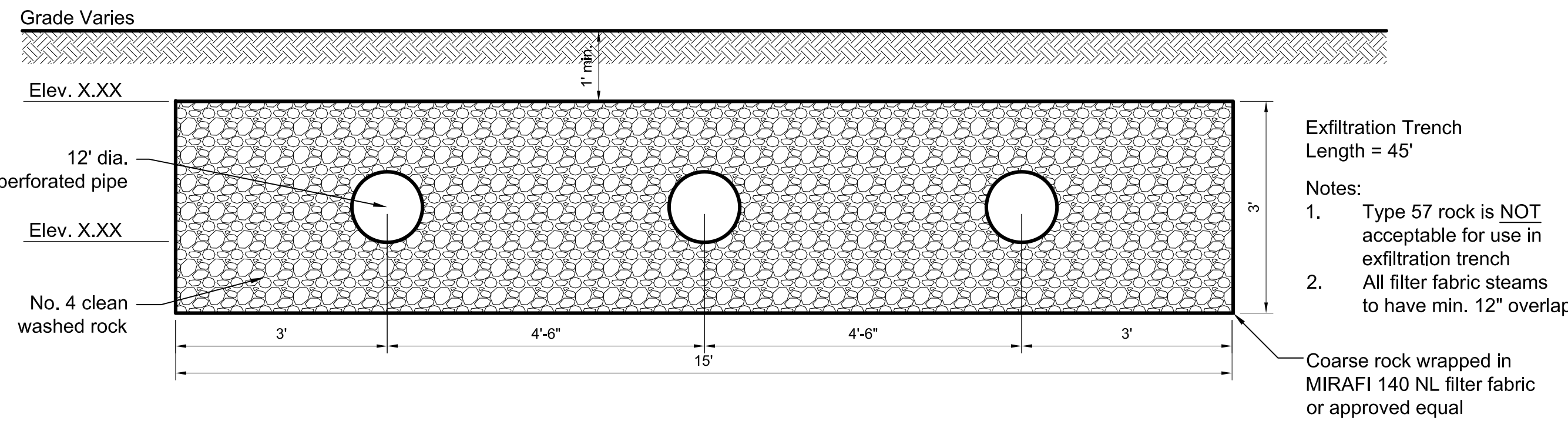
FINAL SUBMITTAL
JULY 11, 2023

GENERAL NOTES & SPECIFICATIONS:

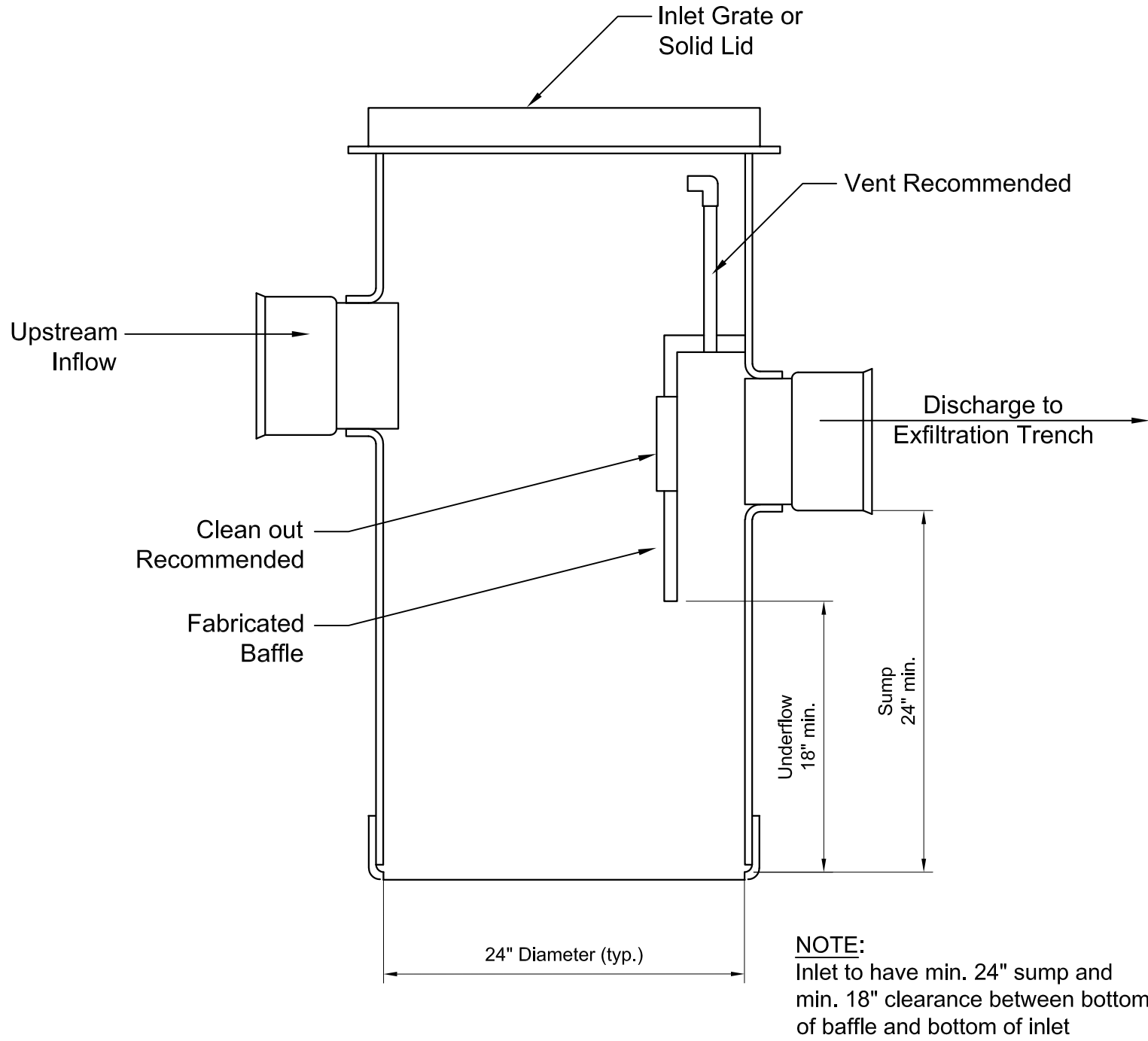
- Contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in specifications or mentioned in the specifications and not shown on the drawings, shall be of the like effect as if shown or mentioned in both.
- Figures marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors, which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, contractor shall adjust such dimensions as conditions may require.
- If contractor, in the course of work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by contractor, it shall be contractor's duty to immediately inform engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at one report to engineer any discrepancies between the executes work and the drawings.
- Engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. Contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing, or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit by any unburned remains are to be disposed of as directed by the owner or his representatives.
- Contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims for damage. Contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalks, lawns, utilities, and other items damaged by this construction activity.
- Contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by engineer. Should any test fail to meet specification as shown herein, contractor shall, at contractor's expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman-like manner and shall conform with all applicable City, County, State, and Federal regulations and/or codes. Contractor shall obtain all permits and licenses required to begin work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect completed work.
- Contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at contractor's expense.
- All work shall be accomplished in a safe and workman-like manner. Contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury, or property damage.
- Minimum Construction Inspection Checkpoints:
 - Prior to any major deviation from the approved plan
 - Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved
 - Upon completion of sub-grade compacting
 - At the time of delivery of base material
 - Upon completion of the base and prior to priming
 - Immediately prior to and upon the first and second applications of the plant mixed wearing course
 - Upon completion of construction, a final inspections will be made with project representative.
- All unsuitable material such as muck, marl, and debris shall be removed from the limits of construction and legally disposed. At the engineer's directions, much may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design, and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts, or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement(s) and repair(s) within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- Contractor shall complete "as-built" information relative to pipe lengths, materials, and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

NOTES:

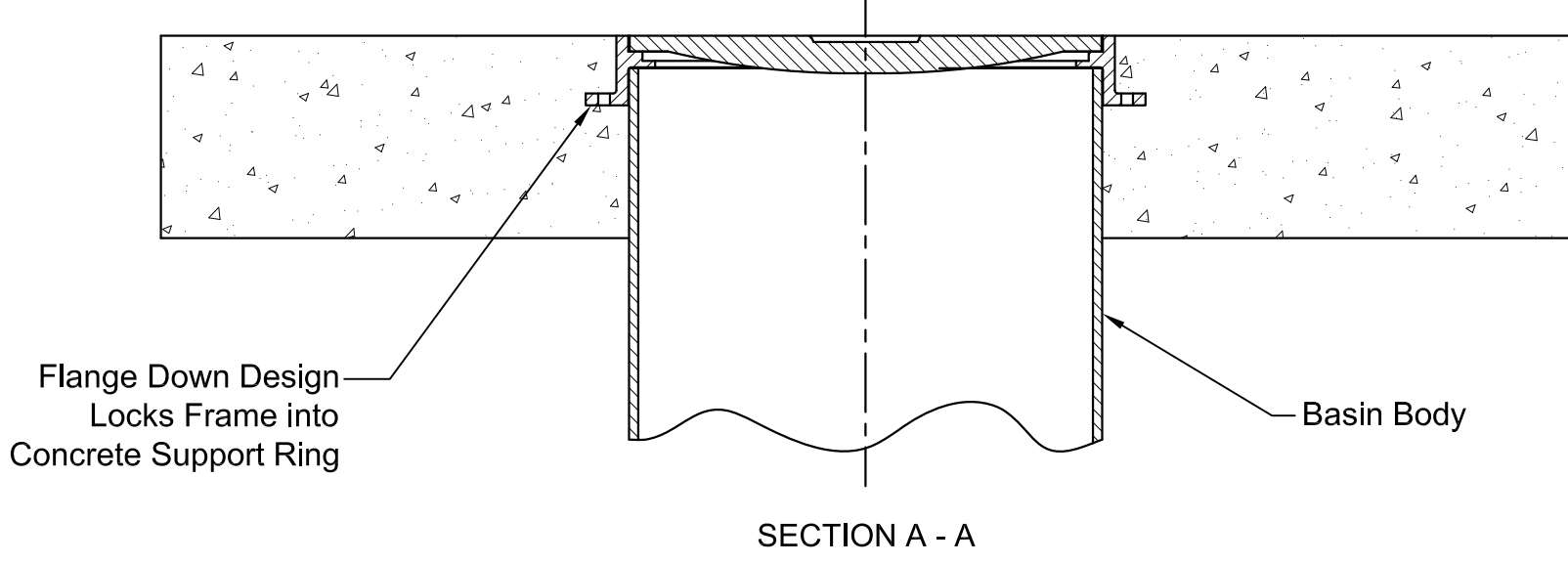
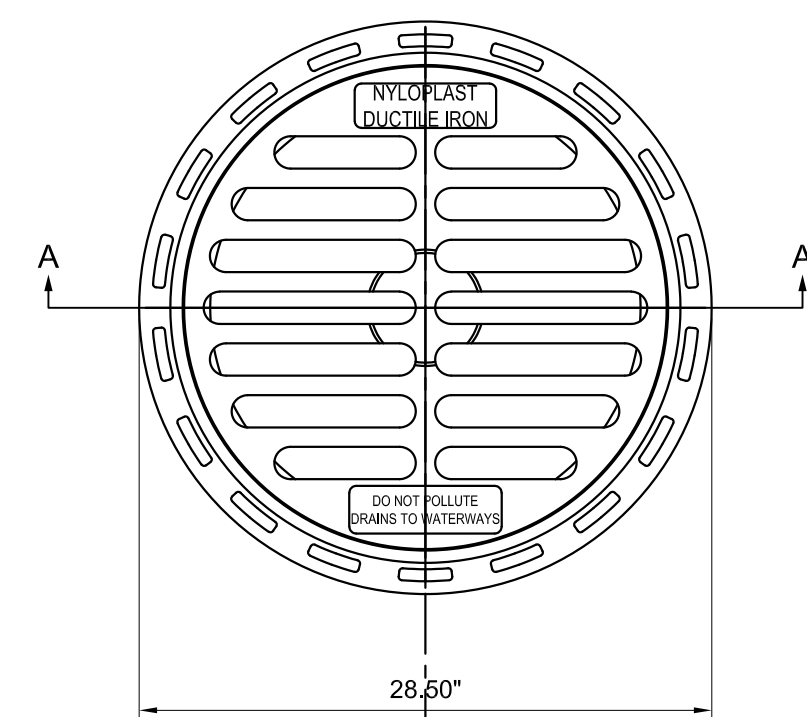
- All pipe systems shall be installed in accordance with ASTM D321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF TERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", latest addition.
- Measures should be taken to prevent migration of native fines into backfill material, when required.
- Suitable Subgrade:** Where the trench bottom is unstable, contractor shall excavate to a depth required by engineer and replace with suitable material as specified by engineer. As an alternative, and at the discretion of design engineer, trench bottom may be stabilized using geotextile material.
- Bedding:** Suitable material shall be be Class I, II, or III. Contractor shall provide documentation for material specification to engineer. Unless otherwise noted by engineer, minimum bedding thickness shall be 4" for 4"-24" pipe and 6" for 30"-60" pipe.
- Initial Backfill:** Suitable material shall be Class I, II, or III in the pipe zone extending not less than 6" above crown of pipe. Contractor shall provide engineer with documentation for material specification. Material shall be installed as required in ASTM D2321, latest edition.
- Minimal Cover:** Minimum Cover, H in non-traffic applications (grass or landscape areas) is 12" from the top of pipe to ground surface. Additional cover may be required to prevent flotation. For traffic applications, minimum cover, H, is 18" up to 48" diameter pipe and 24" of cover for 54"-60" diameter pipe, measured from top of pipe to bottom of flexible pavement or to top of rigid pavement.



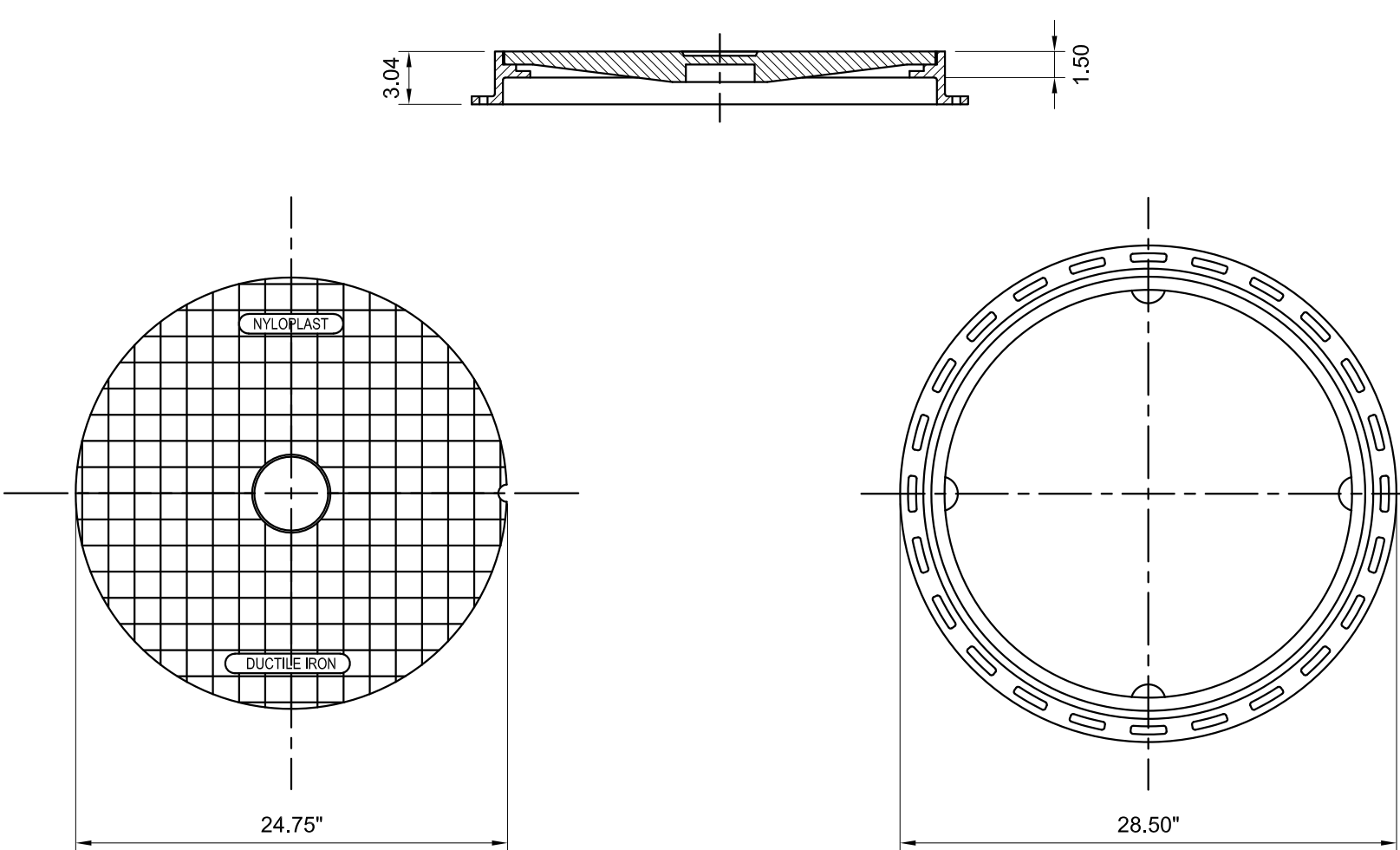
4 EXFILTRATION TRENCH DETAIL
N.T.S.



1 24" NYLOPLAST DRAIN BASIN
N.T.S.



2 24" DUCTILE IRON GRATE
N.T.S.



3 24" DUCTILE IRON SOLID GRATE
N.T.S.

DURA SLOPE™ CHANNEL DRAINS

Specifications: NDS Dura Slope™ is a 6 1/2" wide, 48" long trench drain system with a built-in slope of 0.7%. Each channel section is molded of gray structural foam polyethylene with UV inhibitors and has a 4" inside diameter with a 2" radius bottom. The system consists of 4-foot channel sections including 24 pre-sloped channel sections and 9 neutral channel sections. The sloped channel sections enable the system to extend to a length of 96 feet with a continuous slope. Add neutral channels to extend the system run to an excess of 192 feet. By incorporating central collection through the use of the catch basin assembly, the Dura Slope™ trench drain system can be extended to lengths up to 266 feet. Dura Slope™ channels are designed with the pre-installed ProFit™ locking system, which maintains structural integrity during installation and locking devices for the grating. LevelLoc™ integral re-bar supports are located at 24" intervals along each side of the channel and contain an internal protruding knob designed to grip #3 or #4 re-bar (1/2" - 1/2") for easier channel height adjustment during installation. Duraloc™ tongue and groove ends connect allowing for a precise fit and ensure straight channel runs, incorporating an integral snap-lock feature that prevents joint movement during channel installation. Each channel section is molded with a bottom outlet allowing for system versatility and ensuring proper drainage. Expansion joints must be provided parallel to each side of the drain run.

Lightweight 4 ft. modular sections
Easier handling and installation
Lower height costs

2" radius bottom
Minimizes debris build-up

Polyethylene material
Durable and impervious
Less shrinkage versus concrete
High chemical resistance

Bottom outlet on each channel section
System versatility
Prevents leaves accumulation

1/2" ProFit locking system
Maintains optimum flow rates throughout system

COMMON DIMENSION FOR ALL CHANNEL SECTIONS

PART NUMBERS	WEIGHT (LBS.)	FLOW RATE (GPM)	UPA	A	B	C	D	E	PRODUCT CLASS
DS-009A	7.622	75	304	40"	5.980	5.980	5.354	5.750	2009
DS-009B	7.524	75	304	40"	5.980	4.354	5.680	5.770	2009
DS-009C	7.912	89	327	40"	4.354	4.354	5.680	6.460	2009
DS-009D	7.829	89	327	40"	4.354	4.070	6.006	6.456	2009
DS-009E	8.269	103	360	40"	4.070	4.066	6.362	6.462	2009
DS-009F	8.636	117	443	40"	5.006	5.362	6.686	6.778	2009
DS-009G	8.866	131	496	40"	5.362	5.362	6.760	7.111	2009
DS-009H	8.866	131	496	40"	5.362	5.678	7.034	7.314	2009
DS-009I	9.389	145	648	40"	5.678	6.034	7.370	7.480	2009
DS-009J	9.741	159	602	40"	6.034	6.360	7.736	7.786	2009
DS-009K	10.042	173	665	40"	6.360	6.360	7.736	8.119	2009
DS-009L	10.112	173	665	40"	6.360	6.686	8.042	8.522	2009
DS-009M	10.484	187	708	40"	6.686	7.022	8.378	8.468	2009
DS-009N	10.856	201	761	40"	7.022	7.358	8.714	8.794	2009
DS-009O	11.154	215	814	40"	7.358	7.704	9.050	9.127	2009
DS-009P	11.238	215	814	40"	7.358	7.684	9.050	9.530	2009
DS-010	11.589	229	867	40"	7.684	8.030	9.386	9.466	2009
DS-011	11.971	243	920	40"	8.030	8.366	9.722	9.802	2009
DS-012	12.371	257	973	40"	8.366	8.366	9.724	10.150	2009
DS-013	12.543	257	973	40"	8.366	8.702	10.058	10.536	2009
DS-014	12.714	271	1026	40"	8.702	9.038	10.394	10.874	2009
DS-015	13.086	286	1079	40"	9.038	9.374	10.730	10.810	2009
DS-016	13.386	299	1132	40"	9.374	9.710	11.066	11.146	2009
DS-017	13.628	299	1132	40"	9.710	10.046	11.402	11.482	2009
DS-018	14.021	327	1236	40"	10.046	10.382	11.738	11.818	2009
DS-019	14.021	341	1291	40"	10.382	10.718	12.074	12.154	2009
DS-020	14.075	341	1291	40"	10.718	11.054	12.410	12.490	2009
DS-021	14.846	365	1344	40"	11.054	11.390	12.746	12.826	2009
DS-022	15.216	368	1390	40"	11.390	11.726	13.082	13.162	2009
DS-023	15.486	382	1446	40"	11.726	12.062	13.418	13.498	2009
DS-024	15.856	382	1446	40"	12.062	12.398	13.754	13.834	2009

851 N. Harvard Avenue
Lindsey, CA 93247
800-726-1994

Visit ndspro.com for specs, detail drawings, and case studies

NDS
WE PUT WATER IN ITS PLACE

5 CHANNEL DRAIN DETAIL
N.T.S.

ARC-23-110
ZON-23-079
FINAL SUBMITTAL
JULY 11, 2023



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DRAINAGE SPECIFICATIONS & DETAILS

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