

Scope of Work

- New Hardscape
- New Front Door
- Infilling Garage Windows
- Modified Vehicular Gates
- New Generator



RECEIVED  
By yfigueroa at 2:25 pm, Jul 11, 2023

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Design Team/Consultants

Landscape Architects  
ENVIRONMENT DESIGN GROUP  
139 NORTH COUNTY ROAD SUITE 20B  
PALM BEACH, FL 33480  
561.832.4600  
WWW.ENVIRONMENTDESIGNGROUP.COM

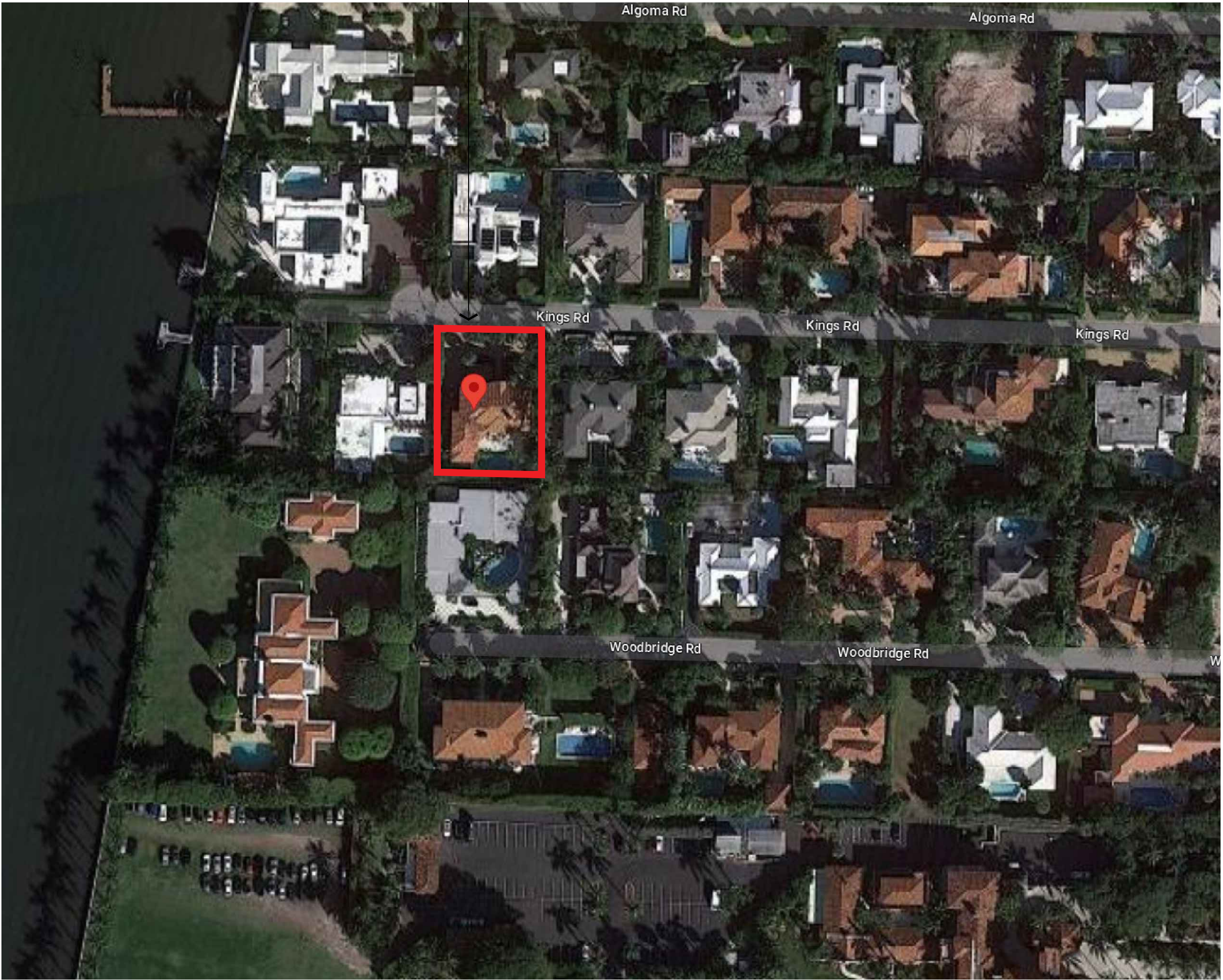
Civil Engineer  
GRUBER CONSULTING ENGINEERS  
2475 MERCER AVE  
WEST PALM BEACH, FL 33401  
561.312.2041

Private Residence  
160 Kings Road  
Palm Beach

F L O R I D A

Application #: ARC-23-078  
Presentation Submittal  
Projected Hearing Date: 07.26.2023

SUBJECT PROPERTY  
160 KINGS ROAD



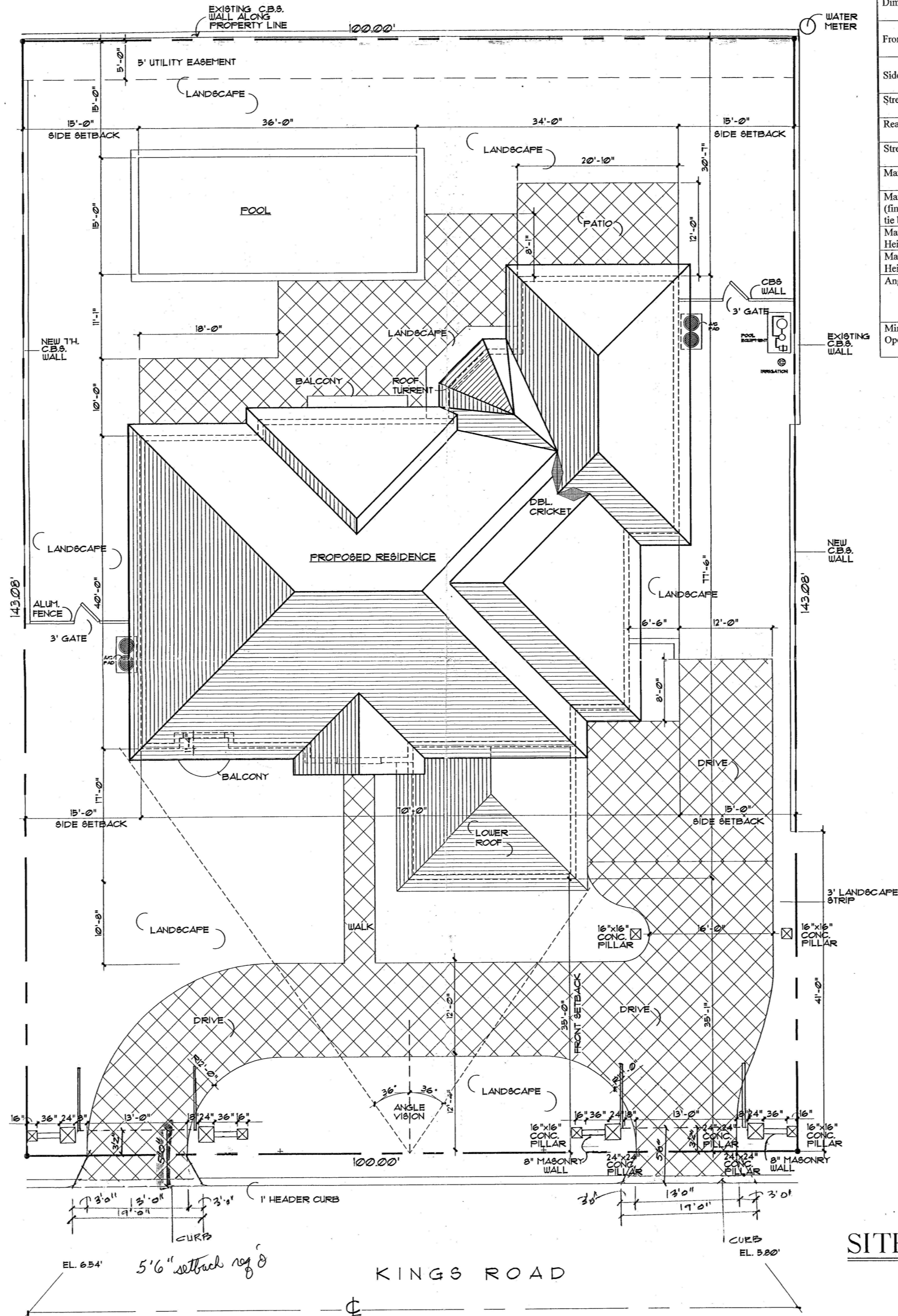
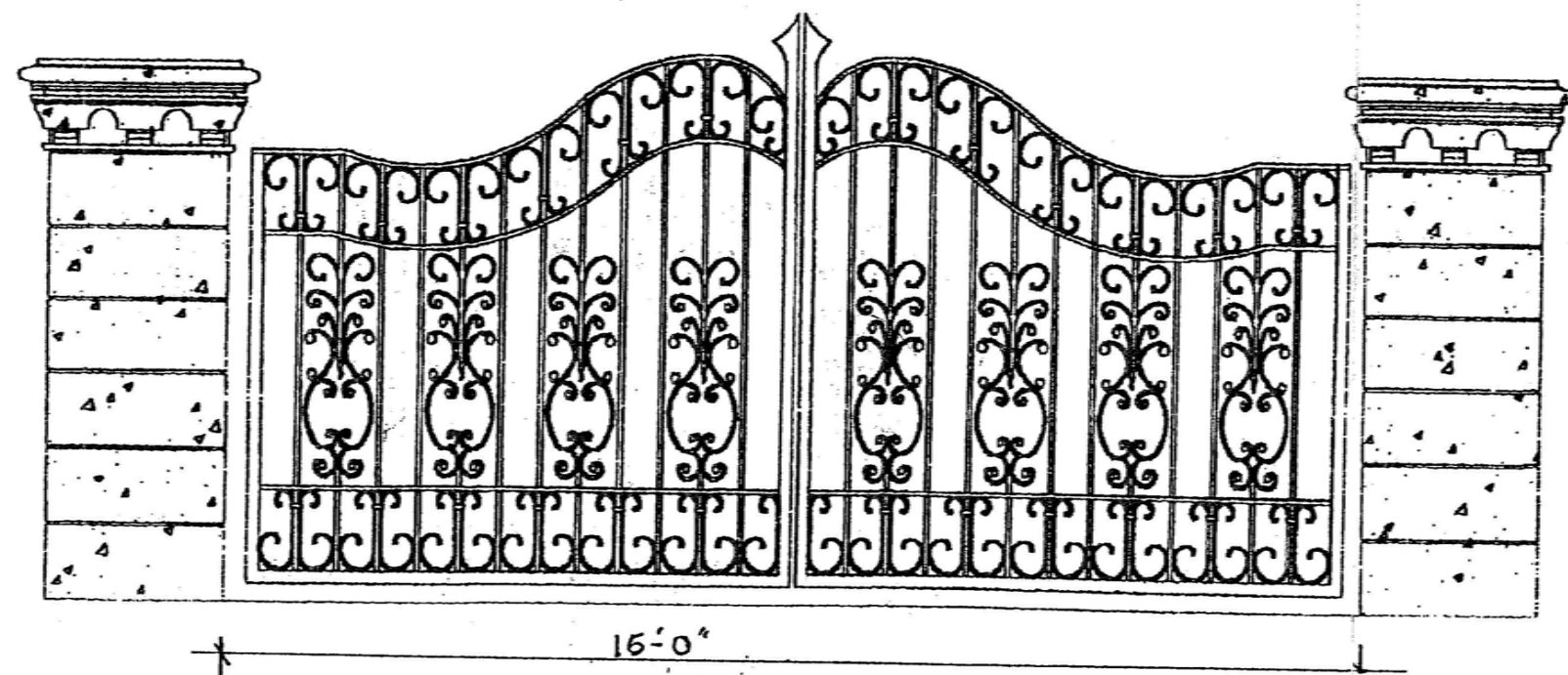
Vicinity Map

PROPERTY ADDRESS:		160 KINGS ROAD			
	REQUIRED	PROPOSED		EXISTING	
LOT SIZE (SQ FT)	14,308 SF				
LANDSCAPE OPEN SPEACE (LOS) (SQ FT AND %)	7,154 SF 50%	5,809.21 SF	40.62%	5,487 SF	38.35%
FRONT YARD LOS (SQ FT AND %)	1,575 SF 45%	1,684 SF	48.11%	1,791 SF	51.17%
NATIVE TREES %	2 35%	3	60%		
NATIVE SHRUBS/VINES %	257 35%	361	49.31%		
NATIVE GROUND COVER %	365 35%	513	51.58%		









R - A ZONING DISTRICT	REQUIRED	PROVIDED
Minimum Lot Area	20,000 square feet	14,300.00 square feet
Minimum Lot Dimension	125 foot Width	100.00 foot Width 143.08 foot Depth
Front Yard Setback	35 foot or 2 foot for every 1 foot in building, whichever is greater	35.00 feet
Side Yards	15 feet	15.00 feet
Street Side Yard	35 feet	N/A feet
Rear Yard	15 feet	30.00 feet
Street Rear Yard	35 feet	N/A feet
Maximum Lot Coverage	25%	3,522.00 square feet 24.50 %
Maximum Height (finish floor to top of the beam or plate)	25 feet	23.50 feet
Maximum Overall Height (flat roof)	30 feet	N/A feet
Maximum Overall Height (all other roofs)	35 feet	31.00 feet
Angle of Vision	100 degrees plus 2 degrees for every 10 feet of lot width in excess of minimum required (maximum 120 degrees)	65.00 degrees
Minimum Landscaped Open Space	Lot - 45% Front Yard - 45%	47.50 percent 55.00 percent

Address of property: 160 Kings Road, Palm Beach, Florida 33480

Site calculations: R-A

Site area 14,300 square feet

Lot Coverage (building footprint) 3,522 sq. ft. 24.5 % of site

landscape area 6,793 sq. ft. 47.5 % of site

Pool, deck area and other impervious areas 3,985 sq. ft. 28.0 % of site

Total 14,300 sq. ft. 100.0 % of site

floor area ratio (exterior dimensions)

first floor area 3,522 sq. ft.

second floor area 3,182 sq. ft.

any other floor area sq. ft.

Total 6,704 sq. ft. 47 % of site

Cubic Content Ratio

CCR = lwh (exterior dimensions) lw (lot size)

Building Volume 7,404 ÷ 14,300 Lot area = 5.13  
100° Angle of Vision \* 65 (applicable to R-B, R-A and R-AA zoning districts only)

#### LEGAL DESCRIPTION

LOT 13, BOULEVARD ESTATES, ACCORDING TO THE PLAT, THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 96, PALM BEACH, FLORIDA, PUBLIC RECORDS, (CONTAINS 0.328 ACRES, MORE OR LESS, AS SURVEYED.)

FLOOD ZONES A-1 & B

SITE PLAN

1/8" = 1'-0"

Permit # 8015575 v/ks

SKA

SKA ARCHITECT + PLANNER  
204 HYPOLITE PLAZA, PALM BEACH, FL 33480  
OFF: 561.832.4600 FAX: 561.832.4624

PROPOSED RESIDENCE FOR:  
**BALTIC ESTATES INC.**  
160 KINGS ROAD  
PALM BEACH, FL 33480

REVISIONS
△ 11-22-00
△ 03-03-01
△ 05-14-01
△ 05-25-01

SHEET NUMBER
A-1
DATE
11-18-00
JOB #

ARC-23-078

Previous Town Approved Drawing

ENVIRONMENTAL DESIGN GROUP  
139 North County Road 540-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentaldesigngroup.com

Private Residence  
160 Kings Road  
Town of Palm Beach

JOB NUMBER: # 22283.00 LA  
DRAWN BY: Jean Twomey  
DATE: 06.23.2023

SHEET L1.1

2023  
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2023  
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Northeast Corner



Northwest Corner



Northwest Corner



West Buffer



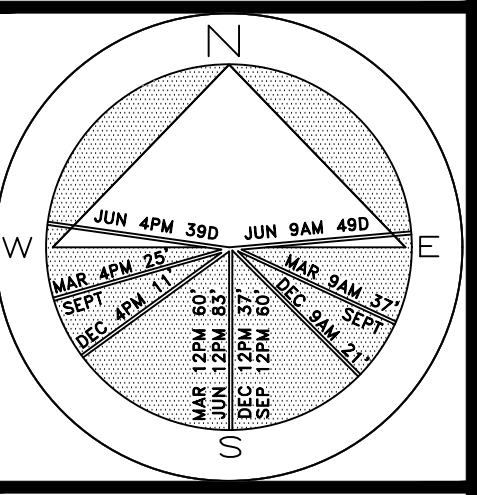
South Buffer



East Buffer

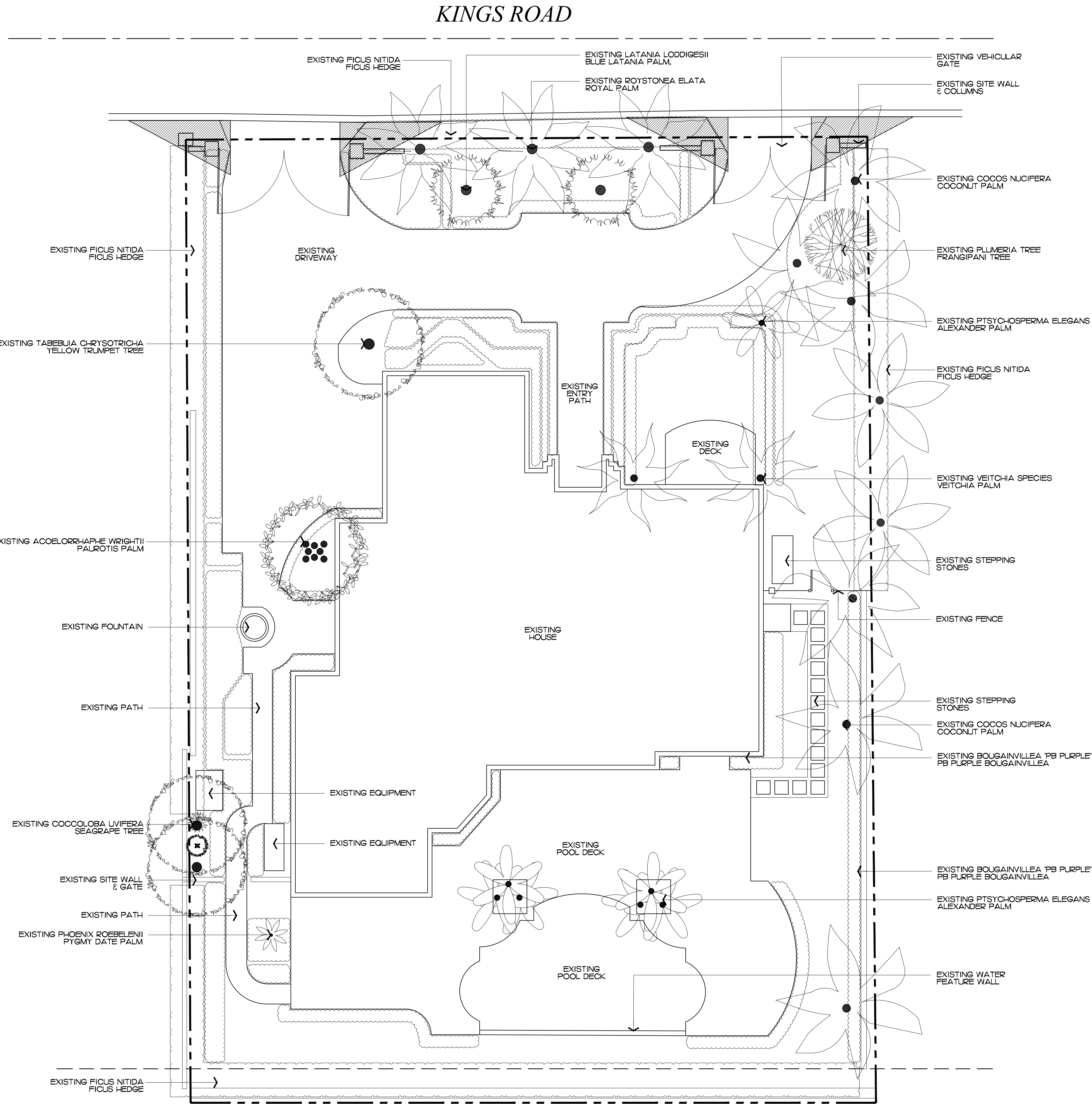


Private Residence  
160 Kings Road  
Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 04.12.2023  
05.01.2023

SHEET L2.0



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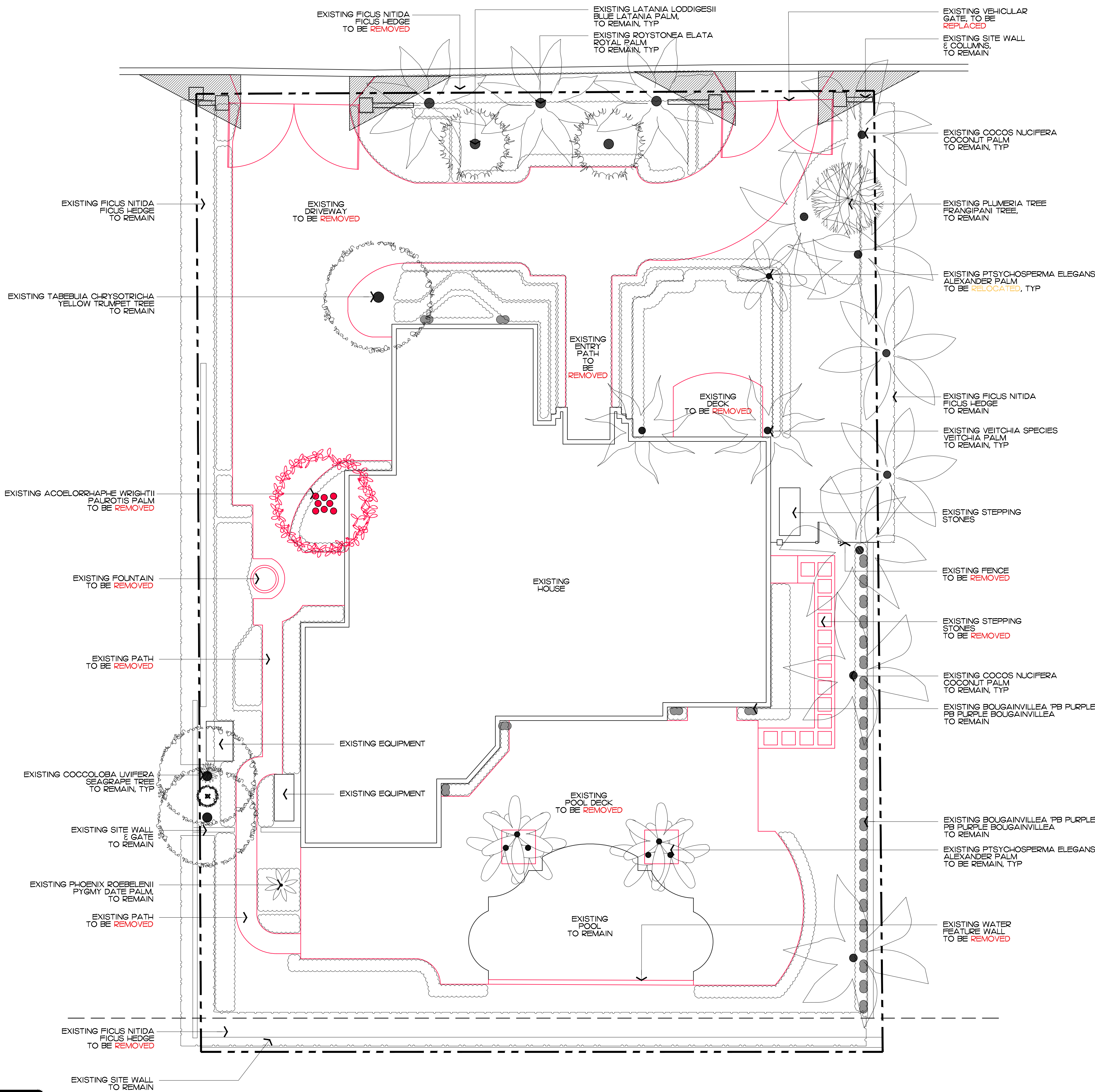
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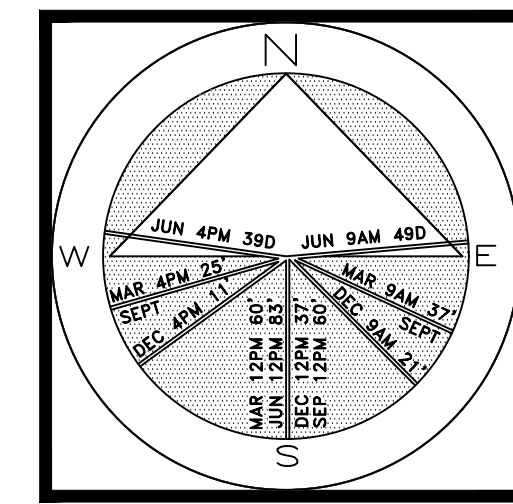
ARC-23-078  
Existing Vegetation Inventory & Action Plan



KINGS ROAD



Private Residence  
160 Kings Road  
Palm Beach



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DATE: 04.12.2023  
05.01.2023

SHEET L3.0

**2023**

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**2023**

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Existing Vegetation Inventory & Action Plan

ARC-23-078

SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.



[illegible]

NOTE:  
INTERIOR TREES AND PALMS WILL BE REMOVED WHEN NECESSARY FOR SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING CONSTRUCTION.

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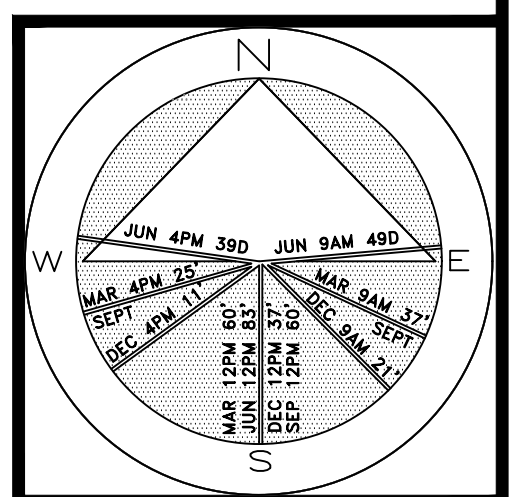
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SUNSHINE STATE ONE CALL  
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ARC-23-078

# Construction Staging Plan

SCALE IN FEET 0' 8' 16' 24'

Private Residence  
160 Kings Road  
Palm Beach  
O R I



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Sean Twomey  
DATE: 04.12.2023  
05.01.2023

SHEET L4.0

4 sf.

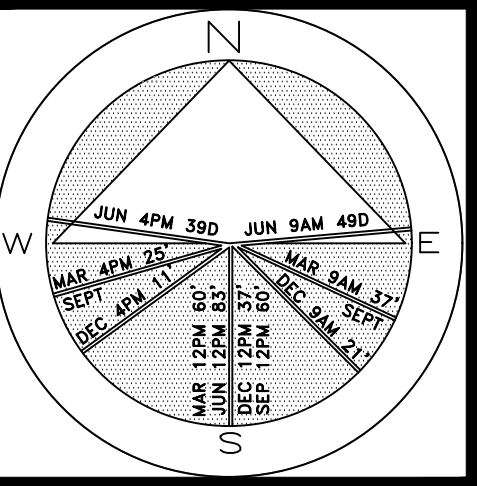
AREA IN SQ.FT.







Private Residence  
160 Kings Road  
Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Sean Twomey  
DATE: 04.13.2023  
05.01.2023

SHEET L6.0

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SUNSHINE STATE ONE CALL  
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1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP  
(1 - 5 DAYS)

LARGEST TRUCK ->  
1-5 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

PROPOSED INGRESS TRUCK ROUTE

PROPOSED EGRESS TRUCK ROUTE

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

ARC-23-078  
Truck Logistics Plan  
SCALE: NOT TO SCALE







Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE
- IMPERVIOUS AREA (WATER FEATURE)

Site Data

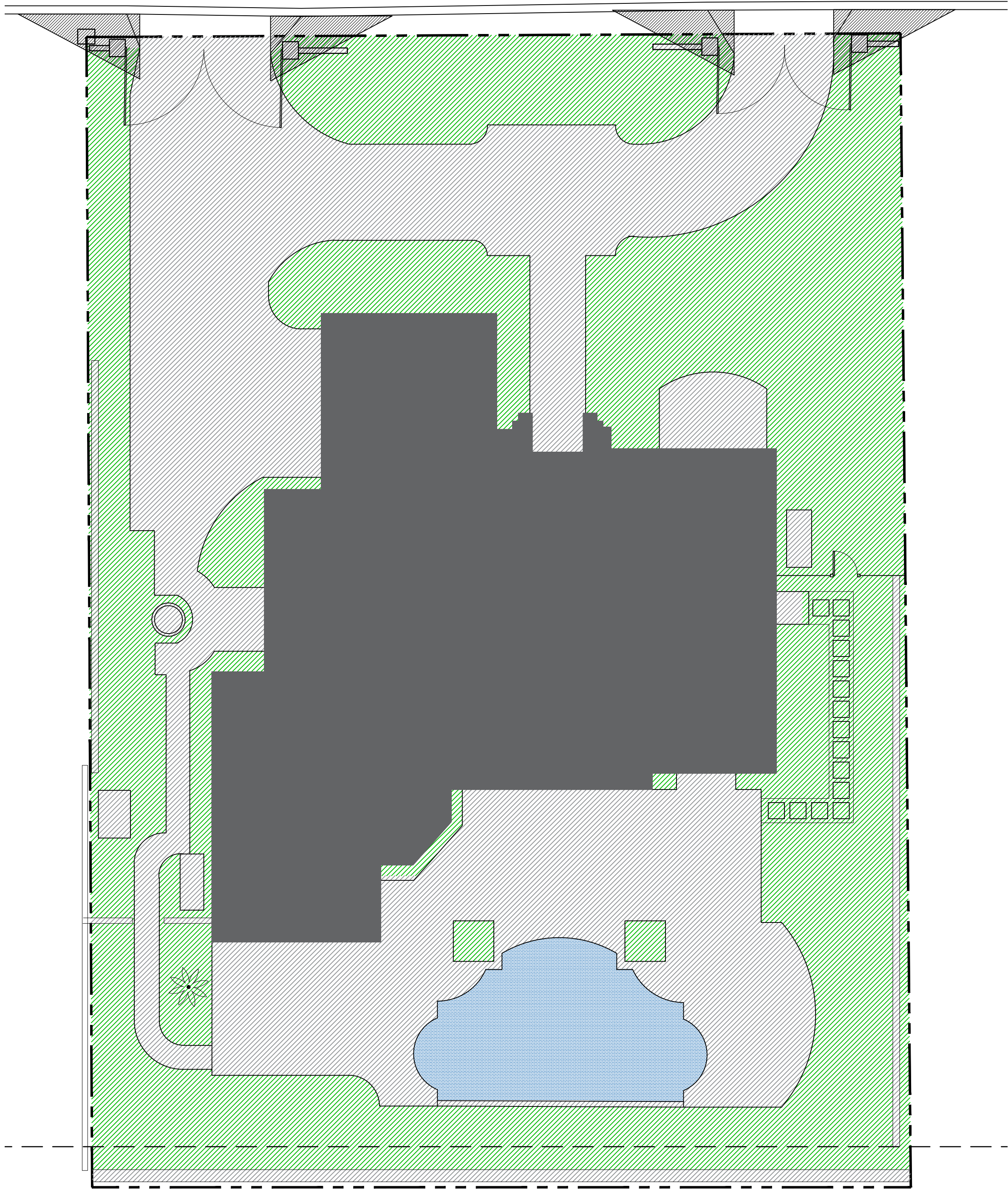
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE		R-A - ESTATE RESIDENTIAL	R-A - ESTATE RESIDENTIAL
LOT AREA	20,000 S.F. MINIMUM	14,308 S.F.	14,308 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 50% 7,154 S.F.	38.35% 5,487 S.F.	40.62% 5,809.21 S.F.
FRONT YARD LANDSCAPE	MINIMUM 45% OF FRONT YARD 1,575 S.F.	51.17% 1,791 S.F.	48.11% 1,684 S.F.

ENVIRONMENT  
DESIGN  
GROUP

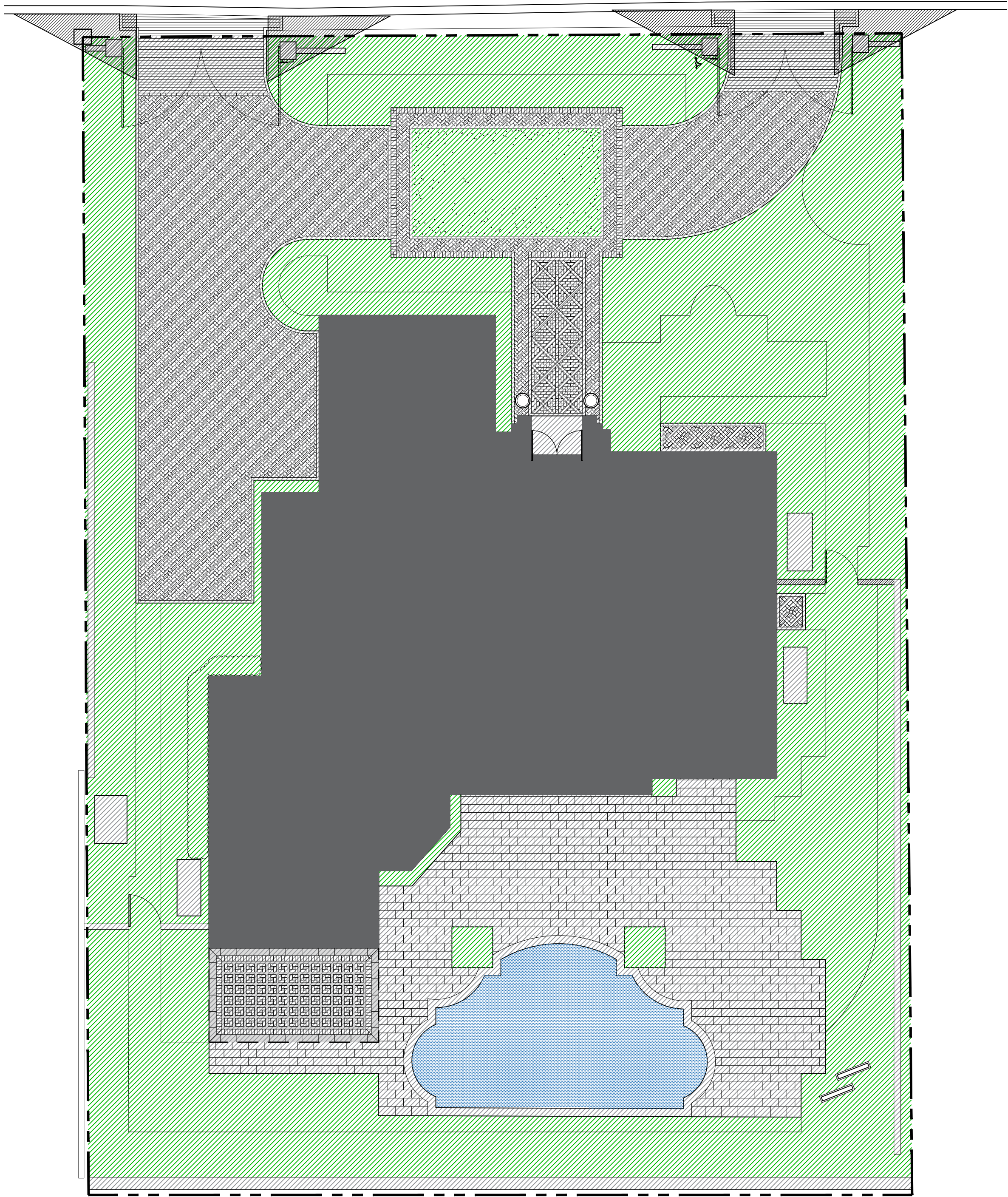
139 North County Road 5920-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784  
Dustin@environmentdesigngroup.com

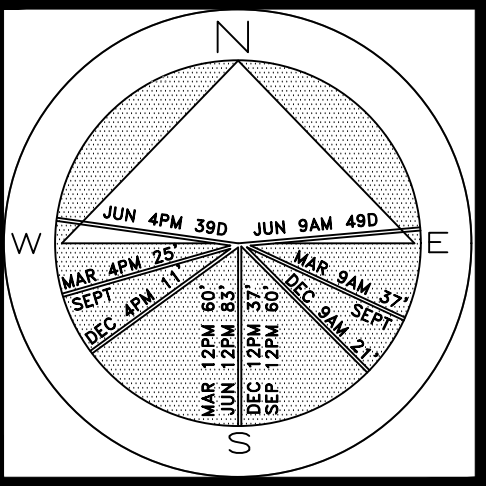


Existing Conditions Plan



Currently Proposed Plan

Private Residence  
160 Kings Road  
Town of Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 03.27.2023  
05.01.2023  
06.26.2023

SHEET L7.1

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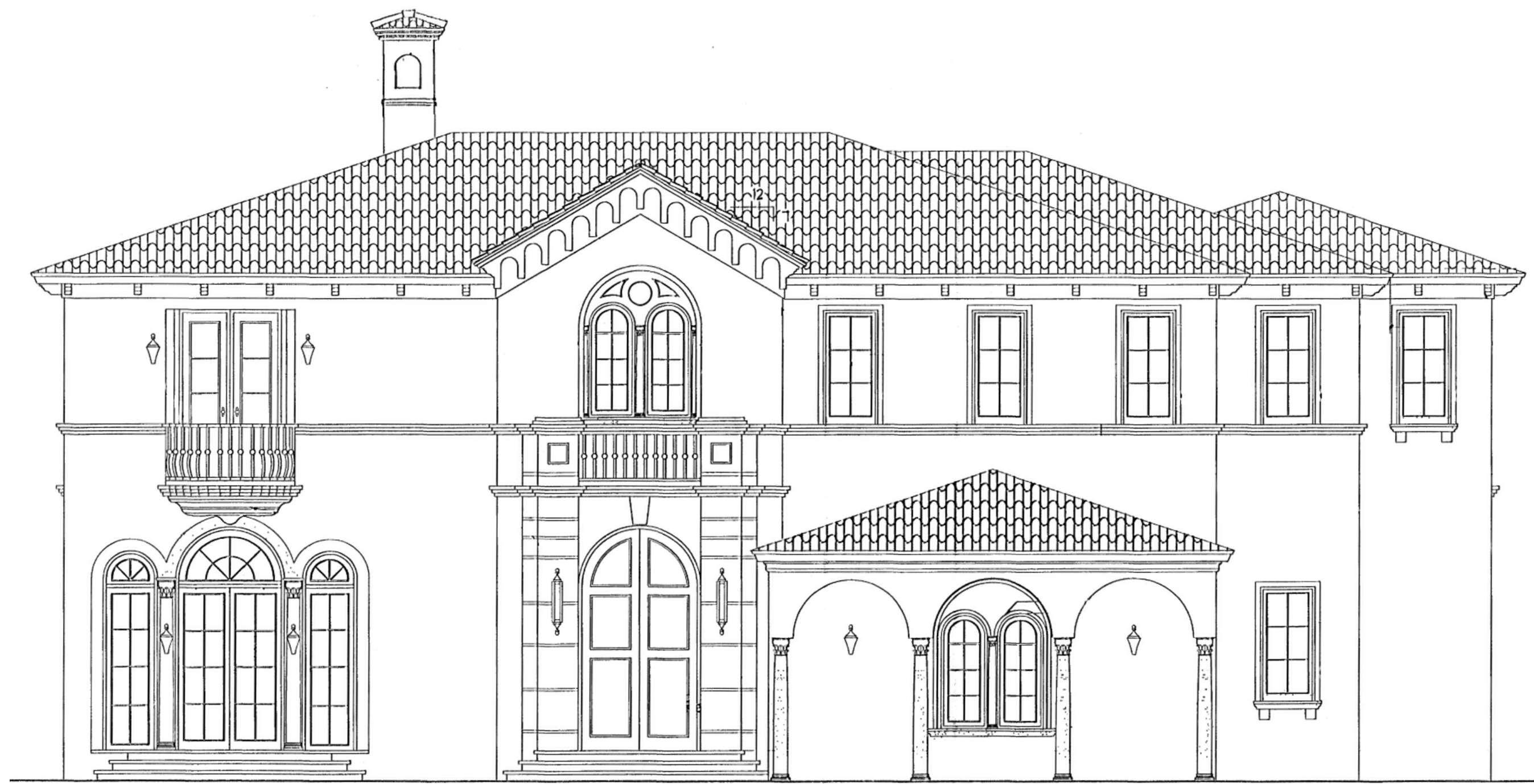
ARC-23-078

Site Calculation / Open Space Graphics

SCALE IN FEET 0' 8' 16' 24'

64 sq. ft.  
AREA IN SQ.FT.

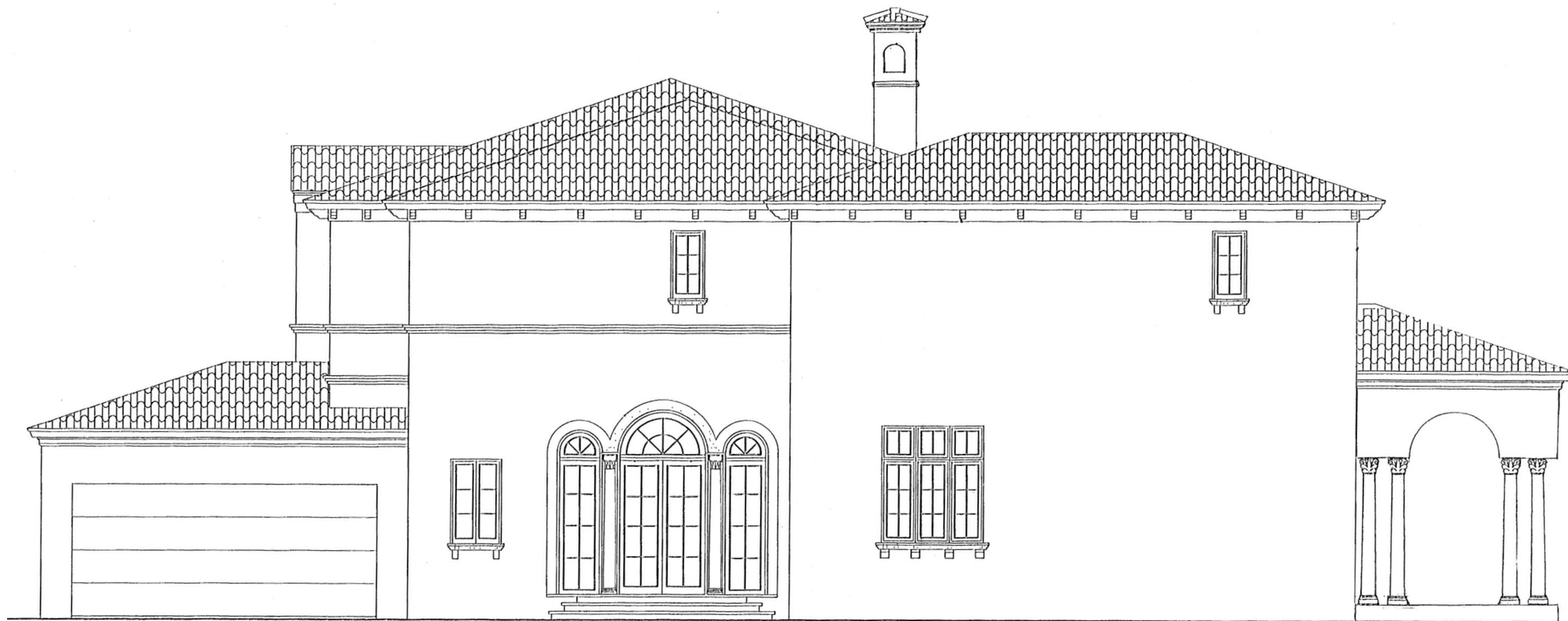




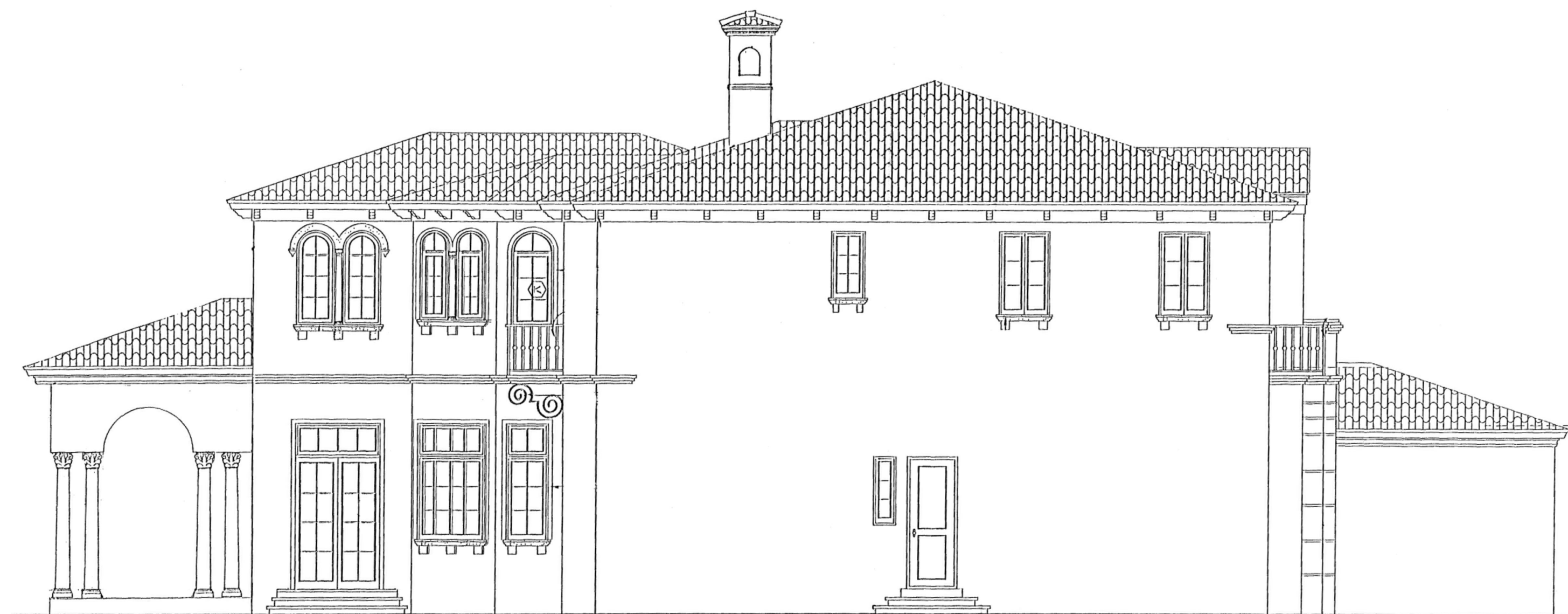
North / Front Elevation



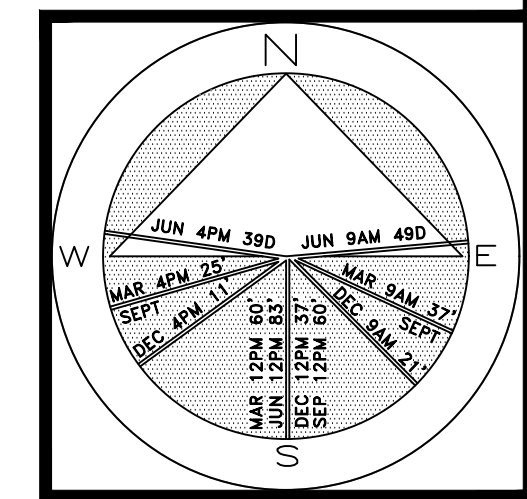
South / Back Elevation



West Elevation



East Elevation



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DRAWN BY: Adam Mills  
DATE: 06.22.2023

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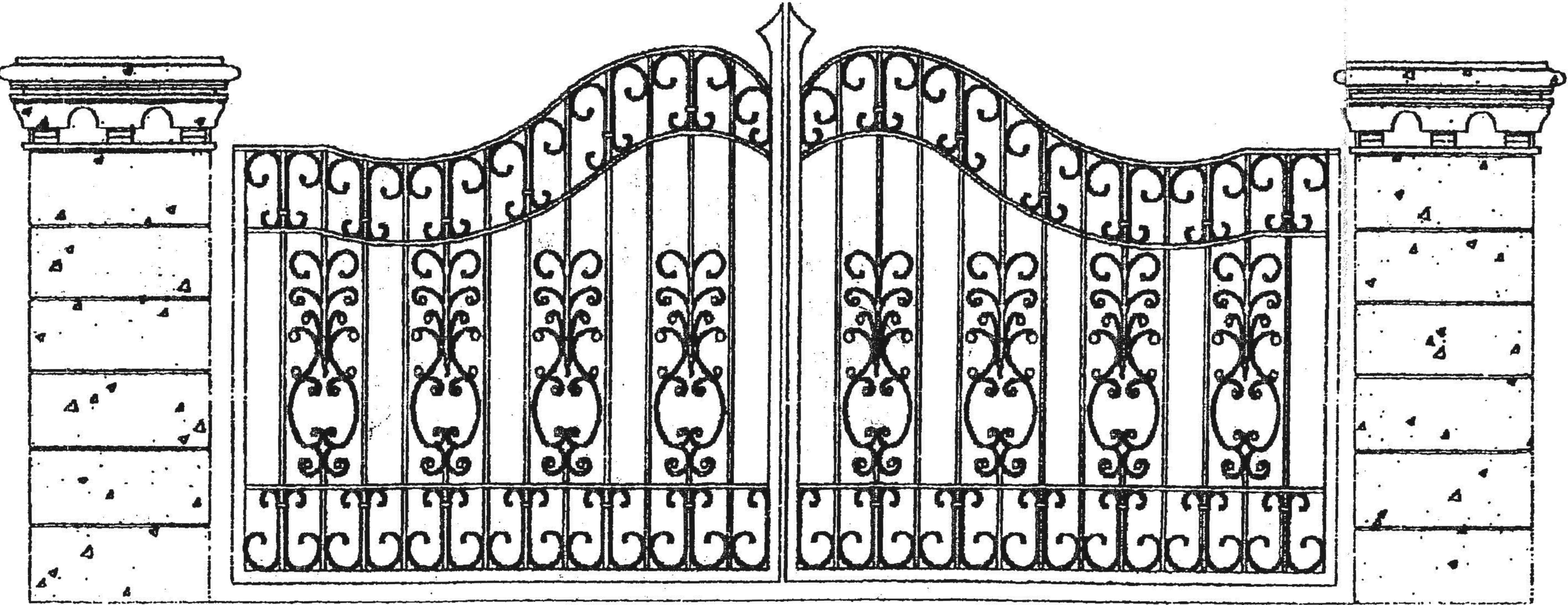
ARC-23-078  
**Existing Elevations**  
SCALE IN FEET: 3/16"=1'

SHEET L7.2

64 sf.

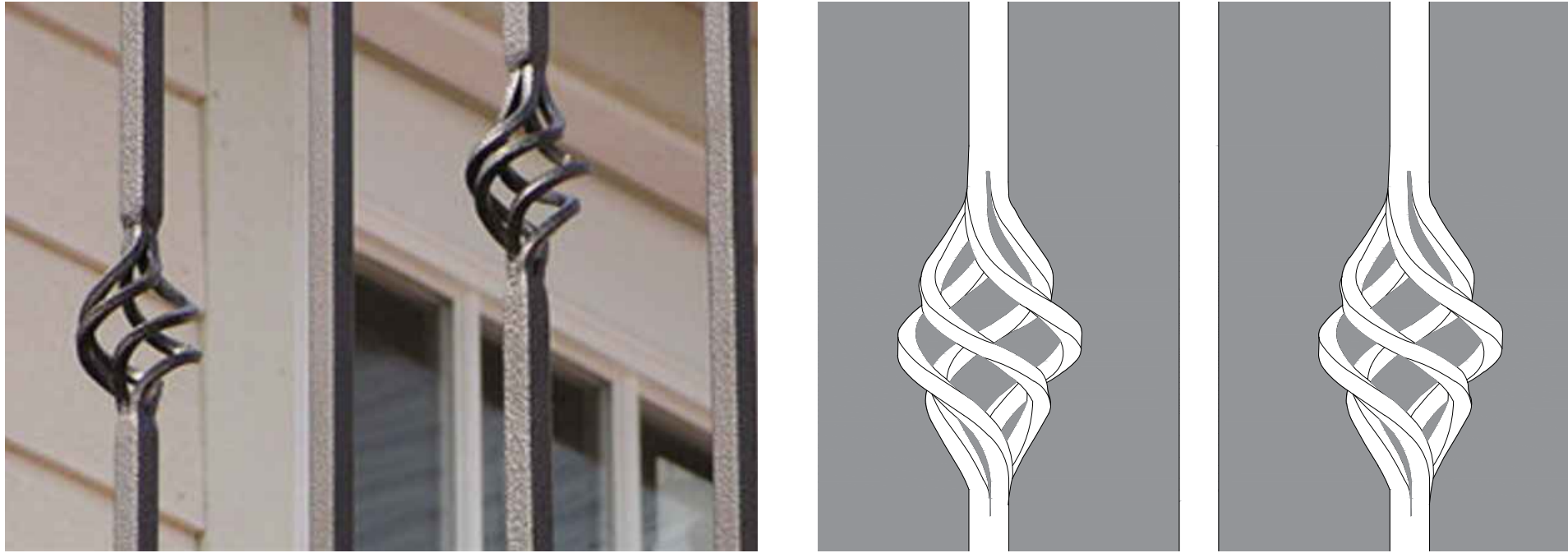
AREA IN SQ.FT.





Existing Vehicle Entry Gate

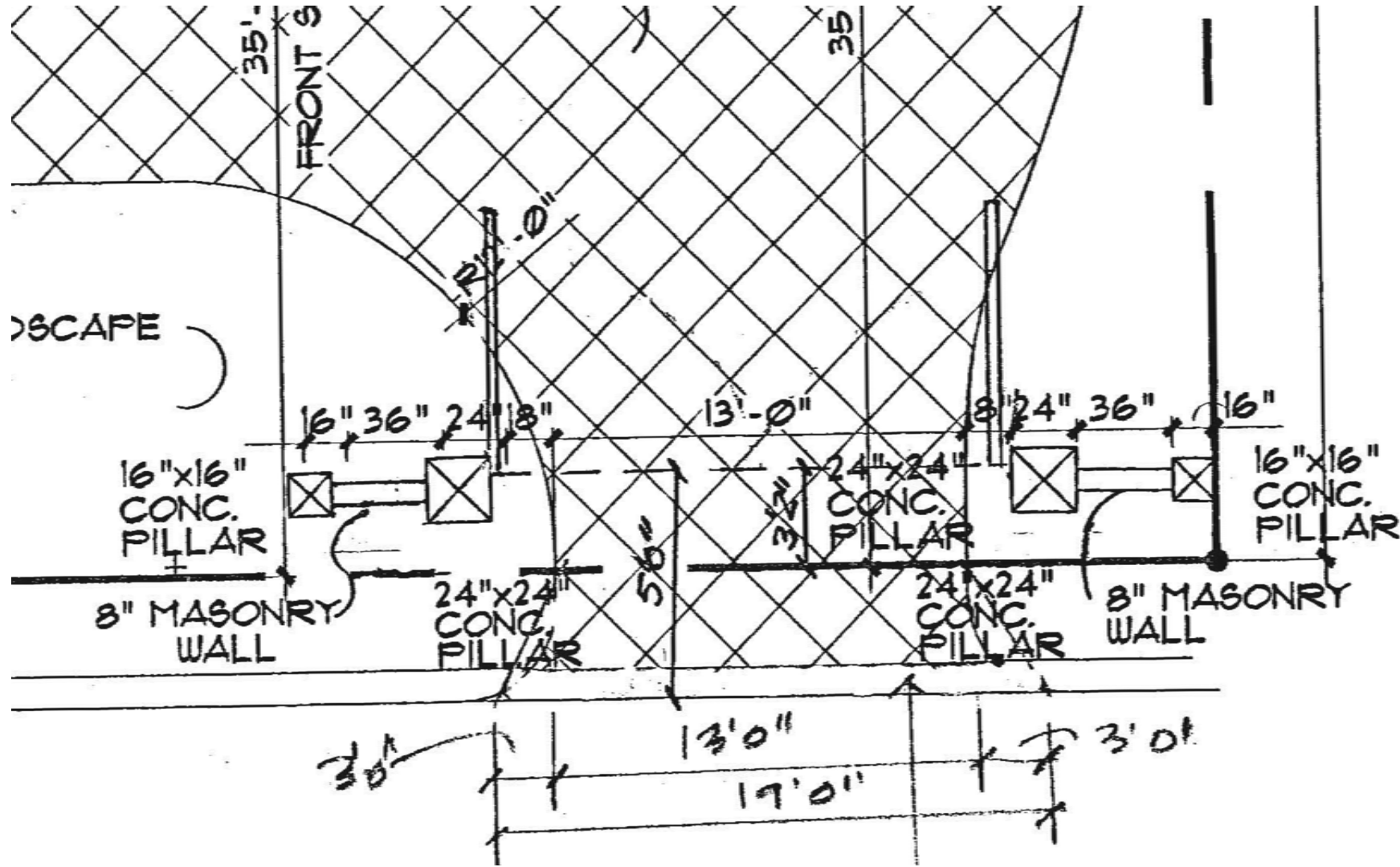
NOTE:  
ARCOM Staff approved on 03/29/05  
Permit # 8075575



Gate Details

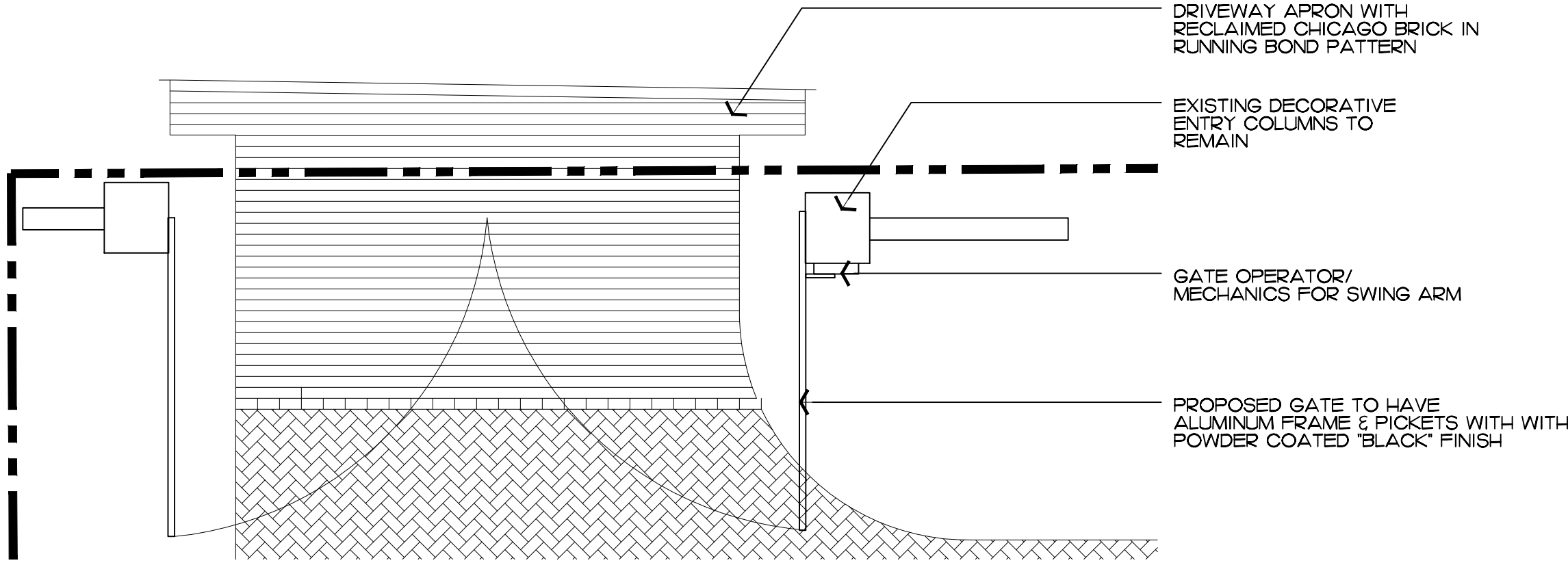


Existing Conditions

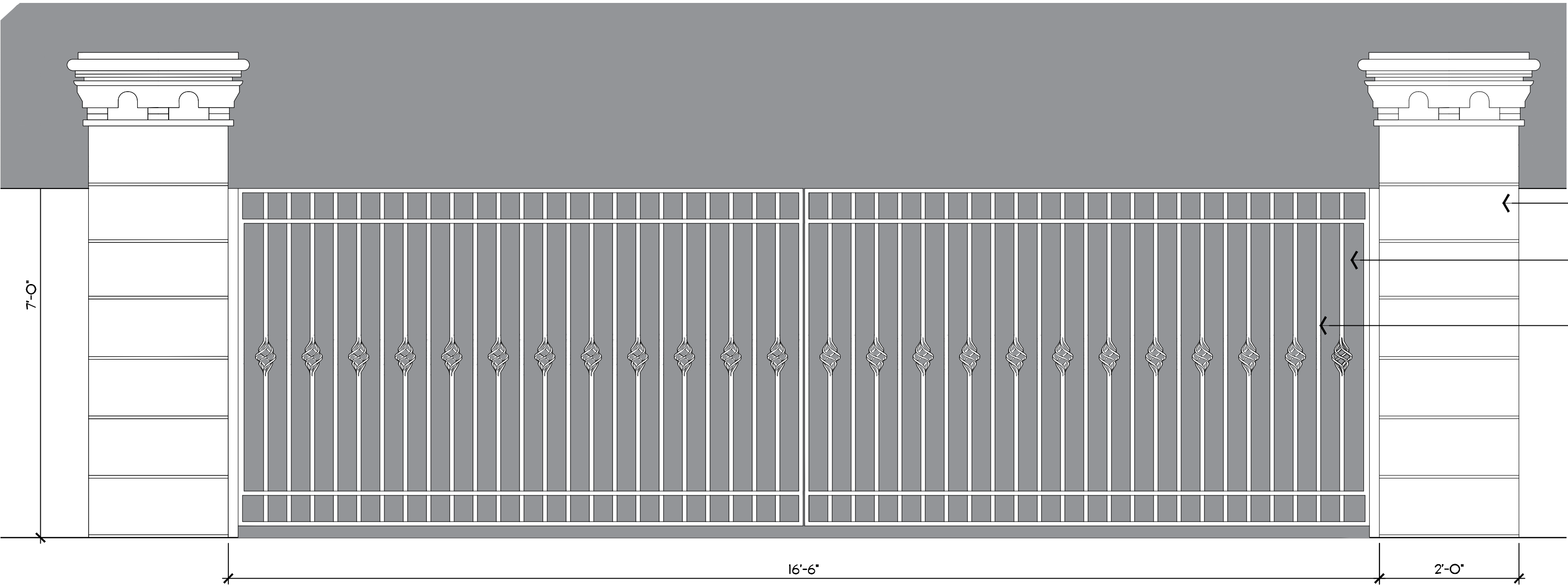


Existing Gate Layout

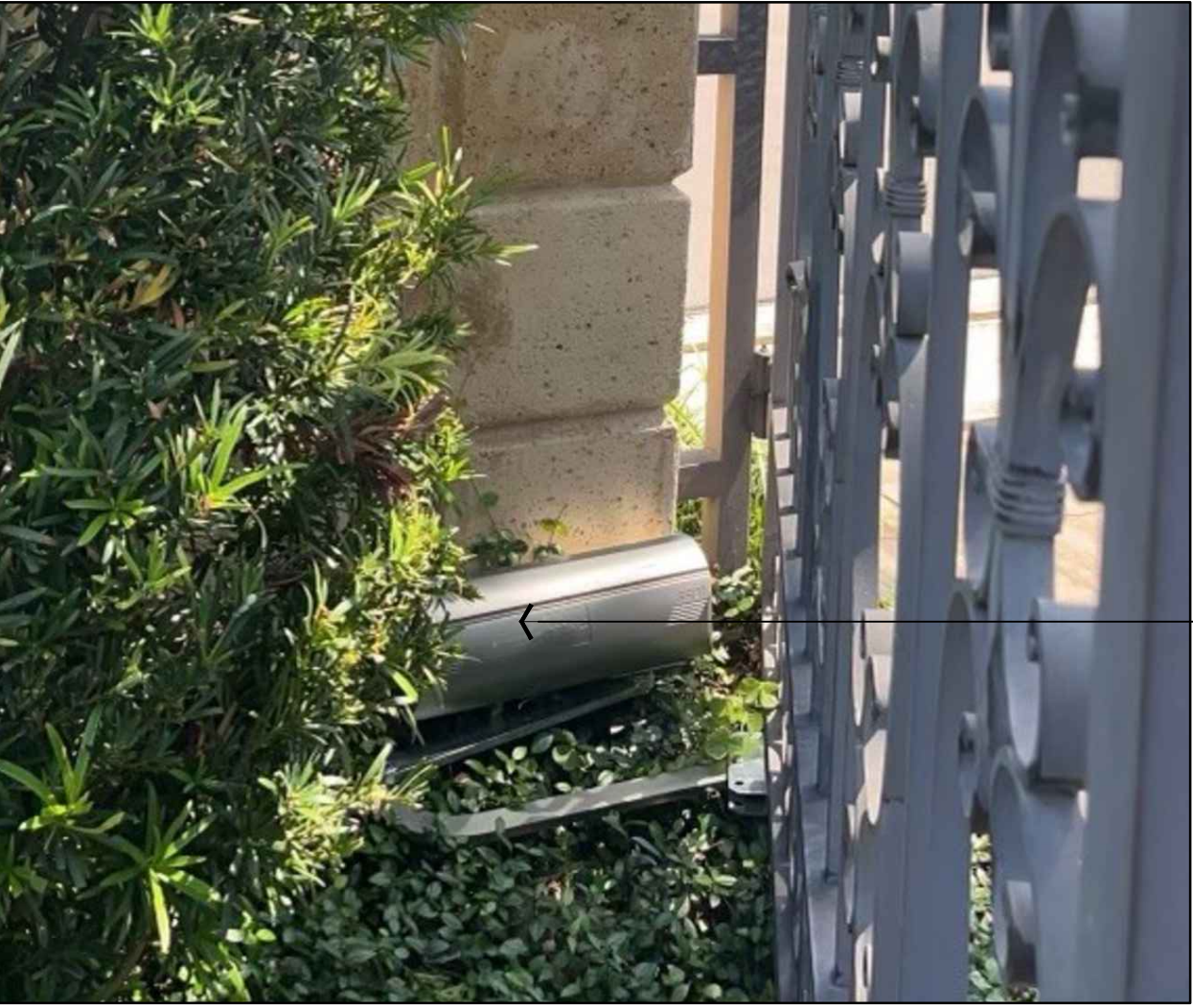
NOTE:  
ARCOM Staff approved on 03/29/05  
Permit # 8075575



Proposed Vehicle Entry Gate Plan



Proposed Vehicle Entry Gate Elevation



Gate Operator

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
160 Kings Road  
Palm Beach

ARC-23-078

ARC-23-078

Entry Gate Design

JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 04.12.2023  
06.22.2023

Adam Twomey

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ARC-23-078  
Entry Gate Design

SHEET L7.3





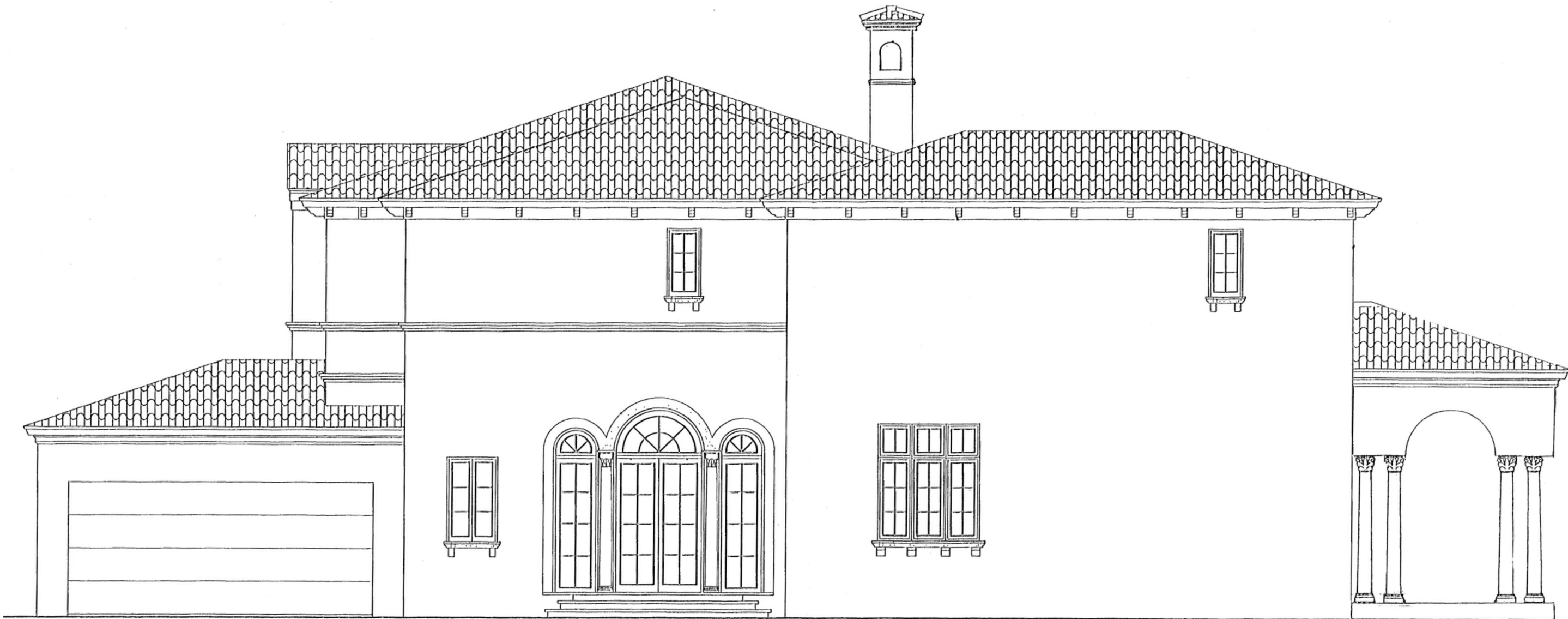
North / Front Elevation & Proposed Entry Gates

NOTE:  
SEE SHEET L9.0 FOR RENDERED LANDSCAPE



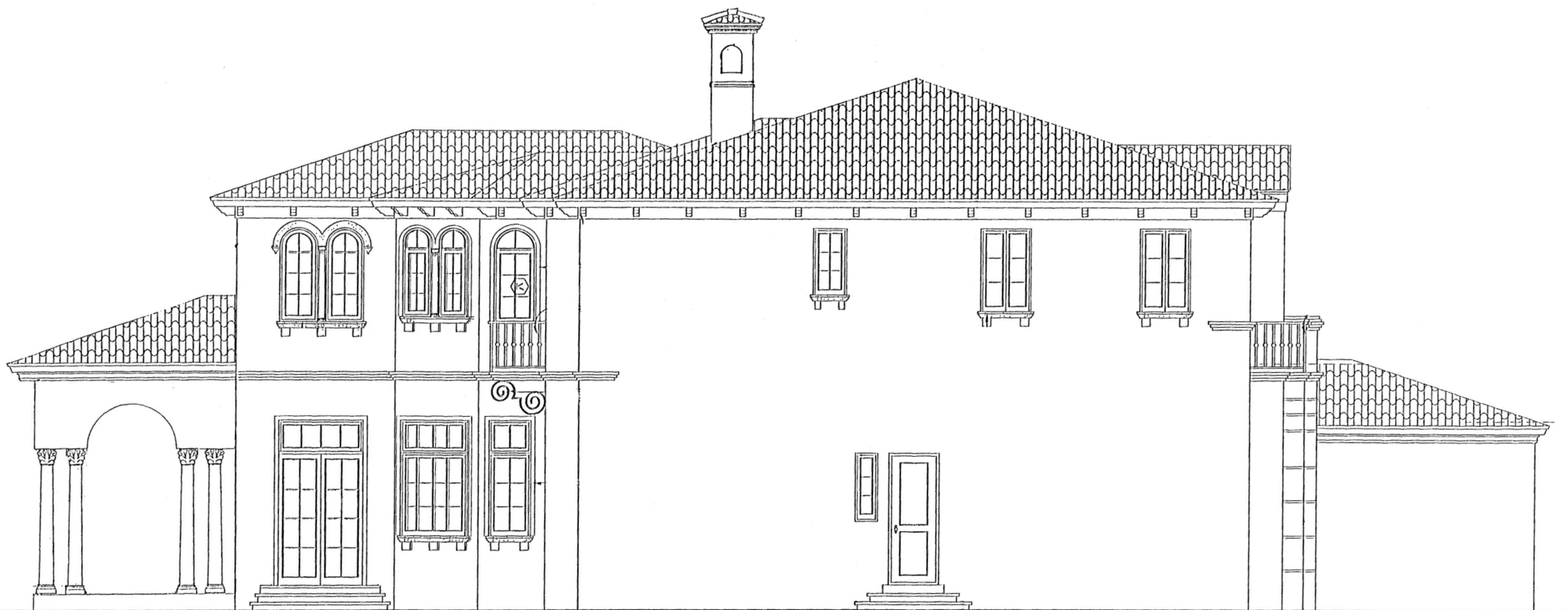
South / Back Elevation

NOTE:  
SEE SHEET L9.1 FOR RENDERED LANDSCAPE



West Elevation

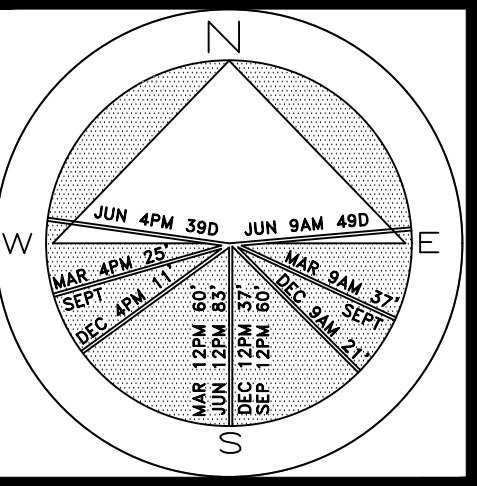
NOTE:  
EXISTING VEGETATION TO REMAIN  
SEE SHEET LI.2



East Elevation

NOTE:  
EXISTING VEGETATION TO REMAIN  
SEE SHEET LI.2

Private Residence  
160 Kings Road  
Town of Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 06.22.2023

SHEET L7.3a





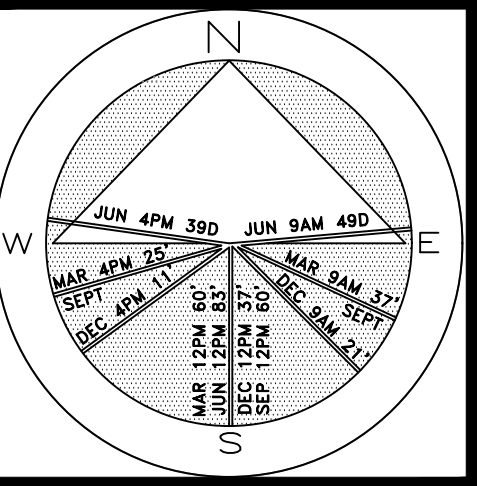
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Town of Palm Beach



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DRAWN BY: Adam Mills  
DATE: 06.22.2023

SHEET L7.3b

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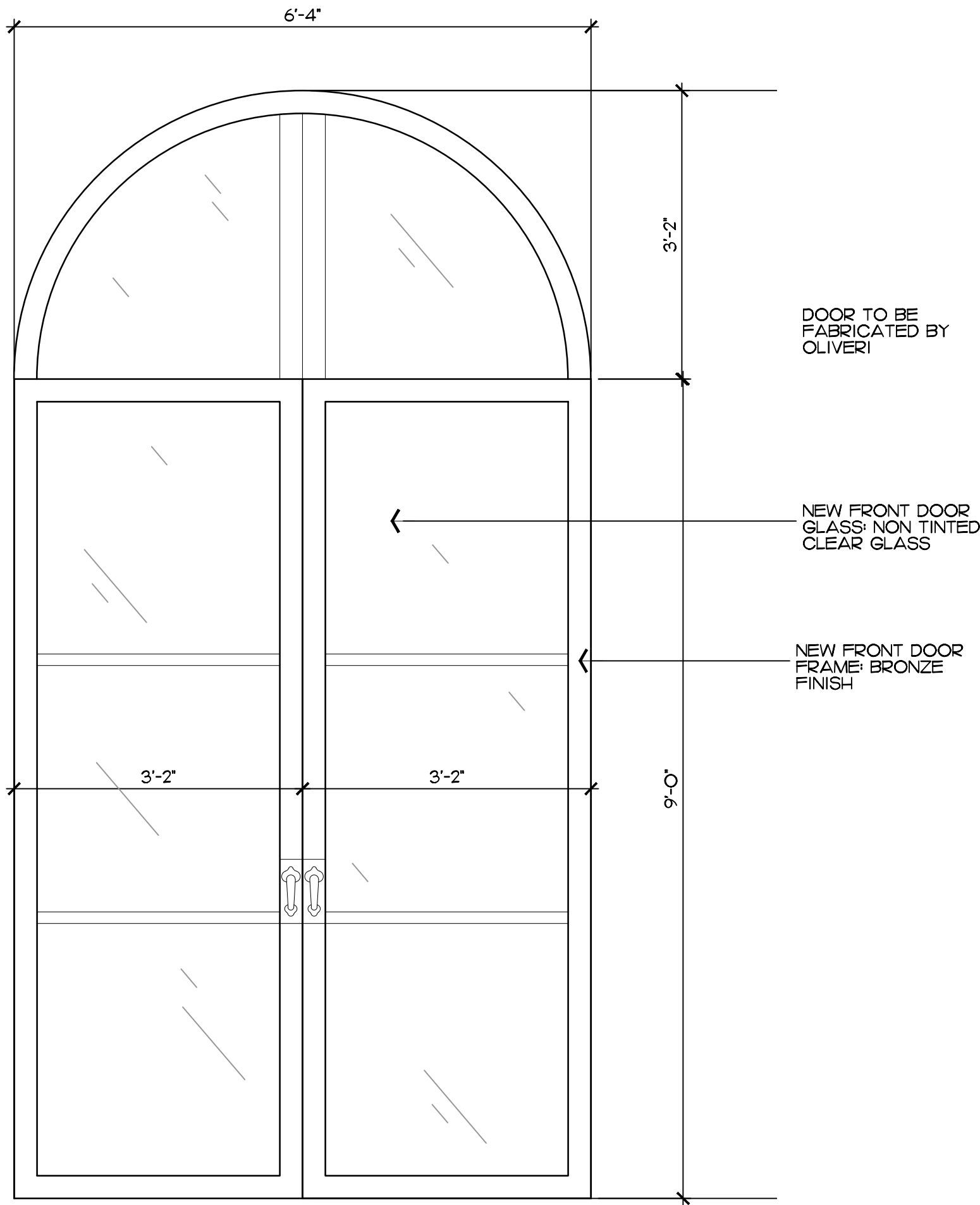
ARC-23-078  
Existing Gate

64 sf.  
AREA IN SQ.FT.

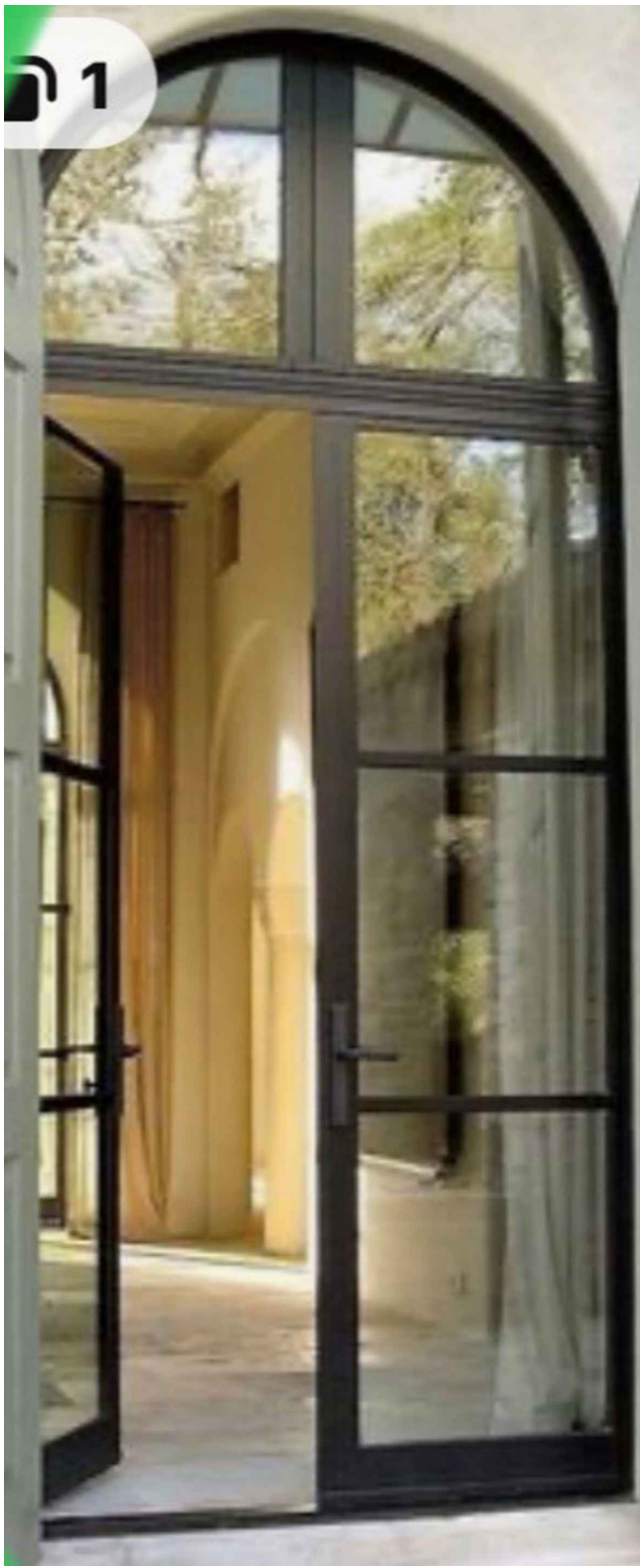




Existing Front Door  
TO BE REPLACED - NEW STYLE, COLOR, AND MATERIAL



Proposed Front Door  
SCALE: 3/4" = 1'-0"



Front Door Inspiration



Existing Front Garage Windows  
TO BE FILLED IN AND REPLACED WITH VINES TO MATCH EXISTING ADJACENT ARCHWAYS



Proposed Front Door & Garage Window Infill

# Proposed Architecture Modifications

SCALE: 3/14" = 1'-0"

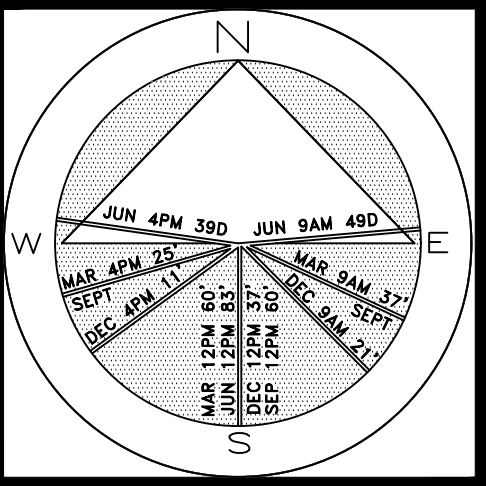
ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
160 Kings Road  
Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 04.12.2023

SHEET L7.4

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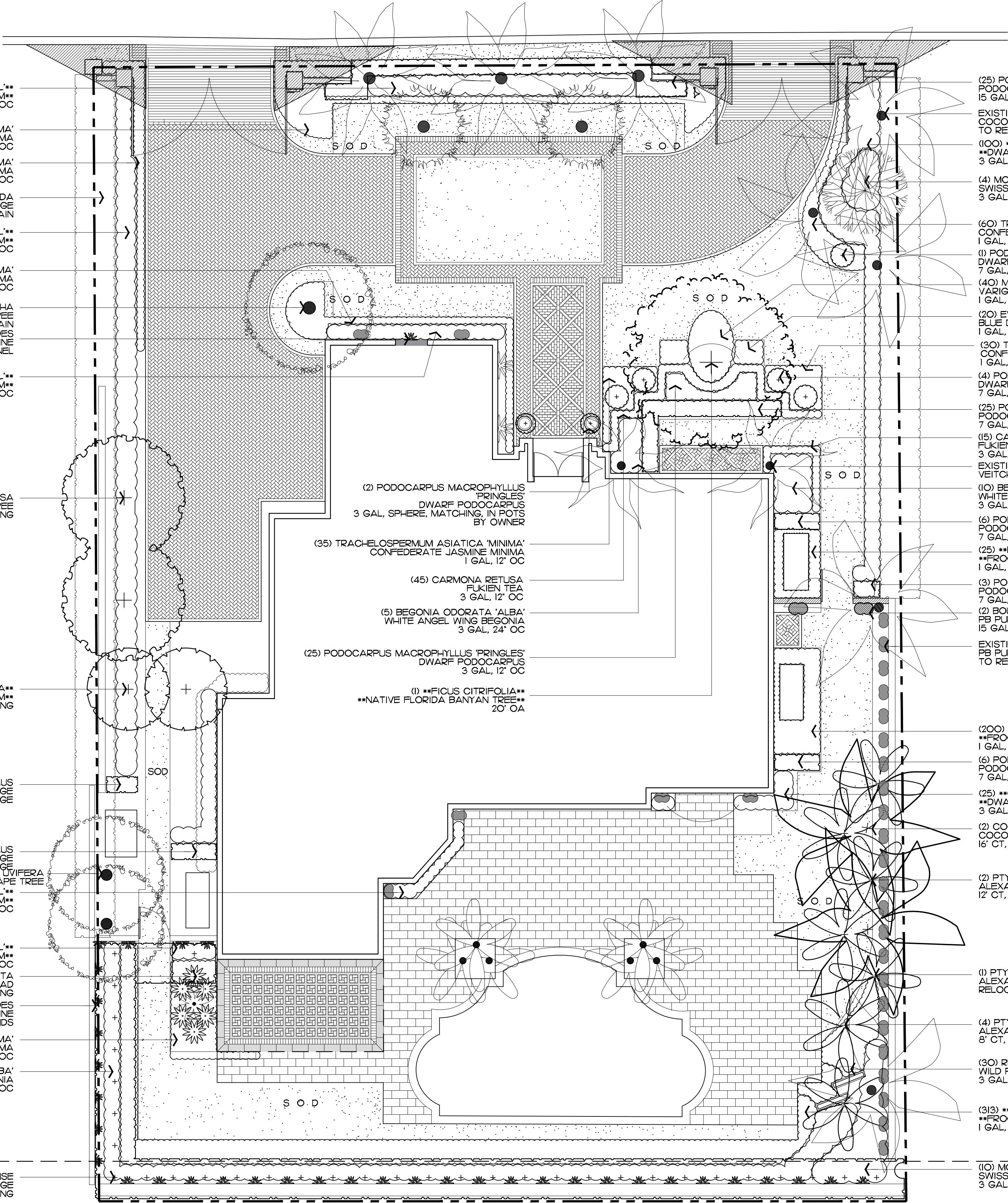
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KINGS ROAD

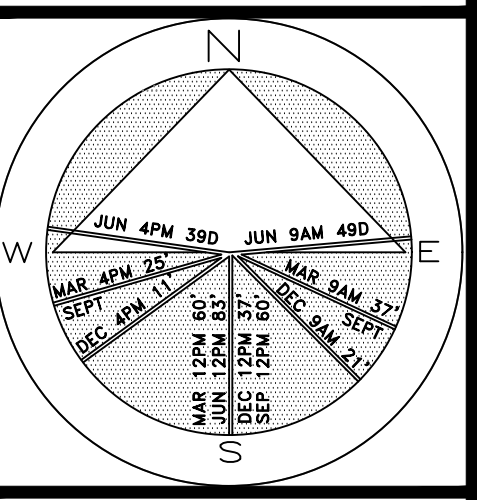
\*\* NOTES NATIVE VEGETATION \*\*

- (60) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (135) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- (45) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- EXISTING FICUS NITIDA  
FICUS HEDGE  
TO REMAIN
- (130) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (65) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- EXISTING TABEBUIA CHRYSOTRICHA  
YELLOW TRUMPET TREE  
TO REMAIN
- (1) TRACHELOSPERMUM JASMINOIDES  
CONFEDERATE JASMINE VINE  
15 GAL, TRELLIS, FULL PANEL
- (25) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (2) FICUS RUBIGINOSA  
RUSTY FIG TREE  
16" OA, MATCHING
- (2) \*\*COCOLOBIA DIVERSIFOLIA\*\*  
\*\*PIGEON PLUM\*\*  
12" OA, MATCHING
- (3) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (4) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (15) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (6) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (7) ALACANTREA ODORATA  
SILVER BROMELIAD  
3 GAL, MATCHING
- (35) TRACHELOSPERMUM JASMINOIDES  
CONFEDERATE JASMINE VINE  
15 GAL, TRELLIS, TO FORM DIAMONDS
- (75) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- (70) BEGONIA ODORATA 'ALBA'  
WHITE ANGEL WING BEGONIA  
3 GAL, 24" OC
- (33) CALOPHYLLUM BRASILIENSE  
CALOPHYLLUM HEDGE  
14" OA, 4' CT, 45" OC, MATCHING



- (25) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
15 GAL, 24" OC, TO FORM 8' TALL HEDGE
- EXISTING COCOS NUCIFERA  
COCONUT PALM  
TO REMAIN, TYP
- (100) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (4) MONSTERA DELICIOSA  
SWISS CHEESE PLANT  
3 GAL, 36" OC
- (60) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- (1) PODOCARPUS MACROPHYLLUS 'PRINGLES'  
DWARF PODOCARPUS  
7 GAL, SPHERE, MATCHING
- (40) MESEMBRYANTHEMUM CORDIFOLIUM  
VARIGATED BABY SUN ROSE  
1 GAL, 12" OC
- (20) EVOLVULUS GLOMERATUS  
BLUE DAZE  
1 GAL, 12" OC
- (30) TRACHELOSPERMUM ASIATICA 'MINIMA'  
CONFEDERATE JASMINE MINIMA  
1 GAL, 12" OC
- (4) PODOCARPUS MACROPHYLLUS 'PRINGLES'  
DWARF PODOCARPUS  
7 GAL, SPHERE, MATCHING
- (25) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (15) CARMONA RETUSA  
FLUKIEN TEA  
3 GAL, 12" OC
- EXISTING VEITCHIA SPECIES  
VEITCHIA PALM
- (10) BEGONIA ODORATA 'ALBA'  
WHITE ANGEL WING BEGONIA  
3 GAL, 24" OC
- (6) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (25) \*\*PHYLIA NODIFLORA\*\*  
\*\*FROG FRUIT\*\*  
1 GAL, 12" OC
- (3) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (2) BOUGAINVILLEA 'PB PURPLE'  
PB PURPLE BOUGAINVILLEA  
15 GAL, TRELLIS
- EXISTING BOUGAINVILLEA 'PB PURPLE'  
PB PURPLE BOUGAINVILLEA  
TO REMAIN
- (200) \*\*PHYLIA NODIFLORA\*\*  
\*\*FROG FRUIT\*\*  
1 GAL, 12" OC
- (6) PODOCARPUS MACROPHYLLUS  
PODOCARPUS HEDGE  
7 GAL, 15" OC, TO FORM 5' TALL HEDGE
- (25) \*\*CHRYSOBALANUS ICACO 'HORIZONTAL'\*\*  
\*\*DWARF GREEN COCOPLUM\*\*  
3 GAL, 15" OC
- (2) COCOS NUCIFERA  
COCONUT PALM  
16" CT, MATCHING, CURVES
- (2) PTYCHOSTERMA ELEGANS  
ALEXANDER PALM  
12" CT, SINGLE, MATCHING
- (1) PTYCHOSTERMA ELEGANS  
ALEXANDER PALM  
RELOCATED FROM ON SITE
- (4) PTYCHOSTERMA ELEGANS  
ALEXANDER PALM  
8" CT, SINGLE, MATCHING
- (30) RUELLIA  
WILD PETUNIAS  
3 GAL, 18" OC
- (313) \*\*PHYLIA NODIFLORA\*\*  
\*\*FROG FRUIT\*\*  
1 GAL, 12" OC
- (10) MONSTERA DELICIOSA  
SWISS CHEESE PLANT  
3 GAL, 36" OC

Private Residence  
160 Kings Road  
Palm Beach



JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 04.12.2023  
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ARC-23-078

Landscape Plan

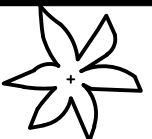
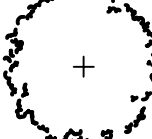
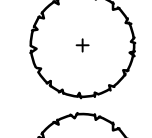
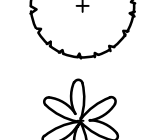

SCALE IN FEET 0' 8' 16' 24'

64 sf.

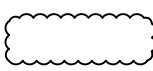
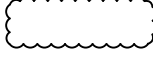
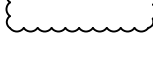
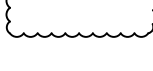
AREA IN SQ.FT.



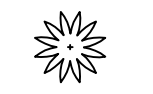
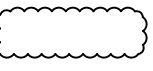

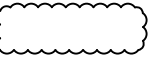



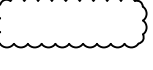
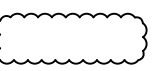
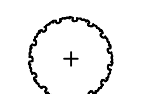
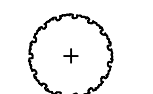
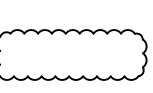
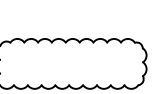

Trees

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	COCOS NUCIFERA COCONUT PALM	2	16' CT., MATCHING	NO
	FICUS CITRIFOLIA NATIVE BANYAN TREE	1	20' OA.	YES
	FICUS RUBIGINOSA RUSTY FIG TREE	2	16' OA., MATCHING	NO
	COCOLOBA DIVERSIFOLIA PIGEON PLUM	2	12' OA. MATCHING	YES
	PTYCHOSTERMA ELEGANS ALEXANDER PALM	6	(2) 12' CT. (4) 8' CT, MATCHING	NO
TOTAL: NATIVE SPECIES:		5 3 (60%)		

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY (SF)	DESCRIPTION	NATIVE
	EVOLVULUS GLOMERATUS BLUE DAZE GROUNDCOVER	20 (20 SF.)	1 GAL., 12" O.C.	NO
	MESEMBRYANTHEMUM CORDIFOLIUM VARIEGATED BABY SUN ROSE	40 (40 SF.)	1 GAL. 12" O.C.	YES
	PHYLA NODIFLORA FROG FRUIT	538 (538 SF.)	1 GAL., 12" O.C.	YES
	TRACHEOSPERMUM ASIATICUM JASMINE MINIMA	445 (445 SF.)	1 GAL., 12" O.C.	NO
TOTAL: NATIVE SPECIES:		1,043 SF 513 SF (51.58%)		

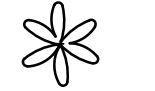
Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ALCANTREA ODORATA SILVER BROMELIAD	7	3 GAL.	NO
	BEGONIA ODORATA 'ALBA' WHITE ANGEL WING BEGONIA	85	3 GAL, 24" OC	NO
	BOUGAINVILLEA SPP. PALM BEACH PURPLE BOUGAINVILLEA	2	15 GAL, TRELLIS	NO
	CALOPHYLLUM BRASILIENSE CALOPHYLLUM HEDGE	33	14' OA, 4' CT, 48" OC, MATCHING	NO
	CARMONA RETUSA FUKIEN TEA	60	3 GAL, 12" OC	NO
	CHRYSOBALANUS ICACO HORIZONTAL DWARF COCOPLUM	361	3 GAL., 15" O.C.	YES
	MONSTERA DELICIOSA SWISS CHEESE PLANT	14	6' HT., MATCH EXISTING FILL-IN AS NEEDED	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	25	15 GAL, 24" OC, TO FORM 8' TALL HEDGE	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	47	7 GAL, 15" OC, TO FORM 5' TALL HEDGE	NO
	PODOCARPUS MACROPHYLLUS 'PRINGLES' DWARF PODOCARPUS	2	3 GAL, SPHERE, MATCHING	NO
	PODOCARPUS MACROPHYLLUS 'PRINGLES' DWARF PODOCARPUS	5	7 GAL, SPHERE, MATCHING	NO
	PODOCARPUS MACROPHYLLUS 'PRINGLES' DWARF PODOCARPUS	25	3 GAL, 12" OC	NO
	RUELLIA WILD PETUNIA	30	3 GAL, 18" OC	NO
	TRACHEOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	35	15 GAL, TRELLIS, TO FORM DIAMONDS	NO
TOTAL: NATIVE SPECIES:		732 361 (49.31%)	15 GAL, TRELLIS, FULL PANEL	

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Relocated

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	PTYCHOSTERMA ELEGANS ALEXANDER PALM	1	RELOCATED FROM ON SITE	NO

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5920-8

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Phone: 561.832.4600

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Landscape Architecture

Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

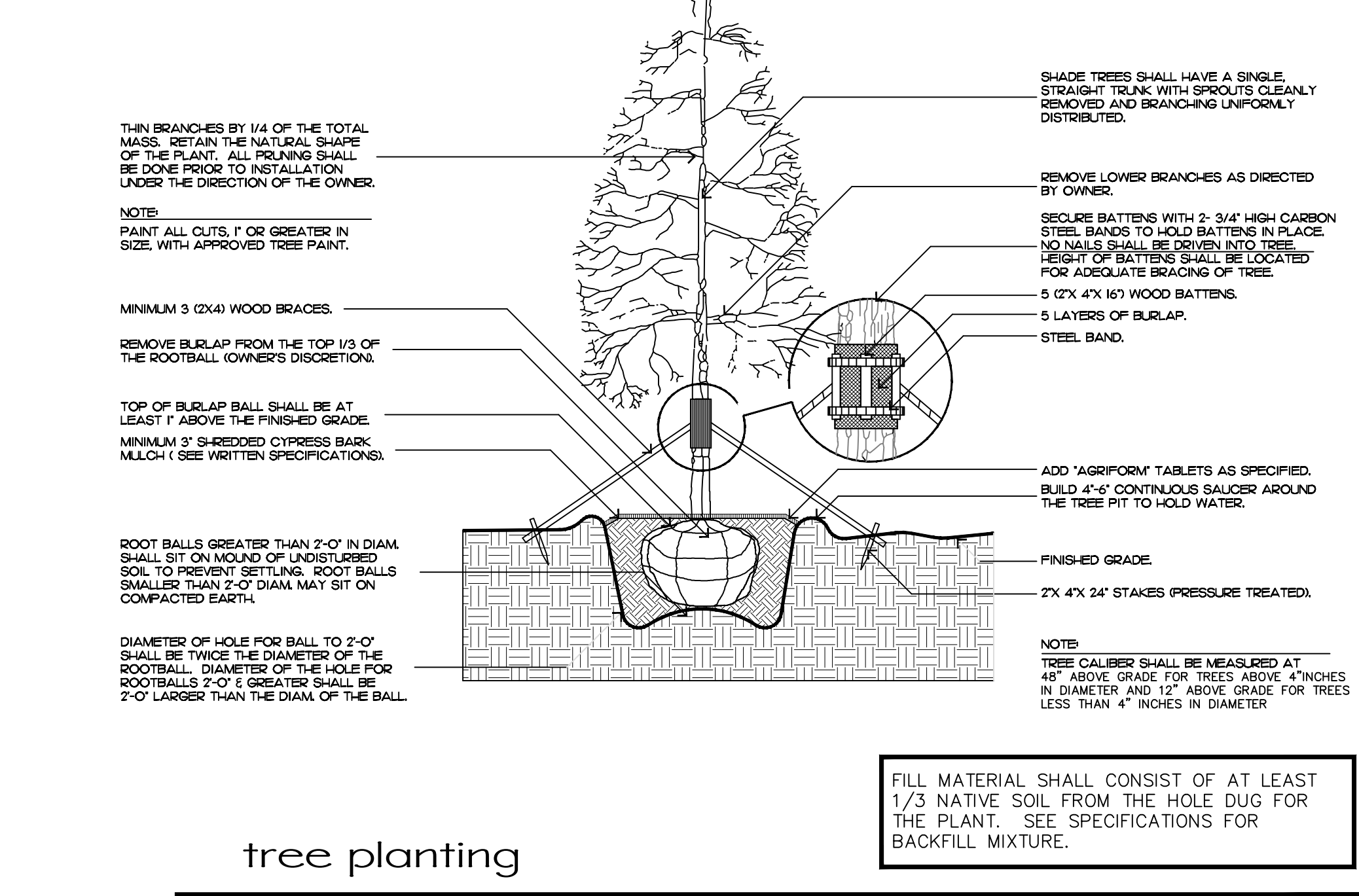
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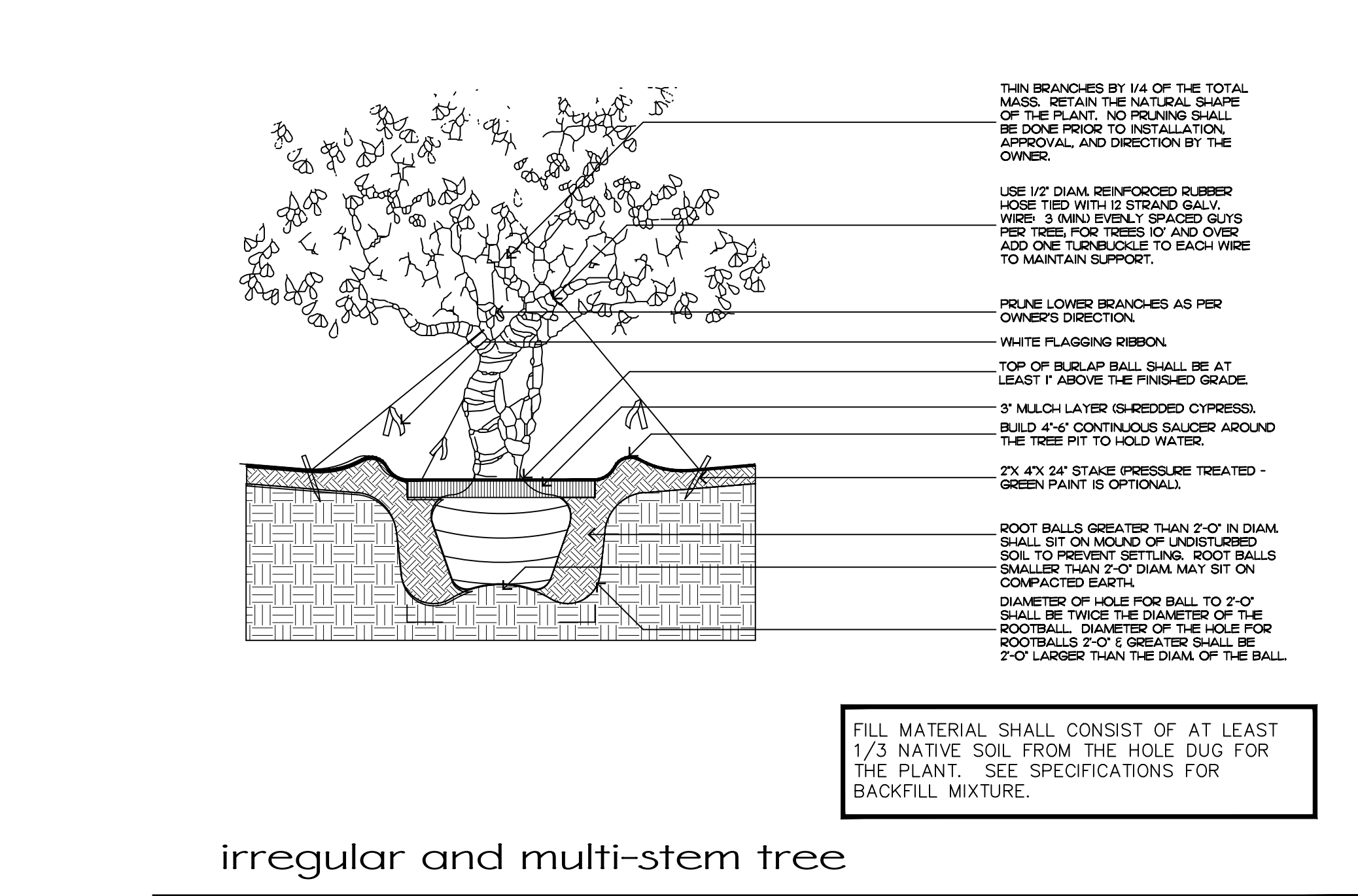
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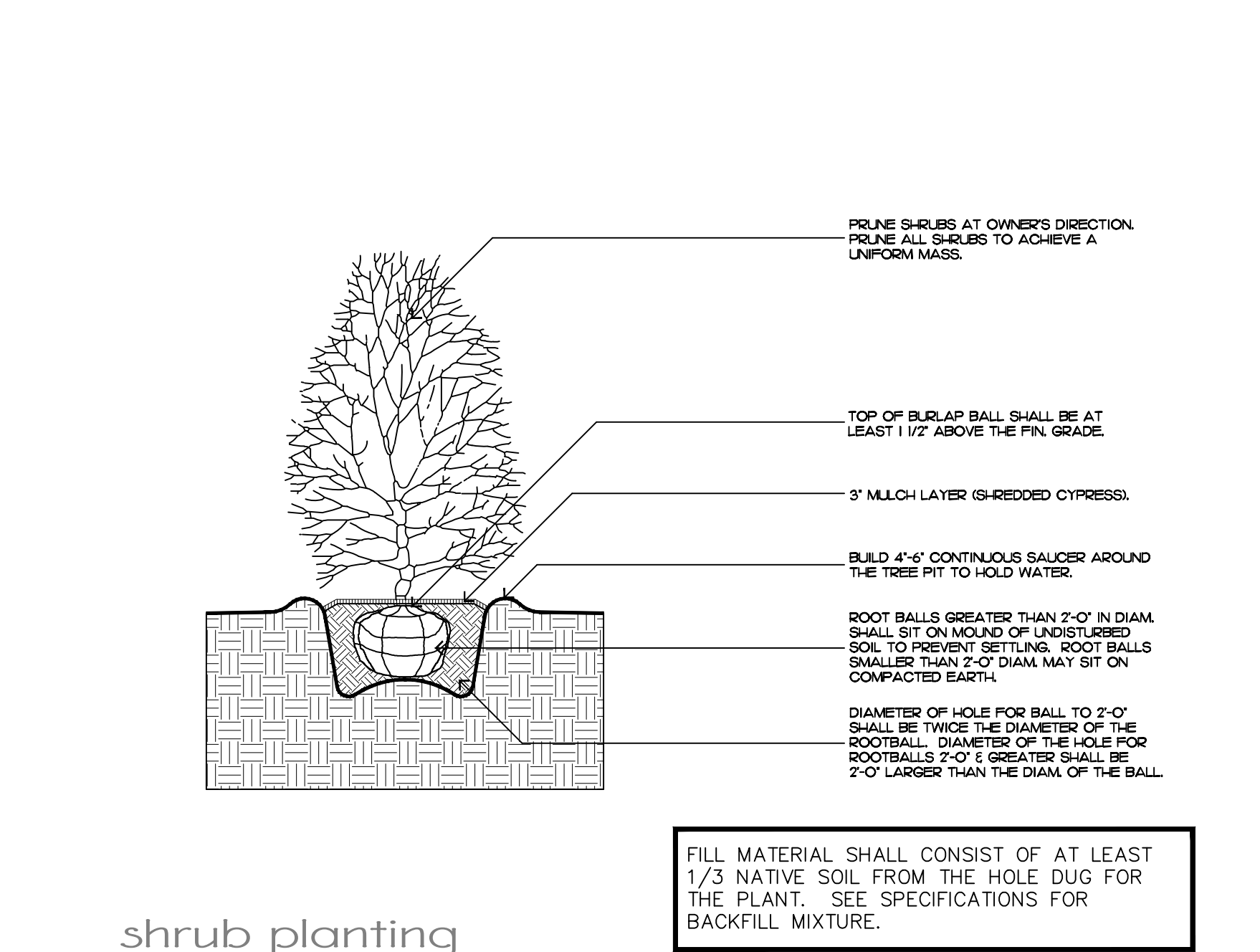




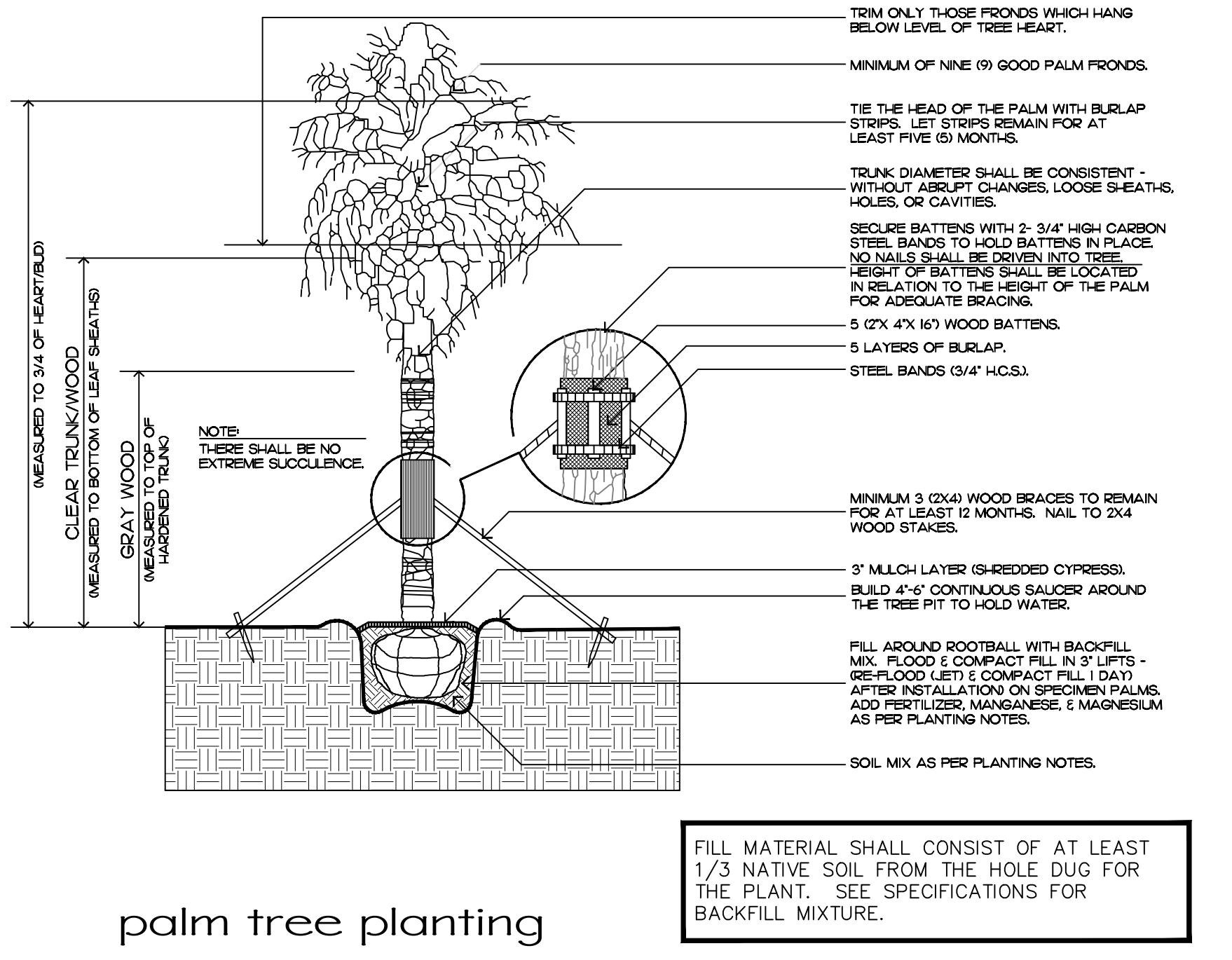
tree planting



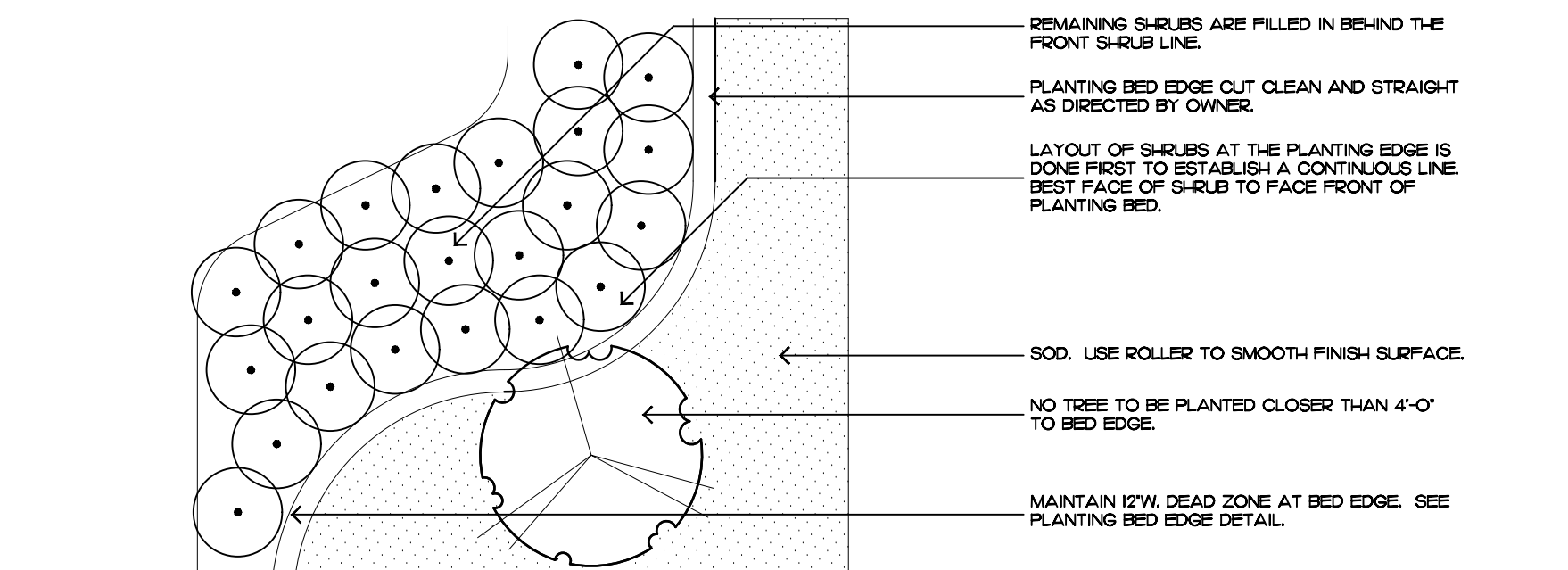
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALF WAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERBERIS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN WEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEM. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ENVIRONMENT  
DESIGN  
GROUP

130 North County Road 5820-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
160 Kings Road  
Palm Beach

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JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 04.12.2023

SHEET L8.2

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48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ARC-23-078  
Planting Details & Specifications



Private Residence  
160 Kings Road  
Palm Beach

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JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 06.23.2023

SHEET L9.0

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OF FLORIDA, INC.

ARC-23-078  
Rendered North (Front) Elevation



Private Residence  
160 Kings Road  
Palm Beach

F L O R I D A

JOB NUMBER: # 22283.00 LA  
DRAWN BY: Adam Mills  
DATE: 06.26.2023

SHEET L9.1

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SUNSHINE STATE ONE CALL  
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ARC-23-078  
Rendered South (Back) Elevation





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Project Information	
Project No.	2023-00
Issue Date	00/00/20
Scale	1/8" = 1'
Drawn By	KM
Checked By	CG

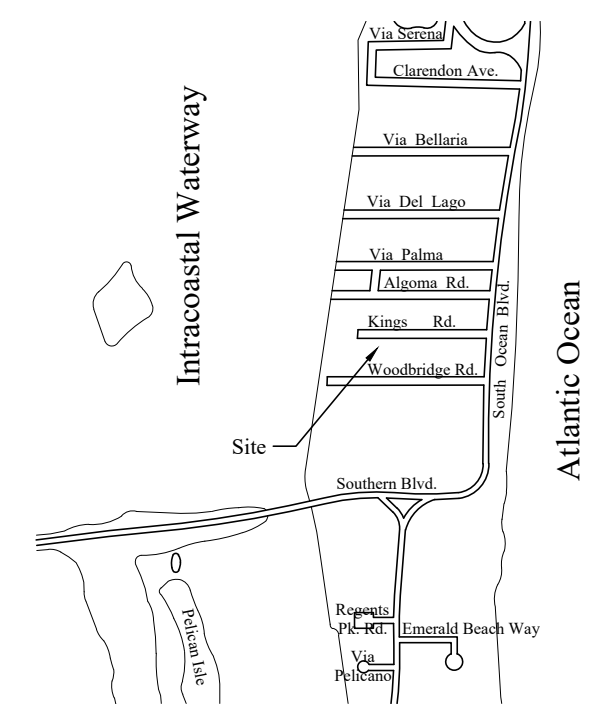
160 Kings Road

Revisions	
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FL P.E. No. 57466

Sheet No.

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Plan Background from Hardscape Plan by  
Environment Design Group Received 5/3/23  
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