

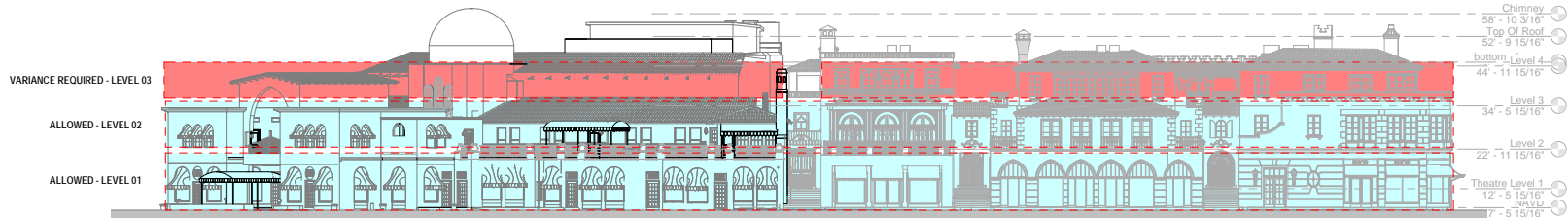


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T. (212) 967-5100

Paramount Theater
139 N COUNTY RD
PALM BEACH, FL 33480



① VARIANCE DIAGRAM - BUILDING STORIES DIAGRAM
1/16" = 1'-0"



② VARIANCE DIAGRAM - BUILDING HEIGHT DIAGRAM
1/16" = 1'-0"

Scale: 1/16" = 1'-0"
Note: When printed on 11 x 17 paper scale is half

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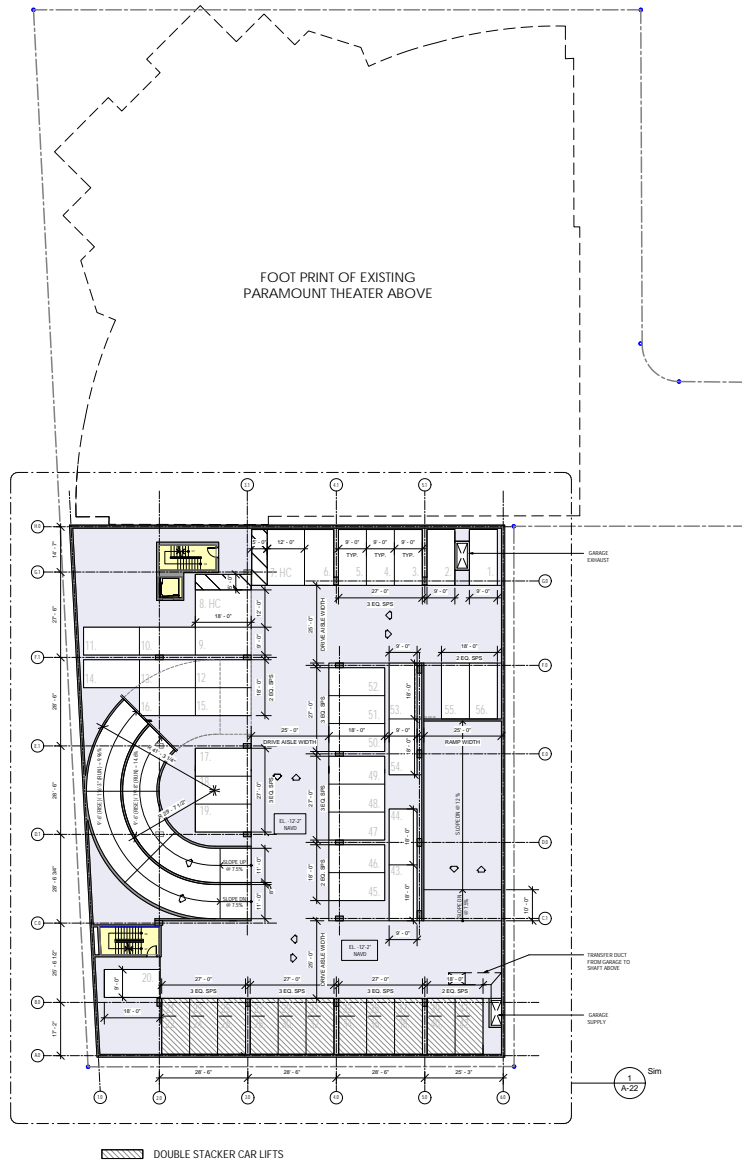
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PARKING CALCULATION

PARKING LEVEL(S)	SINGLE SPACES	TANDEM SPACES	TRIPLE TANDEM SPACES	DOUBLE STACKER CAR LIFT	HANDICAPPED SPACES PROVIDED	TOTAL SPACES PROVIDED
MOTOR COURT	-	-	-	-	02	02
BASEMENT LEVEL 1	38	03	02	11	02	56
BASEMENT LEVEL 2	39	08	03	21	01	72
SUB TOTAL	77	11	05	32	05	130

NOTE: TOWN HOME PRIVATE GARAGE PARKING SPACES AT MOTOR COURT LEVEL AND STREET PARKING ARE NOT INCLUDED IN TOTALS ABOVE



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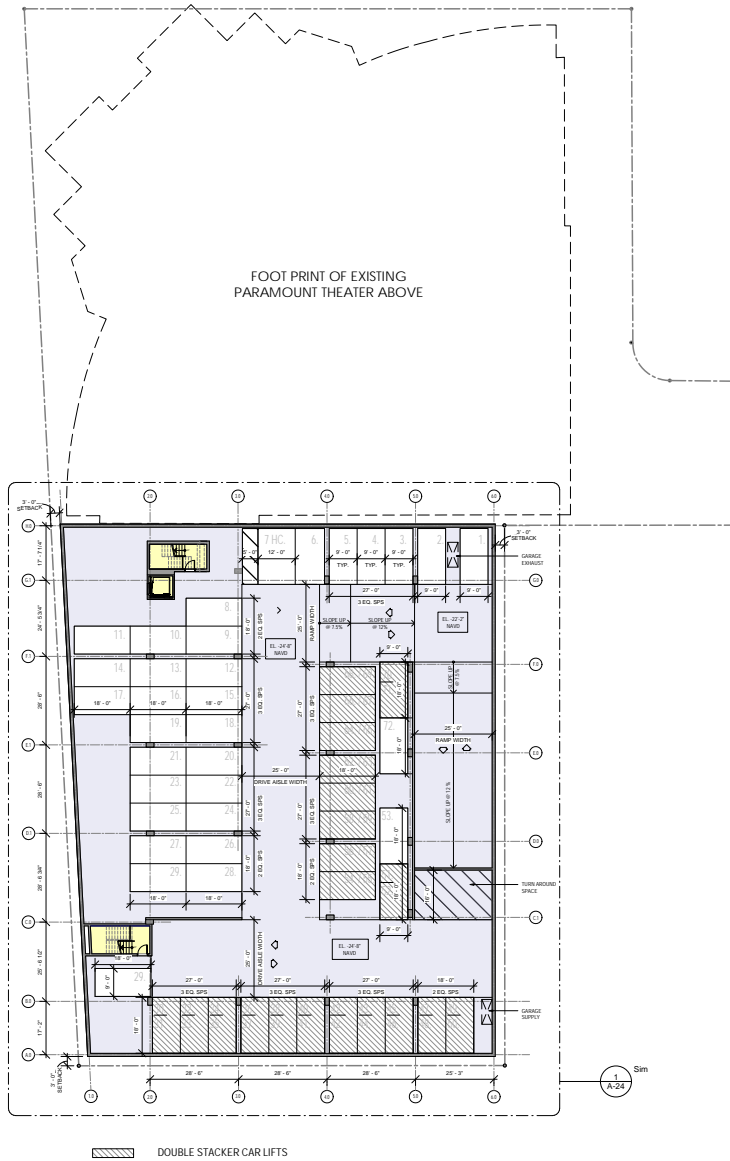
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Scale: 1" = 20'-0"
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Scale: 1" = 20'-0"
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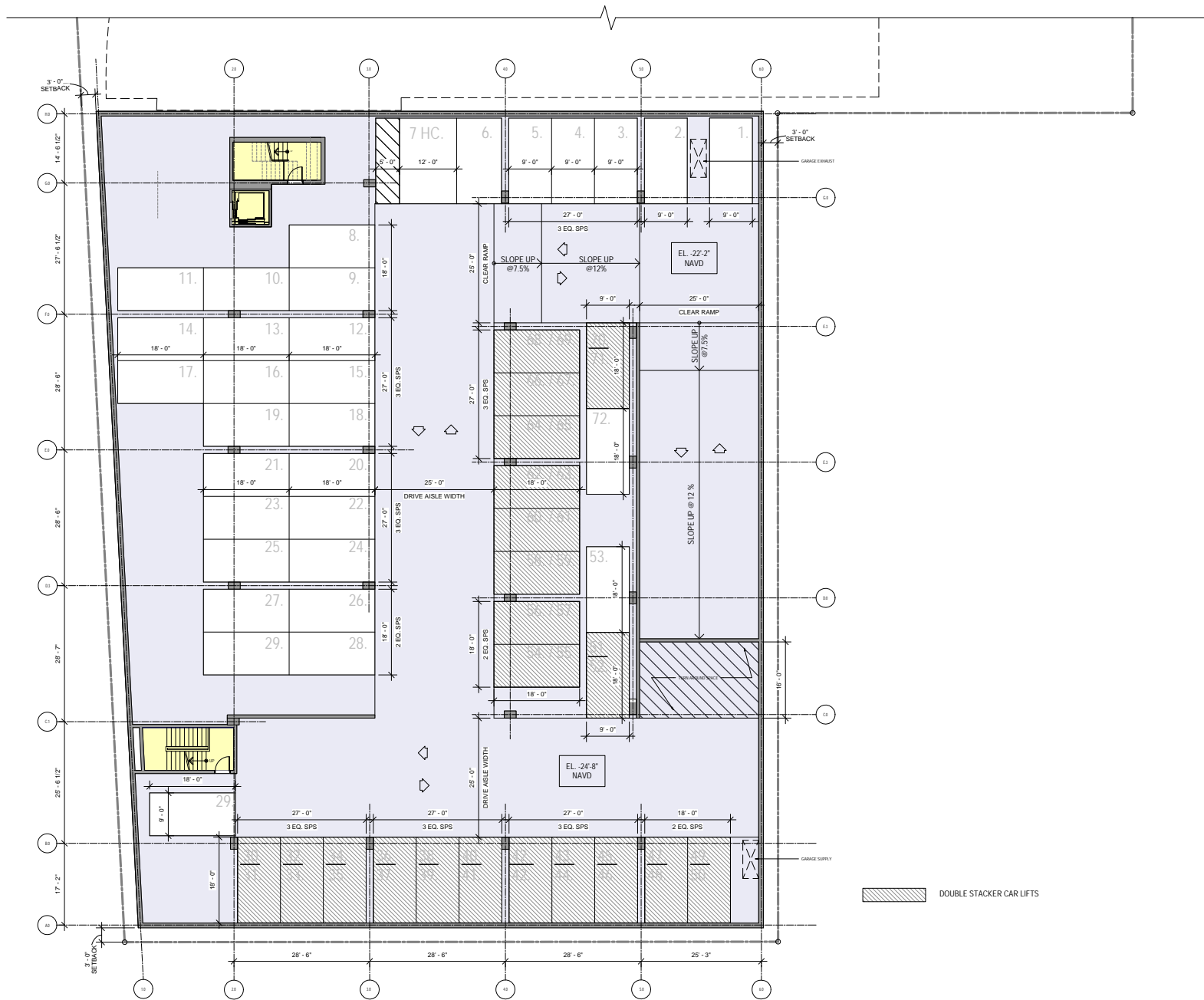


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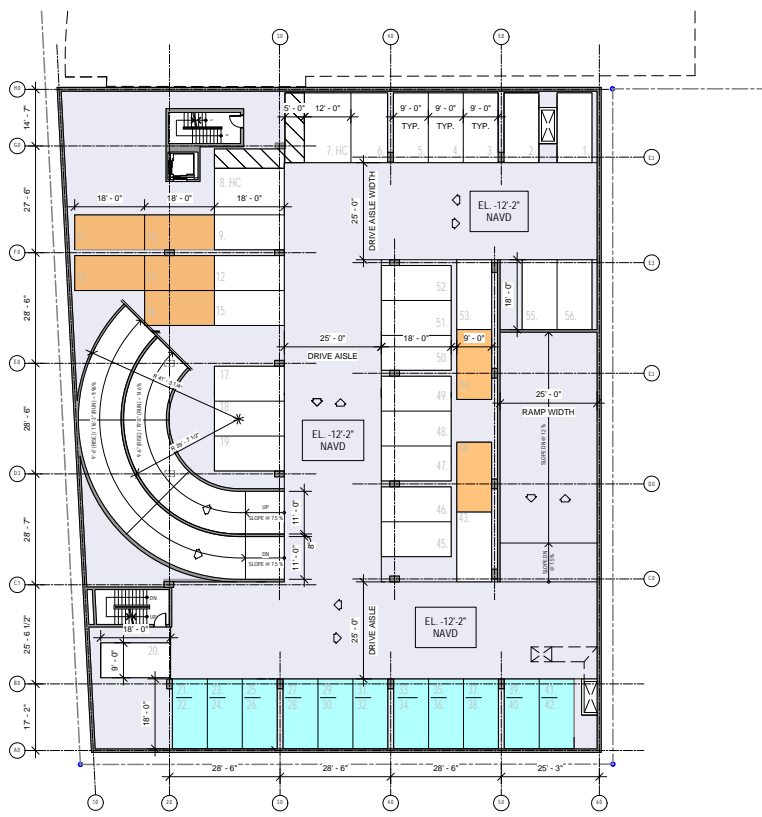
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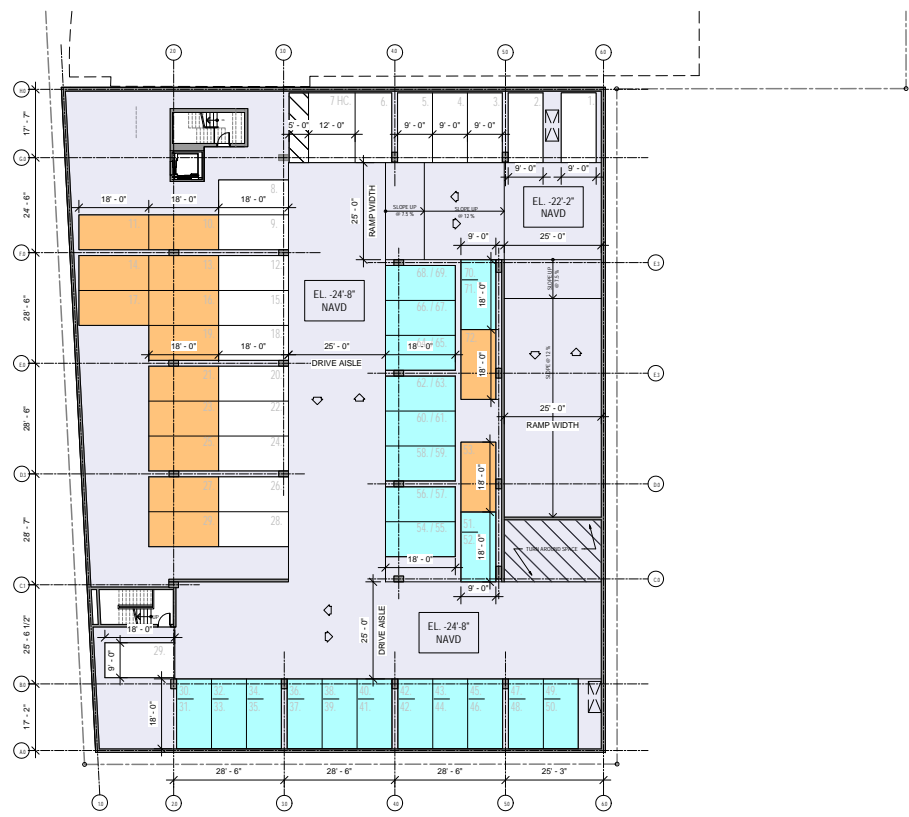
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VERTICAL CAR LIFTS (2 LEVELS)

TANDEM PARKING SPACES



1 VARIANCE DIAGRAM - LEVEL 01 BASEMENT
1/16" = 1'-0"



2 VARIANCE DIAGRAM - LEVEL 02 BASEMENT
1/16" = 1'-0"

Scale: 1/16" = 1'-0"
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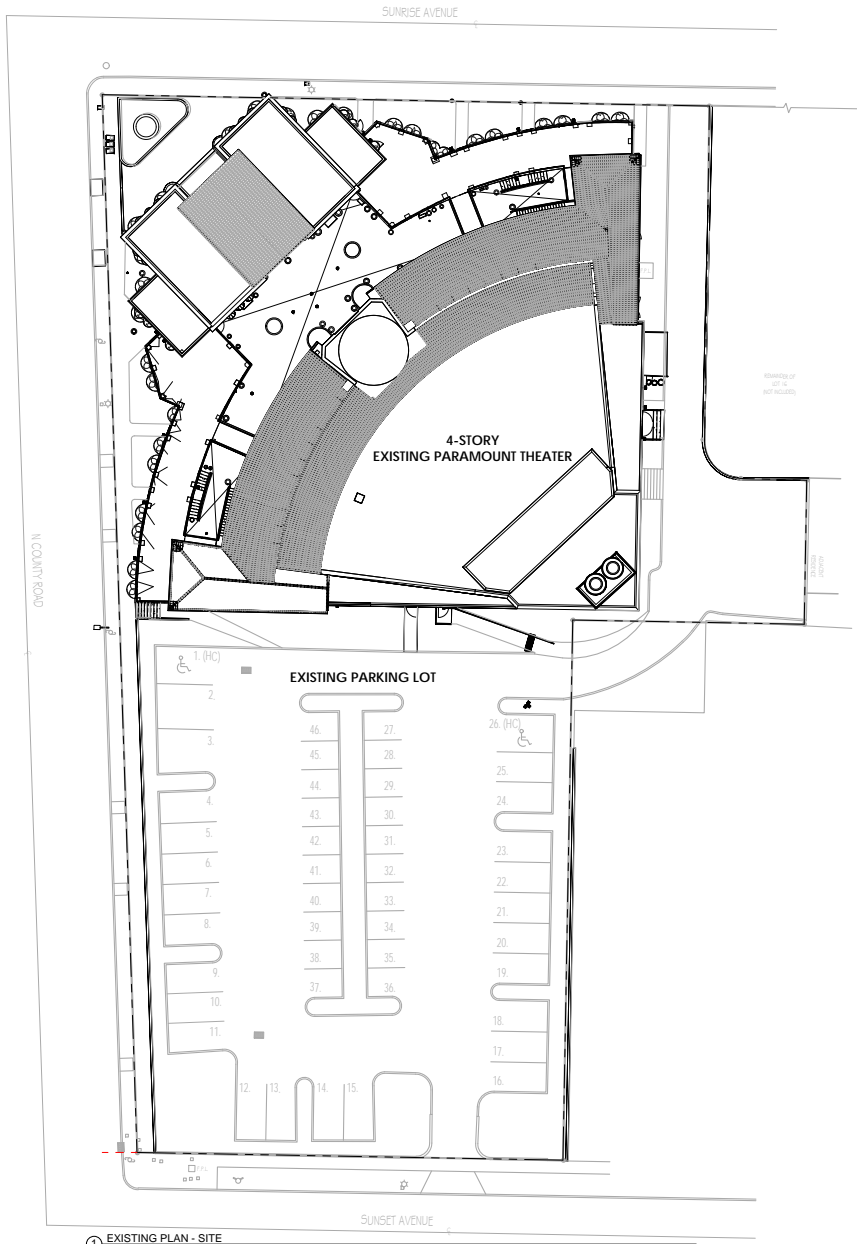
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1 EXISTING PLAN - SITE
1" = 20'-0"

Scale: 1" = 20'-0"
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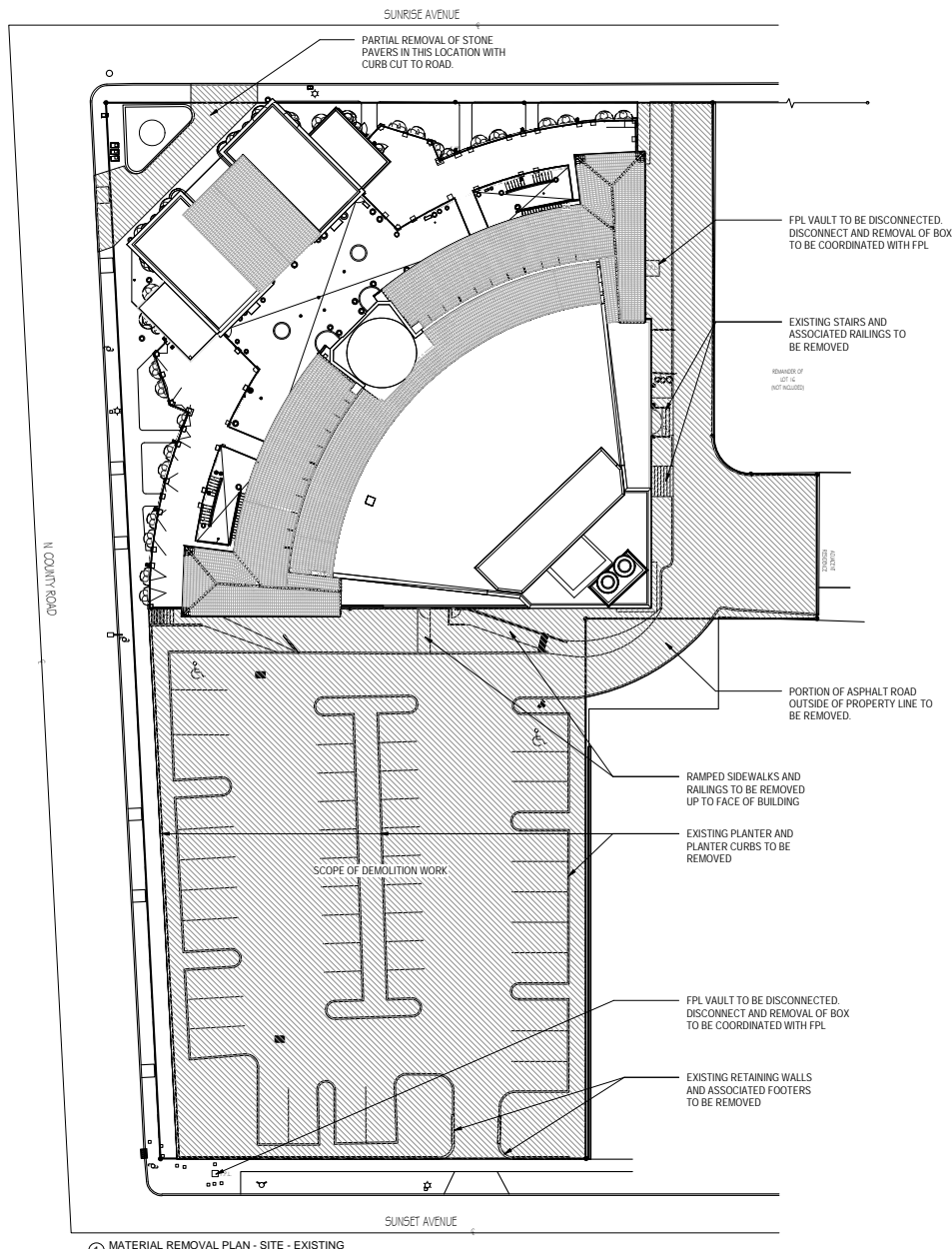
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① MATERIAL REMOVAL PLAN - SITE - EXISTING
1" = 20'-0"

MATERIAL REMOVAL SITE PLAN NOTES

- THE GENERAL SCOPE OF WORK INVOLVES:
 - THE COMPLETE DEMOLITION OF THE INTERIOR COMPONENTS OF THE BUILDING, NOT INCLUDING STRUCTURE UNLESS NOTED OTHERWISE.
 - EXTERIOR DEMOLITION ONLY AS NOTED ON BUILDING ELEVATION SHEETS.
- ALL INTERIOR WALLS, MILLWORK, FLOORING AND CEILINGS TO BE STRIPPED BACK TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
- PROTECT ALL EXISTING EXTERIOR FACADE ELEMENTS THAT ARE TO REMAIN. EXISTING AWNING TO BE REMOVED AND EXISTING EXTERIOR DOORS/WINDOWS TO BE REPLACED AS SHOWN ON ELEVATION SHEETS.
- REFER TO SITE MATERIAL REMOVAL PLAN FOR ITEMS OUTSIDE THE BUILDING ENVELOPE.
- LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS. REFER TO ELEVATION SHEETS FOR MORE INFORMATION.
- THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
- INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
- PERMIT TO BE SUBMITTED AND APPROVED PRIOR TO ANY DEMOLITION OCCURRING ONSITE.
- PRIOR TO CARRYING OUT DEMOLITION WORK, ALL EXISTING FRAMING MUST BE EXPOSED. ARCHITECT/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR INSPECTION OF EXISTING CONDITIONS. REMOVAL OF EXISTING SUPPORTS FOR REMAINING FLOOR FRAMING WILL REQUIRE SHORING OF THESE MEMBERS AND ADDITION OF NEW BEAMS AND POSTS AS REQUIRED BY STRUCTURAL ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND WALL BRACING AND SHALL CARRY OUT ALL REVISIONS REQUIRED BY EXISTING FIELD CONDITIONS.
- ALL WORK NOTED TO BE REMOVED, CUT DOWN OR DISMANTLED SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
- UNDER NO CONDITION SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WILL ADVERSELY AFFECT THE EXISTING WORK TO REMAIN.
- BUILDING SHALL NOT BE OCCUPIED DURING DEMOLITION.



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Scale: 1" = 20'-0"
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① EXISTING PLAN - LEVEL 01
3/32" = 1'-0"

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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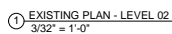


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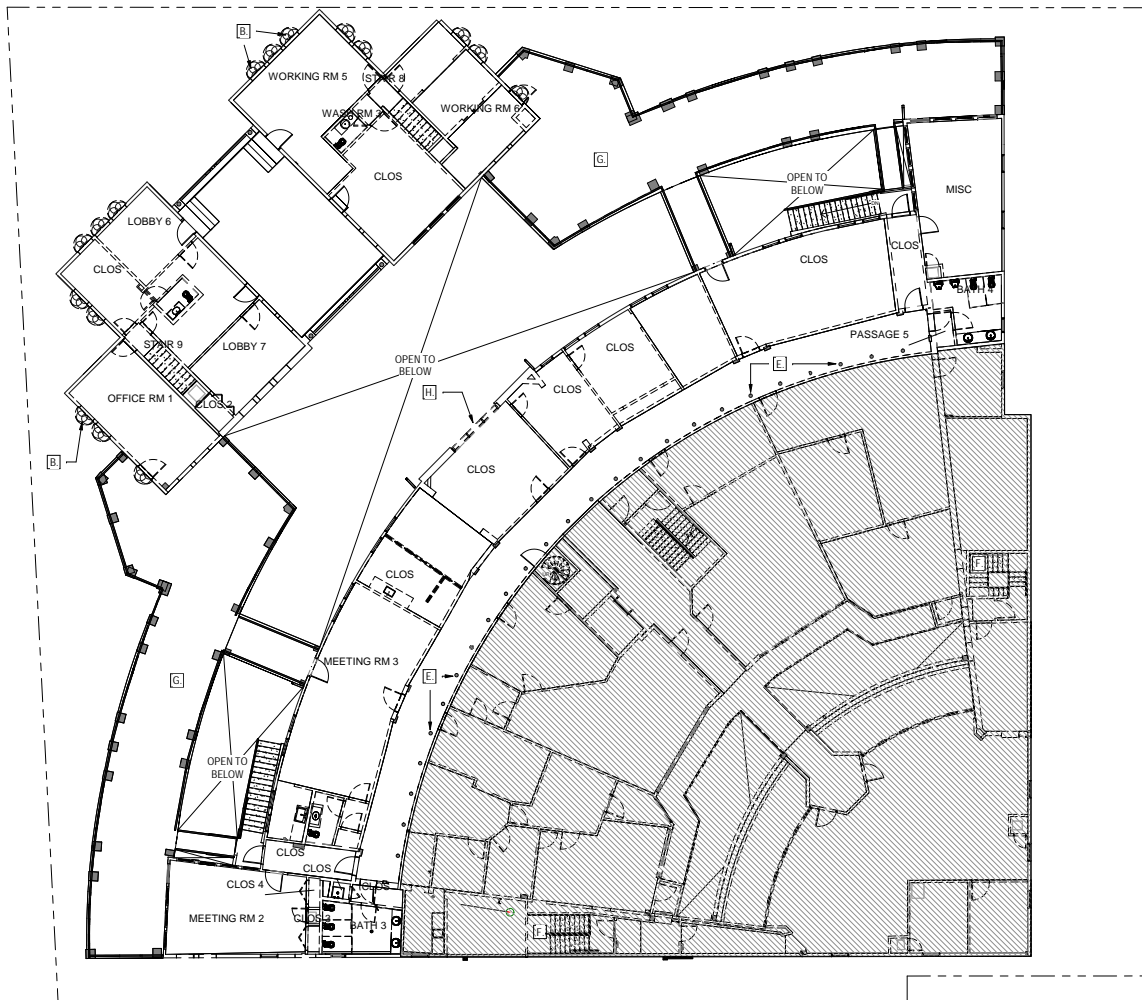


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1 MATERIAL REMOVAL PLAN - LEVEL 02 - EXISTING
3/32" = 1'-0"

MATERIAL REMOVAL SITE PLAN NOTES

- THE GENERAL SCOPE OF WORK INVOLVES:
 - THE COMPLETE REMOVAL OF THE INTERIOR MATERIAL COMPONENTS OF THE BUILDING, NOT INCLUDING STRUCTURE UNLESS NOTED OTHERWISE.
 - EXTERIOR MATERIAL REMOVAL IS ONLY AS NOTED ON BUILDING ELEVATION SHEETS.
- ALL INTERIOR WALLS, MILLWORK, FLOORING AND CEILINGS TO BE STRIPPED BACK TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
- PROTECT ALL EXISTING EXTERIOR FACADE ELEMENTS THAT ARE TO REMAIN. EXISTING AWNING TO BE REMOVED AND EXISTING EXTERIOR DOORS/WINDOWS TO BE REPLACED AS SHOWN ON ELEVATION SHEETS.
- REFER TO SITE MATERIAL REMOVAL PLAN FOR ITEMS OUTSIDE THE BUILDING ENVELOPE.
- LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS. REFER TO ELEVATION SHEETS FOR MORE INFORMATION.
- THESE MATERIAL REMOVAL DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
- INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
- PERMIT TO BE SUBMITTED AND APPROVED PRIOR TO ANY WORK OCCURRING ONSITE.
- PRIOR TO CARRYING OUT MATERIAL REMOVAL WORK, ALL EXISTING FRAMING MUST BE EXPOSED. ARCHITECT/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR INSPECTION OF EXISTING CONDITIONS. REMOVAL OF EXISTING SUPPORTS FOR REMAINING FLOOR FRAMING WILL REQUIRE SHORING OF THESE MEMBERS AND ADDITION OF NEW BEAMS AND POSTS AS REQUIRED BY STRUCTURAL ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND WALL BRACING AND SHALL CARRY OUT ALL REVISIONS REQUIRED BY EXISTING FIELD CONDITIONS.
- ALL WORK NOTED TO BE REMOVED, CUT DOWN OR DISMANTLED SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
- UNDER NO CONDITION SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WILL ADVERSELY AFFECT THE EXISTING WORK TO REMAIN.
- BUILDING SHALL NOT BE OCCUPIED DURING MATERIAL REMOVAL PROCESS.

MATERIAL REMOVAL KEYNOTES

- NEW EXTERIOR OPENINGS TO FACADE BEING PROPOSED. REFER TO BUILDING ELEVATION SHEETS FOR REFERENCE.
- ALL EXTERIOR AWNINGS TO BE REMOVED AND REPLACED AS SHOWN ON PURPOSED BUILDING ELEVATIONS.
- EXISTING DOORS AND SURROUNDING WALLS TO BE REMOVED AND RELOCATED AS SHOWN ON PROPOSED FLOOR PLANS.
- ALL POTTED PLANTS TO BE REMOVED FROM SITE.
- CORRIDOR COLUMNS TO BE PRESERVED DURING CONSTRUCTION AND MATERIAL REMOVAL OF ADJACENT SPACES TYP. OF 24
- STAIRS TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED PLANS.
- EXISTING ROOFING TO BE REMOVED. ROOF TO BE ALTERED IN ORDER TO ACCOMMODATE PAVERS AND PLANTERS AS SHOWN ON PROPOSED FLOOR PLANS.
- ORIGINAL WINDOW OPENINGS AND DESIGN TO BE ADJUSTED TO MATCH ORIGINAL BUILDING. REFER TO PROPOSED BUILDING ELEVATIONS.
- REMOVAL OF PAVES IN OUTDOOR AREAS.
- PARTIAL REMOVAL OF EXISTING ROOF TO BE REMOVED ONLY AS REQUIRED FOR EQUIPMENT INSTALLATION, ACCESS OR WHERE OUT OF COMPLIANCE WITH FLORIDA BUILDING CODE. NEW ROOF TILE TO BE INSTALLED AS PER SAMPLE APPROVED BY LANDMARKS PRESERVATION COMMISSION.

LEGEND

- MATERIAL TO BE REMOVED
- MATERIAL TO REMAIN
- SECOND FLOOR AREA BUILT DURING THE 1980'S TO BE REMOVED AND REPLACED WITH NEW STRUCTURE AS SHOWN IN THE PROPOSED FLOOR PLANS.

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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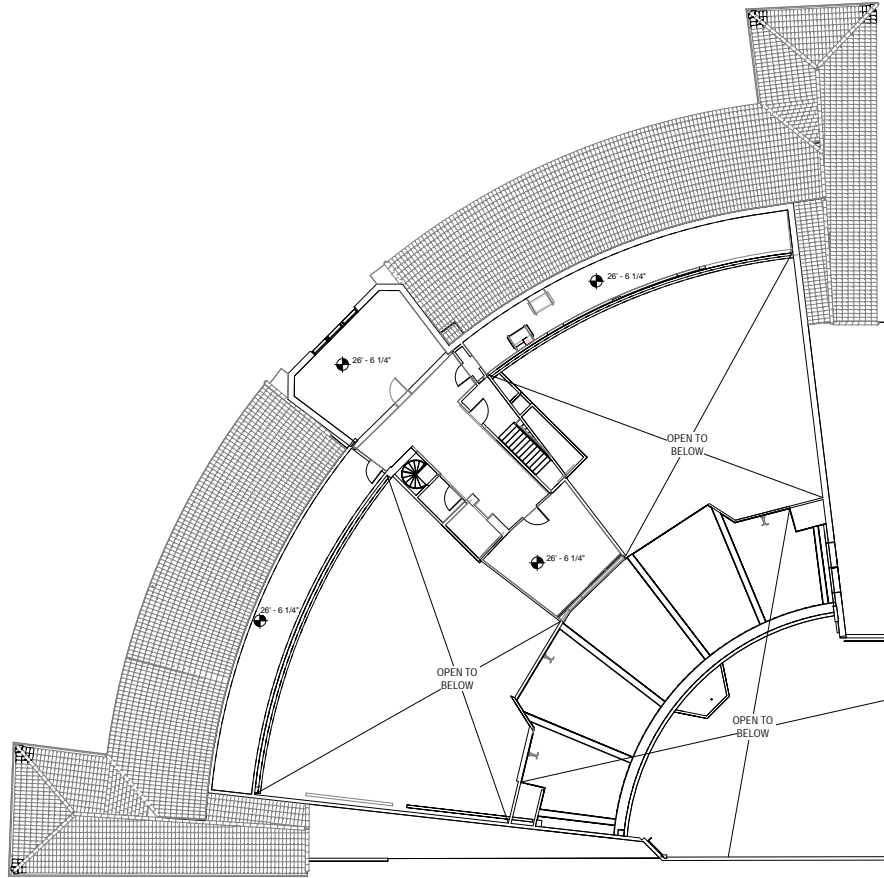
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① EXISTING PLAN - LEVEL 03
3/32" = 1'-0"



Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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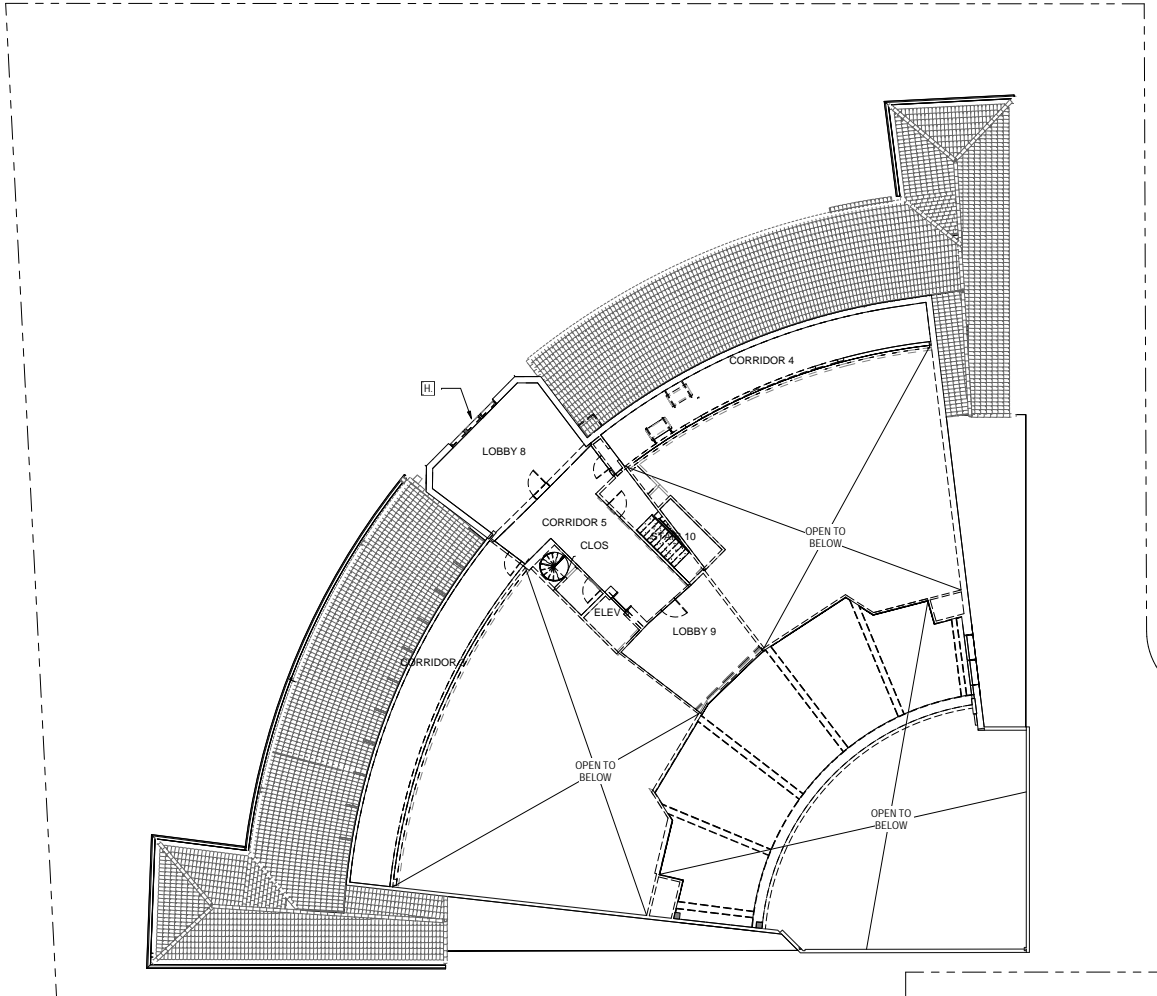
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① MATERIAL REMOVAL PLAN - LEVEL 03 - EXISTING
3/32" = 1'-0"

MATERIAL REMOVAL SITE PLAN NOTES

1. THE GENERAL SCOPE OF WORK INVOLVES:
 - A. THE COMPLETE REMOVAL OF THE INTERIOR MATERIAL COMPONENTS OF THE BUILDING, NOT INCLUDING STRUCTURE UNLESS NOTED OTHERWISE.
 - B. EXTERIOR MATERIAL REMOVAL IS ONLY AS NOTED ON BUILDING ELEVATION SHEETS.
2. ALL INTERIOR WALLS, MILLWORK, FLOORING AND CEILINGS TO BE STRIPPED BACK TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
3. PROTECT ALL EXISTING EXTERIOR FACADE ELEMENTS THAT ARE TO REMAIN. EXISTING AWNING TO BE REMOVED AND EXISTING EXTERIOR DOORS/WINDOWS TO BE REPLACED AS SHOWN ON ELEVATION SHEETS.
4. REFER TO SITE MATERIAL REMOVAL PLAN FOR ITEMS OUTSIDE THE BUILDING ENVELOPE.
5. LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS. REFER TO ELEVATION SHEETS FOR MORE INFORMATION.
6. THESE MATERIAL REMOVAL DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
7. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
8. INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
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12. UNDER NO CONDITION SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WILL ADVERSELY AFFECT THE EXISTING WORK TO REMAIN.
13. BUILDING SHALL NOT BE OCCUPIED DURING MATERIAL REMOVAL PROCESS.

MATERIAL REMOVAL KEYNOTES

- A. NEW EXTERIOR OPENINGS TO FACADE BEING PROPOSED. REFER TO BUILDING ELEVATION SHEETS FOR REFERENCE.
- B. ALL EXTERIOR AWNINGS TO BE REMOVED AND REPLACED AS SHOWN ON PURPOSED BUILDING ELEVATIONS.
- C. EXISTING DOORS AND SURROUNDING WALLS TO BE REMOVED AND RELOCATED AS SHOWN ON PROPOSED FLOOR PLANS.
- D. ALL POTTED PLANTS TO BE REMOVED FROM SITE.
- E. CORRIDOR COLUMNS TO BE PRESERVED DURING CONSTRUCTION AND MATERIAL REMOVAL OF ADJACENT SPACES TYP. OF 24
- F. STAIRS TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED PLANS.
- G. EXISTING ROOFING TO BE REMOVED. ROOF TO BE ALTERED IN ORDER TO ACCOMMODATE PAVERS AND PLANTERS AS SHOWN ON PROPOSED FLOOR PLANS.
- H. ORIGINAL WINDOW OPENINGS AND DESIGN TO BE ADJUSTED TO MATCH ORIGINAL BUILDING. REFER TO PROPOSED BUILDING ELEVATIONS.
- I. REMOVAL OF PAVES IN OUTDOOR AREAS.
- J. PARTIAL REMOVAL OF EXISTING ROOF TO BE REMOVED ONLY AS REQUIRED FOR EQUIPMENT INSTALLATION, ACCESS OR WHERE OUT OF COMPLIANCE WITH FLORIDA BUILDING CODE. NEW ROOF TILE TO BE INSTALLED AS PER SAMPLE APPROVED BY LANDMARKS PRESERVATION COMMISSION.

LEGEND

- MATERIAL TO BE REMOVED
- MATERIAL TO REMAIN
- ▨ SECOND FLOOR AREA BUILT DURING THE 1980'S TO BE REMOVED AND REPLACED WITH NEW STRUCTURE AS SHOWN IN THE PROPOSED FLOOR PLANS.

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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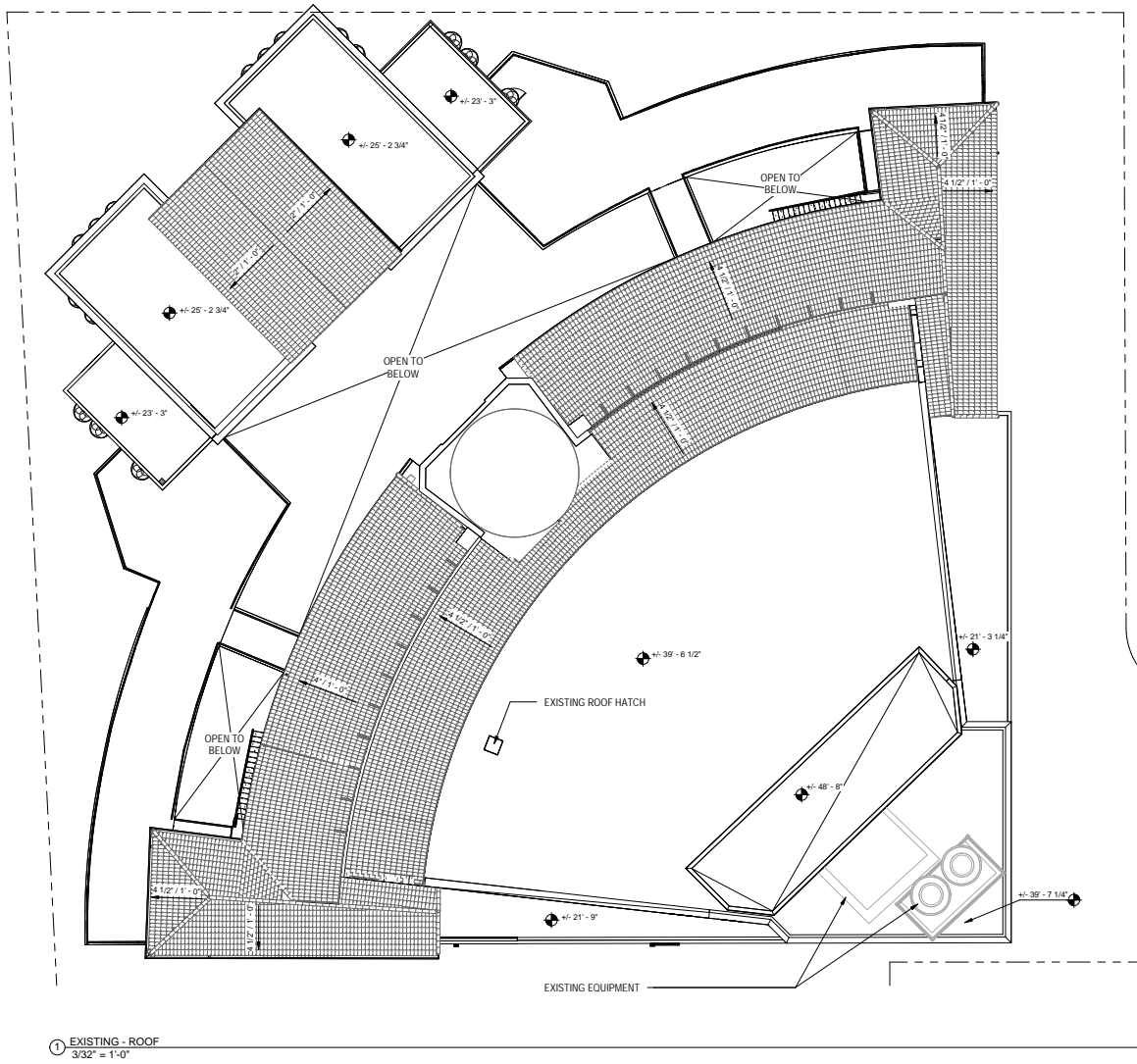
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① MATERIAL REMOVAL PLAN - ROOF
3/32" = 1'-0"

MATERIAL REMOVAL SITE PLAN NOTES

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- CORRIDOR COLUMNS TO BE PRESERVED DURING CONSTRUCTION AND MATERIAL REMOVAL OF ADJACENT SPACES TYP. OF 24
- STAIRS TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED PLANS.
- EXISTING ROOFING TO BE REMOVED. ROOF TO BE ALTERED IN ORDER TO ACCOMMODATE PAVERS AND PLANTERS AS SHOWN ON PROPOSED FLOOR PLANS.
- ORIGINAL WINDOW OPENINGS AND DESIGN TO BE ADJUSTED TO MATCH ORIGINAL BUILDING. REFER TO PROPOSED BUILDING ELEVATIONS.
- REMOVAL OF PAVES IN OUTDOOR AREAS.
- PARTIAL REMOVAL OF EXISTING ROOF TO BE REMOVED ONLY AS REQUIRED FOR EQUIPMENT INSTALLATION, ACCESS OR WHERE OUT OF COMPLIANCE WITH FLORIDA BUILDING CODE. NEW ROOF TILE TO BE INSTALLED AS PER SAMPLE APPROVED BY LANDMARKS PRESERVATION COMMISSION.

LEGEND

- MATERIAL TO BE REMOVED
- ===== MATERIAL TO REMAIN
- SECOND FLOOR AREA BUILT DURING THE 1980'S TO BE REMOVED AND REPLACED WITH NEW STRUCTURE AS SHOWN IN THE PROPOSED FLOOR PLANS.

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half

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