



229 Monterey Road



225 Monterey Road



223 Monterey Road



221 Monterey Road



COMM NO.  
2229  
DATE  
06-13-23

REVISIONS

A New Residence for  
Mr. Pierce  
274 Monterey Road  
Palm Beach FL 33480



MP DESIGN &  
ARCHITECTURE, INC  
217 PERUVIAN AVENUE, SUITE 4  
PALM BEACH, FLORIDA 33480  
561.833.7575  
AA26001667

SHEET NO.  
Photos  
5





246 Monterey Road  
5,161 Total SF



246 Monterey Road



266 Monterey Road  
4,039 Total SF



220 Monterey Road  
5,012 Total SF



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2229  
DATE  
06-13-23

REVISIONS

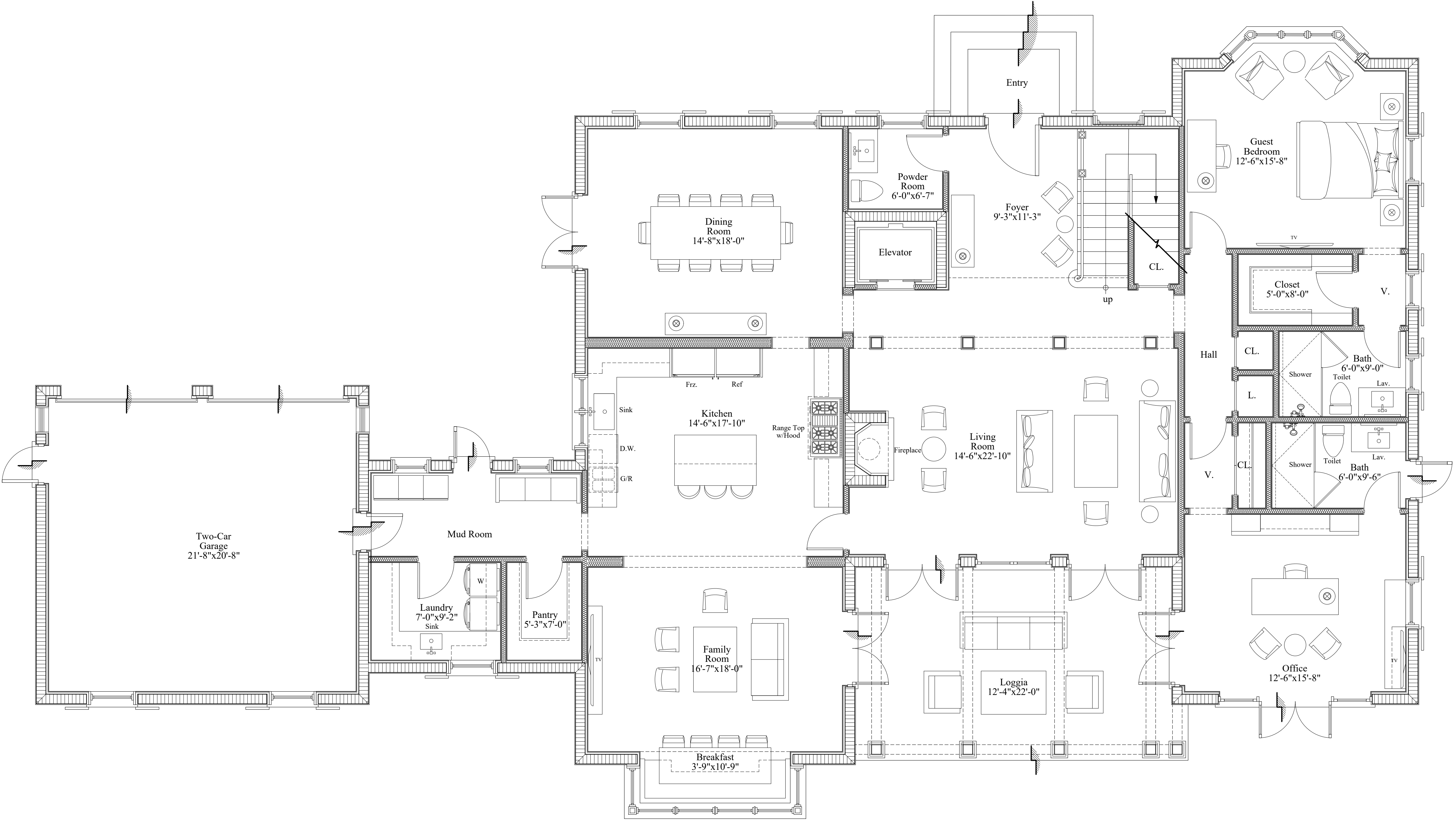
A New Residence for  
Mr. Pierce  
Palm Beach FL 33480  
274 Monterey Road



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SHEET NO.  
Photos  
6

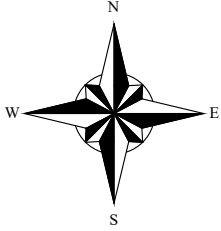




Proposed First Floor Plan

Scale

1/4" = 1'-0"



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DATE  
06-13-23

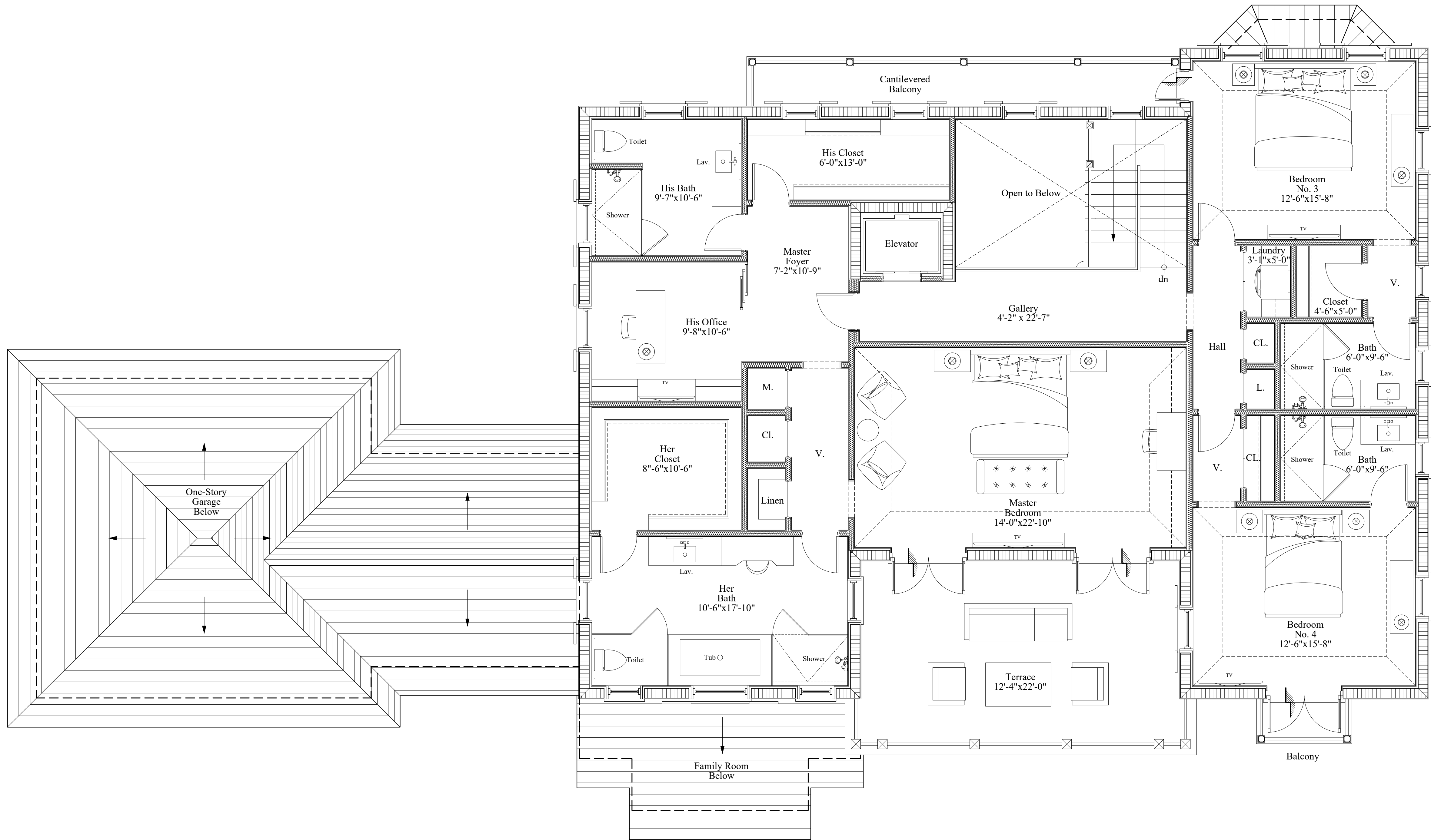
REVISIONS

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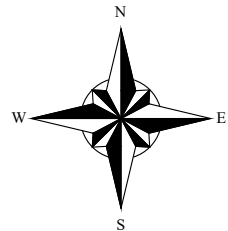
SHEET NO.  
**A100**



Proposed Second Floor Plan

Scale

1/4" = 1'-0"



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2229  
DATE  
06-13-23

REVISIONS

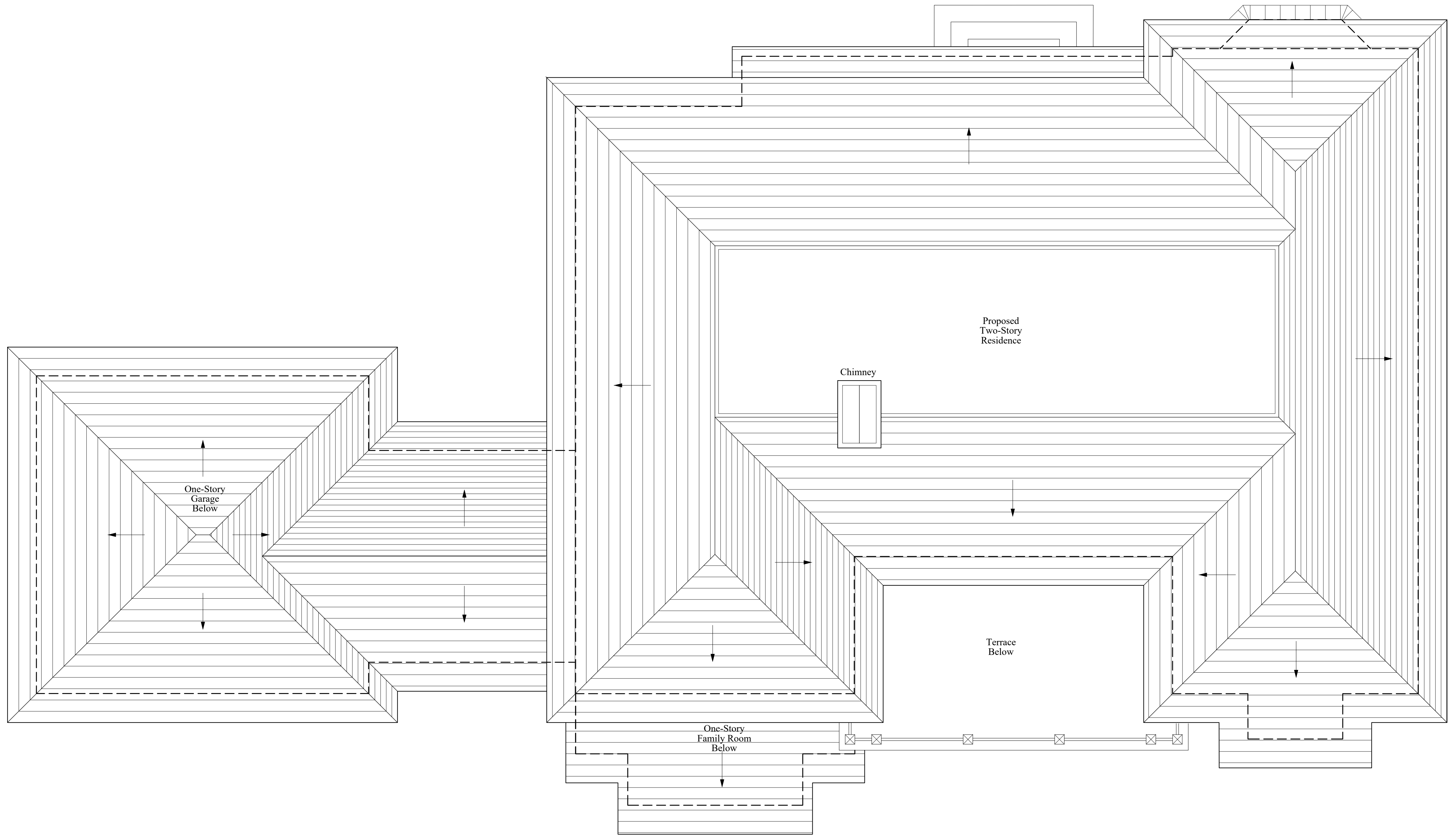
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SHEET NO.  
**A101**

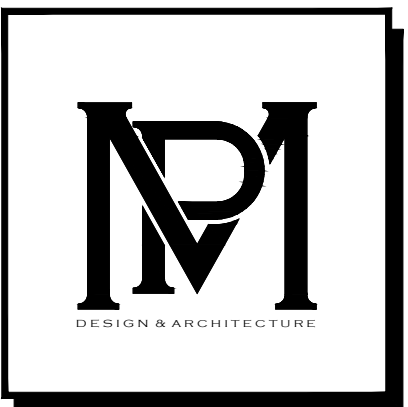
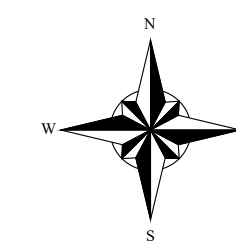




Proposed Roof Plan

Scale

1/4" = 1'-0"



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06-13-23

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A New Residence for  
**Mr. Pierce**  
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SHEET NO.  
**A102**

































Proposed North Elevation

Scale

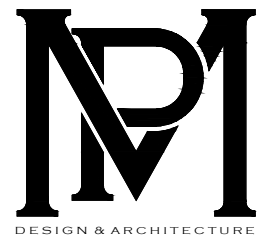
1/4" = 1'-0"



Proposed South Elevation

Scale

1/4" = 1'-0"



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A New Residence for

Mr. Pierce

Palm Beach FL 33480

274 Monterey Road



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SHEET NO.

A200



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 13,500 sq.ft.  
Drainage Area Impervious Surface = 7,425 sq.ft.  
Drainage Area Pervious Surface = 6,075 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CiA) where:  
C = 1.0 (impervious surface)  
C = 0.2 (pervious surface)  
i = 2 in/hr

Impervious Surface Runoff Volume:  
1.0 x 2 in/hr x 7,425 sq.ft. x 1 ft./12 in. = 1,238 cu.ft.

Pervious Runoff Volume:  
0.2 x 2 in/hr x 6,075 sq.ft. x 1 ft./12 in. = 203 cu.ft.

Total Volume to be Retained = 1,441 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1  
L = Total Length of Trench Provided = 30 ft  
W = Trench Width = 15 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 1.50 ft  
DS = Saturated Trench Depth = 1.00 ft  
V = Volume Treated = 398 cu.ft.

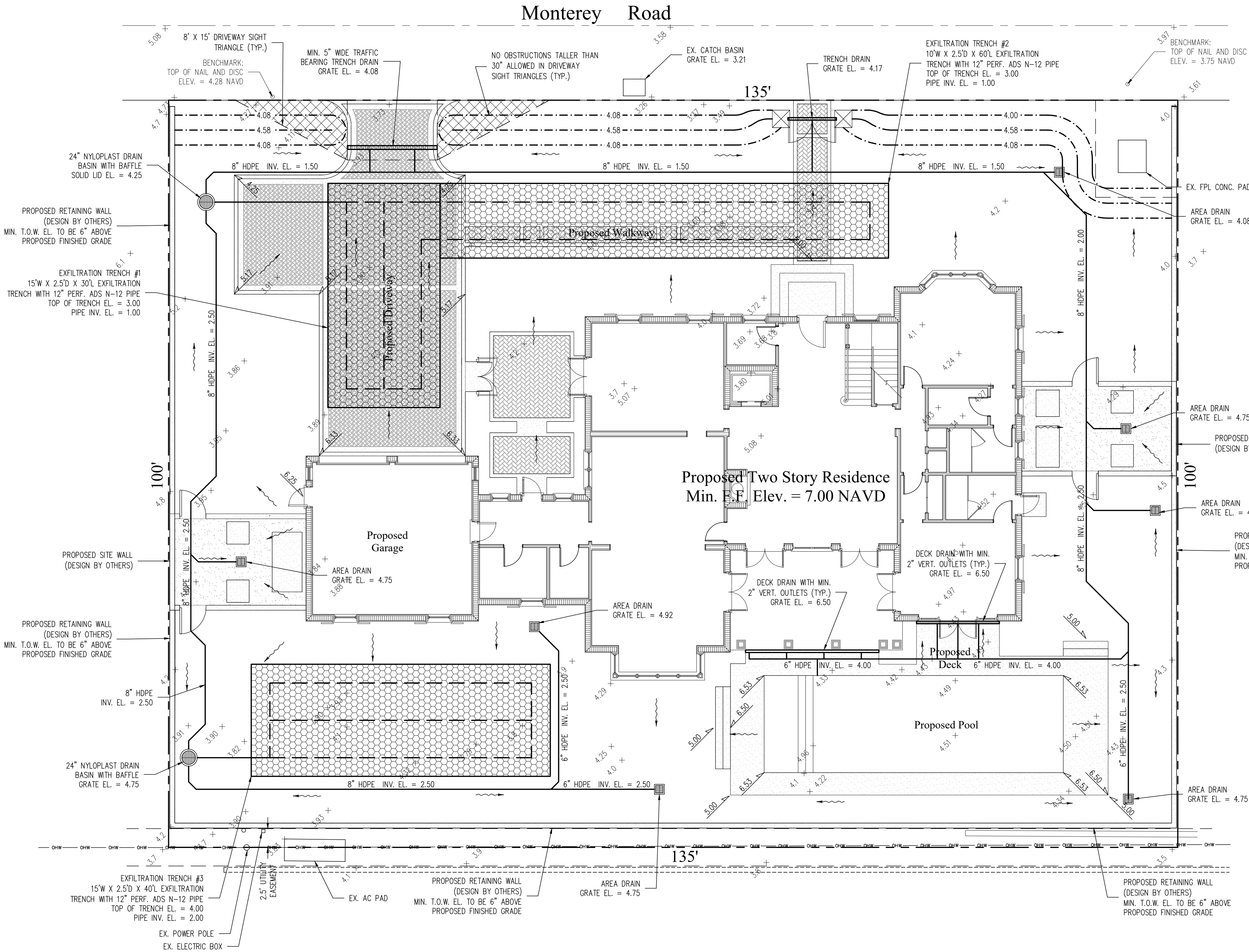
Exfiltration Trench #2  
L = Total Length of Trench Provided = 60 ft  
W = Trench Width = 10 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 1.50 ft  
DS = Saturated Trench Depth = 1.00 ft  
V = Volume Treated = 570 cu.ft.

Exfiltration Trench #3  
L = Total Length of Trench Provided = 40 ft  
W = Trench Width = 15 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 2.50 ft  
DS = Saturated Trench Depth = 0.00 ft  
V = Volume Treated = 805 cu.ft.

Total Volume Retained in Exfiltration Trenches = 1,773 cu.ft.

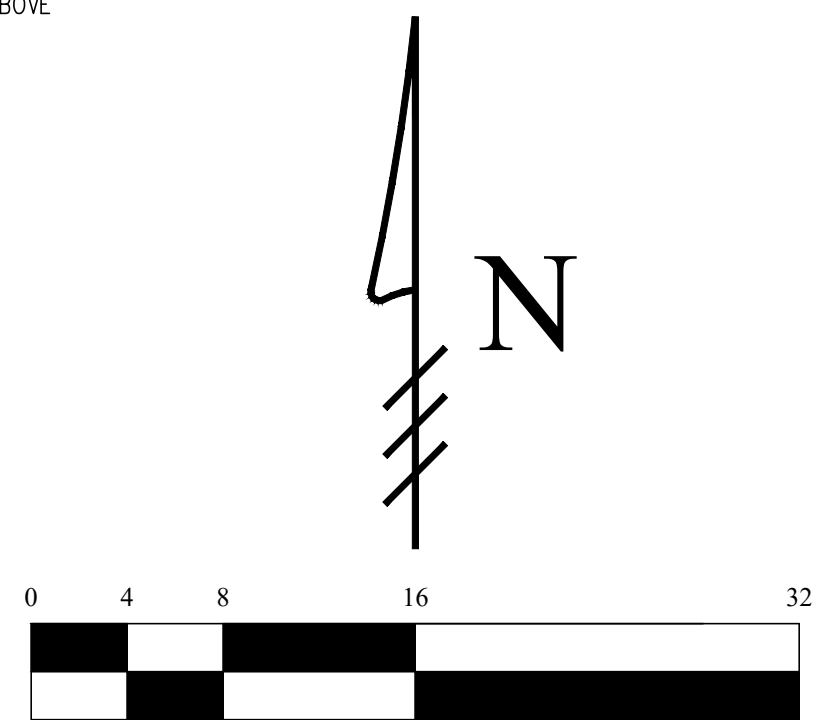
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

- | Revisions |            |  |
|-----------|------------|--|
| 1         | 02/04/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 2         | 04/10/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 3         | 06/14/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 4         |            |  |
| 5         |            |  |
| 6         |            |  |
| 7         |            |  |
| 8         |            |  |
| 9         |            |  |
| 10        |            |  |

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by Environment Design Group Received 6/13/23

ARC-23-025

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48 HOURS BEFORE DIGGING  
CALL  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.  
Contractor is responsible for obtaining  
location of existing utilities prior to  
commencement of construction activities.

Location Map  
N.T.S.

Gruber Consulting Engineers, Inc.  
5474 MERGER AVE., SUITE 305  
WEST PALM BEACH, FL 33401  
PHONE: 561.312.2841  
office@gruberengineers.com

Project Information				
Project No.	2023-0133	Issue Date	12/06/2022	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan For:  
**Proposed Residence**  
Palm Beach, Florida  
2714 Monterey Road

Revisions	
1	02/04/2023
2	04/10/2023
3	06/14/2023
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber  
FL P.E. No. 57466

Sheet No.  
**C-1**





COMM NO.  
2229  
DATE  
06-13-23

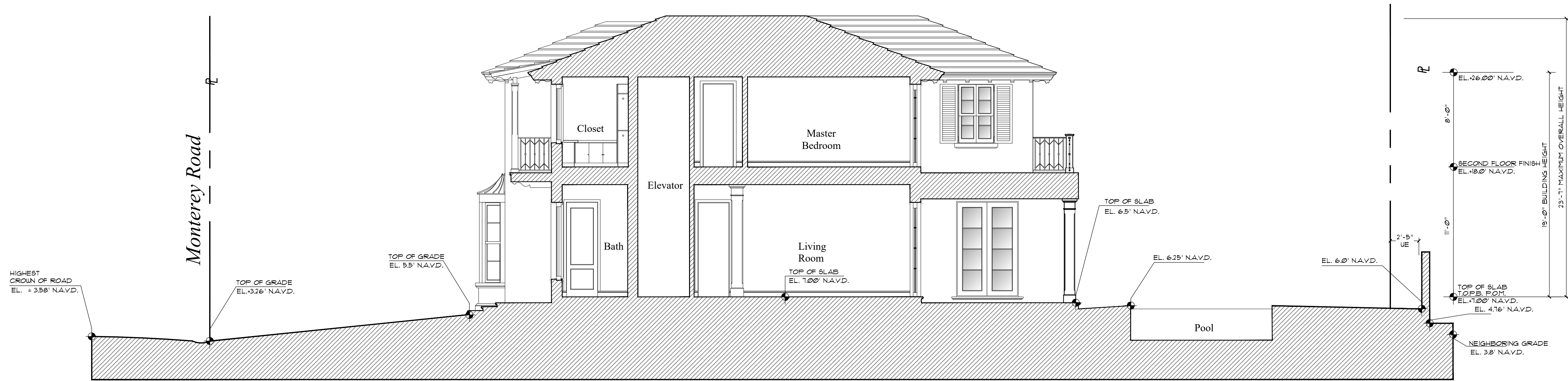
REVISIONS

A New Residence for  
**Mr. Pierce**  
Palm Beach FL 33480  
274 Monterey Road



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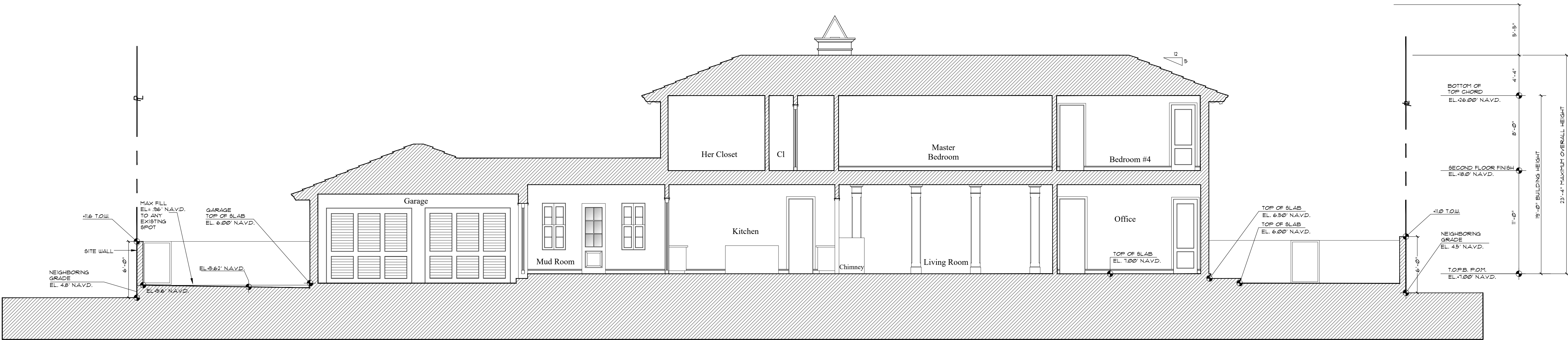
SHEET NO.  
**A300**



**Proposed Building Section**

Scale

1/4" = 1'-0"

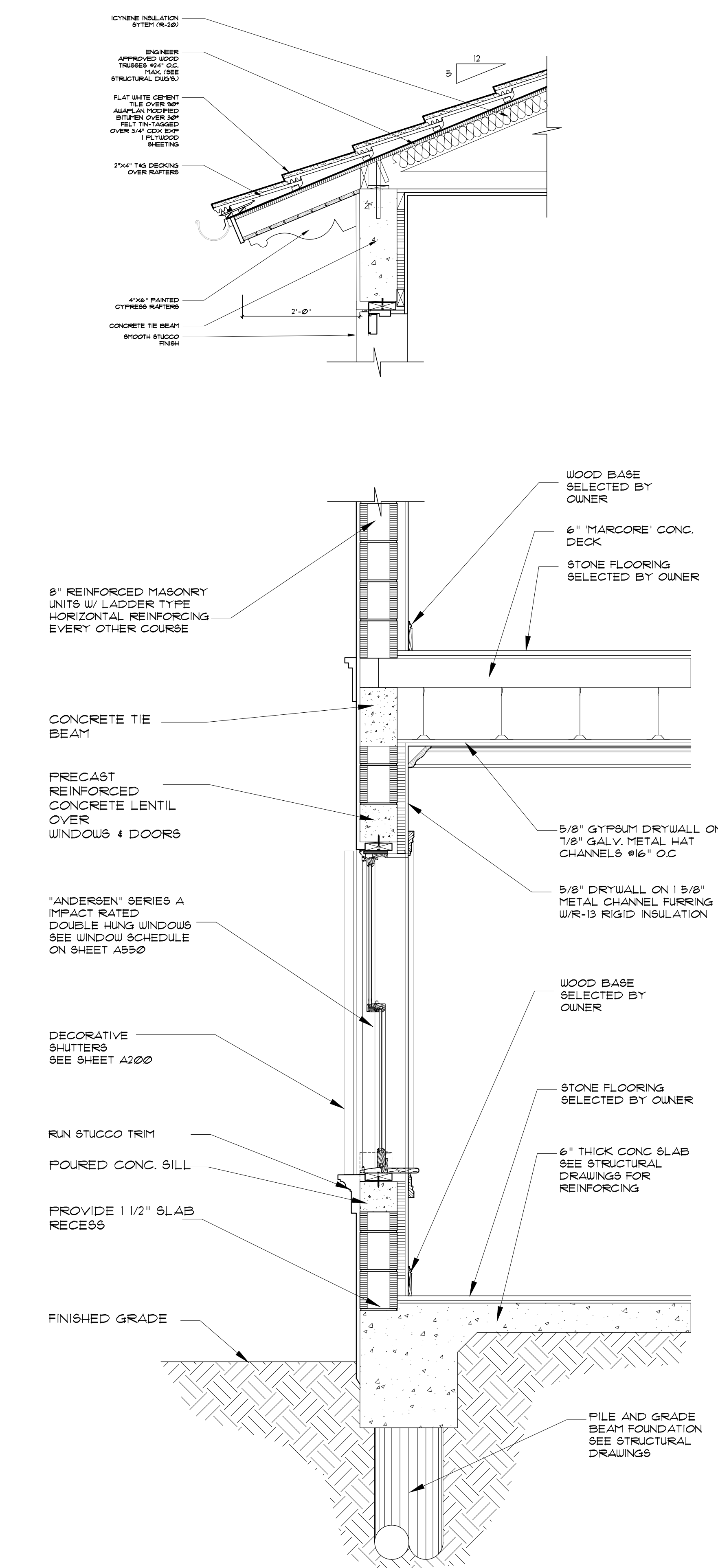


**Proposed Building Section**

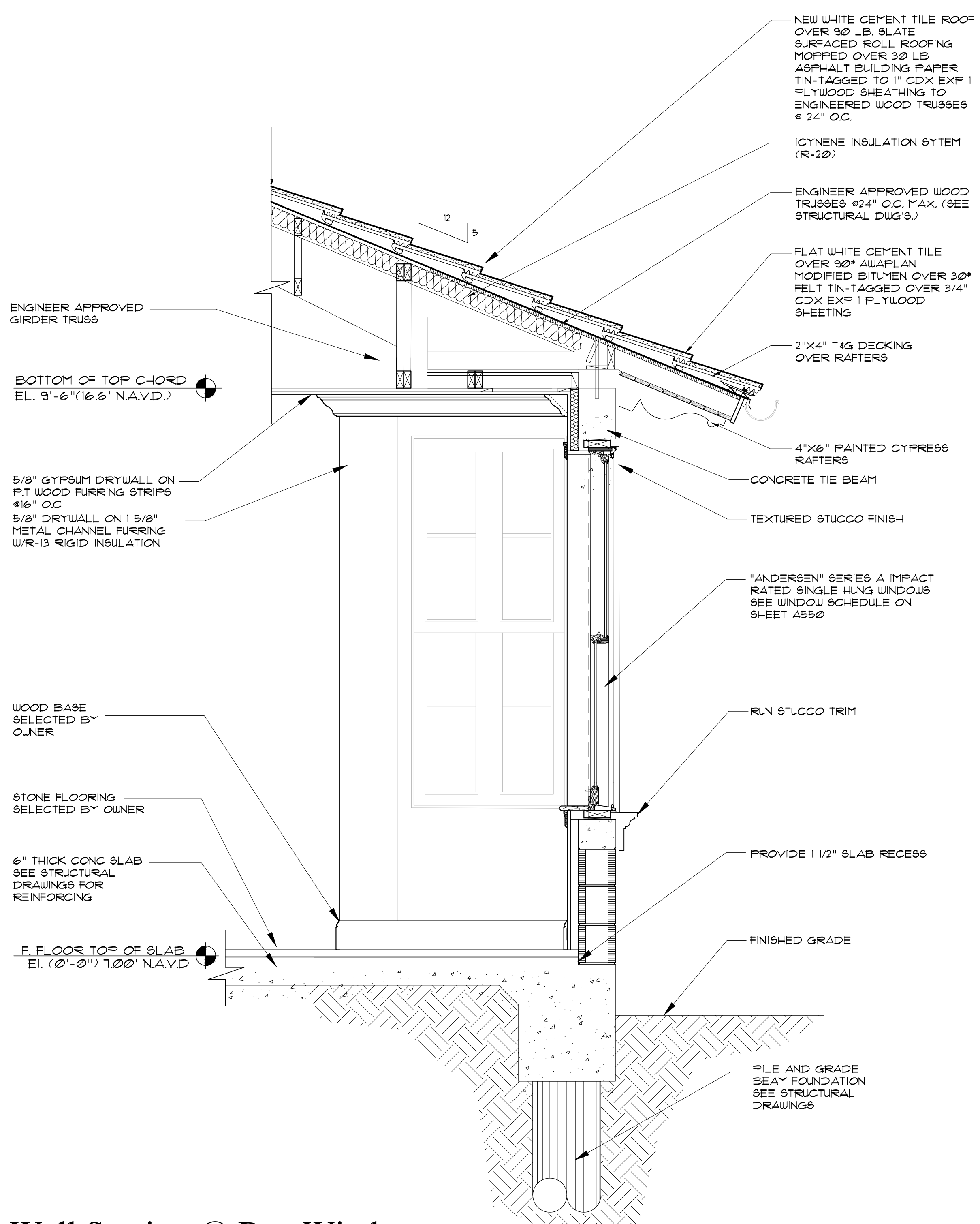
Scale

1/4" = 1'-0"





Typical Wall Section  
Scale 3/4" = 1'-0"



Wall Section @ Bay Window  
Scale 3/4" = 1'-0"

COMM NO.  
2229

DATE  
06-13-23

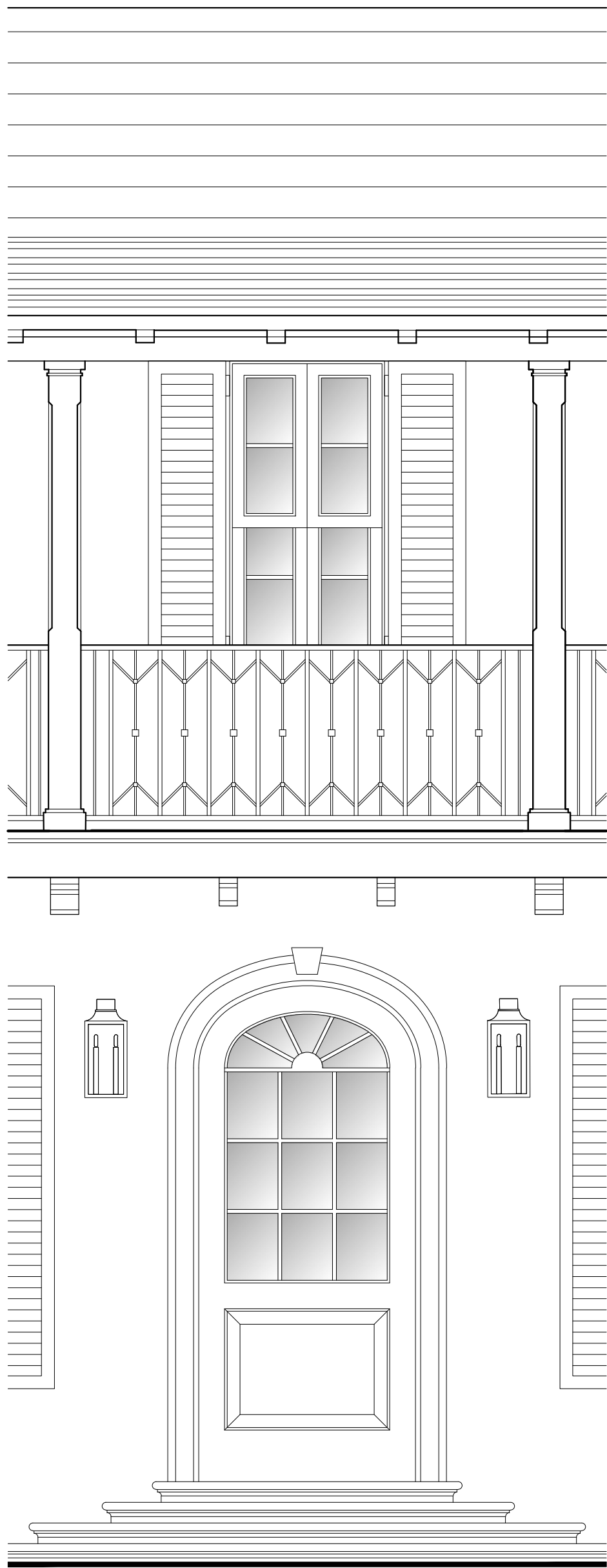
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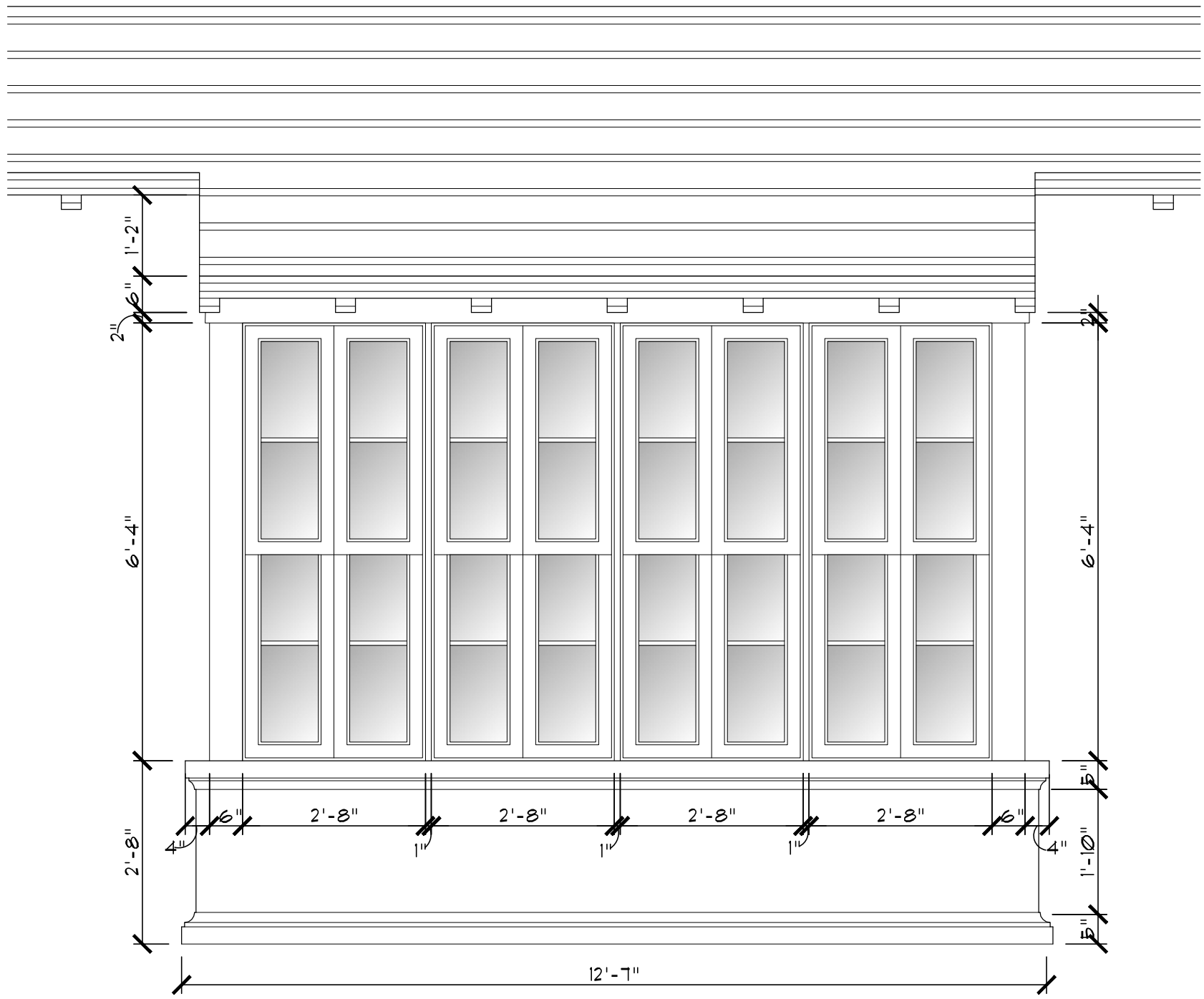
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SHEET NO.  
**A301**

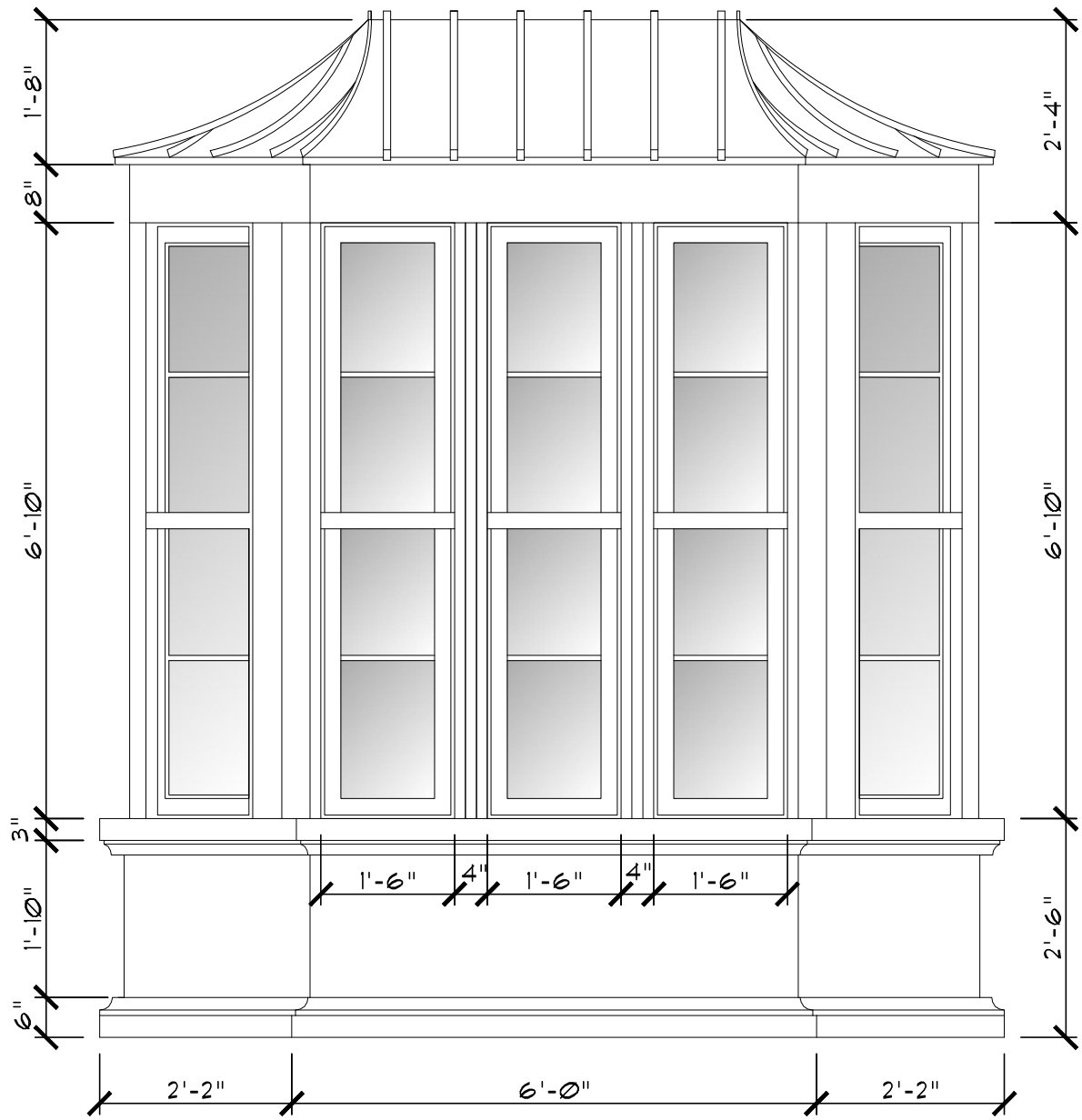




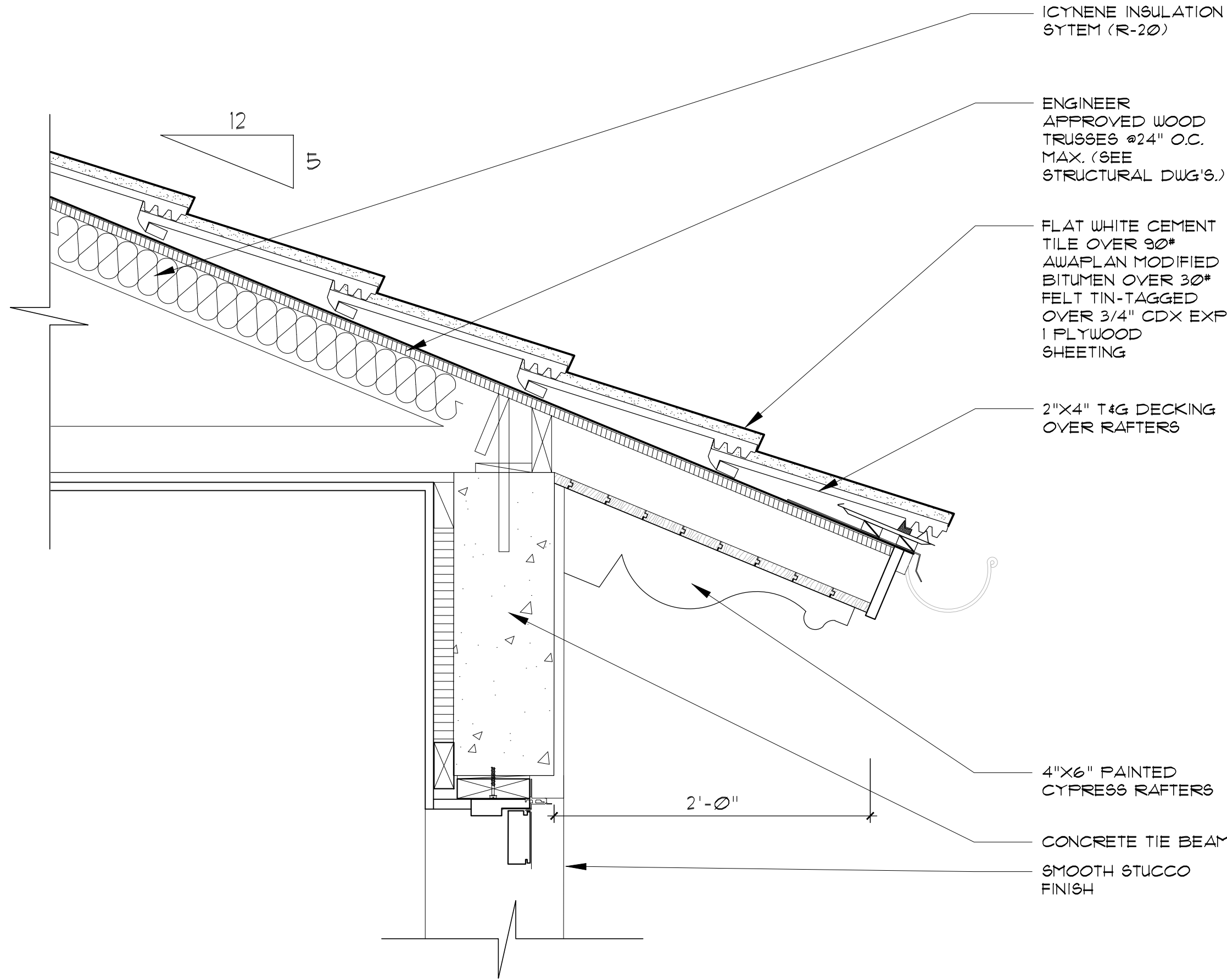
Proposed Entry- Elevation Detail  
Scale 1/2" = 1'-0"



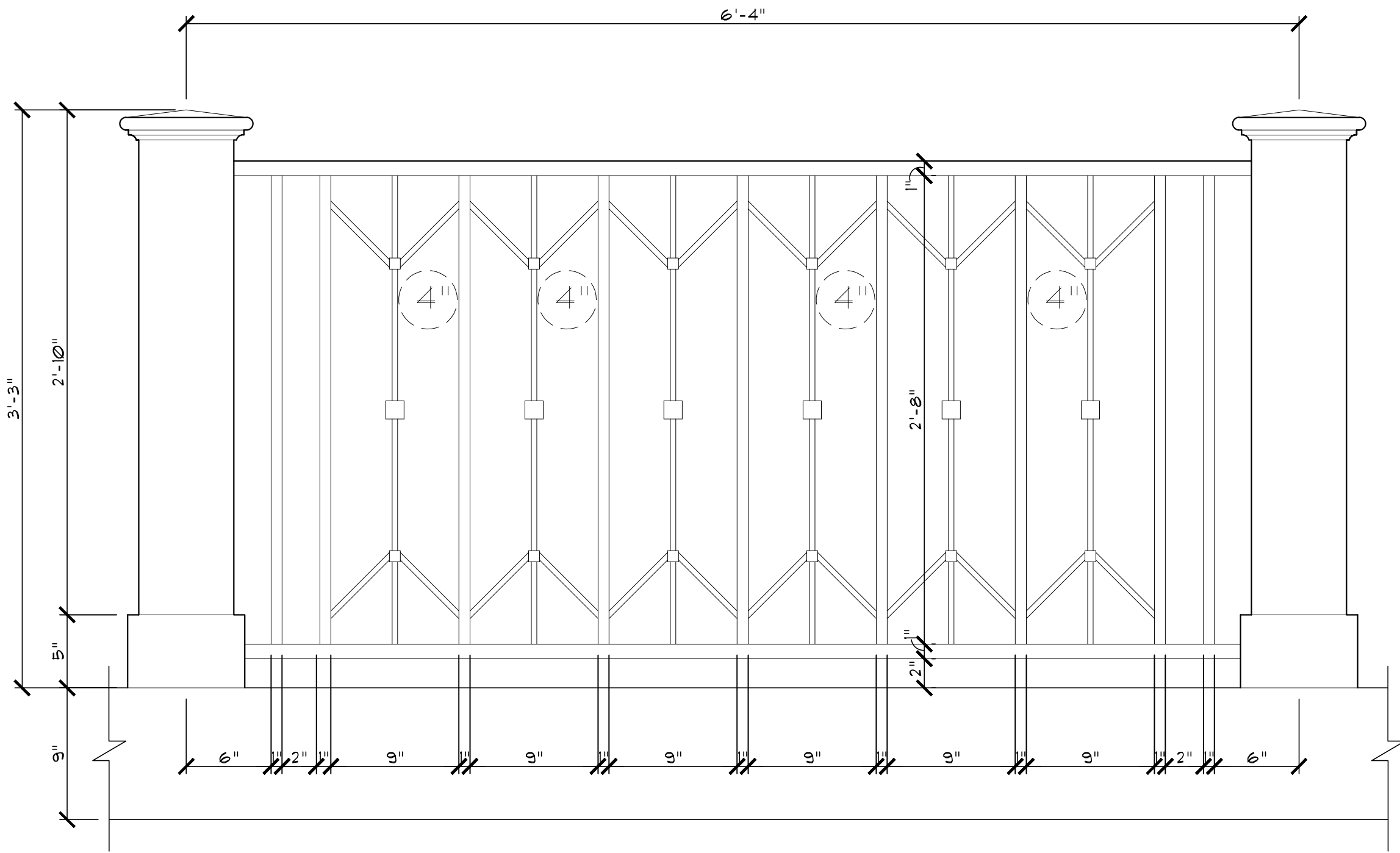
Bay Window Detail  
Scale 1/2" = 1'-0"



Bay Window Detail  
Scale 1/2" = 1'-0"



Outlooker Detail  
Scale 1-1/2" = 1'-0"



Railing Proposed Detail  
Scale 1-1/2" = 1'-0"



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2229

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REVISIONS

A New Residence for

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Palm Beach FL 33480

274 Monterey Road

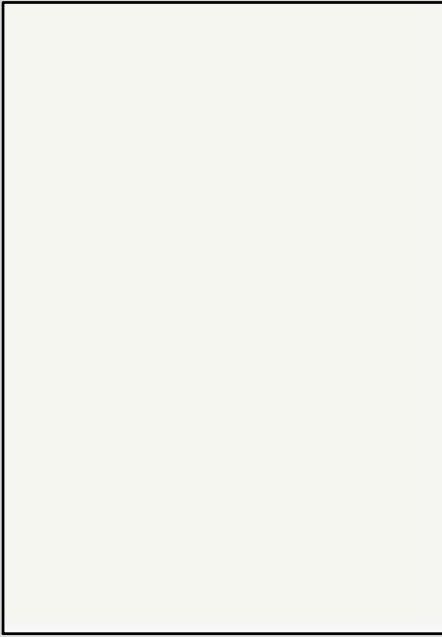


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SHEET NO.

A302

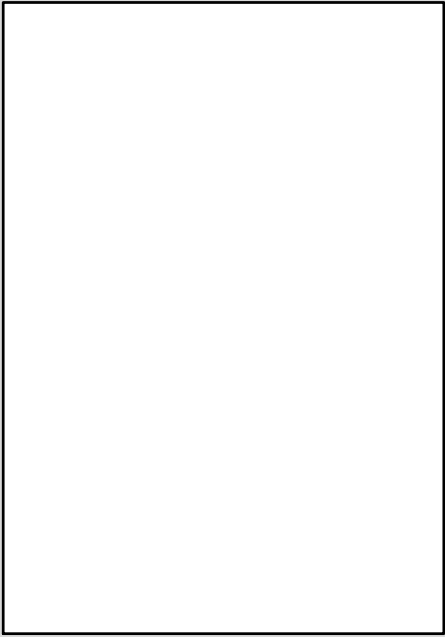





**Chantilly Lace OC-65**  
Benjamin Moore  
Building Color




**Black -2132**  
Benjamin Moore  
Shutter Color



**White**  
Windows, Doors, Railings & Garage Doors



**Cerused Oak Door**  
Front Door



**Natural Grey**  
9" Flat Cement Roof



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SHEET NO.  
**Materials**





Ex. View from Monterey Road



Ex. View to Front Entrance



Ex. View to Pool & Deck



Ex. View to South Yard



Ex. View to South Yard



Ex. View to Covered Parking

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480

Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture

Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

Dustin@environmentdesigngroup.com

Private Residence  
274 Monterey Road  
Town of Palm Beach

A  
D  
I  
R  
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F

JOB NUMBER:	# 22280.00 LA
DRAWN BY:	Lauren Freeman
DATE:	12.27.2022
	01.12.2023
	04.10.2023
	04.21.2023
	05.11.2023
	05.30.2023
	06.13.2023

SHEET L1.0

2023

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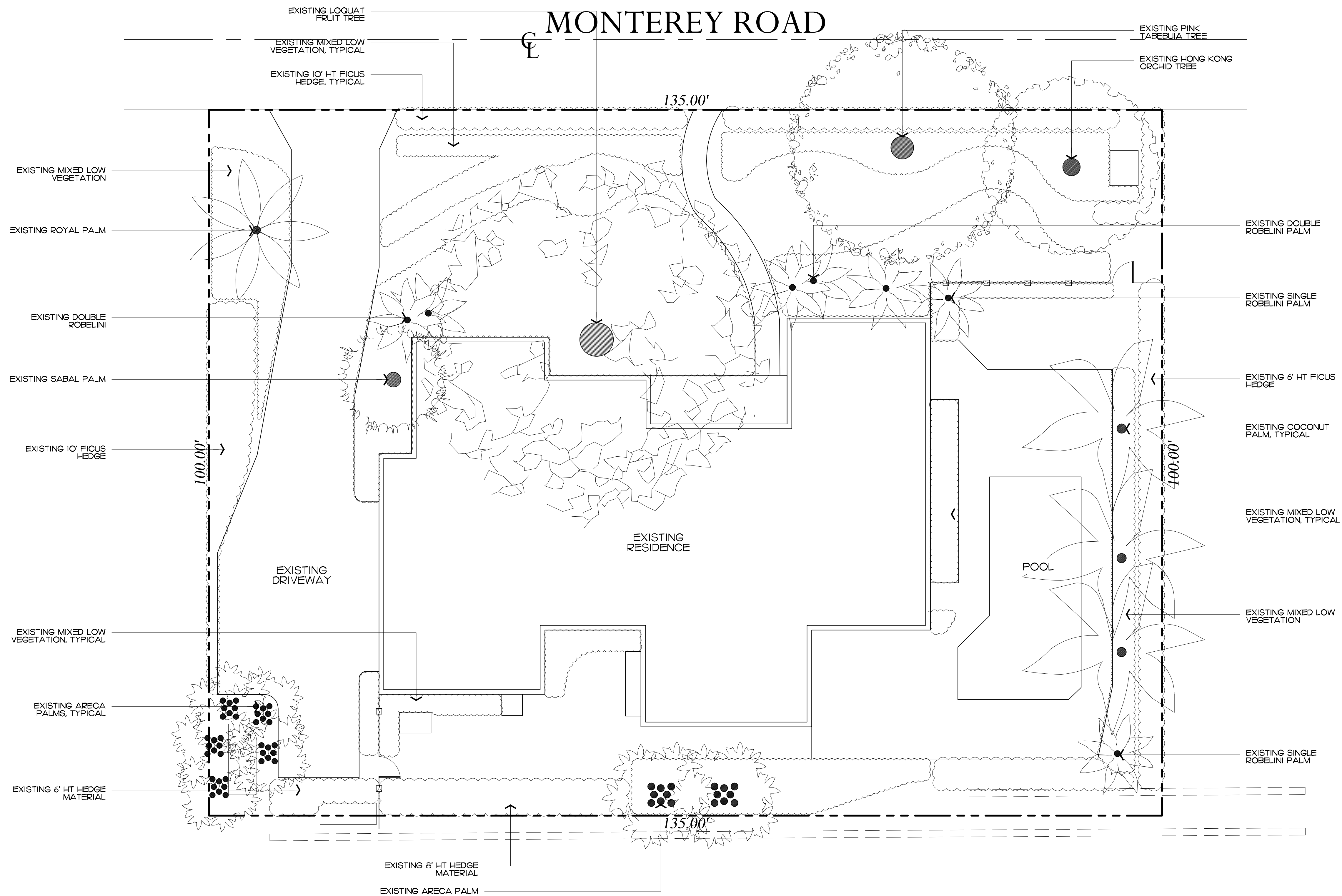
1-800-432-4770

SUNSHINE STATE ONE CALL

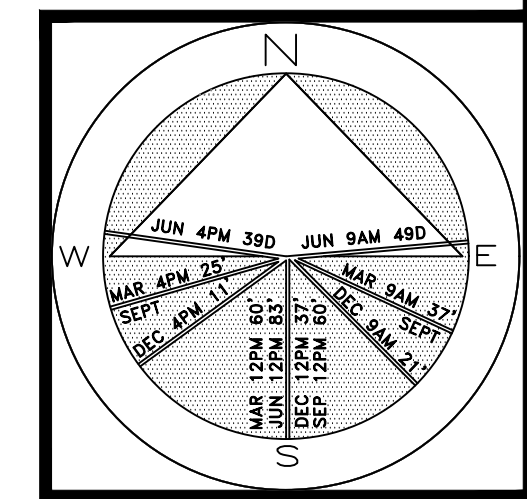
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ARCOM# ARC-23-099  
Existing Site Photos





Private Residence  
274 Monterey Road  
Town of Palm Beach



JOB NUMBER:	# 22280.00	LA
DRAWN BY:	Nick Pastor	
DATE:	12.08.2022	
	12.27.2022	
	01.12.2023	
	04.10.2023	
	04.21.2023	
	05.10.2023	
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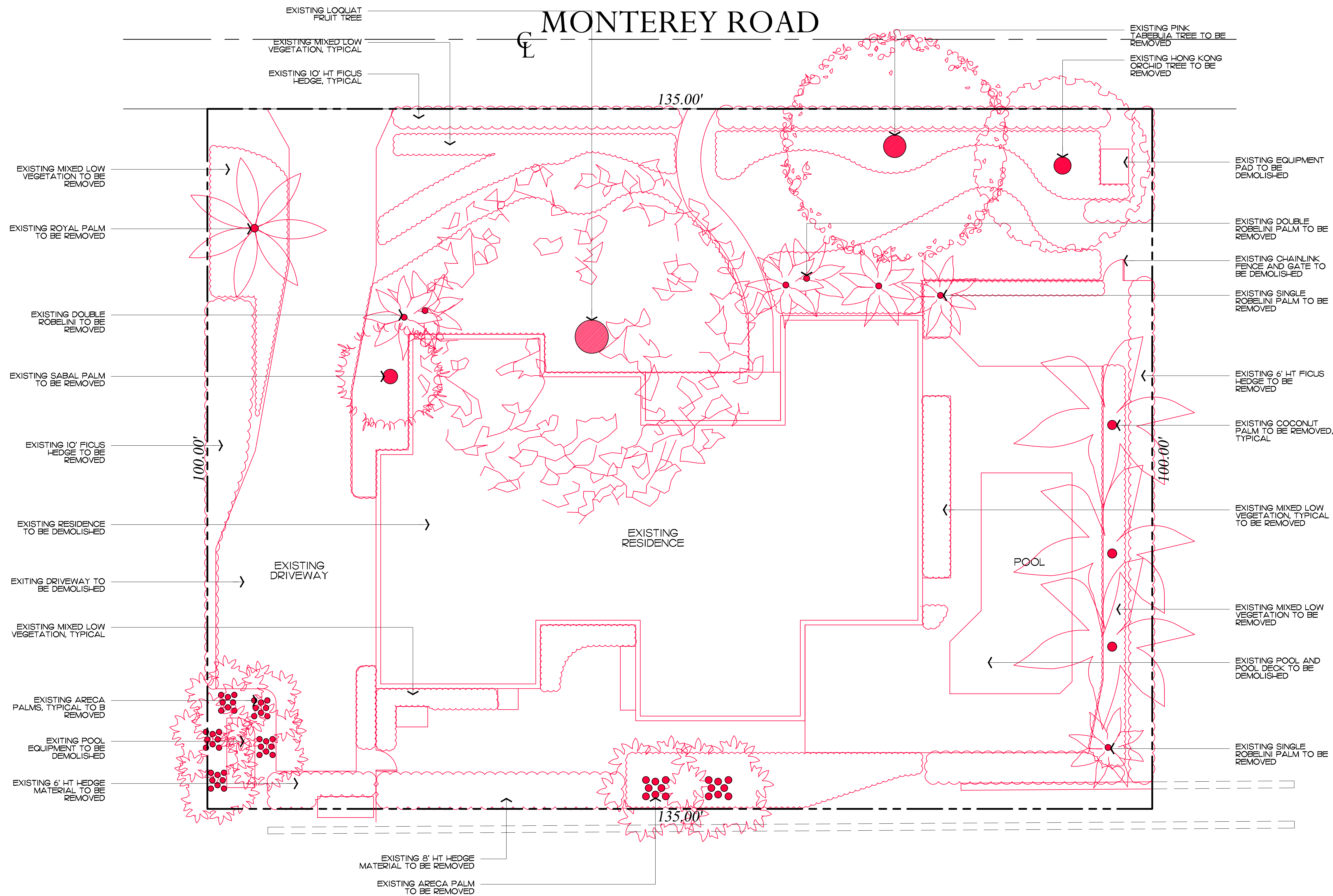
ARCOM# ARC-23-099  
Existing Vegetation Inventory & Action Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

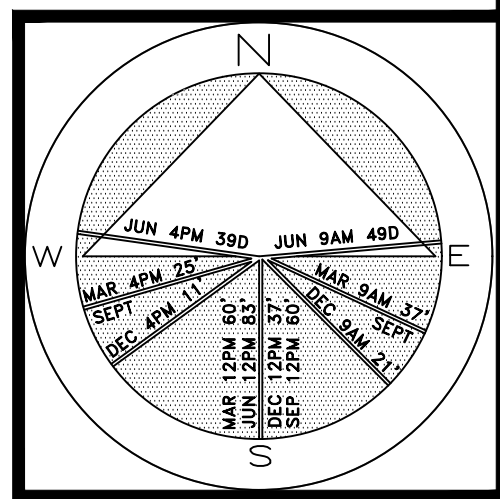
AREA IN SQ.FT.

SHEET L2.0





Private Residence  
274 Monterey Road  
Town of Palm Beach



JOB NUMBER:	# 22280.00 LA
DRAWN BY:	Nick Pastor
DATE:	12.08.2022
	12.27.2022
	01.12.2023
	04.10.2023
	04.21.2023
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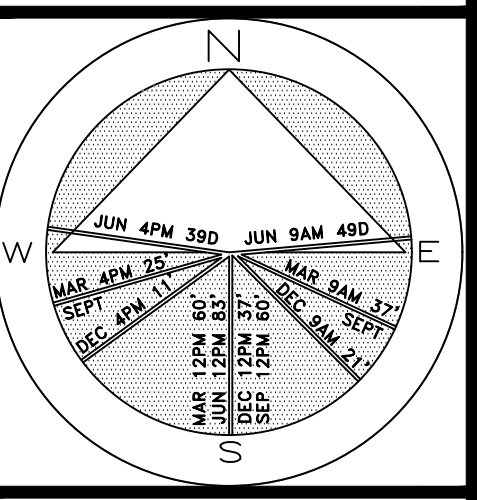
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ARCOM# ARC-23-099  
**Demolition and Vegetation Action Plan**  
SCALE IN FEET 0' 8' 16' 24'

**SHEET L3.0**  
64 sf.  
AREA IN SQ.FT.

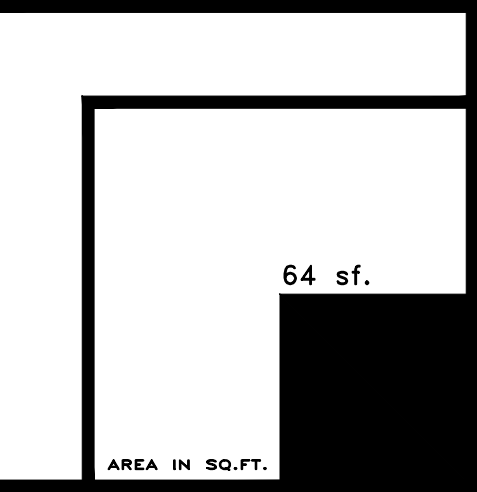


Private Residence  
274 Monterey Road  
Town of Palm Beach

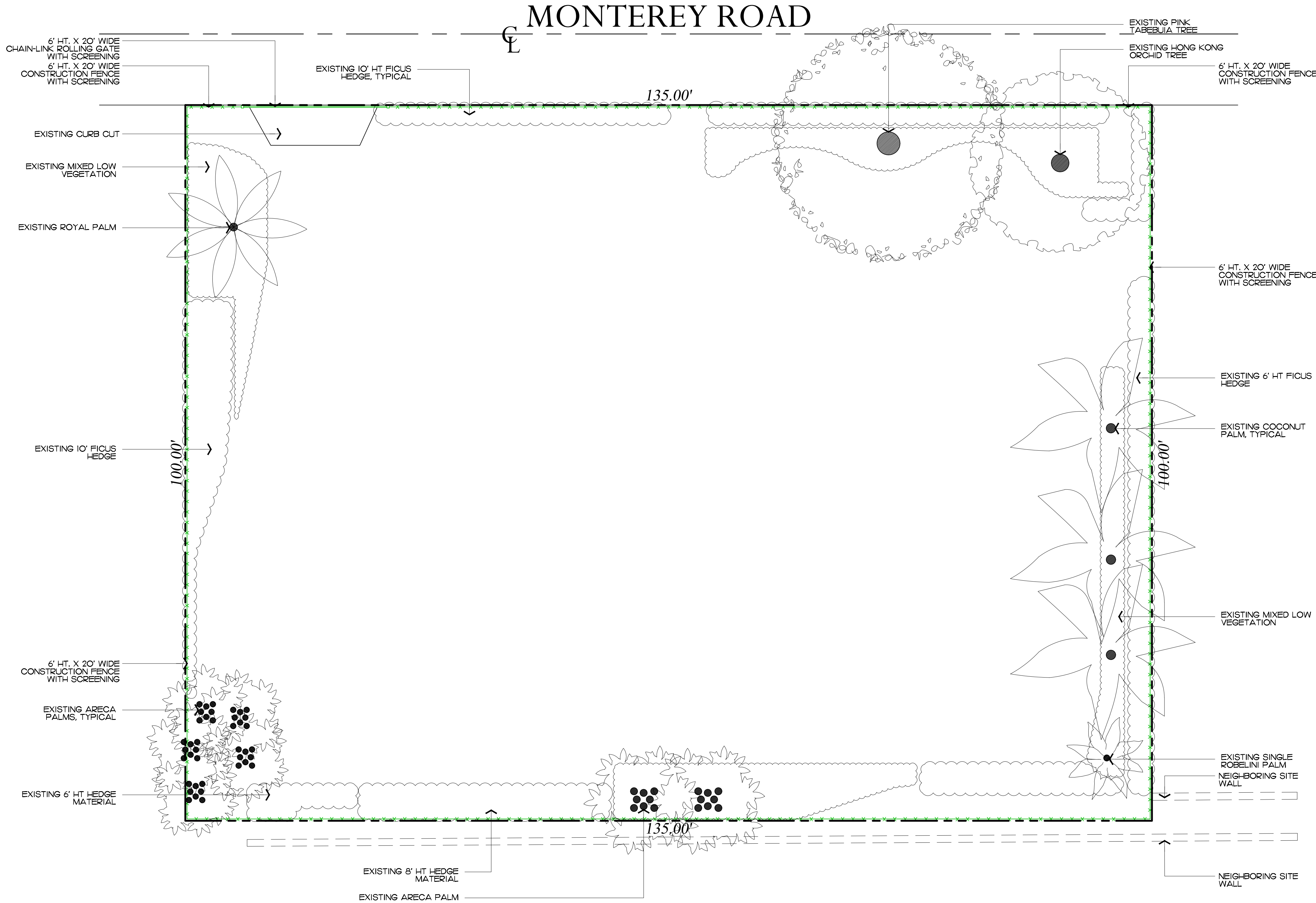


JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
04.10.2023  
04.21.2023  
05.11.2023  
05.30.2023  
06.13.2023

SHEET L4.0



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INTERIOR TREES AND PALMS WILL BE REMOVED WHEN NECESSARY FOR SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING CONSTRUCTION.



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ARCOM# ARC-23-099  
Construction Screening Plan  
SCALE IN FEET 0' 8' 16' 24'





Existing North Buffer



Existing North Buffer



Existing North Buffer



Existing South Buffer



Existing South Buffer



Existing South Buffer





Existing East Buffer



Existing East Buffer



Existing East Buffer



Existing West Buffer



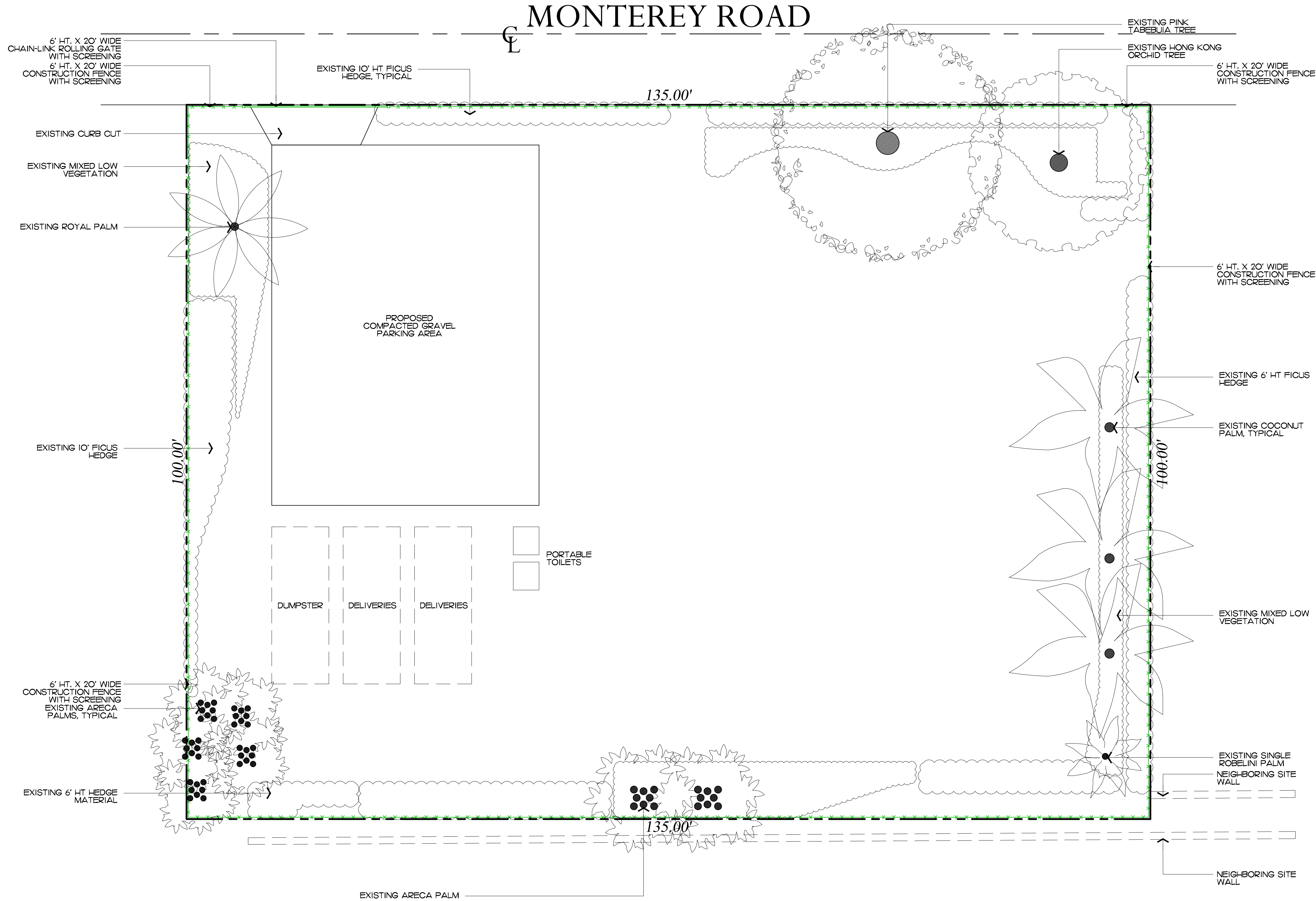
Existing West Buffer



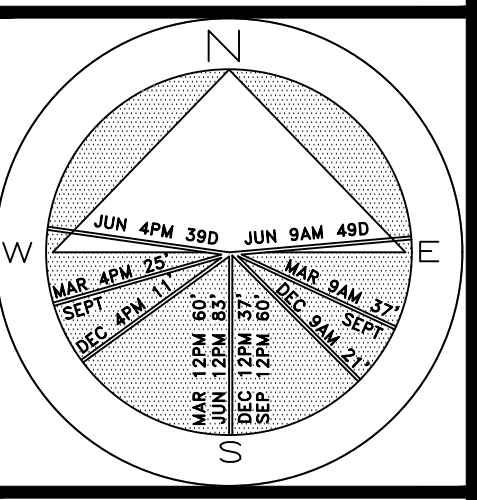
Existing West Buffer



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Private Residence  
274 Monterey Road  
Town of Palm Beach



JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
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04.11.2023  
05.11.2023  
05.30.2023  
06.13.2023

SHEET L5.0

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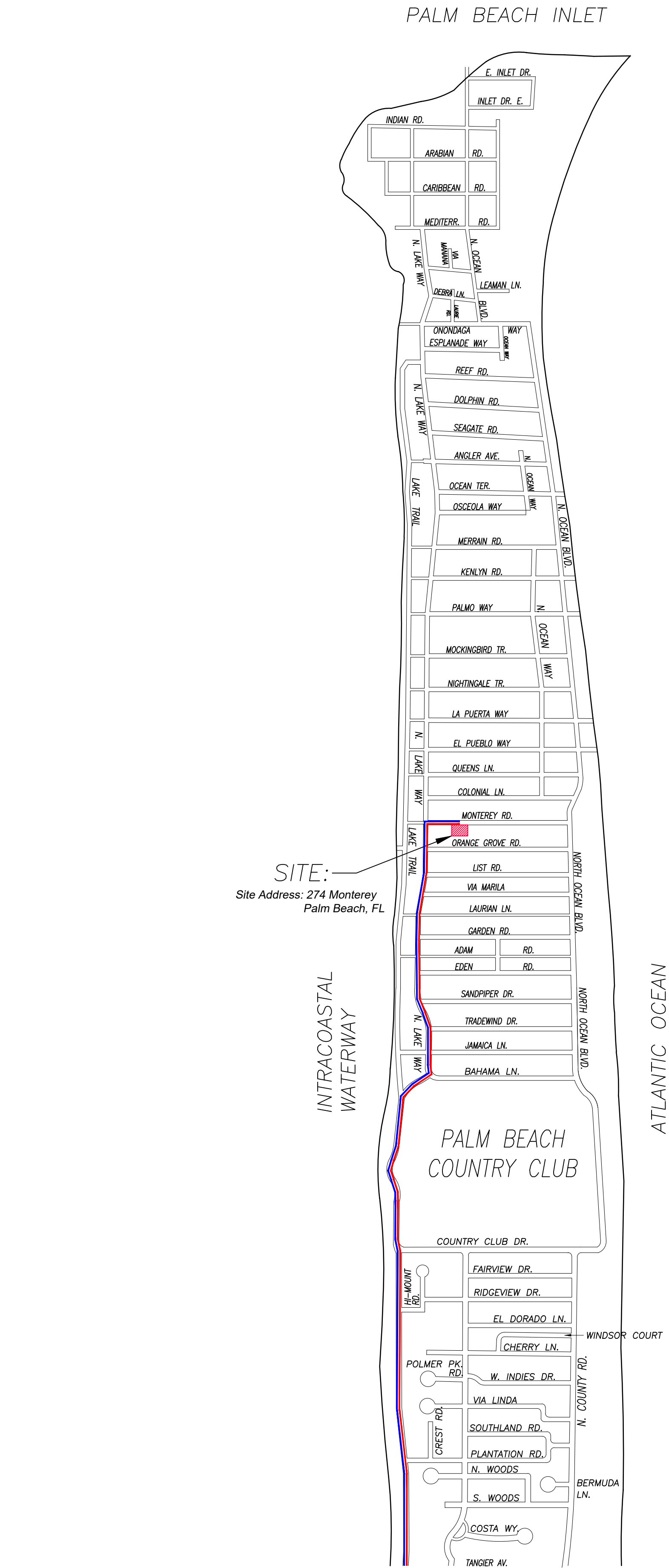
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SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ARCOM# ARC-23-099  
Construction Staging Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.





1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP  
(3 - 5 DAYS)

LARGEST TRUCK ->  
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

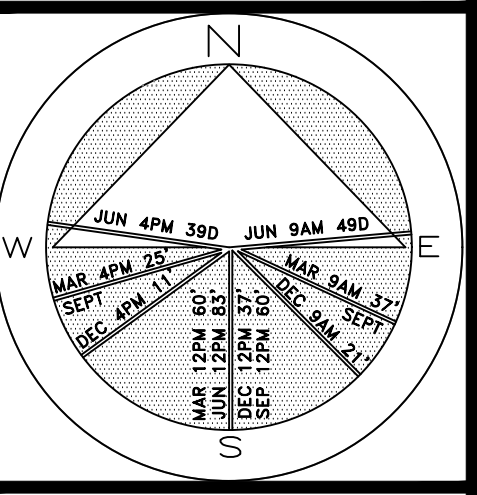
ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5020-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
274 Monterey Road  
Town of Palm Beach



JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
04.10.2023  
04.21.2023  
05.11.2023  
05.30.2023  
06.13.2023

SHEET L6.0

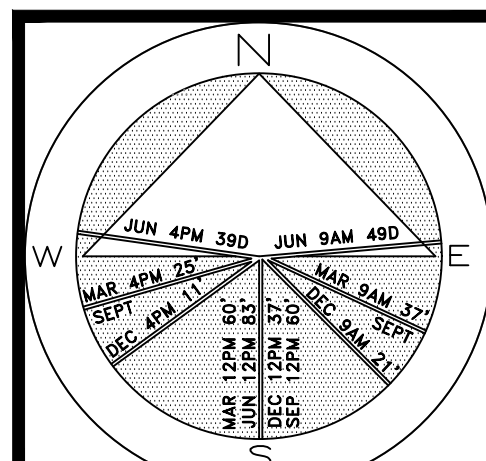
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ARCOM# ARC-23-099  
Truck Logistics Plan  
SCALE: NOT TO SCALE

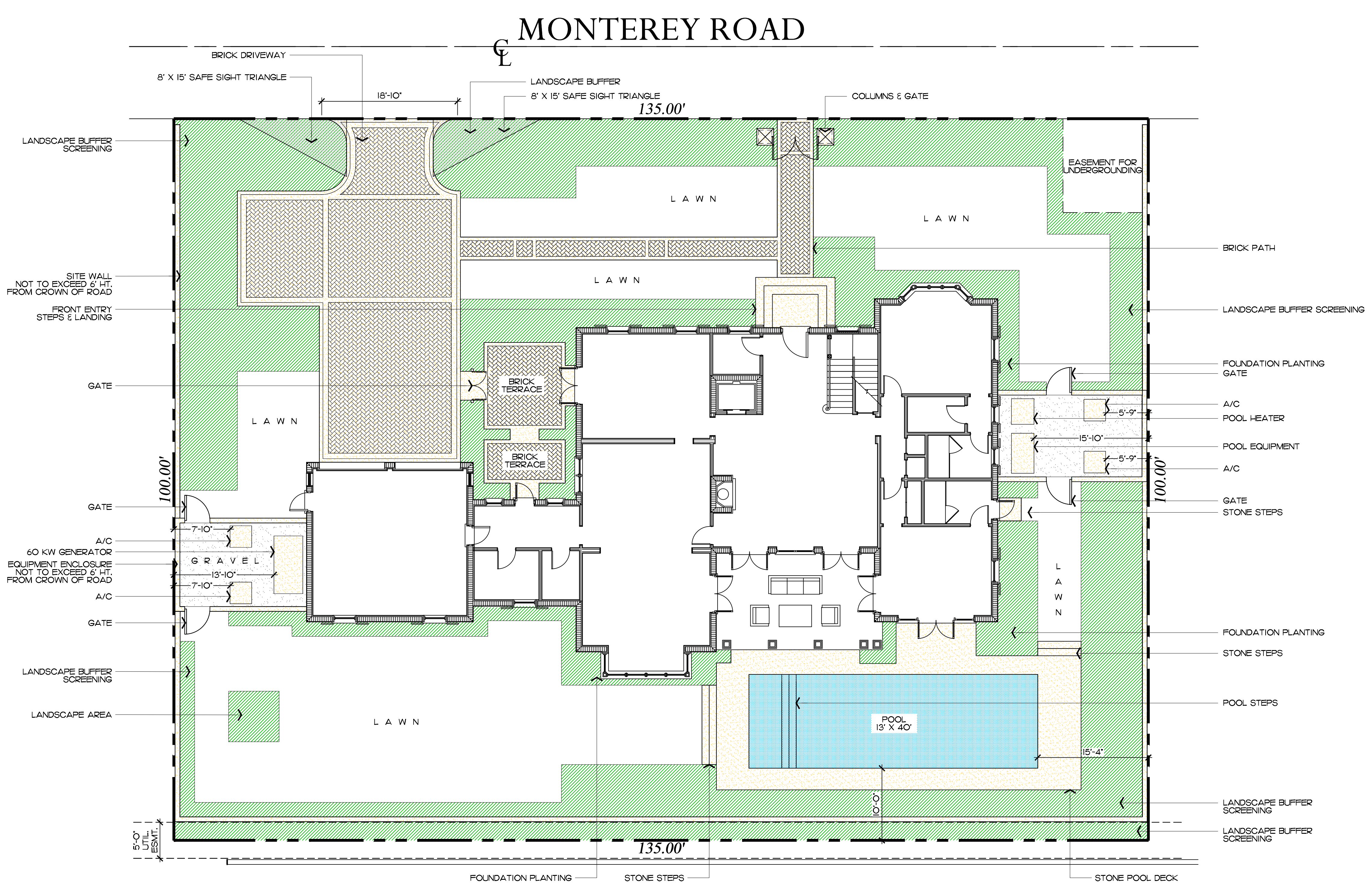
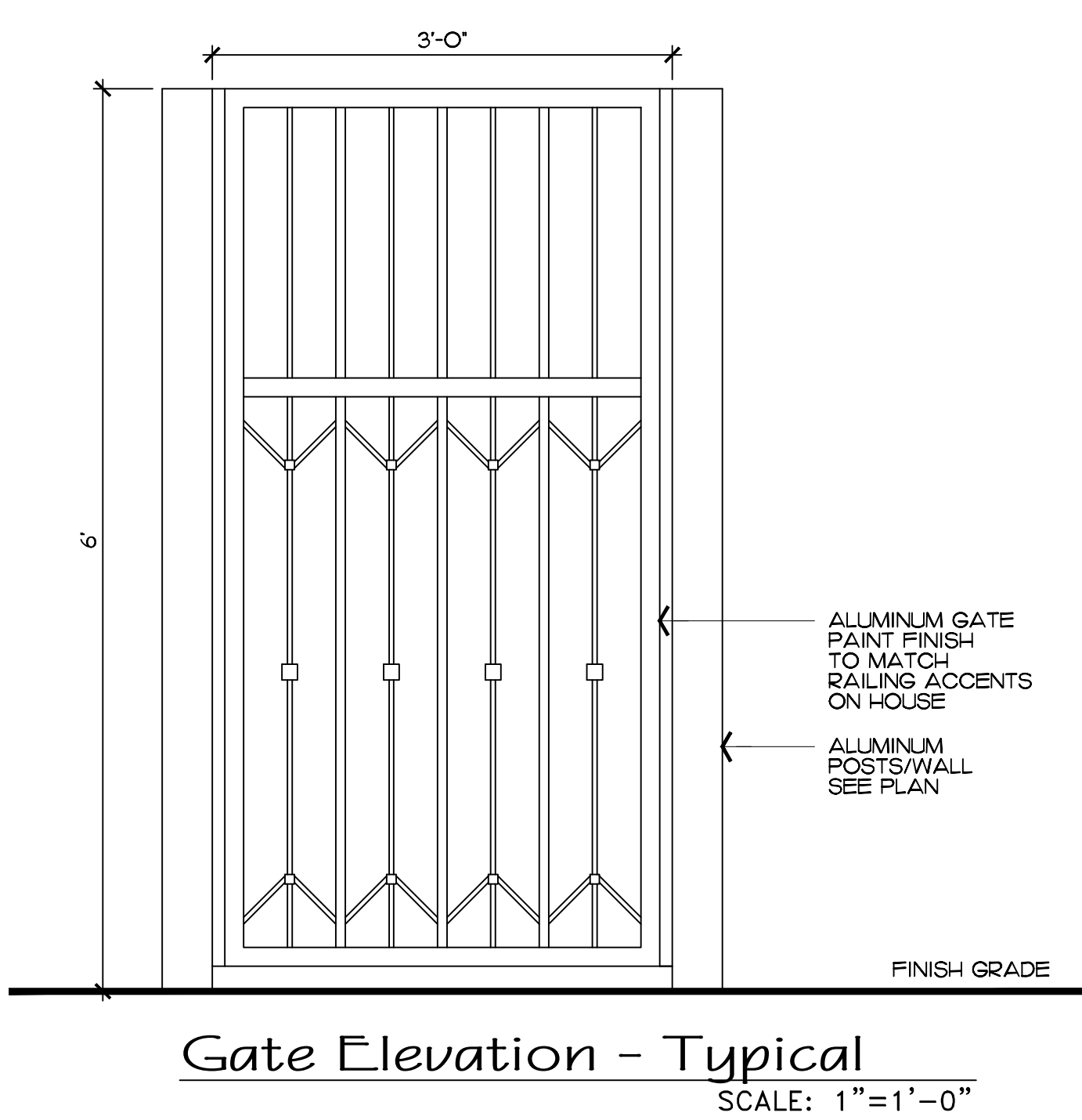




JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.08.2022  
12.27.2022  
01.12.2023  
04.10.2023  
04.21.2023  
05.11.2023  
05.30.2023  
06.13.2023

64 sf.

AREA IN SQ.FT.



Proposed Site Data				
DESCRIPTION		REQUIRED		PROPOSED
LOT ZONE				R-B - LOW DENSITY RESIDENTIAL
LOT AREA		10,000 S.F. MINIMUM		13,500 SF
OPEN / PERMEABLE SPACE	MINIMUM 45%	6,075 S.F.	50%	6,747 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,350 S.F.	72.5%	2,477 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	3,037.5 S.F.	81.4%	3,500 S.F.

[illegible]

ARCOM# ARC-23-099

Site Plan

SCALE IN FEET 0' 8' 16' 24'



Legend

IMPERVIOUS AREA (HOUSE/STRUCTURE)

IMPERVIOUS AREA (HARDSCAPE)

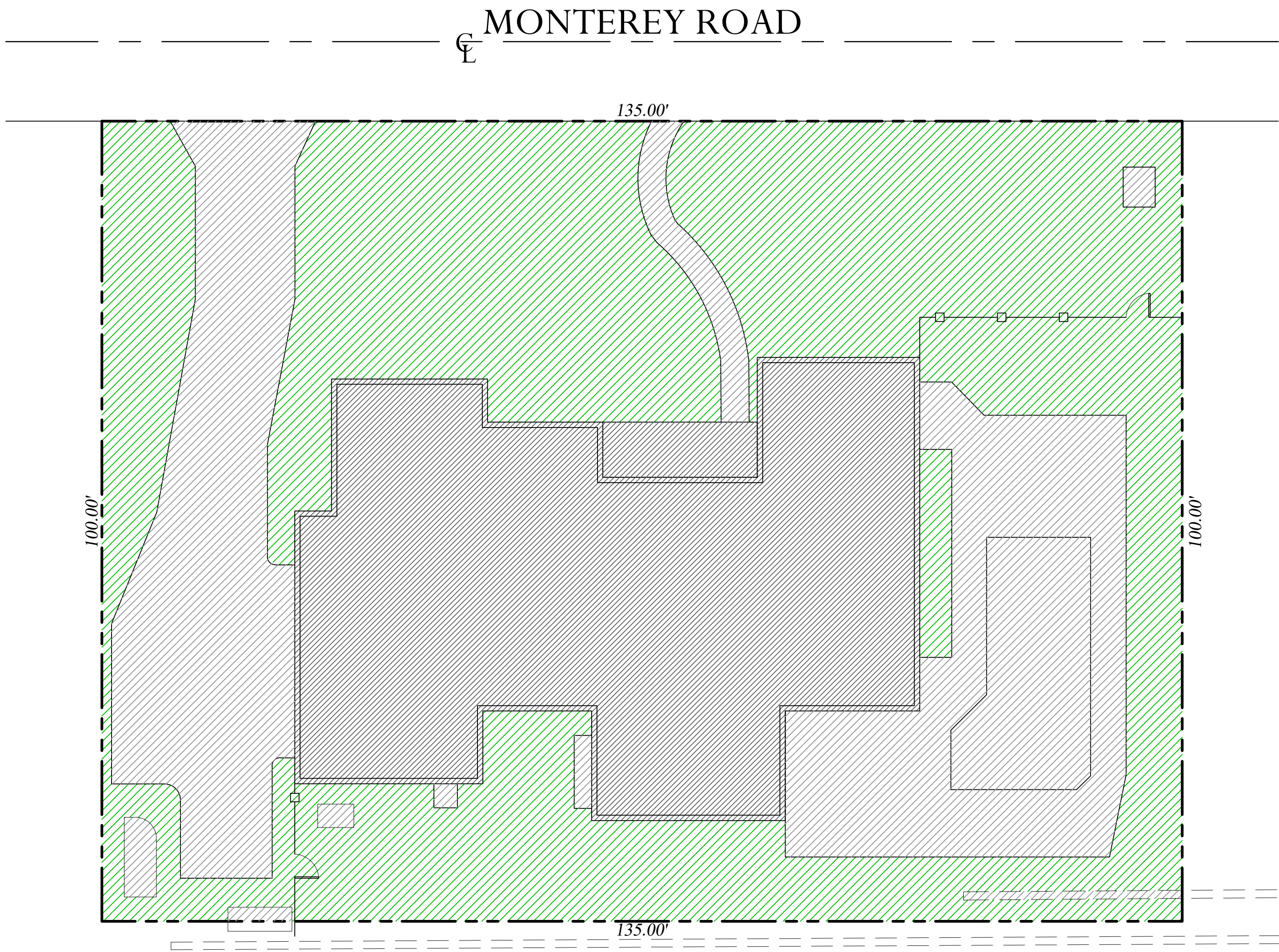
PERVIOUS AREA (OPEN SPACE)

ENVIRONMENT  
DESIGN  
GROUP

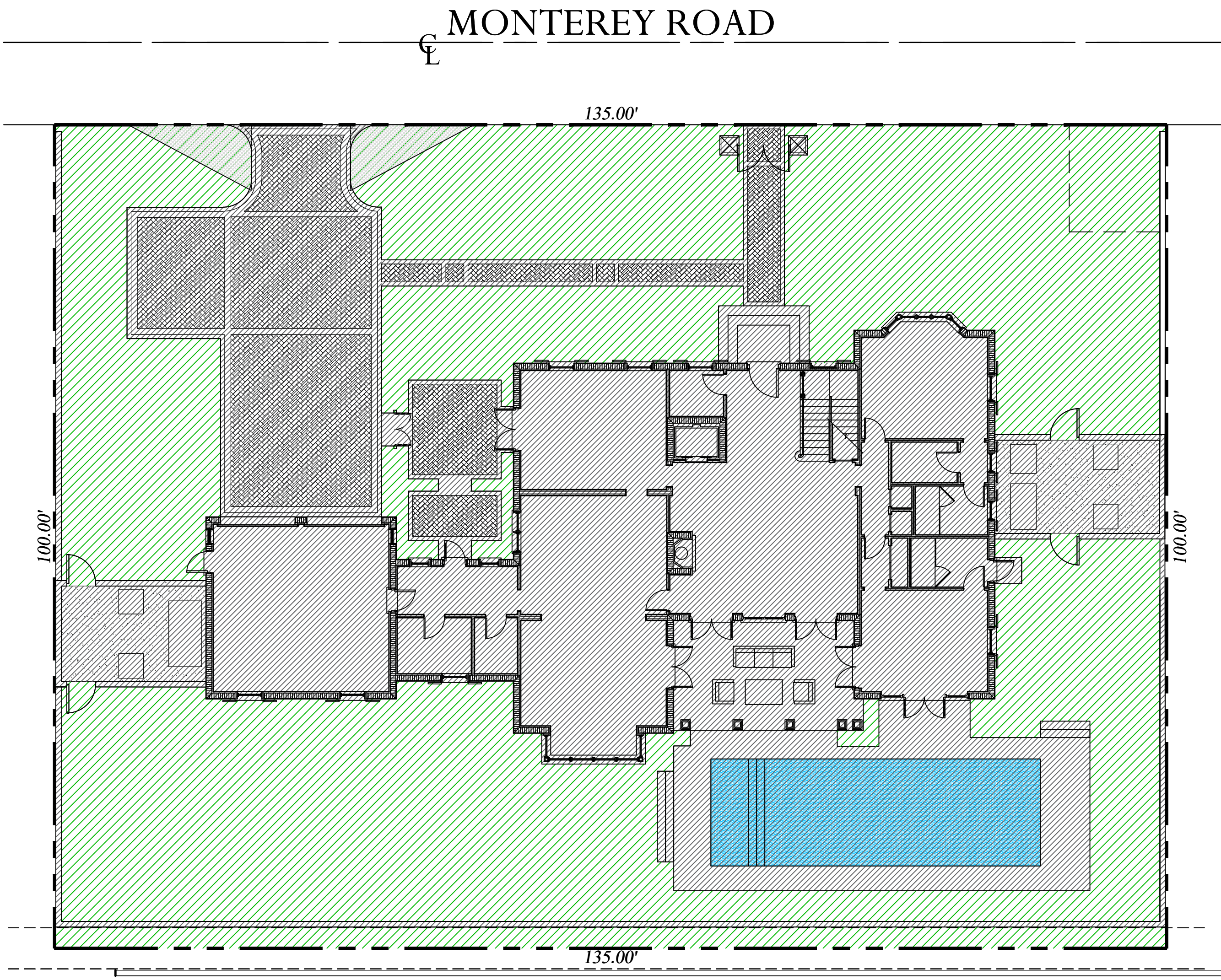
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Landscape Architecture  
Land Planning  
Landscape Management

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Existing Open Space Graphic



Proposed Open Space Graphic

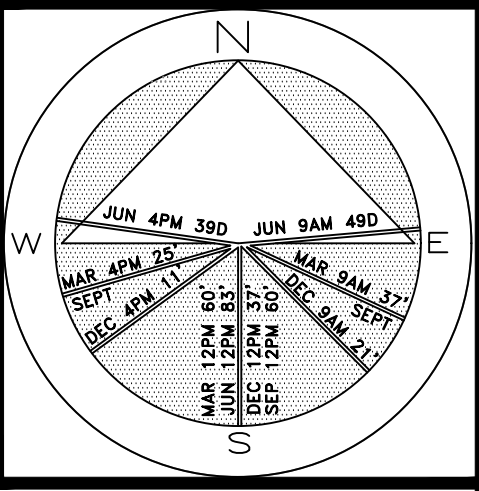
Existing Site Data

DESCRIPTION	REQUIRED		EXISTING	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		13,500 SF	
OPEN / PERMEABLE SPACE	MINIMUM 45%	6,075 S.F.	48.5%	6,548 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,350 S.F.	86.8%	2,930 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	3,037.5 S.F.	80.9%	3,477 S.F.

Proposed Site Data

DESCRIPTION	REQUIRED		PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		13,500 SF	
OPEN / PERMEABLE SPACE	MINIMUM 45%	6,075 S.F.	50%	6,747 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,350 S.F.	72.5%	2,477 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	3,037.5 S.F.	81.4%	3,500 S.F.

Private Residence  
274 Monterey Road  
Palm Beach



JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
04.10.2023  
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05.11.2023  
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06.13.2023

SHEET L7.1

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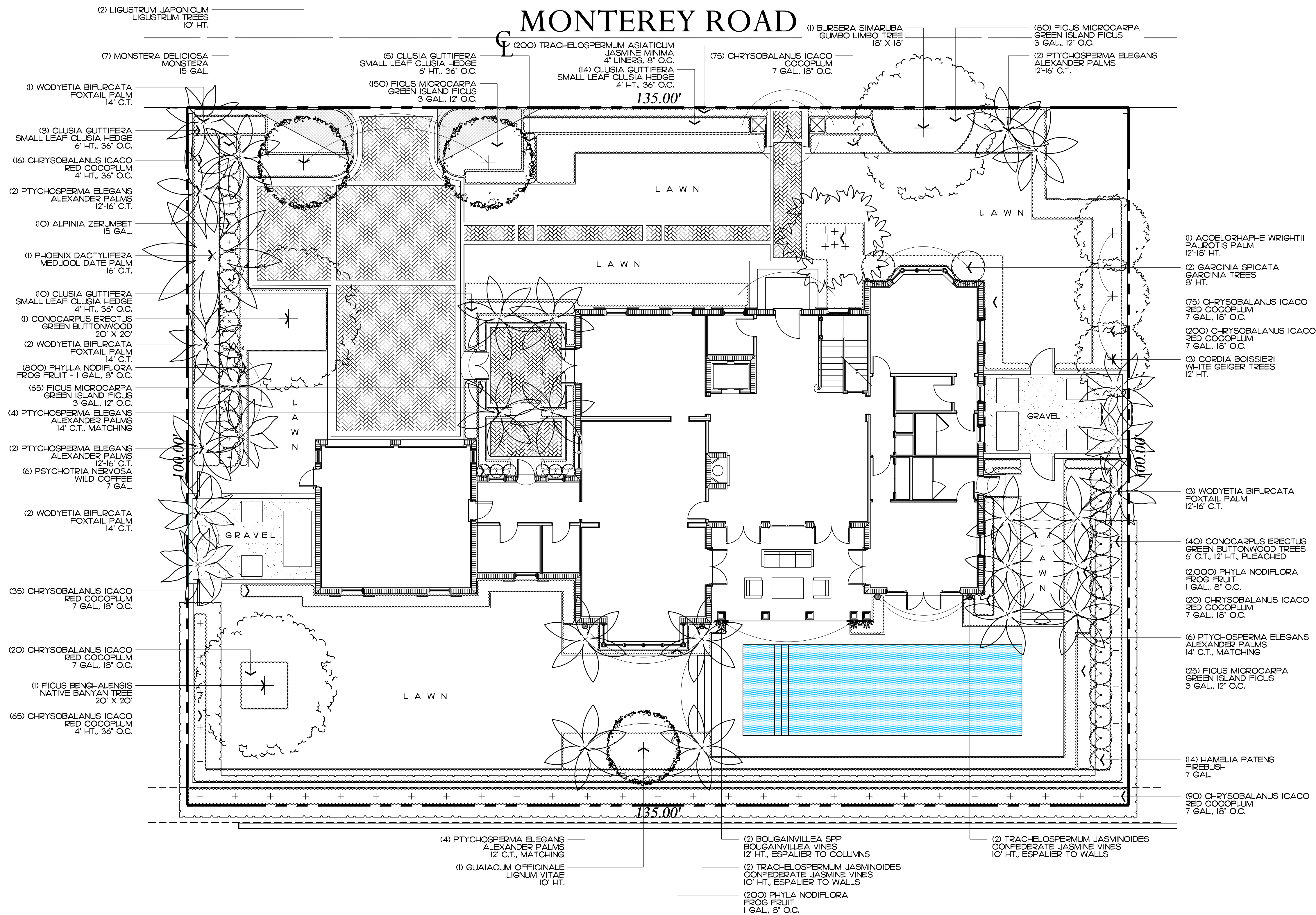
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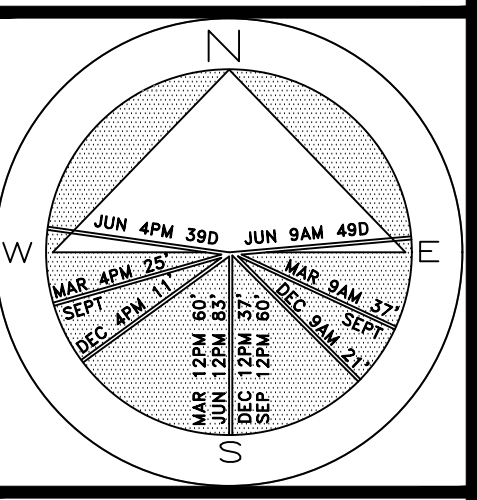
Site Calculation/Open Space Graphics

SCALE IN FEET: 3/32"=1'-0"





Private Residence  
274 Monterey Road  
Palm Beach



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DRAWN BY: Lauren Freeman  
DATE: 12.08.2022  
12.27.2022  
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ARCOM# ARC-23-099  
Landscape Plan  
SCALE IN FEET 0' 8' 16' 24'

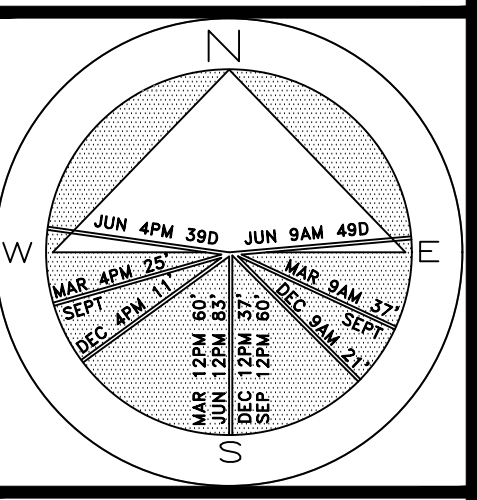
64 sf.

AREA IN SQ.FT.





Private Residence  
274 Monterey Road  
Palm Beach



JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
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ARCOM# ARC-23-099  
Rendered Landscape Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.



Trees

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	GARCINIA SPICATA GARCINIA TREES	2	8' HT.	NO
	LIGUSTRUM JAPONICUM LIGUSTRUM TREES	2	10' HT.	NO
	BURSERA SIMARUBA GUMBO LIMBO TREES	1	18' X 18', SPECIMEN	YES
	CONOCARPUS ERECTUS GREEN BUTTONWOOD TREES	40 1	6' C.T., 12' HT., PLEACHED 20' X 20', SPECIMEN	YES
	FICUS BENGHALENSIS NATIVE BANYAN TREE	1	20' X 20', SPECIMEN	YES
	GUAIACUM OFFICINALE LIGNUM VITAE TREE	1	10' HT.	YES
	CORDIDA BOISSIERI WHITE GEIGER TREE	3	12' HT.	NO
TOTAL: NATIVE SPECIES:		51 47 (92.3%)		

Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	WODYETIA BIFURCATA FOXTAIL PALM	8	12'-16' HT.	NO
	PHOENIX SYLVESTRIS MEDJOOŁ DATE PALM	1	16' C.T.	NO
	ACOE RHAPHE WRIGHTII PALUOTIS PALM	1	12'-18' HT.	YES
	PTYCHOSPERMA ELEGANS ALEXANDER PALMS	20	12'-16' C.T.	NO

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Shrubs

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ALPINIA ZERUMBET SHELL GINGER	10	15 GAL.	NO
	HAMELIA PATENS FIREBUSH	14	7 GAL.	YES
	PSYCHOTRIA NERVOSA WILD COFFEE	6	7 GAL.	YES
	CLUSIA GUTTIFERA SMALL LEAF CLUSIA HEDGE	24 3	4' HT., 36" O.C. 6' HT., 36" O.C.	NO
	MONSTERA DELICIOSA MONSTERA	7	15 GAL.	NO
	FICUS MICROCARPA GREEN ISLAND FICUS	320	3 GAL., 12" O.C.	NO
	CHRYSOBALANUS ICACO RED COCOPLUM HEDGE	81 495	4' HT., 36" O.C. 7 GAL., 18" O.C.	YES
TOTAL: NATIVE SPECIES:		960 596 (62.1%)		

Vines, & Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BOUGAINVILLEA SPP BOUGAINVILLEA VINES	2	12' HT., ESPALIER TO COLUMNS	NO
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINES	4	10' HT., ESPALIER TO WALLS	NO
	TRACHELOSPERMUM ASIATICUM JASMINE MINIMA	200	4" LINERS, 6" O.C.	NO
	PHYLLODODIFLORA FROG FRUIT	3,200	1 GAL. 18 O.C.	YES
TOTAL: NATIVE SPECIES:		1,629 1,450 (89%)		

ENVIRONMENT  
DESIGN  
GROUP

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Palm Beach, FL 33480

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Landscape Architecture

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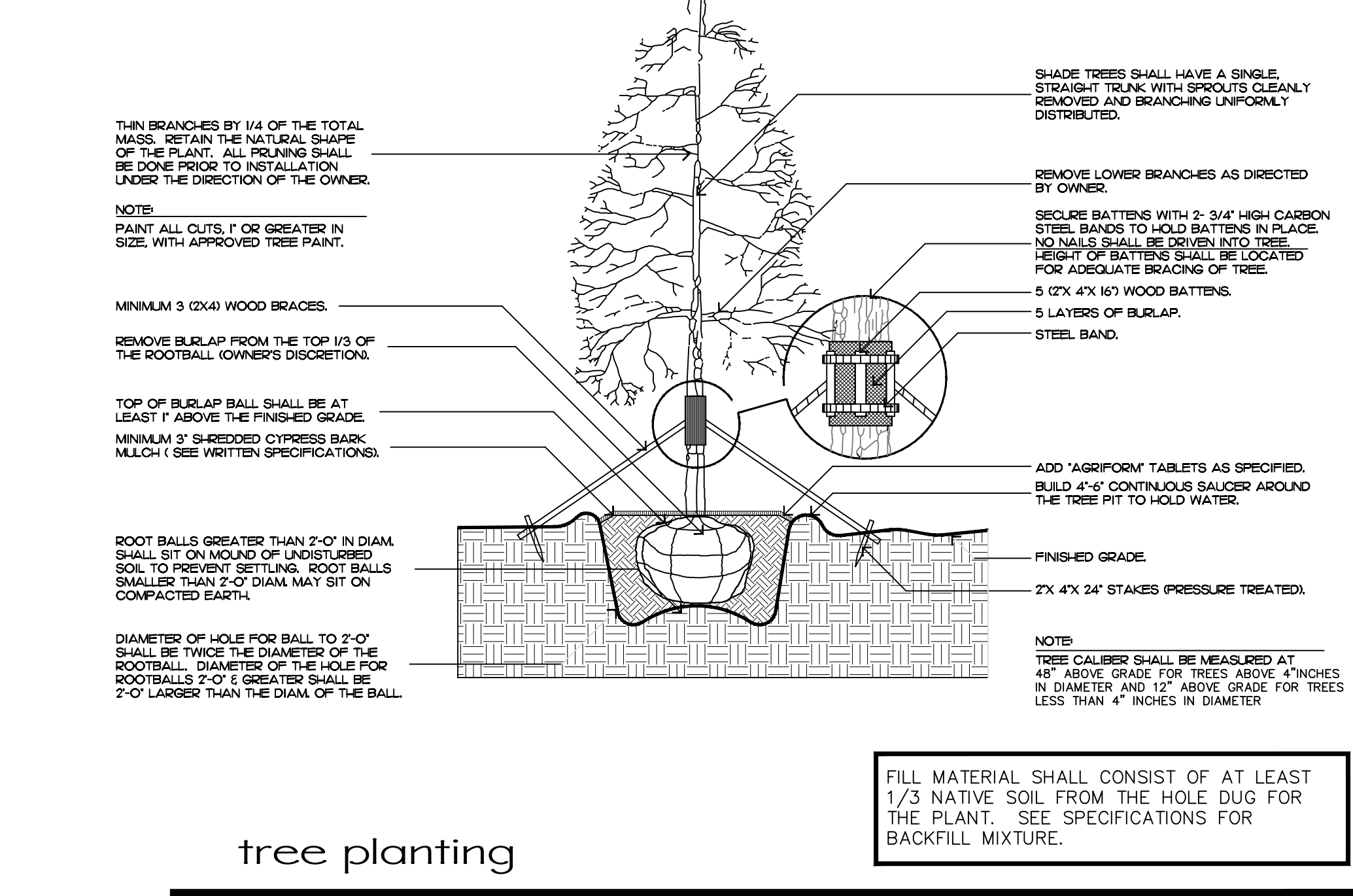
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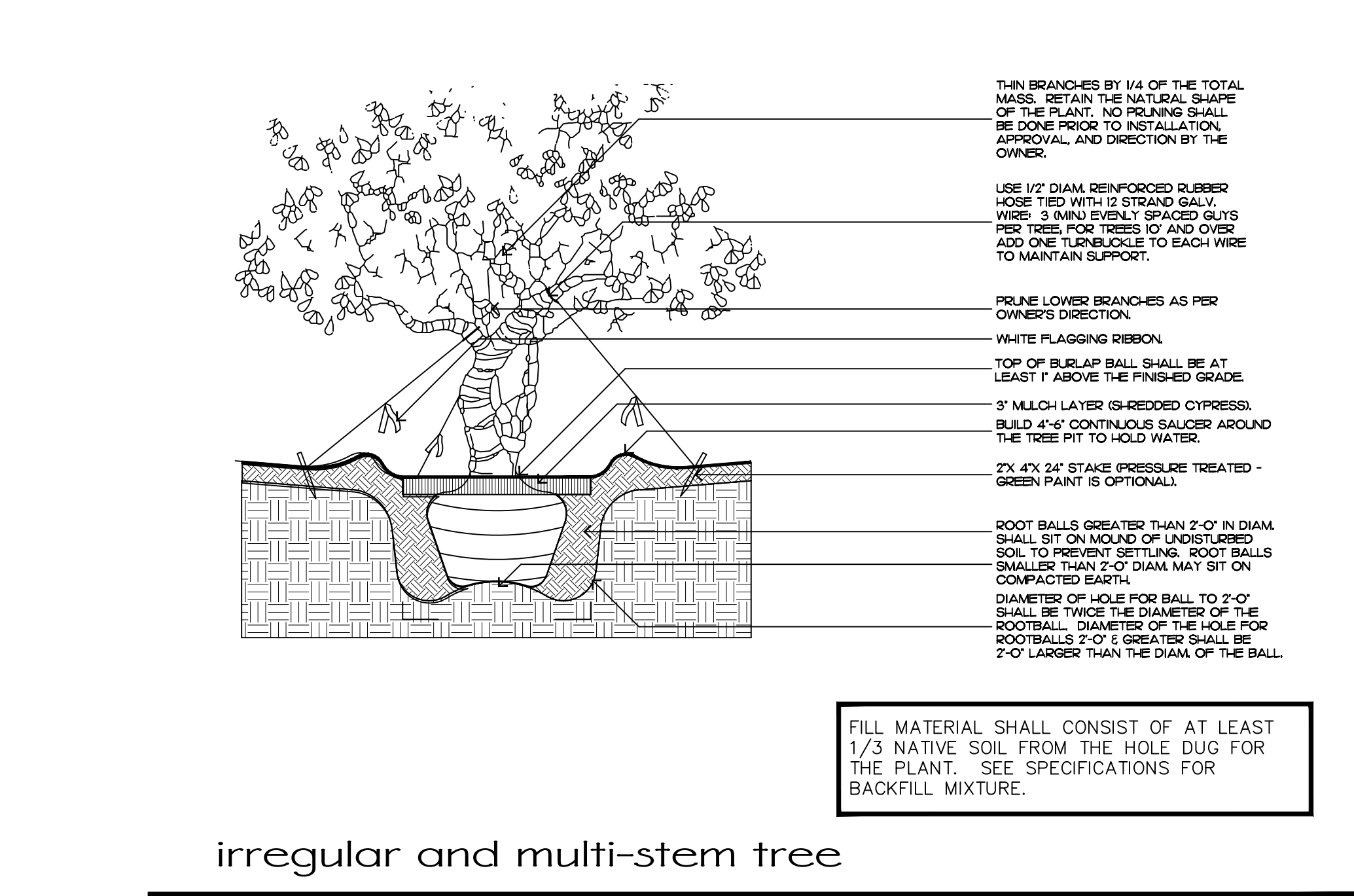
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ARCOM# ARC-23-099  
Plant Schedule

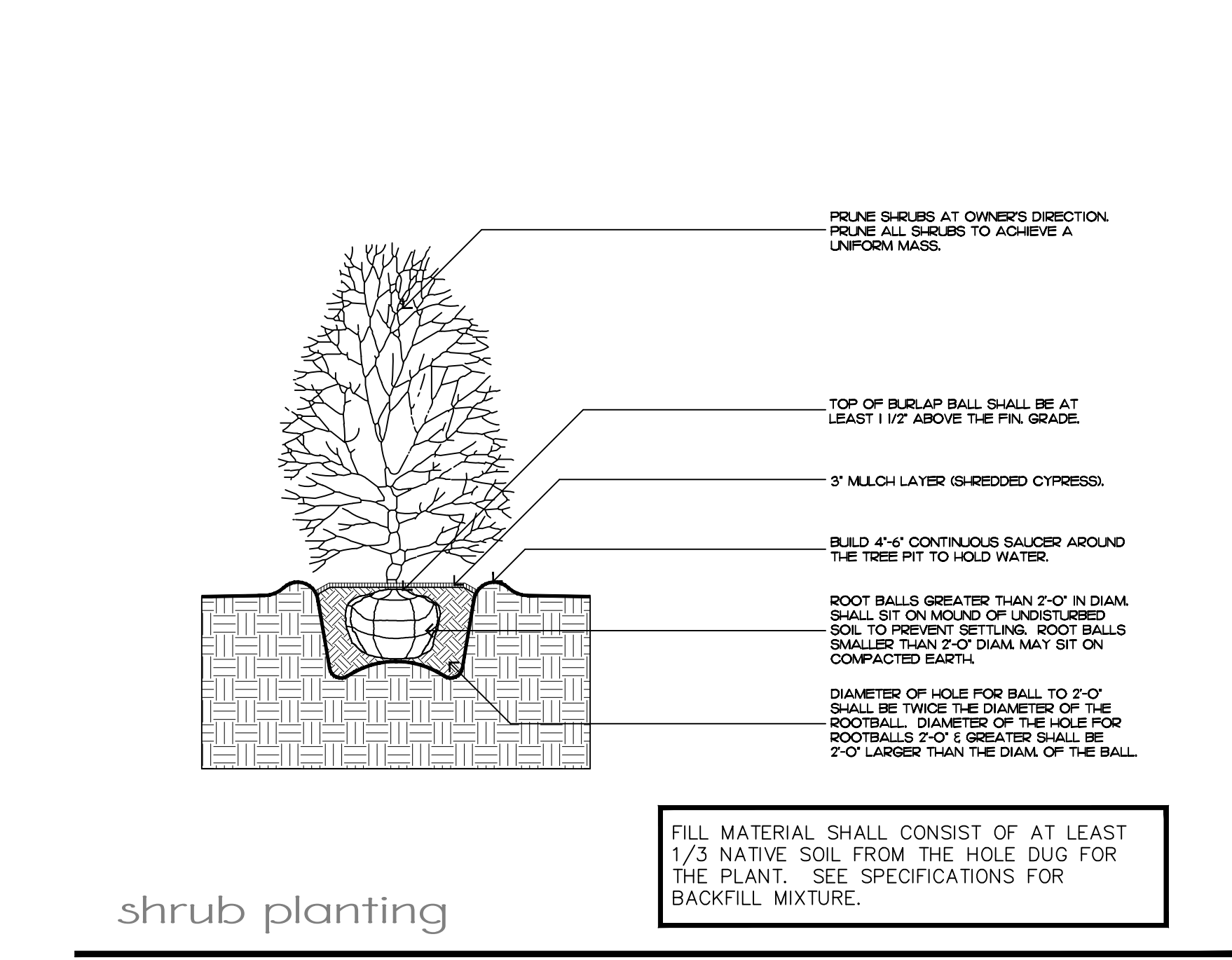




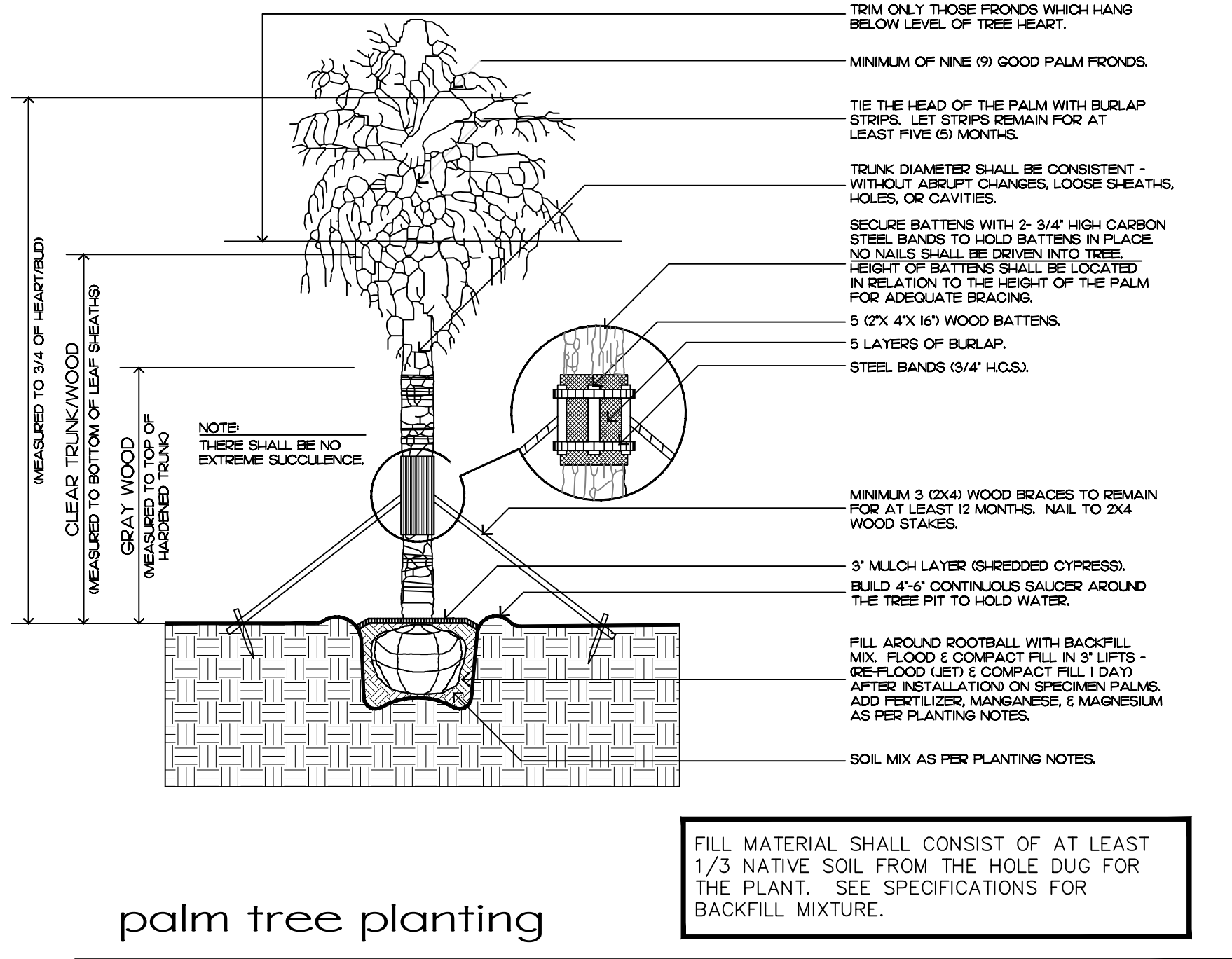
tree planting



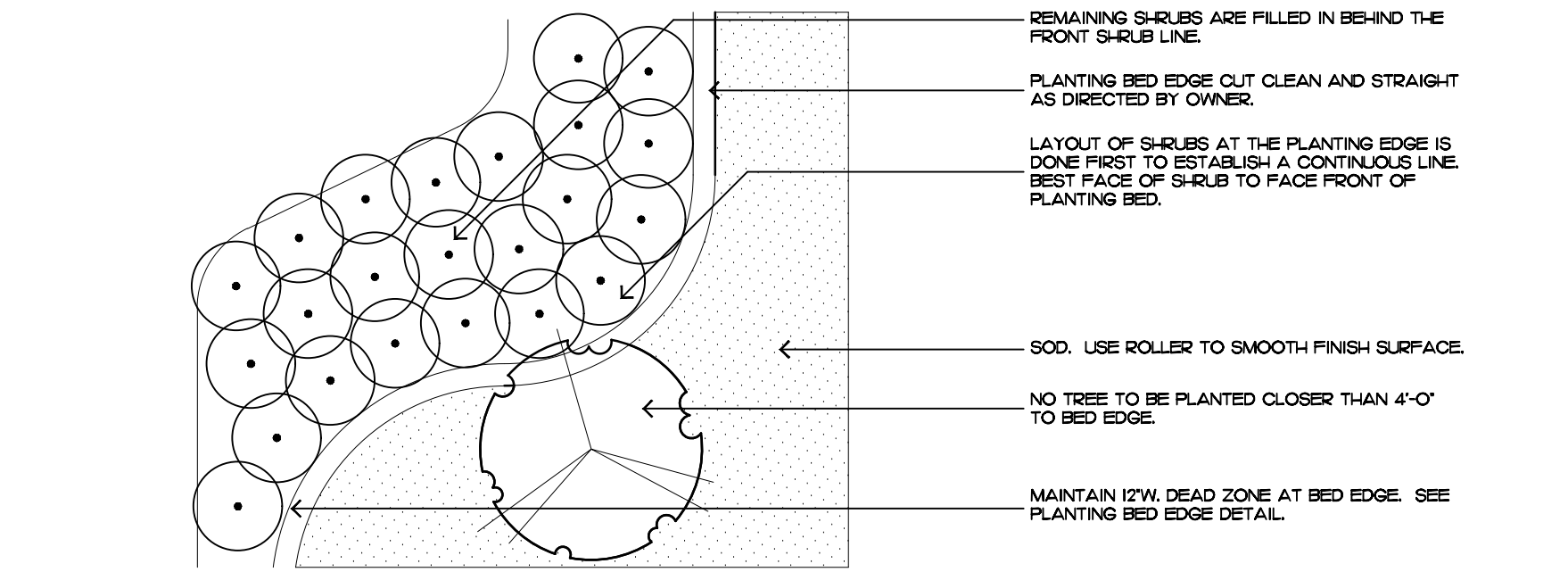
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERGMOSS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1, OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN WEARS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEM. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
- 

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ARCOM# ARC-23-099

# Planting Details & Specifications

**2023**  
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**2023**  
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SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

**ENVIRONMENT  
DESIGN  
GROUP**  
139 North County Road 5820-8 Palm Beach, FL 33480  
Phone 561.832.4600 Mobile 561.313.4424  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

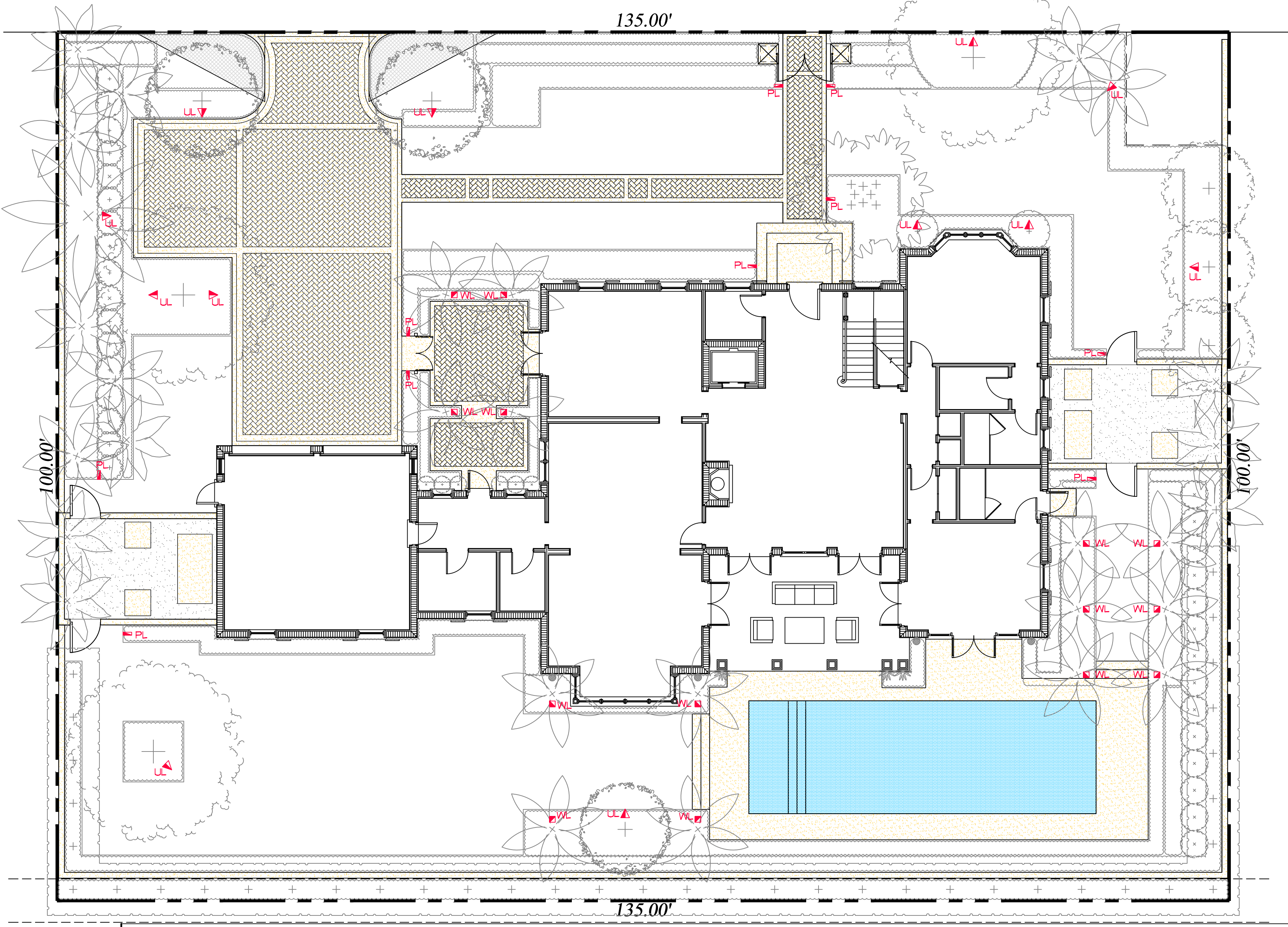
Private Residence  
274 Monterey Road  
Palm Beach  
FL 33480

JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
04.10.2023  
04.21.2023  
05.11.2023  
05.30.2023  
06.13.2023

SHEET L8.3



MONTEREY ROAD



Lighting Schedule

SYMBOL	DESCRIPTION	QTY.
UL	UPLIGHT - AURORALIGHT - HSL16-R TELLURIDE BRASS - 3 WATTS - LED 3000K	12
WL	WELL LIGHT - AURORALIGHT - LWL5 LIGHTHAUS BRASS FINISH - 9 WATTS - LED 3000K	14
PL	PATH LIGHT - AURORALIGHT - LPL8 - CORONA BRASS FINISH - 4.5 WATTS - LED 3000K	9



UP LIGHT



PATH LIGHT



WELL LIGHT

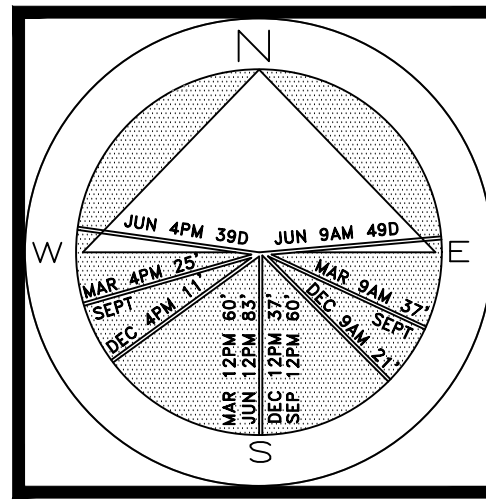
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SHEET L9.0

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ARCOM# ARC-23-099  
Landscape Lighting Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sq. ft.

AREA IN SQ.FT.



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Palm Beach

A  
D  
I  
R  
O  
L  
F

JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
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SHEET L10.0



North Elevation



South Elevation

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ARCOM# ARC-23-099  
Rendered Landscape Elevations  
SCALE IN FEET: 3/16"=1'-0"





East Elevation



West Elevation

JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 12.27.2022  
01.12.2023  
04.21.2023  
05.30.2023  
06.13.2023

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ARCOM# ARC-23-099  
Rendered Landscape Elevations  
SCALE IN FEET: 3/16"=1'-0"

SHEET L10.1





Old Chicago Brick

- DRIVEWAY FIELD PAVERS
- FRONT PATH PAVERS



Cast Stone

- DRIVEWAY & FRONT PATH BORDERS
- FRONT LANDING
- POOL DECK

Private Residence  
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Palm Beach

JOB NUMBER: # 22280.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 06.13.2023

SHEET L11.0



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 13,500 sq.ft.  
Drainage Area Impervious Surface = 7,425 sq.ft.  
Drainage Area Pervious Surface = 6,075 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CiA) where:  
C = 1.0 (impervious surface)  
C = 0.2 (pervious surface)  
i = 2 in/hr

Impervious Surface Runoff Volume:  
1.0 x 2 in/hr x 7,425 sq.ft. x 1 ft./12 in. = 1,238 cu.ft.

Pervious Runoff Volume:  
0.2 x 2 in/hr x 6,075 sq.ft. x 1 ft./12 in. = 203 cu.ft.

Total Volume to be Retained = 1,441 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1  
L = Total Length of Trench Provided = 30 ft  
W = Trench Width = 15 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 1.50 ft  
DS = Saturated Trench Depth = 1.00 ft  
V = Volume Treated = 398 cu.ft.

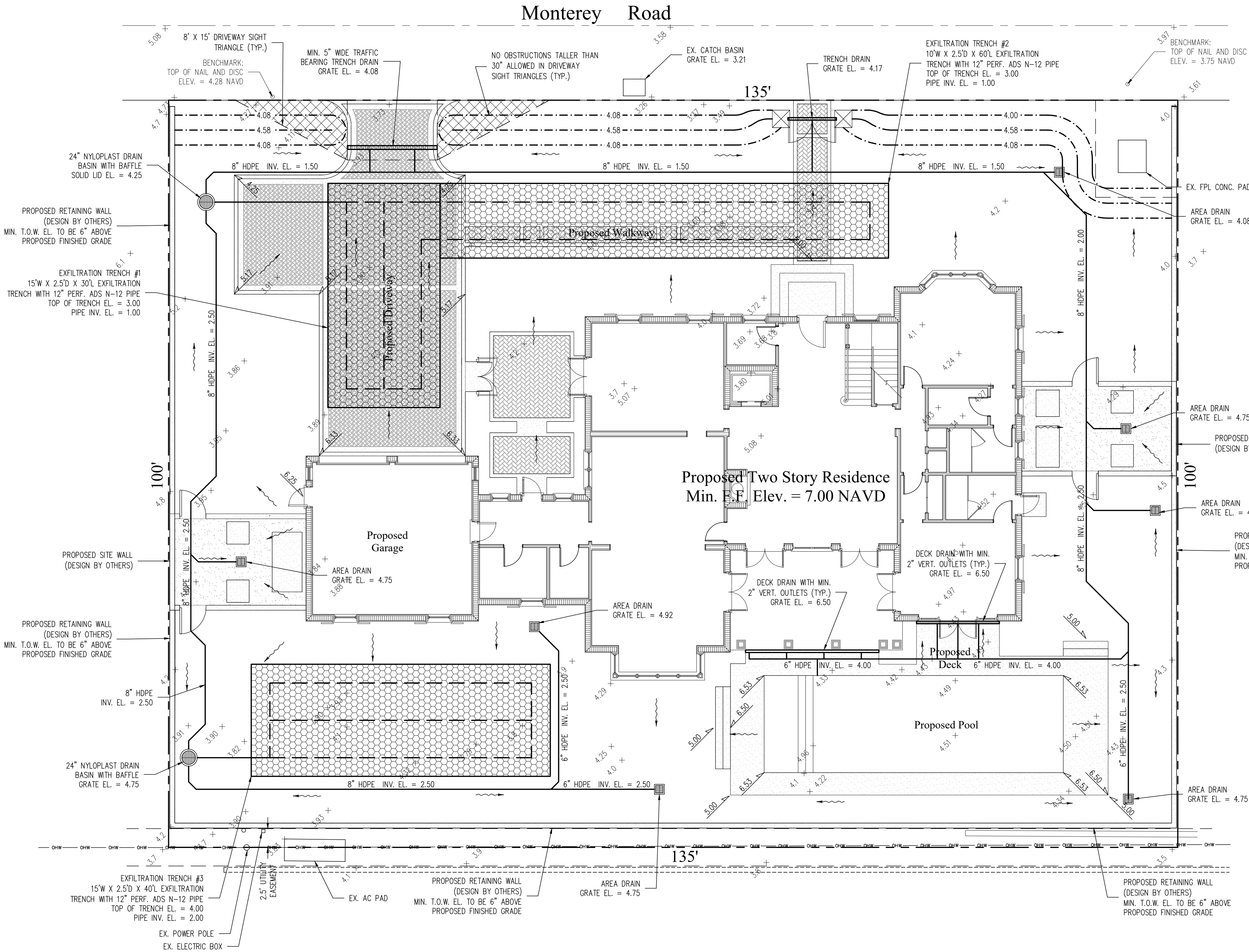
Exfiltration Trench #2  
L = Total Length of Trench Provided = 60 ft  
W = Trench Width = 10 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 1.50 ft  
DS = Saturated Trench Depth = 1.00 ft  
V = Volume Treated = 570 cu.ft.

Exfiltration Trench #3  
L = Total Length of Trench Provided = 40 ft  
W = Trench Width = 15 ft  
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head  
H2 = Depth to Water Table = 2.58 ft  
DU = Un-Saturated Trench Depth = 2.50 ft  
DS = Saturated Trench Depth = 0.00 ft  
V = Volume Treated = 805 cu.ft.

Total Volume Retained in Exfiltration Trenches = 1,773 cu.ft.

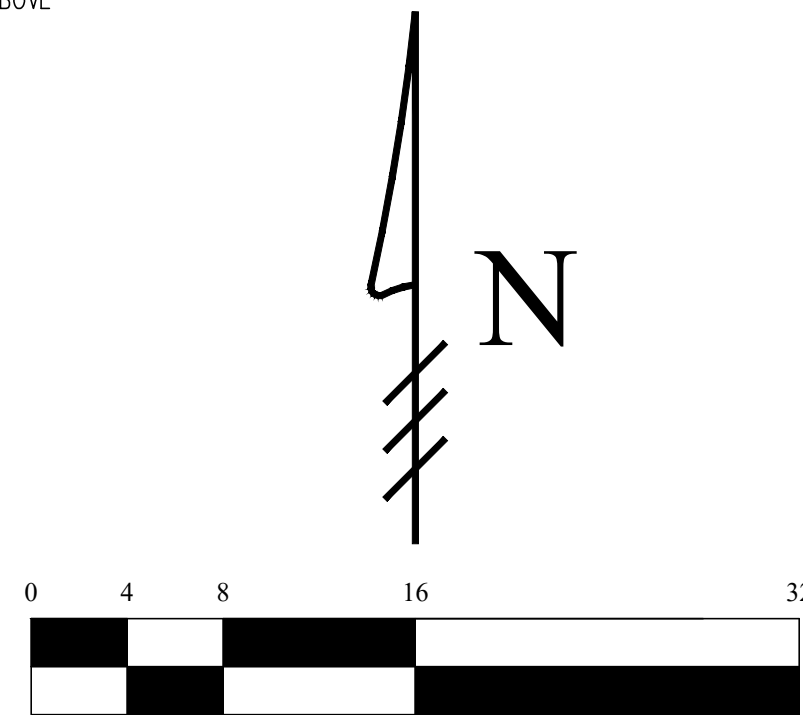
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

- | Revisions |            |  |
|-----------|------------|--|
| 1         | 02/04/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 2         | 04/10/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 3         | 06/14/2023 | UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE |
| 4         |            |  |
| 5         |            |  |
| 6         |            |  |
| 7         |            |  |
| 8         |            |  |
| 9         |            |  |
| 10        |            |  |

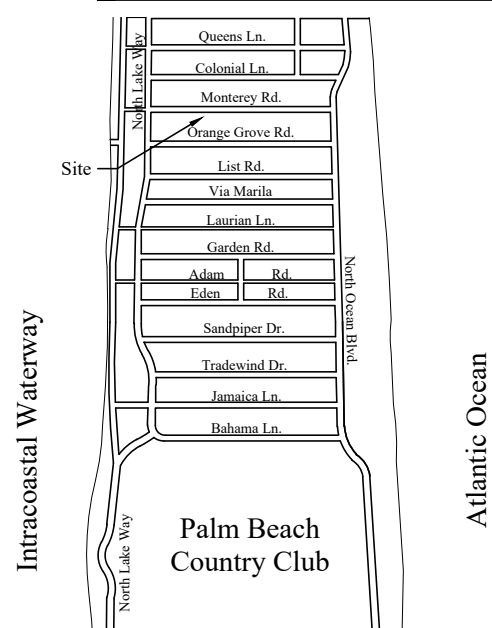
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Plan Background from Hardscape Plan by Environment Design Group Received 6/13/23

ARC-23-025

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Contractor is responsible for obtaining  
location of existing utilities prior to  
commencement of construction activities.



Location Map  
N.T.S.



Gruber Consulting  
Engineers, Inc.  
5474 MERGER AVE., SUITE 305  
WEST PALM BEACH, FL 33401  
PHONE: 561.312.2841  
office@gruberengineers.com

Project Information				
Project No.	2023-0133	Issue Date	12/06/2022	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
Checked By	CG			

Conceptual Site Grading & Drainage Plan For:

Proposed Residence

Palm Beach, Florida

2714 Monterey Road

Revisions

1	02/04/2023	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
2	04/10/2023	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
3	06/14/2023	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
4		
5		
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Chad M. Gruber

FL P.E. No. 57466

Sheet No.

C-1