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By yfigueroa at 9:41 am, May 17, 2023

Scope of Work

- New Hardscape
- New Landscape
- New Pool (inside of 10' setback)
- New Site Wall and Sculpture Feature in front of Building's existing central breezeway/entrance
- New Paint Color for Building, Window Bays, Underside of soffits, Roof tile
- New Glass Railing for front entry stairs

Variance Requests

- Pool Equipment Variance (greater than 25' from pool's edge)
- Pool Heater Variance (inside of 10' setback)
- Swimming Pool (inside of 10' setback)
- Landscape Open Space amount of 22.5% in Lieu of the 35% minimum required.
- Front yard Landscape Open Space amount of 19.8% in lieu of the 35% minimum required.
- A variance to eliminate 1 parking space where 8 is required in order to provide 6 paces in the redesign of the parking area.

Design Team/Consultants

Landscape Architects
ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD SUITE 20B
PALM BEACH, FL 33480
561.832.4600
WWW.ENVIRONMENTDESIGNGROUP.COM

Civil Engineer
GRUBER CONSULTING ENGINEERS
2475 MERCER AVE
WEST PALM BEACH, FL 33401
561.312.2041

Private Residence 320 Chilean Avenue Palm Beach

F L O R I D A

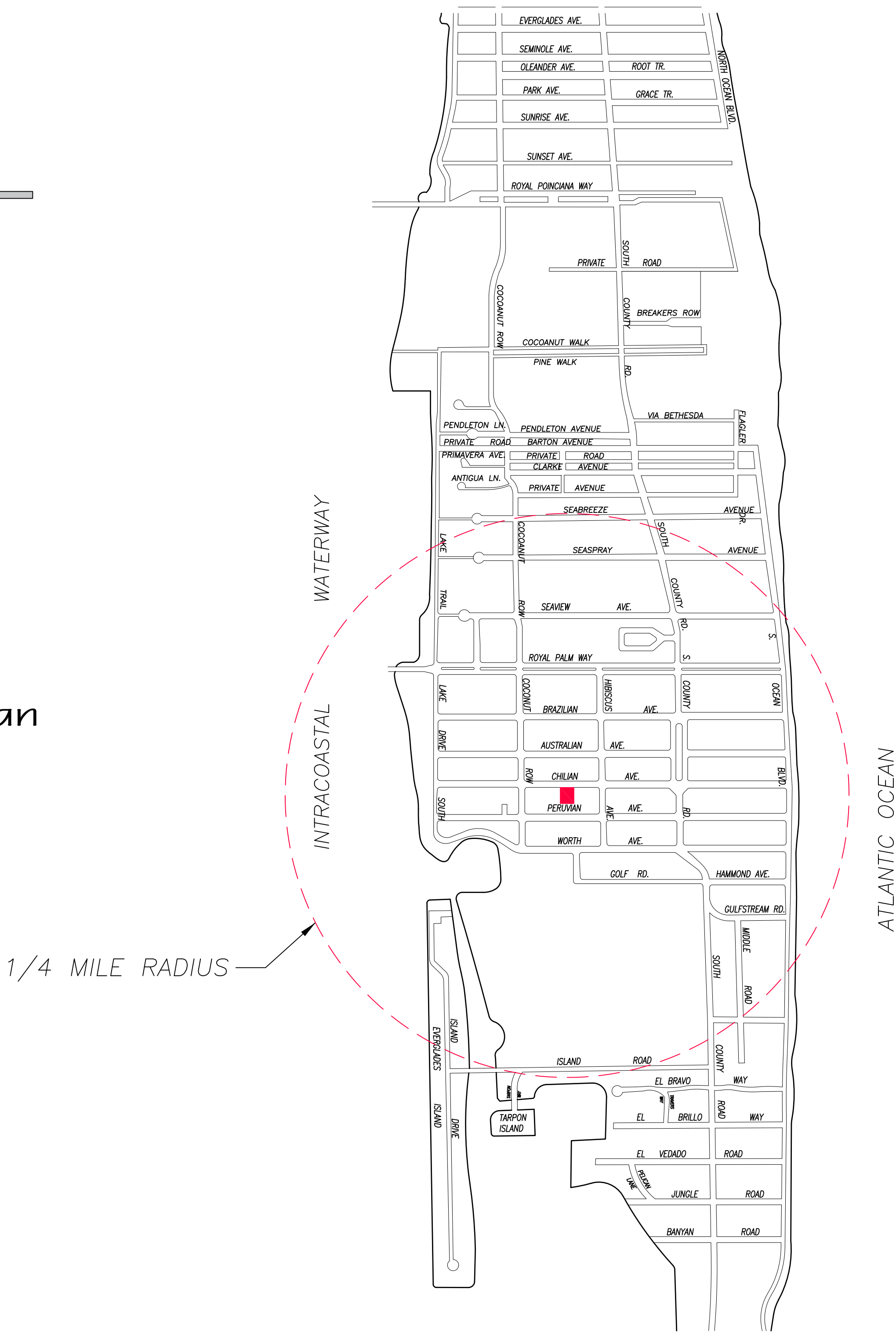
Application #: ARC-23-015
ZON- 23-021
Final Submittal
ARCOM Meeting Date: 06/28/23
Town Council Meeting Date: 07/12/23

Sheet Index

- Cover Sheet
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 - L9.0 - Landscape Elevations (front & back)
 - L9.1 - Landscape Elevations (sides)

Civil
Survey

Vicinity/Location Map





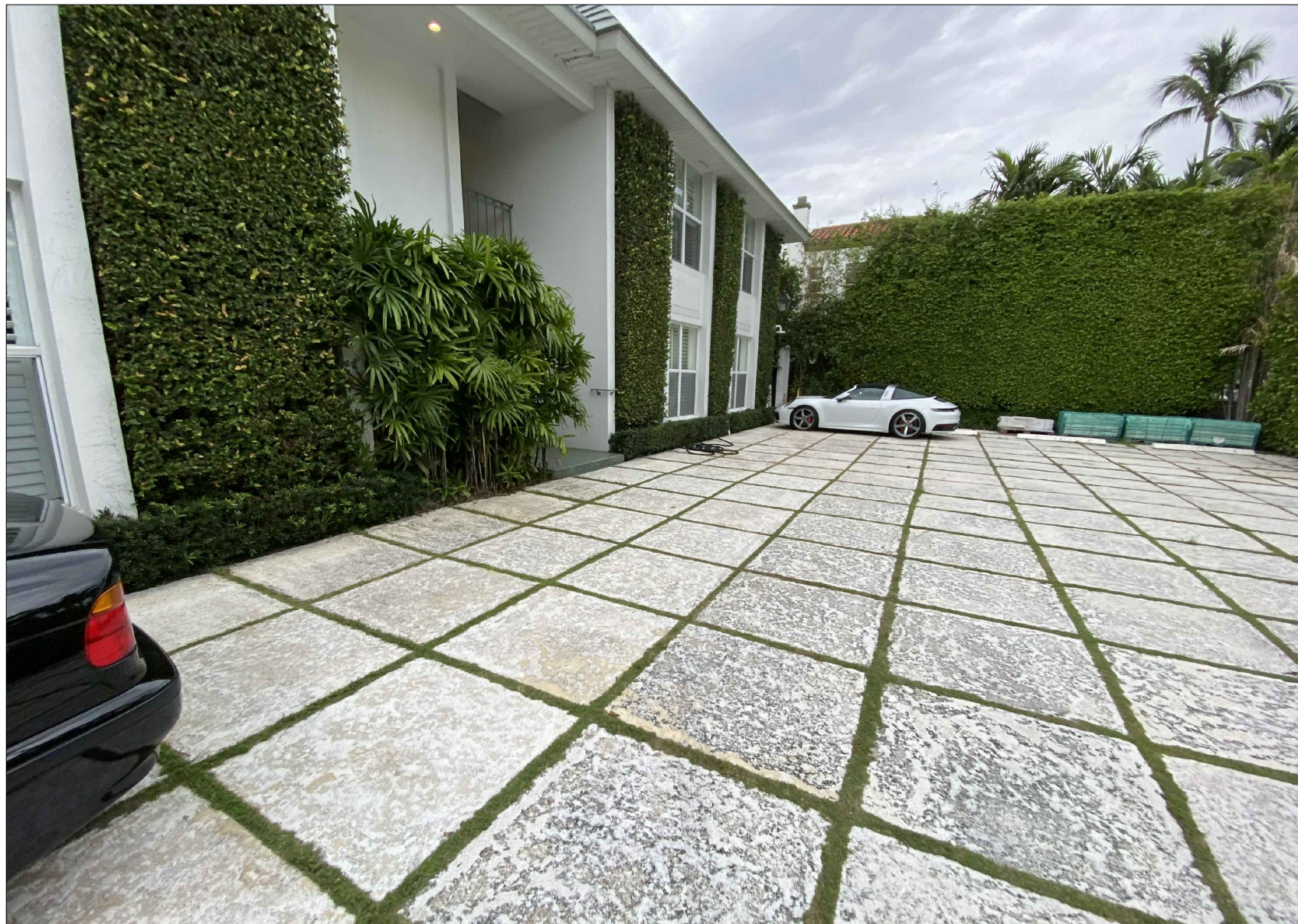
Existing Street Facade



Existing Street Facade



Existing Street Facade



Existing West Buffer



Existing Structure



Existing East Buffer



Existing East Patio Entrance



Existing North East Patio



Existing North East Patio



Existing South East Patio



Existing South East Patio



Existing South Buffer



Existing South Buffer



Existing West Buffer



Existing West Buffer



322 AUSTRALIAN AVENUE



317 CHILEAN AVENUE



315 CHILEAN AVENUE



313 CHILEAN AVENUE



307 CHILEAN AVENUE



301 CHILEAN AVENUE



334 E 354 CHILEAN AVENUE



326 CHILEAN AVENUE



306 CHILEAN AVENUE



386 HIBISCUS AVENUE

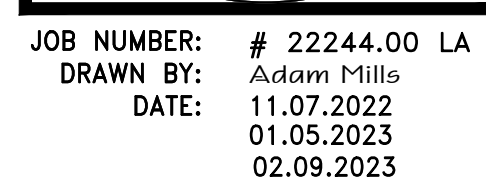
Private Residences
320 Chilean Ave
Palm Beach

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JOB NUMBER: # 22244.00 LA
DRAWN BY: Nick Pastor
DATE: 01.05.2023
02.09.2023

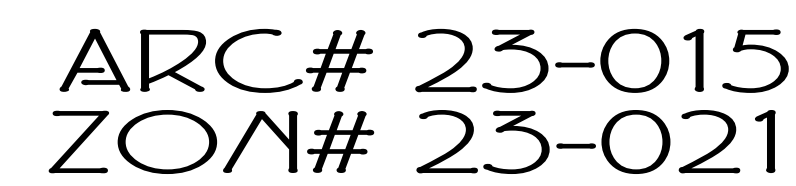
SHEET L1.3

F L O R I D A



SHEET L2.C

Diagram illustrating the area of a square. The side length is 8 units. The area is labeled as 64 sq. ft.

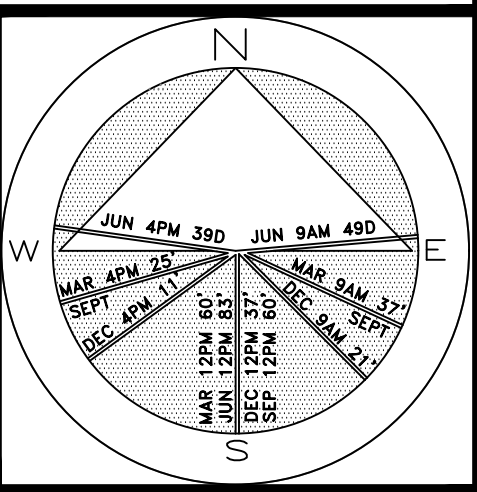


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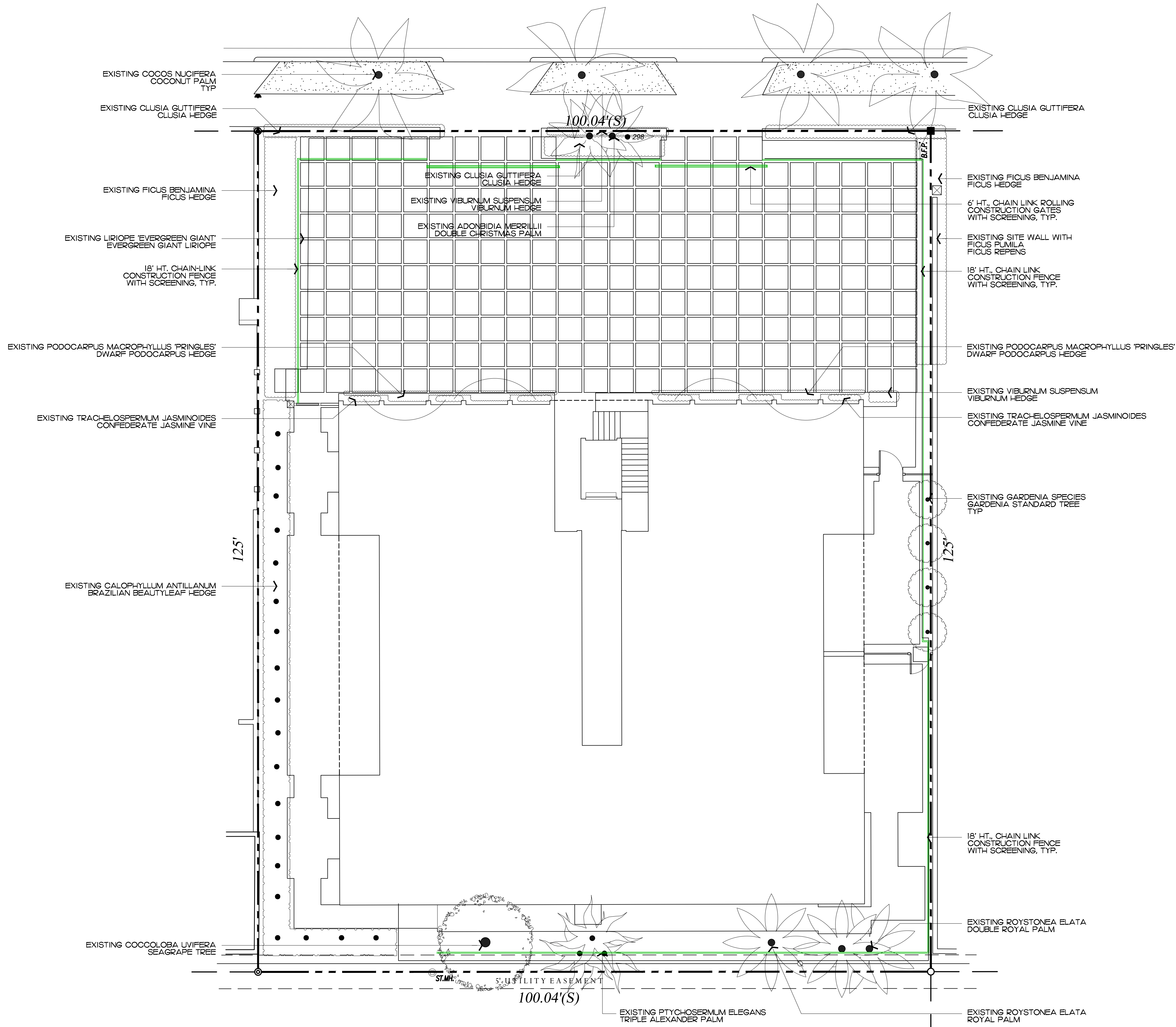
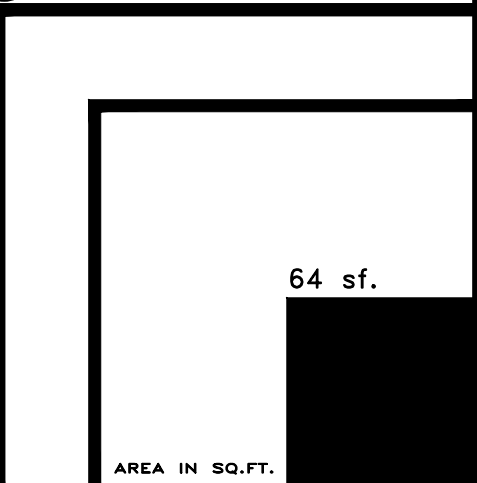
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Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Adam Mills
DATE: 11.07.2022
01.05.2023
02.09.2023
05.01.2023

SHEET L3.0



NOTE:
INTERIOR TREES AND PALMS WILL BE REMOVED WHEN NECESSARY FOR SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING CONSTRUCTION.

ARC# 23-015
ZON# 23-021

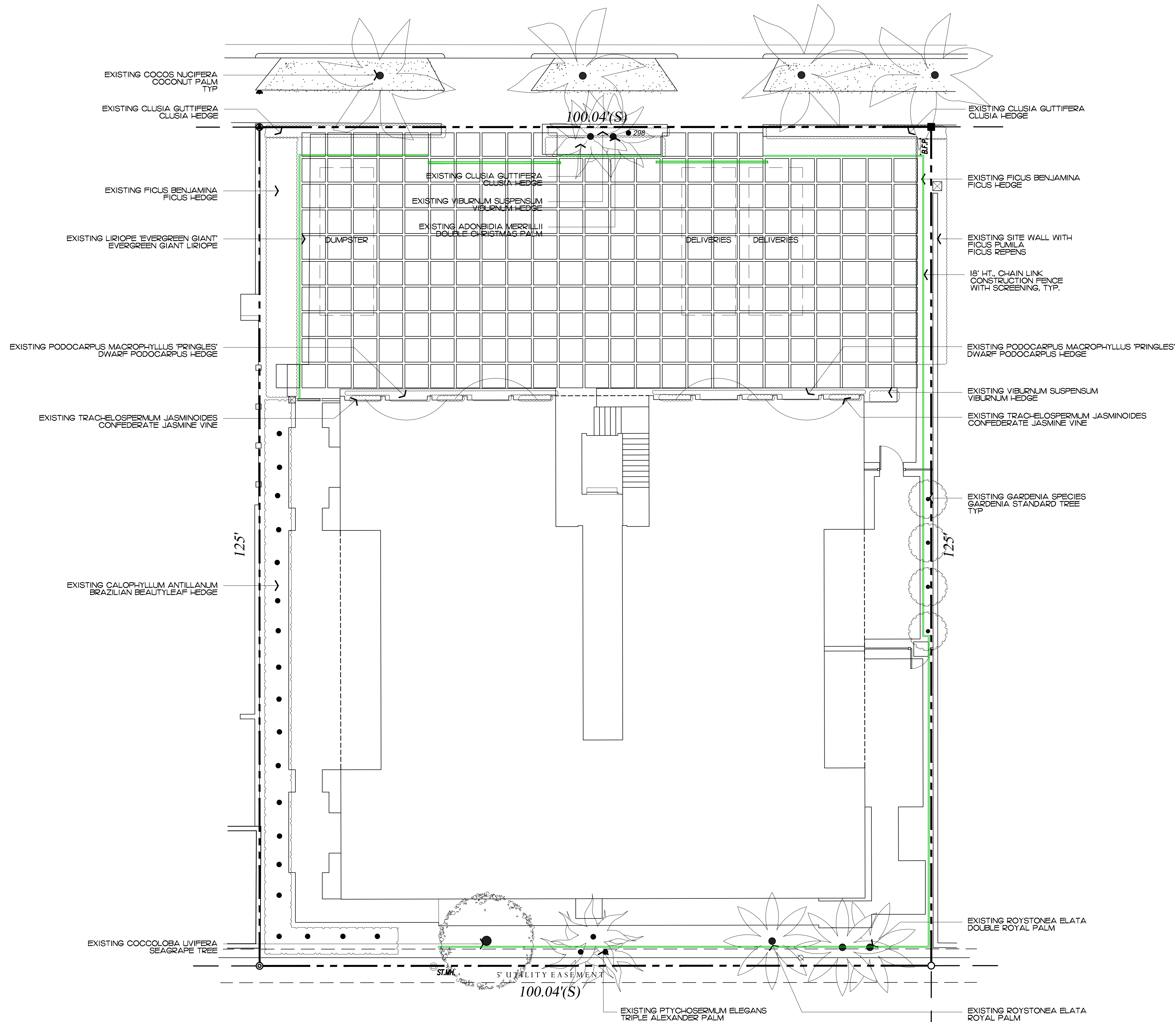
Construction Screening Plan

SCALE IN FEET 0' 8' 16' 24'

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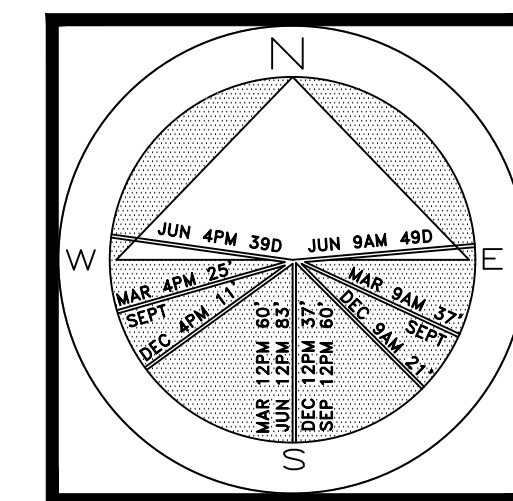
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SHEET L4.0

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Construction Staging Plan

ARC# 23-015
ZON# 23-021

SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ. FT.

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320 Chilean Ave
Palm Beach

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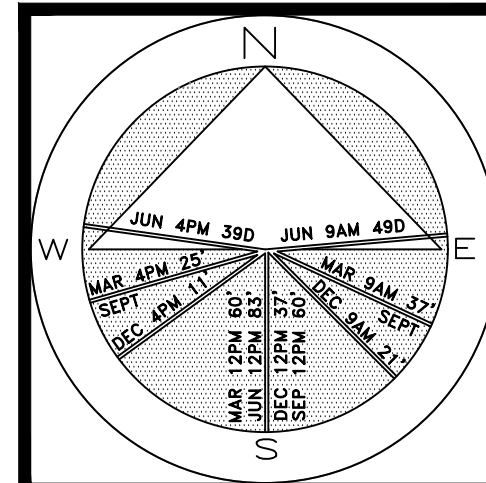
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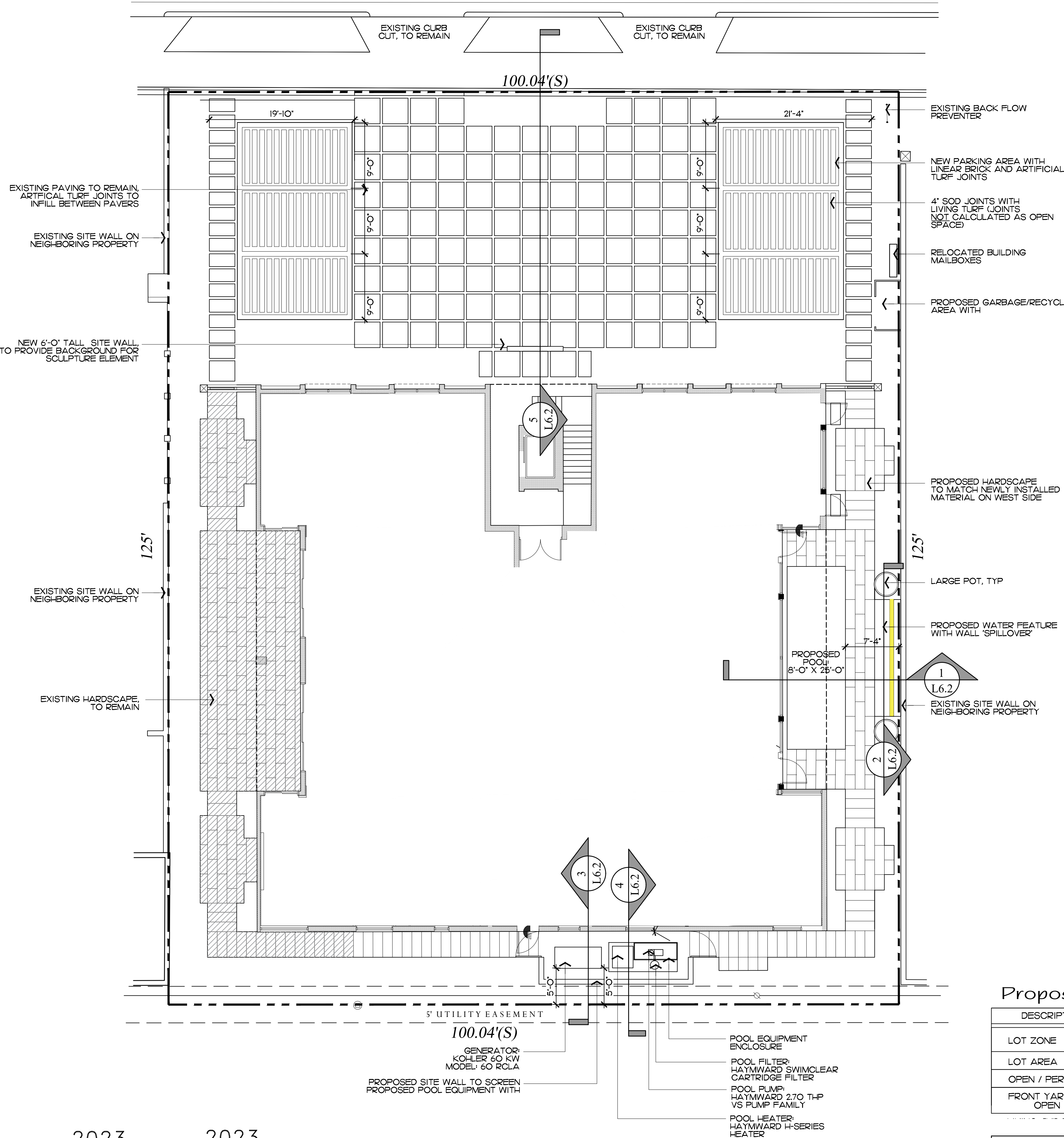
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Selecting the correct size H-Series heater:

For Your Swimming Pool

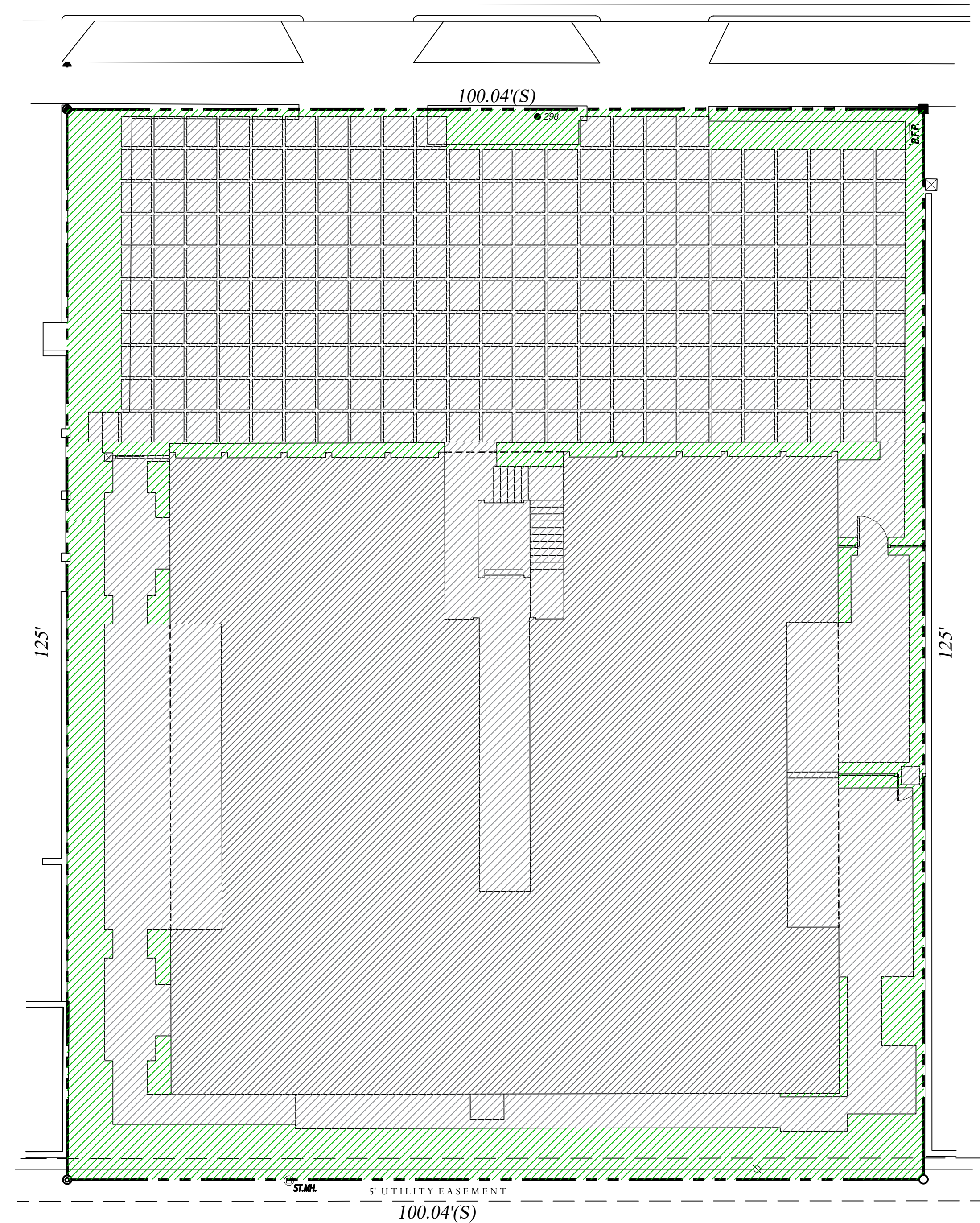
Owner's Manual

Specifications and Dimensions

Universal H-Series Heater

Model H-1000 H-1200 H-1500 H-1800 H-2100 H-2400 H-2700 H-3000 H-3300 H-3600 H-3900 H-4200 H-4500 H-4800 H-5100 H-5400 H-5700 H-6000 H-6300 H-6600 H-6900 H-7200 H-7500 H-7800 H-8100 H-8400 H-8700 H-9000 H-9300 H-9600 H-9900 H-10200 H-10500 H-10800 H-11100 H-11400 H-11700 H-12000 H-12300 H-12600 H-12900 H-13200 H-13500 H-13800 H-14100 H-14400 H-14700 H-15000 H-15300 H-15600 H-15900 H-16200 H-16500 H-16800 H-17100 H-17400 H-17700 H-18000 H-18300 H-18600 H-18900 H-19200 H-19500 H-19800 H-20100 H-20400 H-20700 H-21000 H-21300 H-21600 H-21900 H-22200 H-22500 H-22800 H-23100 H-23400 H-23700 H-24000 H-24300 H-24600 H-24900 H-25200 H-25500 H-25800 H-26100 H-26400 H-26700 H-27000 H-27300 H-27600 H-27900 H-28200 H-28500 H-28800 H-29100 H-29400 H-29700 H-30000 H-30300 H-30600 H-30900 H-31200 H-31500 H-31800 H-32100 H-32400 H-32700 H-33000 H-33300 H-33600 H-33900 H-34200 H-34500 H-34800 H-35100 H-35400 H-35700 H-36000 H-36300 H-36600 H-36900 H-37200 H-37500 H-37800 H-38100 H-38400 H-38700 H-39000 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H-112500 H-112800 H-113100 H-113400 H-113700 H-114000 H-114300 H-114600 H-114900 H-115200 H-115500 H-115800 H-116100 H-116400 H-116700 H-117000 H-117300 H-117600 H-117900 H-118200 H-118500 H-118800 H-119100 H-119400 H-119700 H-120000 H-120300 H-120600 H-120900 H-121200 H-121500 H-121800 H-122100 H-122400 H-122700 H-123000 H-123300 H-123600 H-123900 H-124200 H-124500 H-124800 H-125100 H-125400 H-125700 H-126000 H-126300 H-126600 H-126900 H-127200 H-127500 H-127800 H-128100 H-128400 H-128700 H-129000 H-129300 H-129600 H-129900 H-130200 H-130500 H-130800 H-131100 H-131400 H-131700 H-132000 H-132300 H-132600 H-132900 H-133200 H-133500 H-133800 H-134100 H-134400 H-134700 H-135000 H-135300 H-135600 H-135900 H-136200 H-136500 H-136800 H-137100 H-137400 H-137700 H-138000 H-138300 H-138600 H-138900 H-139200 H-139500 H-139800 H-140100 H-140400 H-140700 H-141000 H-141300 H-141600 H-141900 H-142200 H-142500 H-142800 H-143100 H-143400 H-143700 H-144000 H-144300 H-144600 H-144900 H-145200 H-145500 H-145800 H-146100 H-146400 H-146700 H-147000 H-147300 H-147600 H-147900 H-148200 H-148500 H-148800 H-149100 H-149400 H-149700 H-150000 H-150300 H-150600 H-150900 H-151200 H-151500 H-151800 H-152100 H-152400 H-152700 H-153000 H-153300 H-153600 H-153900 H-154200 H-154500 H-154800 H-155100 H-155400 H-155700 H-156000 H-156300 H-156600 H-156900 H-157200 H-157500 H-157800 H-158100 H-158400 H-158700 H-159000 H-159300 H-159600 H-159900 H-160200 H-160500 H-160800 H-161100 H-161400 H-161700 H-162000 H-162300 H-162600 H-162900 H-163200 H-163500 H-163800 H-164100 H-164400 H-164700 H-165000 H-165300 H-165600 H-165900 H-166200 H-166500 H-166800 H-167100 H-167400 H-167700 H-168000 H-168300 H-168600 H-168900 H-169200 H-169500 H-169800 H-170100 H-170400 H-170700 H-171000 H-171300 H-171600 H-171900 H-172200 H-172500 H-172800 H-173100 H-173400 H-173700 H-174000 H-174300 H-174600 H-174900 H-175200 H-175500 H-175800 H-176100 H-176400 H-176700 H-177000 H-177300 H-177600 H-177900 H-178200 H-178500 H-178800 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H-212400 H-212700 H-213000 H-213300 H-213600 H-213900 H-214200 H-214500 H-214800 H-215100 H-215400 H-215700 H-216000 H-216300 H-216600 H-216900 H-217200 H-217500 H-217800 H-218100 H-218400 H-218700 H-219000 H-219300 H-219600 H-219900 H-220200 H-220500 H-220800 H-221100 H-221400 H-221700 H-222000 H-222300 H-222600 H-222900 H-223200 H-223500 H-223800 H-224100 H-224400 H-224700 H-225000 H-225300 H-225600 H-225900 H-226200 H-226500 H-226800 H-227100 H-227400 H-227700 H-228000 H-228300 H-228600 H-228900 H-229200 H-229500 H-229800 H-230100 H-230400 H-230700 H-231000 H-231300 H-231600 H-231900 H-232200 H-232500 H-232800 H-233100 H-233400 H-233700 H-234000 H-234300 H-234600 H-234900 H-235200 H-235500 H-235800 H-236100 H-236400 H-236700 H-237000 H-237300 H-237600 H-237900 H-238200 H-238500 H-238800 H-239100 H-239400 H-239700 H-240000 H-240300 H-240600 H-240900 H-241200 H-241500 H-241800 H-242100 H-242400 H-242700 H-243000 H-243300 H-243600 H-243900 H-244200 H-244500 H-244800 H-245100 H-245400 H-245700 H-246000 H-246300 H-246600 H-246900 H-247200 H-247500 H-247800 H-248100 H-248400 H-248700 H-249000 H-249300 H-249600 H-249900 H-250200 H-250500 H-250800 H-251100 H-251400 H-251700 H-252000 H-252300 H-252600 H-252900 H-253200 H-253500 H-253800 H-254100 H-254400 H-254700 H-255000 H-255300 H-255600 H-255900 H-256200 H-256500 H-256800 H-257100 H-257400 H-257700 H-258000 H-258300 H-258600 H-258900 H-259200 H-259500 H-259800 H-260100 H-260400 H-260700 H-261000 H-261300 H-261600 H-261900 H-262200 H-262500 H-262800 H-263100 H-263400 H-263700 H-264000 H-264300 H-264600 H-264900 H-265200 H-265500 H-265800 H-266100 H-266400 H-266700 H-267000 H-267300 H-267600 H-267900 H-268200 H-268500 H-268800 H-269100 H-269400 H-269700 H-270000 H-270300 H-270600 H-270900 H-271200 H-271500 H-271800 H-272100 H-272400 H-272700 H-273000 H-273300 H-273600 H-273900 H-274200 H-274500 H-274800 H-275100 H-275400 H-275700 H-276000 H-276300 H-276600 H-276900 H-277200 H-277500 H-277800 H-278100 H-278400 H-278700 H-279000 H-279300 H-279600 H-279900 H-280200 H-280500 H-280800 H-281100 H-281400 H-281700 H-282000 H-282300 H-282600 H-282900 H-283200 H-283500 H-283800 H-284100 H-284400 H-284700 H-285000 H-285300 H-285600 H-285900 H-286200 H-286500 H-286800 H-287100 H-287400 H-287700 H-288000 H-288300 H-288600 H-288900 H-289200 H-289500 H-289800 H-290100 H-290400 H-290700 H-291000 H-291300 H-291600 H-291900 H-292200 H-292500 H-292800 H-293100 H-293400 H-293700 H-294000 H-294300 H-294600 H-294900 H-295200 H-295500 H-295800 H-296100 H-296400 H-296700 H-297000 H-297300 H-297600 H-297900 H-298200 H-298500 H-298800 H-299100 H-299400 H-299700 H-300000 H-300300 H-300600 H-300900 H-301200 H-301500 H-301800 H-302100 H-302400 H-302700 H-303000 H-303300 H-303600 H-303900 H-304200 H-304500 H-304800 H-305100 H-305400 H-305700 H-306000 H-306300 H-306600 H-306900 H-307200 H-307500 H-307800 H-308100 H-308400 H-308700 H-309000 H-309300 H-309600 H-309900 H-310200 H-310500 H-310800 H-311100 H-311400 H-311700 H-312000 H-312300 H-312600 H-312900 H-313200 H-313500 H-313800 H-314100 H-314400 H-314700 H-315000 H-315300 H-315600 H-315900 H-316200 H-316500 H-316800 H-317100 H-317400 H-317700 H-318000 H-318300 H-318600 H-318900 H-319200 H-319500 H-319800 H-320100 H-320400 H-320700 H-321000 H-321300 H-321600 H-321900 H-322200 H-322500 H-322800 H-323100 H-323400 H-323700 H-324000 H-324300 H-324600 H-324900 H-325200 H-325500 H-325800 H-326100 H-326400 H-326700 H-327000 H-327300 H-327600 H-327900 H-328200 H-328500 H-328800 H-329100 H-329400 H-329700 H-330000 H-330300 H-330600 H-330900 H-331200 H-331500 H-331800 H-332100 H-332400 H-332700 H-333000 H-333300 H-333600 H-333900 H-334200 H-334500 H-334800 H-335100 H-335400 H-335700 H-336000 H-336300 H-336600 H-336900 H-337200 H-337500 H-337800 H-338100 H-338400 H-338700 H-339000 H-339300 H-339600 H-339900 H-340200 H-340500 H-340800 H-341100 H-341400 H-341700 H-342000 H-342300 H-342600 H-342900 H-343200 H-343500 H-343800 H-344100 H-344400 H-344700 H-345000 H-345300 H-345600 H-345900 H-346200 H-346500 H-346800 H-347100 H-347400 H-347700 H-348000 H-348300 H-348600 H-348900 H-349200 H-349500 H-349800 H-350100 H-350400 H-350700 H-351000 H-351300 H-351600 H-351900 H-352200 H-352500 H-352800 H-353100 H-353400 H-353700 H-354000 H-354300 H-354600 H-354900 H-355200 H-355500 H-355800 H-356100 H-356400 H-356700 H-357000 H-357300 H-357600 H-357900 H-358200 H-358500 H-358800 H-359100 H-359400 H-359700 H-360000 H-360300 H-360600 H-360900 H-361200 H-361500 H-361800 H-362100 H-362400 H-362700 H-363000 H-363300 H-363600 H-363900 H-364200 H-364500 H-364800 H-365100 H-365400 H-365700 H-366000 H-366300 H-366600 H-366900 H-367200 H-367500 H-367800 H-368100 H-368400 H-368700 H-369000 H-369300 H-369600 H-369900 H-370200 H-370500 H-370800 H-371100 H-371400 H-371700 H-372000 H-372300 H-372600 H-372900 H-373200 H-373500 H-373800 H-374100 H-374400 H-374700 H-375000 H-375300 H-375600 H-375900 H-376200 H-376500 H-376800 H-377100 H-377400 H-377700 H-378000 H-378300 H-378600 H-378900 H-379200 H-379500 H-379800 H-380100 H-380400 H-380700 H-381000 H-381300 H-381600 H-381900 H-382200 H-382500 H-382800 H-383100 H-383400 H-383700 H-384000 H-384300 H-384600 H-384900 H-385200 H-385500 H-385800 H-386100 H-386400 H-386700 H-387000 H-387300 H-387600 H-387900 H-388200 H-388500 H-388800 H-389100 H-389400 H-389700 H-390000 H-390300 H-390600 H-390900 H-391200 H-391500 H-391800 H-392100 H-392400 H-392700 H-393000 H-393300 H-393600 H-393900 H-394200 H-394500 H-394800 H-395100 H-395400 H-395700 H-396000 H-396300 H-396600 H-396900 H-397200 H-397500 H-397800 H-398100 H-398400 H-398700 H-399000 H-399300 H-399600 H-399900 H-400200 H-400500 H-400800 H-401100 H-401400 H-401700 H-402000 H-402300 H-402600 H-402900 H-403200 H-403500 H-403800 H-404100 H-404400 H-404700 H-405000 H-405300 H-405600 H-405900 H-406200 H-406500 H-406800 H-407100 H-407400 H-407700 H-408000 H-408300 H-408600 H-408900 H-409200 H-409500 H-409800 H-410100 H-410400 H-410700 H-411000 H-411300 H-411600 H-411900 H-412200 H-412500 H-412800 H-413100 H-413400 H-413700 H-414000 H-414300 H-414600 H-414900 H-415200 H-415500 H-415800 H-416100 H-416400 H-416700 H-417000 H-417300 H-417600 H-417900 H-418200 H-418500 H-418800 H-419100 H-419400 H-419700 H-420000 H-420300 H-420600 H-420900 H-421200 H-421500 H-421800 H-422100 H-422400 H-422700 H-423000 H-423300 H-423600 H-423900 H-424200 H-424500 H-424800 H-425100 H-425400 H-425700 H-426000 H-426300 H-426600 H-426900 H-427200 H-427500 H-427800 H-428100 H-428400 H-428700 H-429000 H-429300 H-429600 H-429900 H-430200 H-430500 H-430800 H-431100 H-431400 H-431700 H-432000 H-432300 H-432600 H-432900 H-433200 H-433500 H-433800 H-434100 H-434400 H-434700 H-

CHILEAN AVE

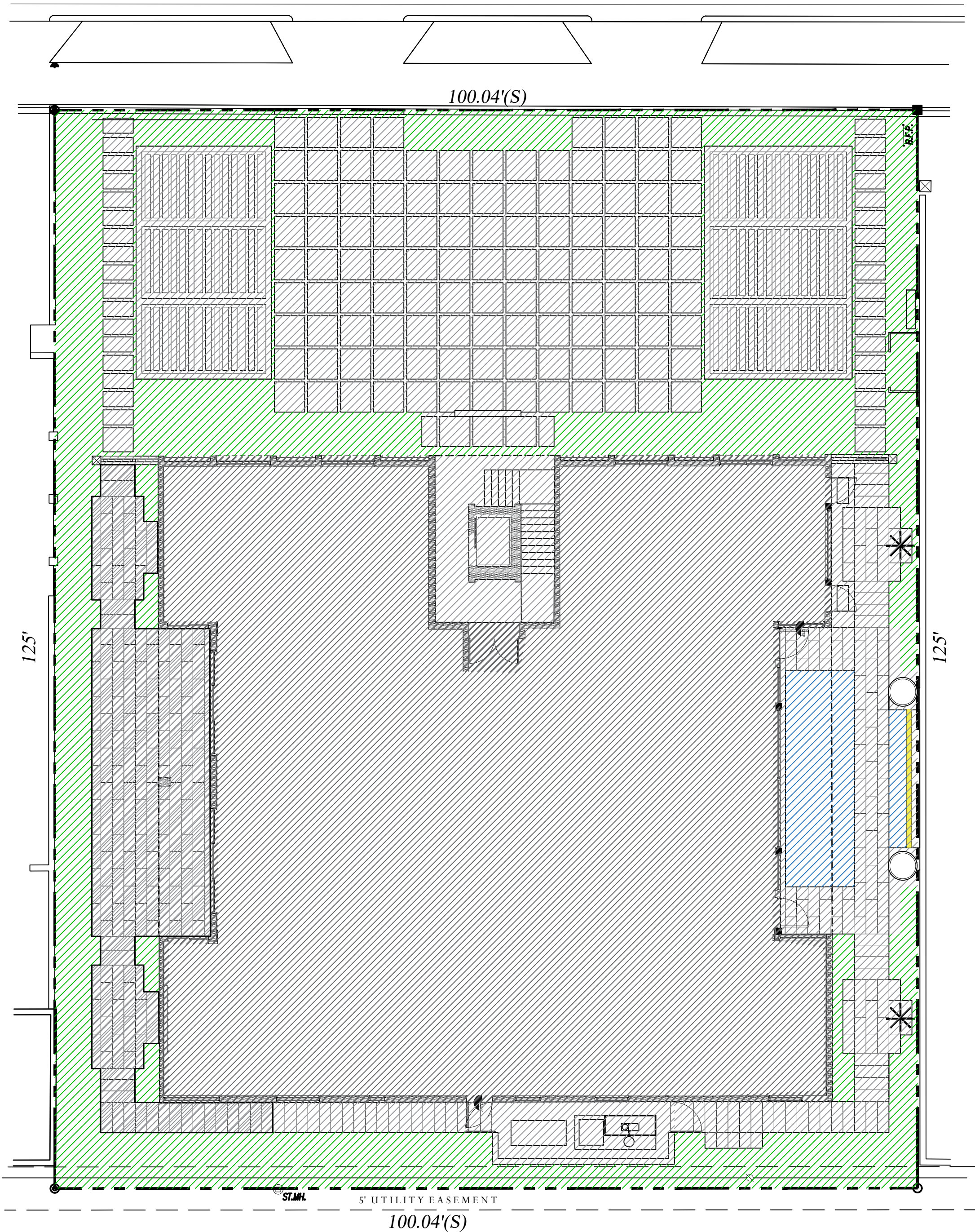


Existing Open Space Graphic

Legend

- BUILDING FOOTPRINT
- HARDSCAPE
- LANDSCAPE - OPEN SPACE
- WATER FEATURE - HARDSCAPE

CHILEAN AVE



Proposed Open Space Graphic

Proposed Site Data

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE	R-C - MEDIUM DENSITY RESIDENTIAL	R-C - MEDIUM DENSITY RESIDENTIAL	R-C - MEDIUM DENSITY RESIDENTIAL
LOT AREA	10,000 S.F. MINIMUM	12,505 S.F.	12,505 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 35% 4,376.75 S.F.	19.68% 2,461 S.F.	22.5% 2,825 S.F.
FRONT YARD LANDSCAPE OPEN SPACE	MINIMUM 35% OF OF FRONT YARD 875.35 S.F.	17.5% 439 S.F.	19.8% 780 S.F.

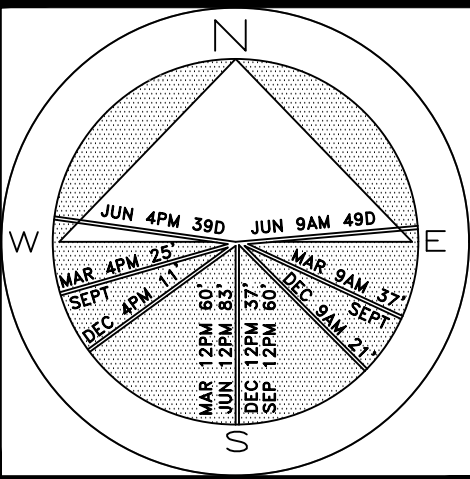
ENVIRONMENT
DESIGN
GROUP

139 North County Road 5720-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residences
320 Chilean Ave
Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Adam Mills
DATE: 11.07.2022
02.09.2023
04.13.2023
05.01.2023

SHEET L6.1

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ARC# 23-015
ZON# 23-021

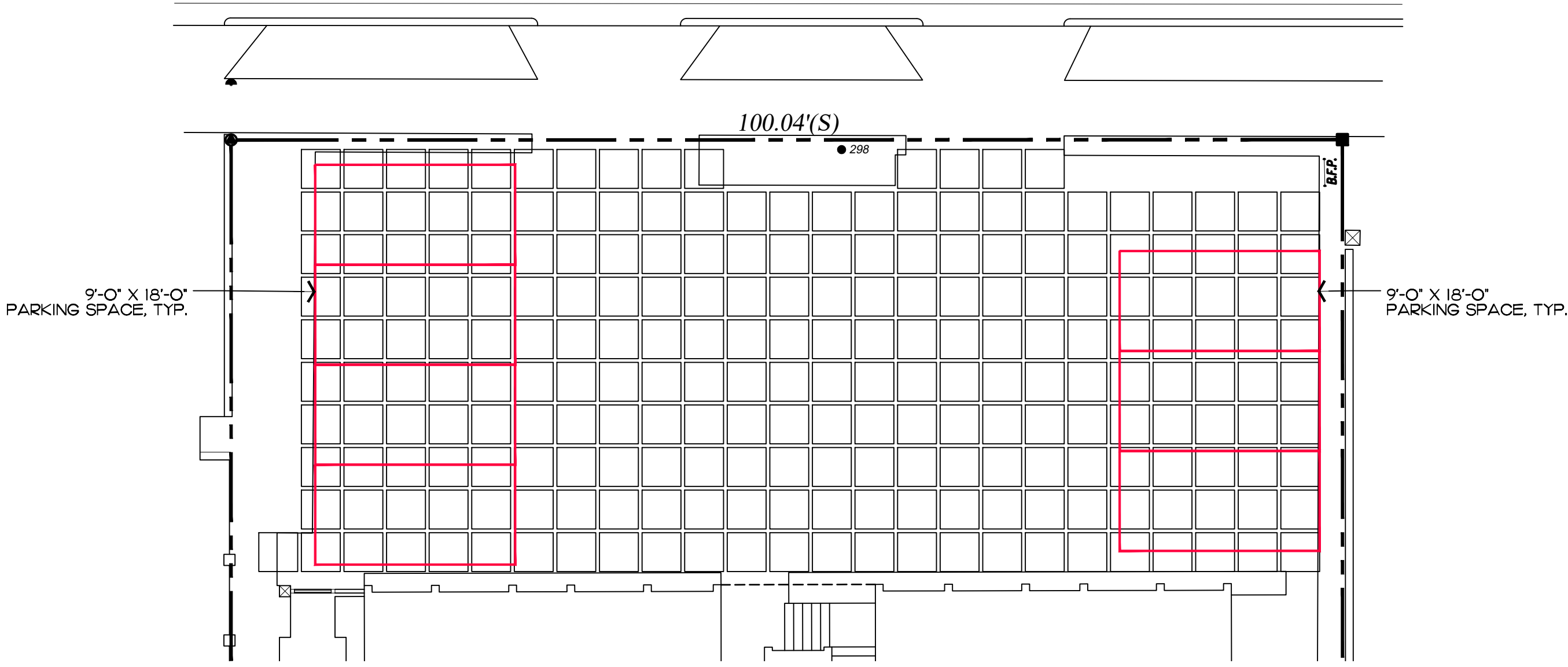
Landscape Open Space Graphics

SCALE IN FEET 0' 8' 16' 24'

64 sf.

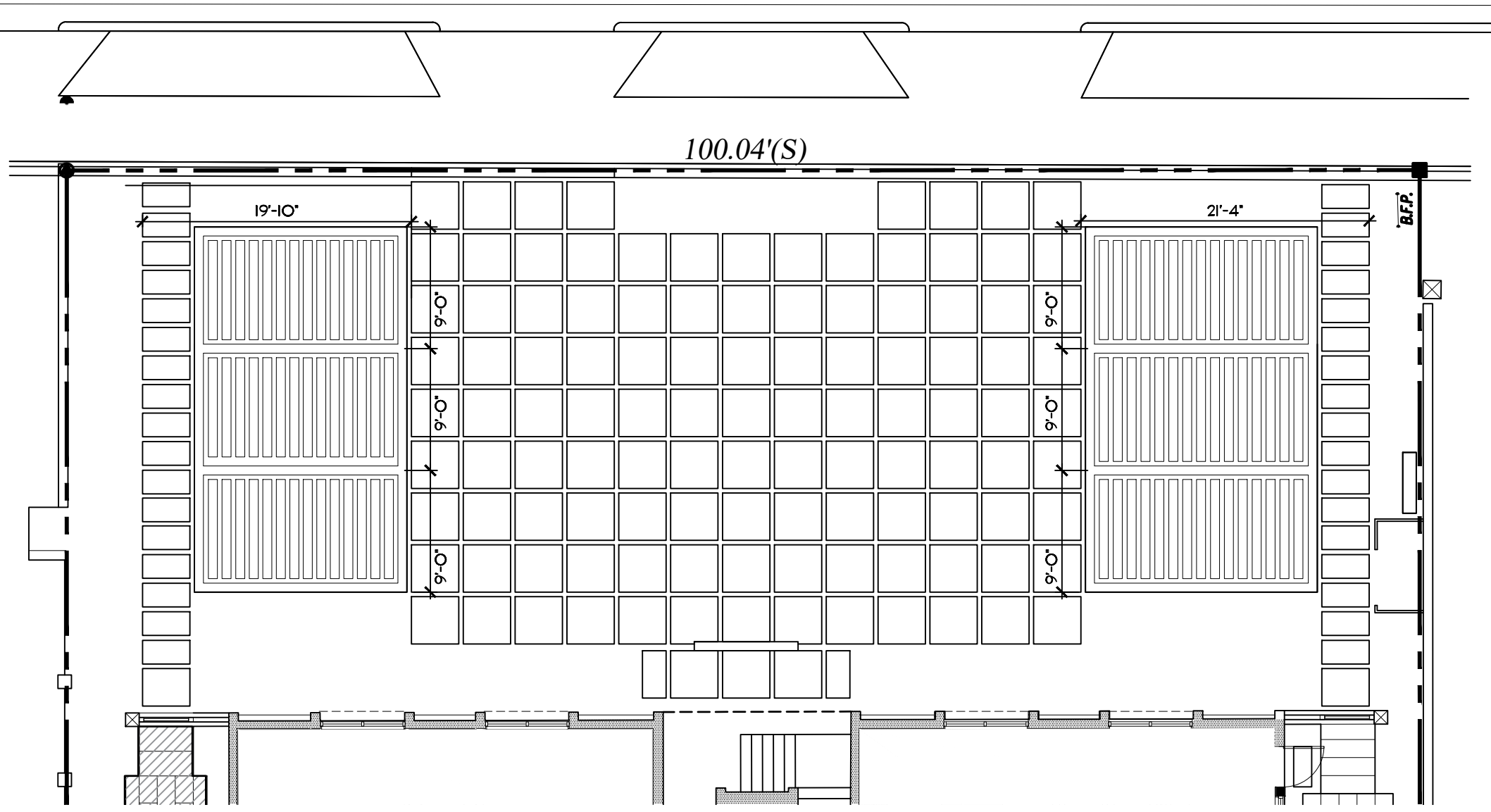
AREA IN SQ.FT.

Chilean Avenue



Existing Parking - 7 spaces

Chilean Avenue



Proposed Parking - 6 spaces

Parking Requirements

MULTIFAMILY DWELLING (6 UNITS OR MORE)

REQUIRED	EXISTING	PROPOSED
8 SPACES DWELLING UNITS: 3	7 SPACES	6 SPACES MEET REQUIRED CODE

TOTAL EXISTING DWELLING UNITS: 8
TOTAL OWNERS: 3
6 UNITS ARE TO BE COMBINED TO MAKE 3 TOTAL DWELLING UNITS.

Existing Parking Conditions



NOTE:
NO EXISTING PARKING
SPACES WILL BE REMOVED
OR REDUCED IN SIZE

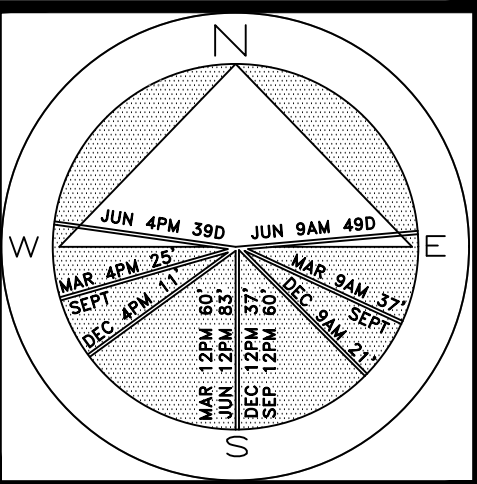
ENVIRONMENT
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Landscape Architecture
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Dustin M. Mizell, MIA, RLA #6666784
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Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Adam Mills
Jean Twomey
DATE: 04.13.2023
05.15.2023

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Parking Requirements

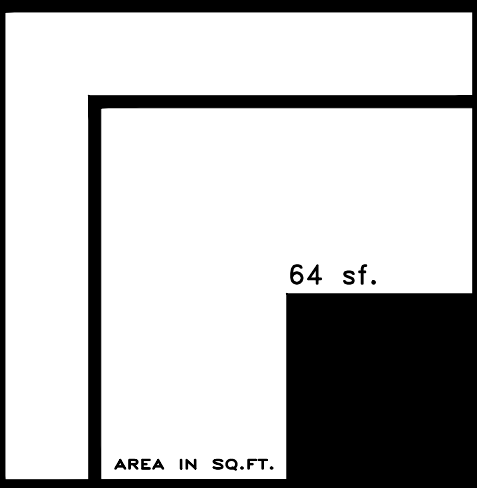
0'

8'

16'

24'

SCALE IN FEET



64 sf.

AREA IN SQ.FT.

Exterior Materials & Finishes



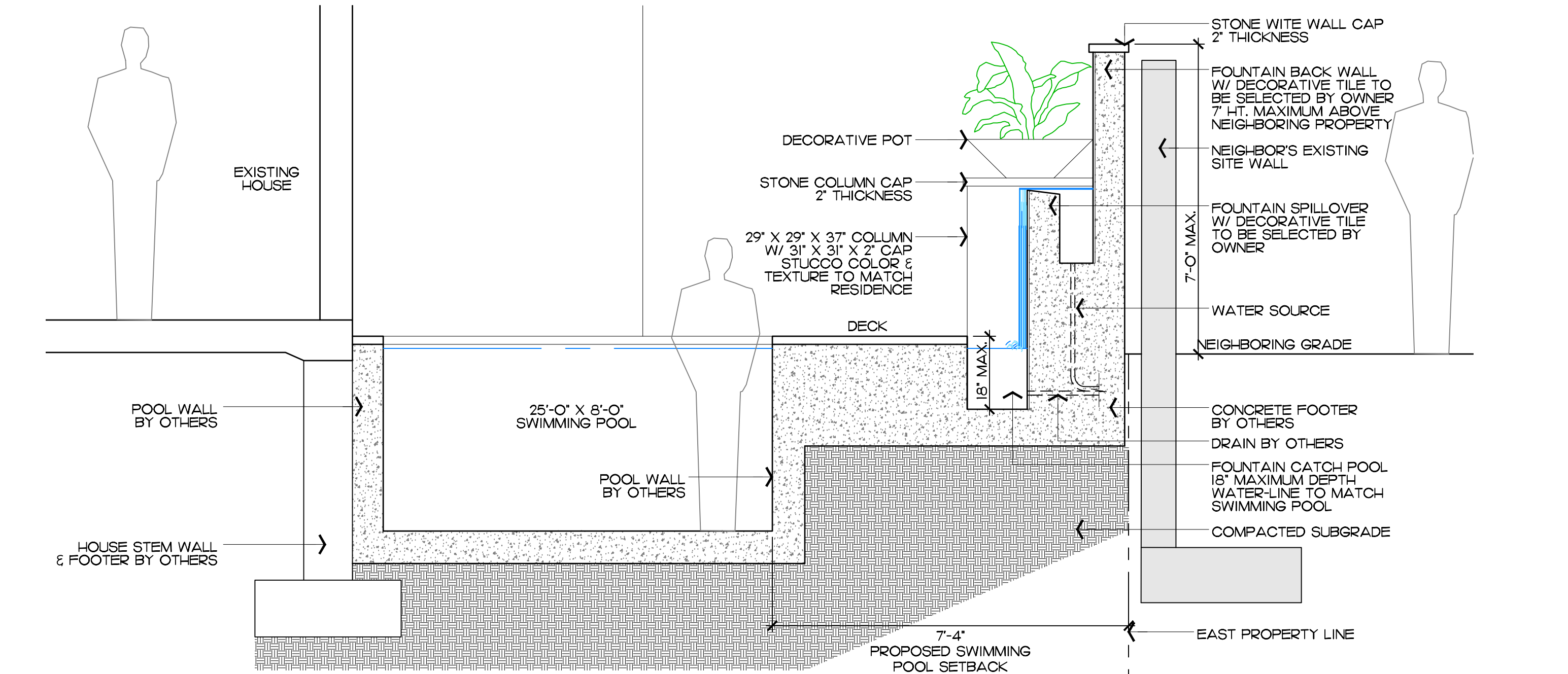
- PAVING TO MATCH WEST SIDE OF PROPERTY



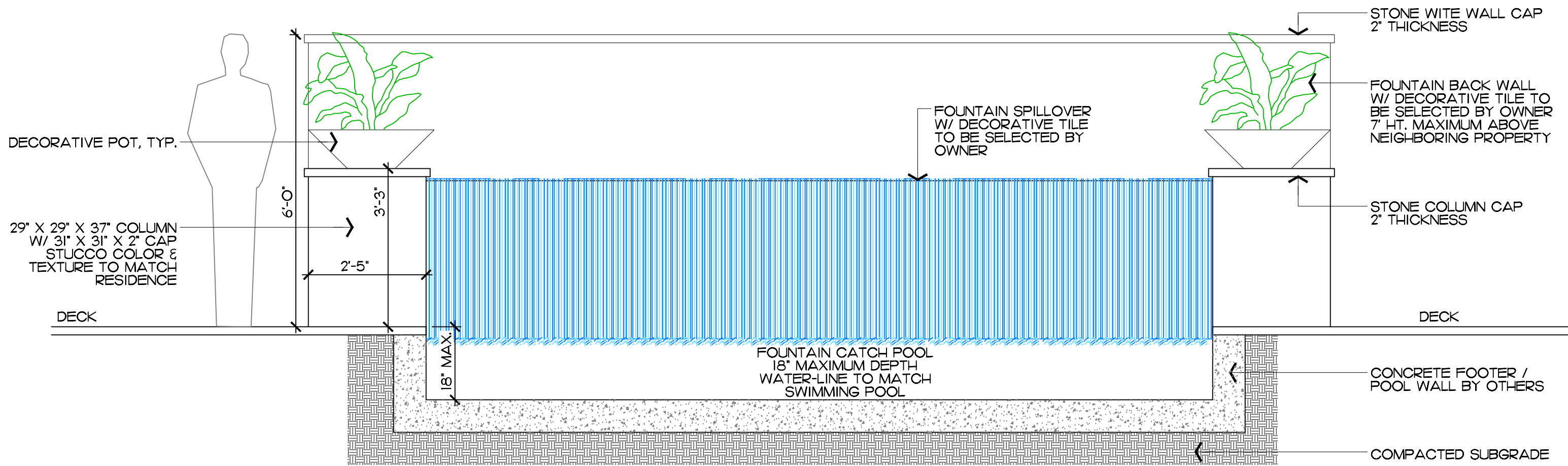
- PORTION OF EXISTING DRIVEWAY WITH LAWN JOINTS TO REMAIN
- STUCCO TO MATCH EXTERIOR OF EXISTING HOUSE



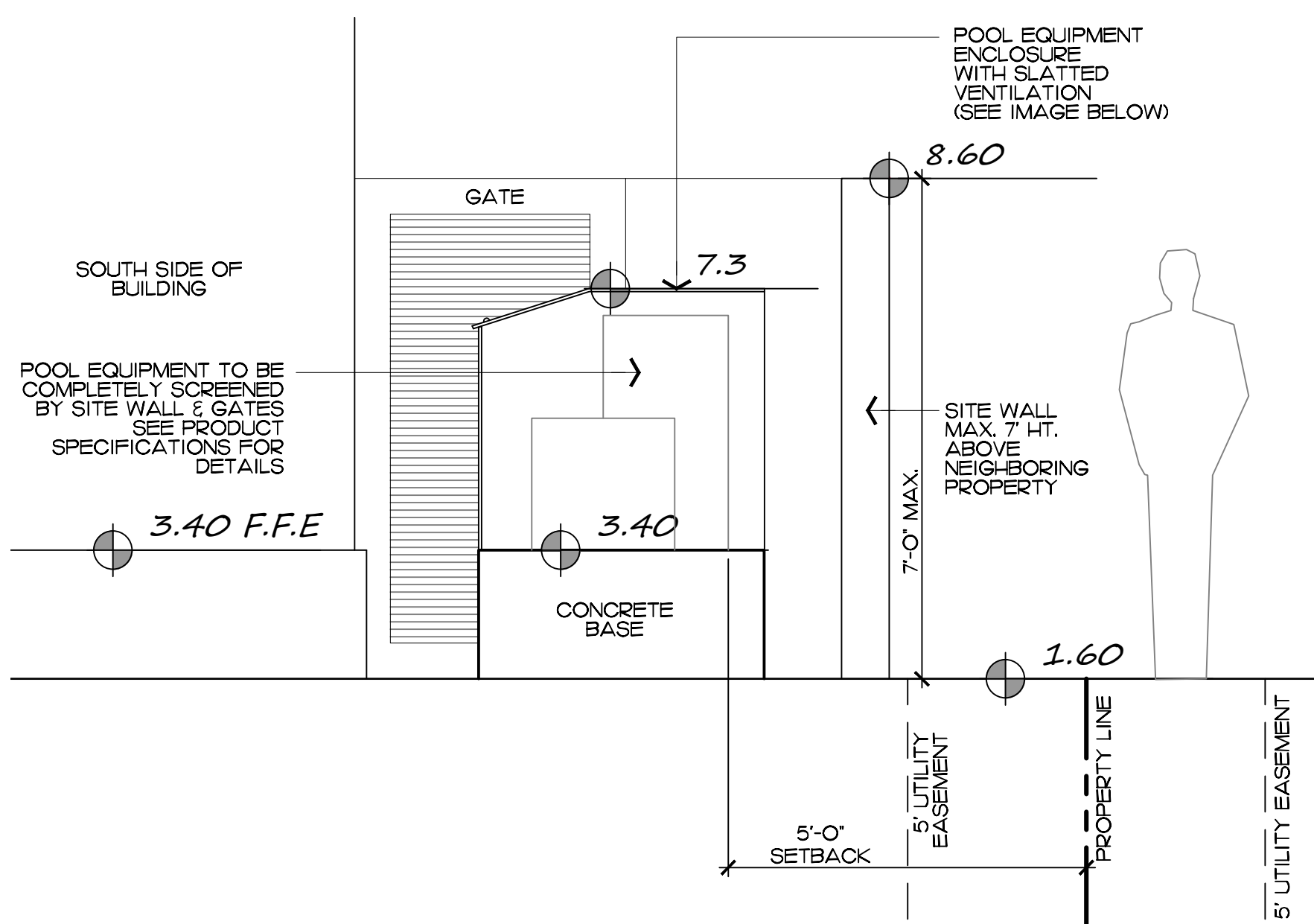
- NEW DRIVEWAY PARKING AREA
LINEAR CONCRETE PAVERS W/ LAWN JOINTS



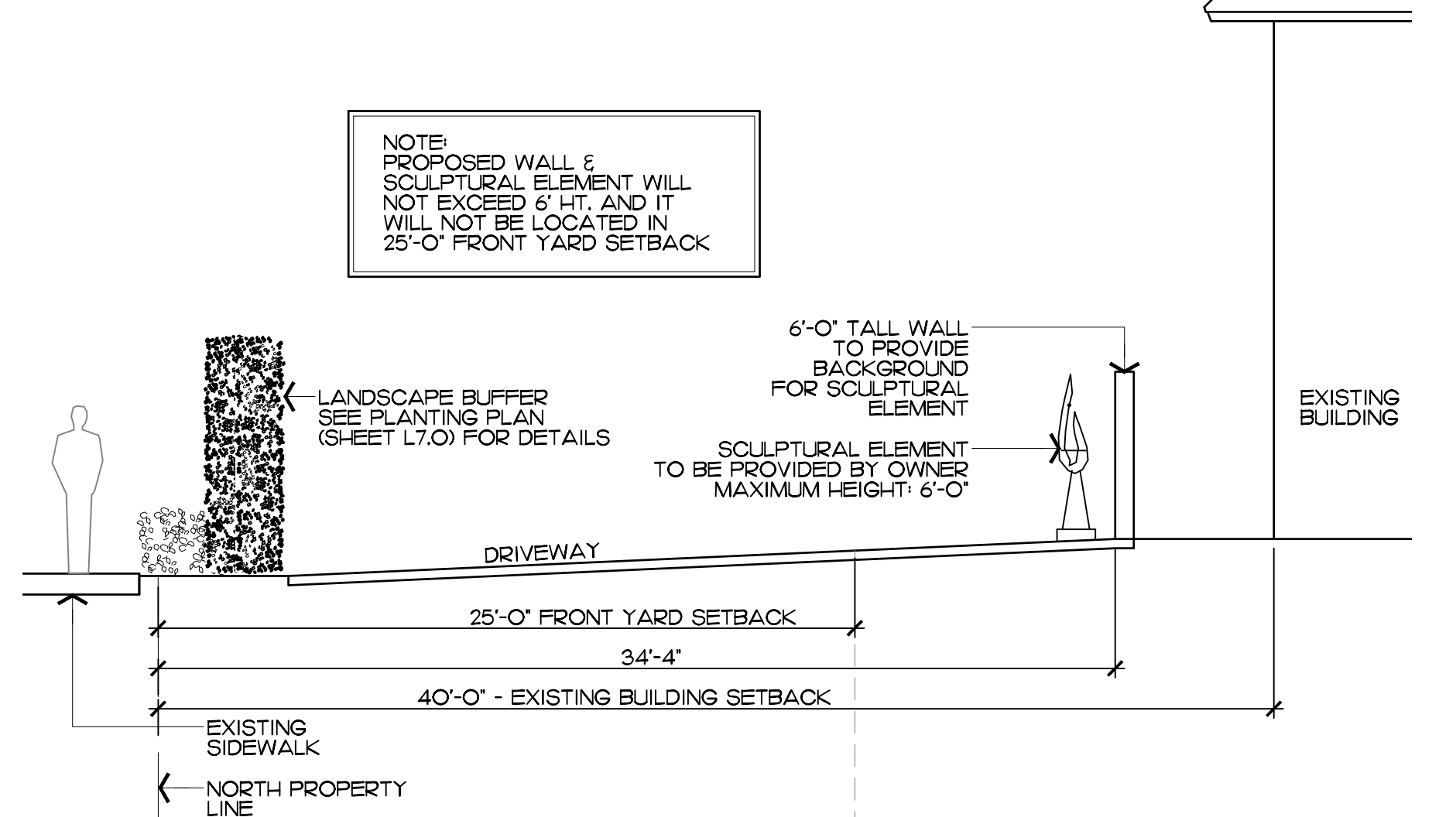
1
L6.2
Fountain Section



2
L6.2
Fountain Elevation



4
L6.2
Pool Equipment Section



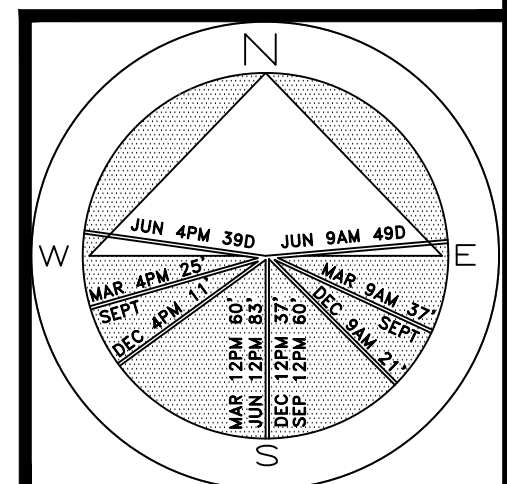
5
L6.2
Artwork Section

ARC# 23-015
ZON# 23-021

SCALE: 3/16" = 1'-0"

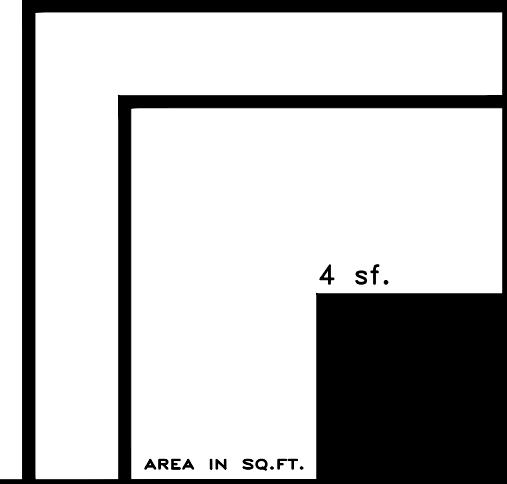
SCALE IN FEET 0' 2' 4' 6'

Private Residences
320 Chilean Ave
Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Jean Twomey
DATE: 05.15.2023

SHEET L6.3



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2023
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CHILEAN AVE

(18) FICUS MICROCARPA
GREEN ISLAND FICUS - 3 GAL., 12" O.C.
(9) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE - 8' HT., 24" O.C.

EXISTING COCOS NUCIFERA
COCONUT PALM
TYP

(8) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE - 8' HT., 24" O.C.

(6) ROYSTONEA ELATA
ROYAL PALM - 20" CT., MATCHING

(38) FICUS MICROCARPA
GREEN ISLAND FICUS - 3 GAL., 12" O.C.

(20) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE - 8' HT., 24" O.C.

(10) PTYCHOSPERMA ELEGANS
ALEXANDER PALM
(22" CT, SINGLE, MATCHING)

(220) PHYLIA NODIFLORA
FROG FRUIT - 1 GAL., 8" O.C.

(62) FICUS MICROCARPA
GREEN ISLAND FICUS
3 GAL., 12" O.C.

(24) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

EXISTING CALOPHYLLUM ANTILLANUM
BRAZILIAN BEAUTYLEAF HEDGE
TO REMAIN

(24) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

(9) CALOPHYLLUM ANTILLANUM
BRAZILIAN BEAUTYLEAF HEDGE
16' OA., 36" O.C.

100.04'(S)

125'

(20) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE - 8' HT., 24" O.C.

(14) PODOCARPUS MACROPHYLLUS
PODOCARPUS HEDGE - 8' HT., 24" O.C.

(14) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

(2) POLYALTHIA LONGIFOLIA
MAST TREE - (16' OA)

(6) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

(2) POLYALTHIA LONGIFOLIA
MAST TREE - (16' OA)
(6) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

(30) CHRYSOBALANUS ICACO
HORIZONTAL GREEN TIP COCOPLUM
3 GAL., 12" O.C.

(17) CALOPHYLLUM ANTILLANUM
BRAZILIAN BEAUTYLEAF HEDGE
16' OA., 36" O.C.

(18) CHRYSOBALANUS ICACO
GREEN COCOPLUM HEDGE
15' GAL., 30" O.C.

5' UTILITY EASEMENT

100.04'(S)

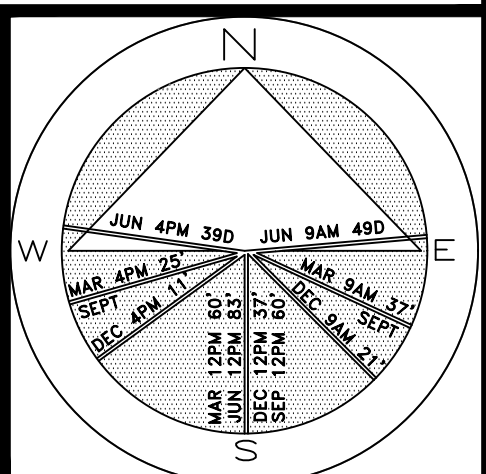
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Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Adam Mills
DATE: 05.15.2023

SHEET L7.0

ARC# 23-015
ZON# 23-021

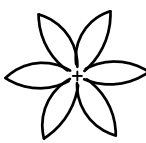
Landscape Plan

SCALE IN FEET 0' 8' 16' 24'


64 sf.

AREA IN SQ.FT.

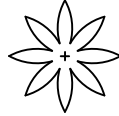




Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	PTYCHOSPERMA ELEGANS ALEXANDER PALM	10	8' CT. - MATCHING FLORIDA - FANCY	NO
	ROYSTONEA ELATA FLORIDA ROYAL PALM	6	8' CT.	YES
TOTAL:		14		
NATIVE SPECIES:		6 (37.5%)		

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	PHYLA NODIFLORA FROG FRUIT GROUNDCOVER	220	1 GAL., 8" O.C.	YES
NATIVE SPECIES:		220 (100%)		

Shrubs

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CALOPHYLLUM ANTILLANUM BRAZILIAN BEAUTY LEAF HEDGE	26	16' HT., 36" O.C.	NO
	CHRYSOBALANUS ICACO GREEN TIP COCOPLUM	18 104	15 GAL., 30" O.C. 3 GAL., 12" O.C.	YES
	FICUS MICROCARPA GREEN ISLAND FICUS	118	3 GAL., 12" O.C.	NO
	POLYALTHIA LONGIFOLIA MAST TREE	4	16' HT.	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	63	6' HT., 24" O.C.	NO
TOTAL:		333		
NATIVE SPECIES:		122 (36.6%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

JOB NUMBER: # 22244.00 LA
DRAWN BY: Jean Twomey
DATE: 11.07.2022
02.09.2023
05.15.2023

SHEET L7.1

ARC# 23-015
ZON# 23-021
Plant Schedule

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC. IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 2" GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BED MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

- SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.
- PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II", LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

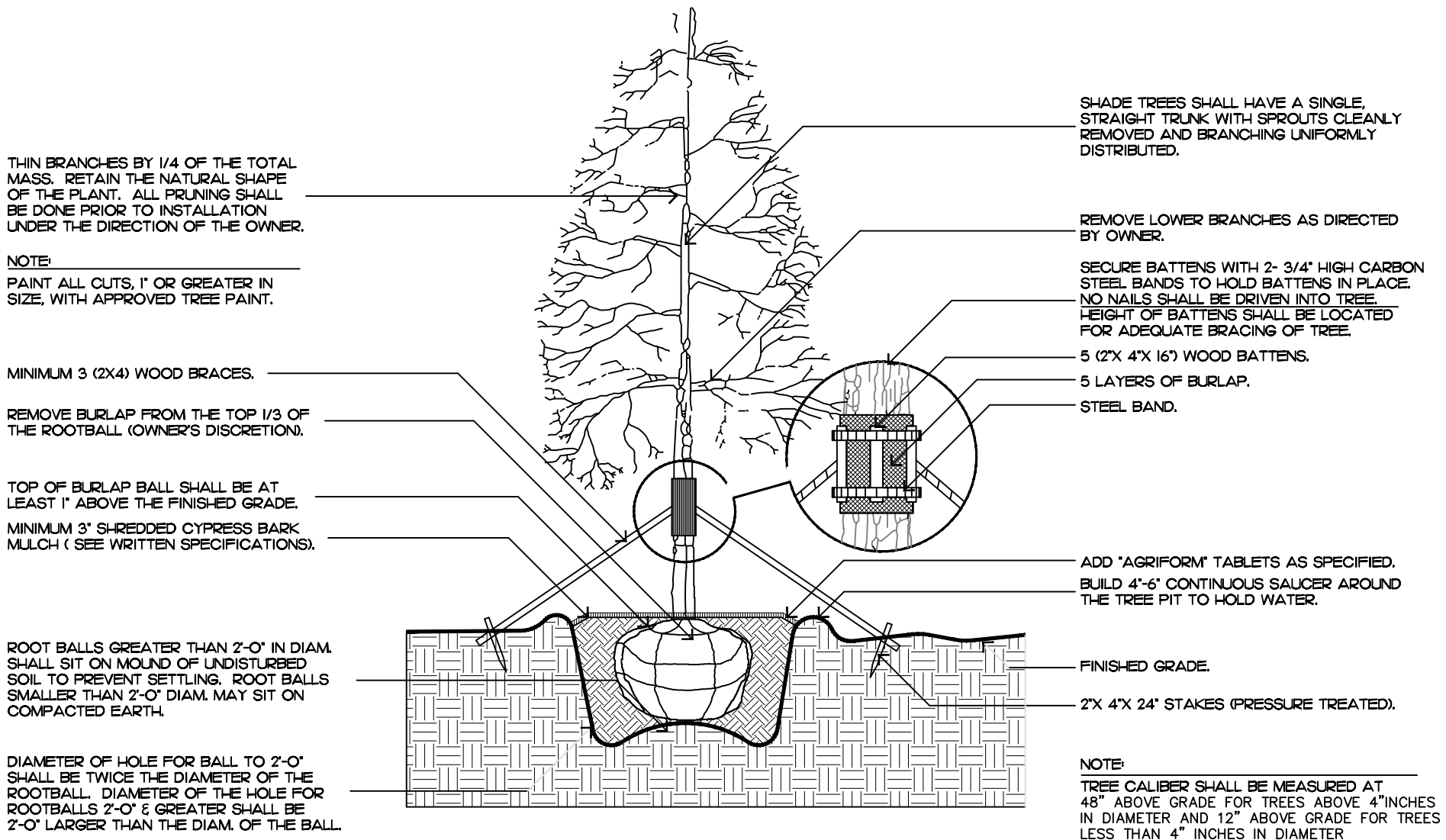
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

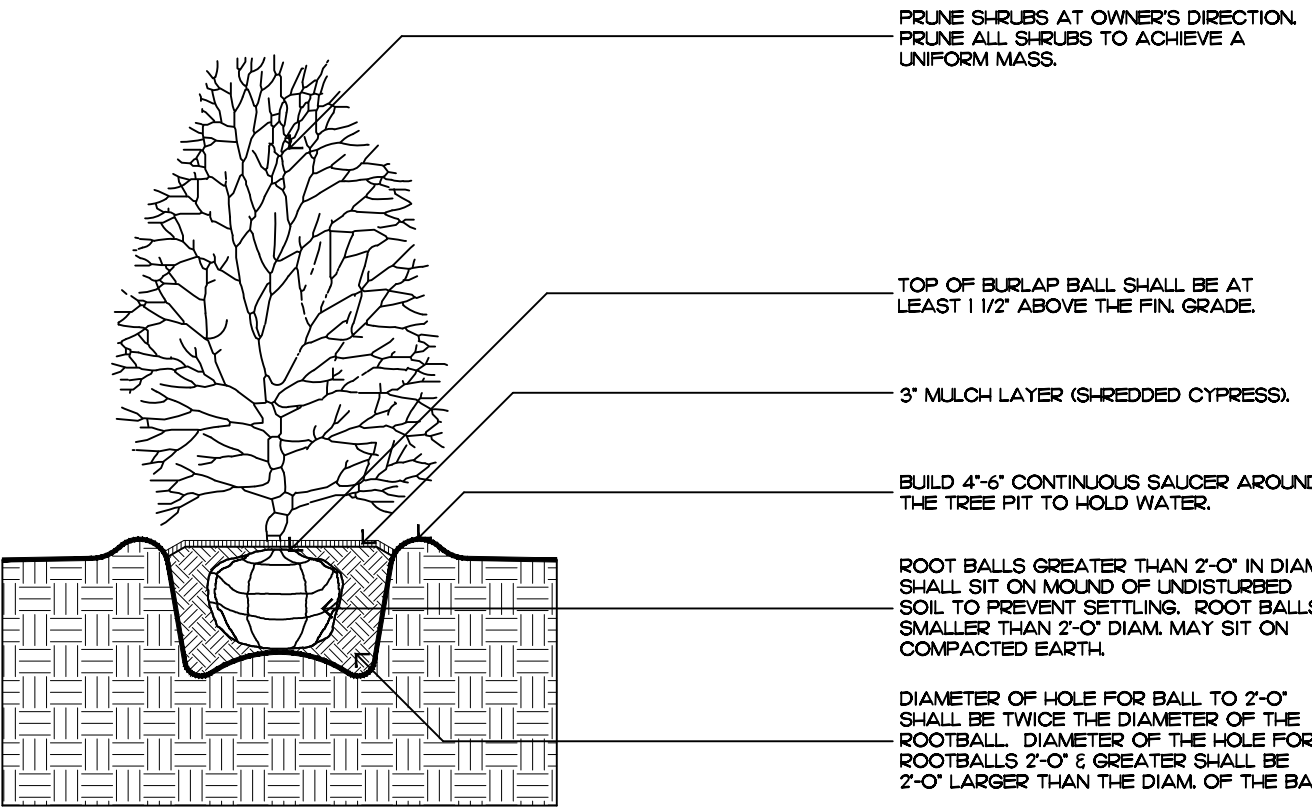
MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOVING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.



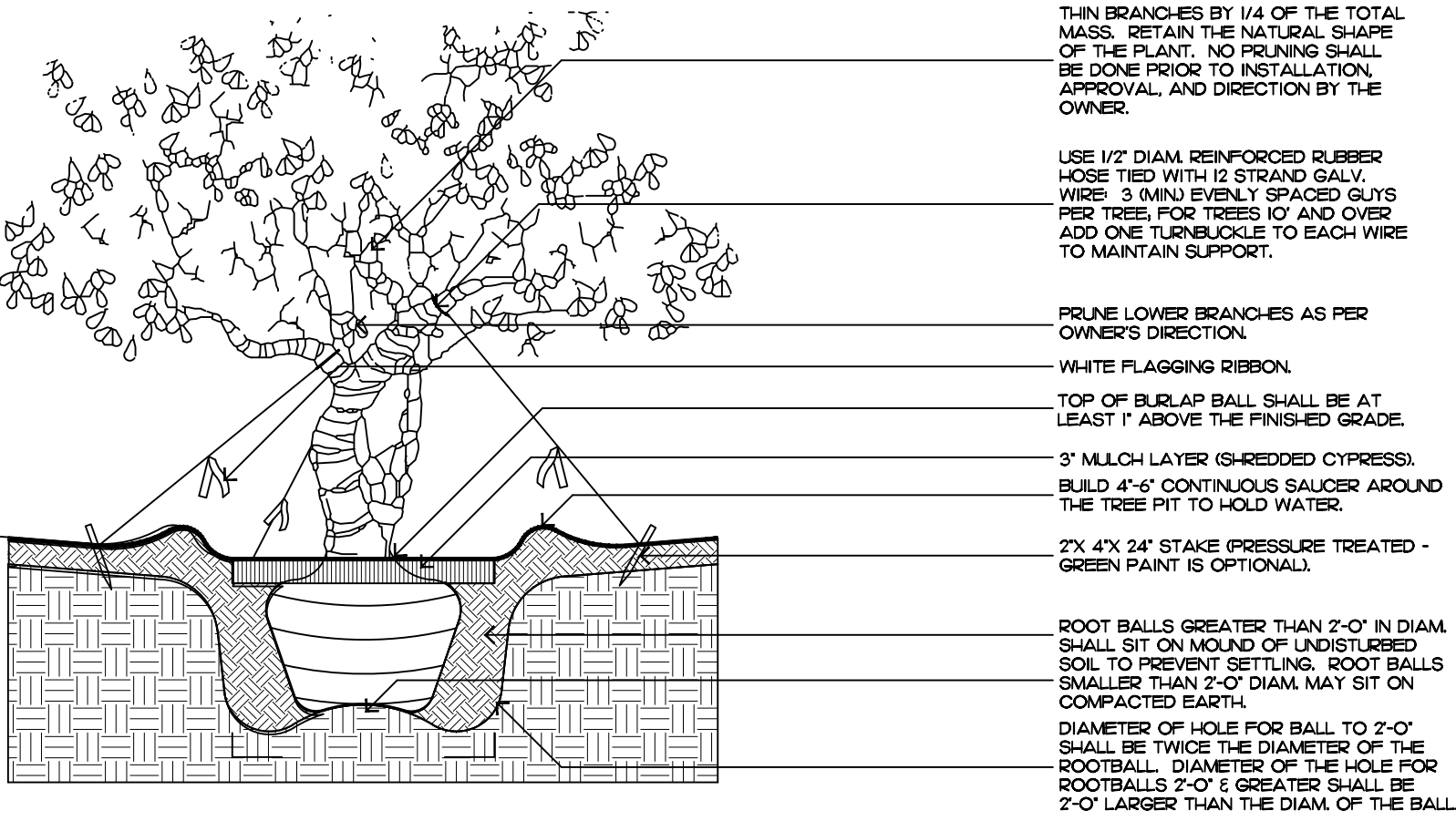
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

tree planting



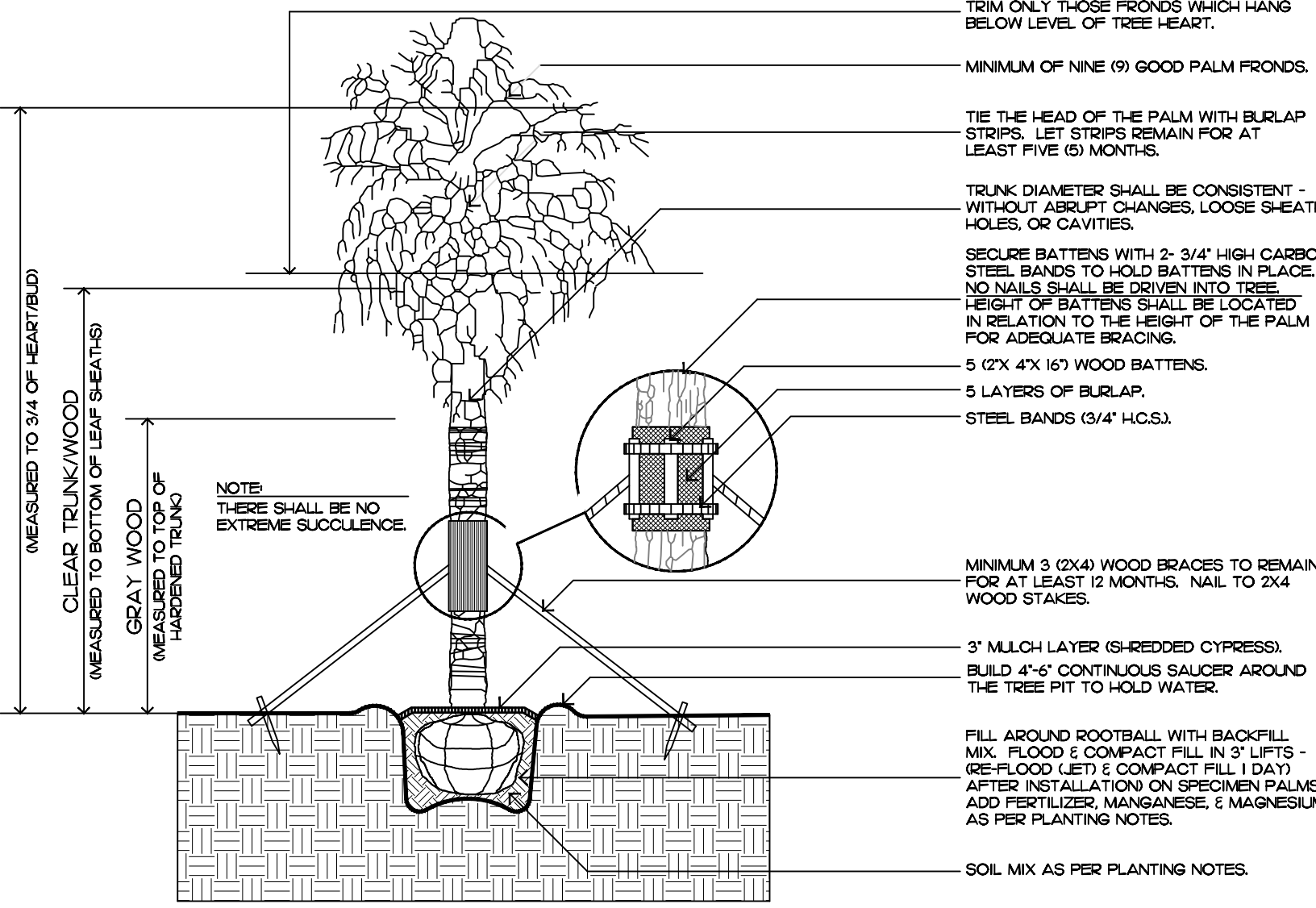
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

shrub planting



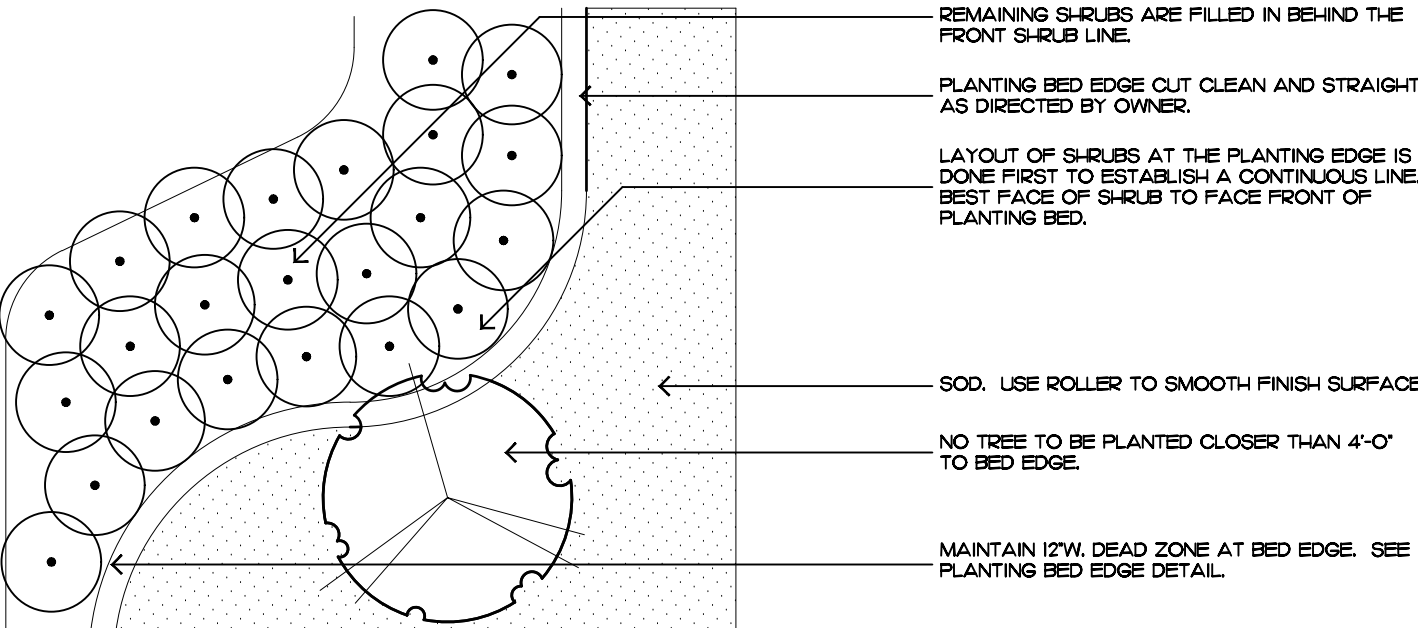
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

irregular and multi-stem tree



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

palm tree planting



shrub & ground cover layout

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DISCLAIMER: 2023
construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

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CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ARC# 23-015
ZON# 23-021

Planting Details & Specifications

ENVIRONMENT
DESIGN
GROUP
139 North County Road S#20-B Palm Beach, FL 33460
Phone: 561.832.4600 Mobile: 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residences
320 Chilean Ave
Palm Beach

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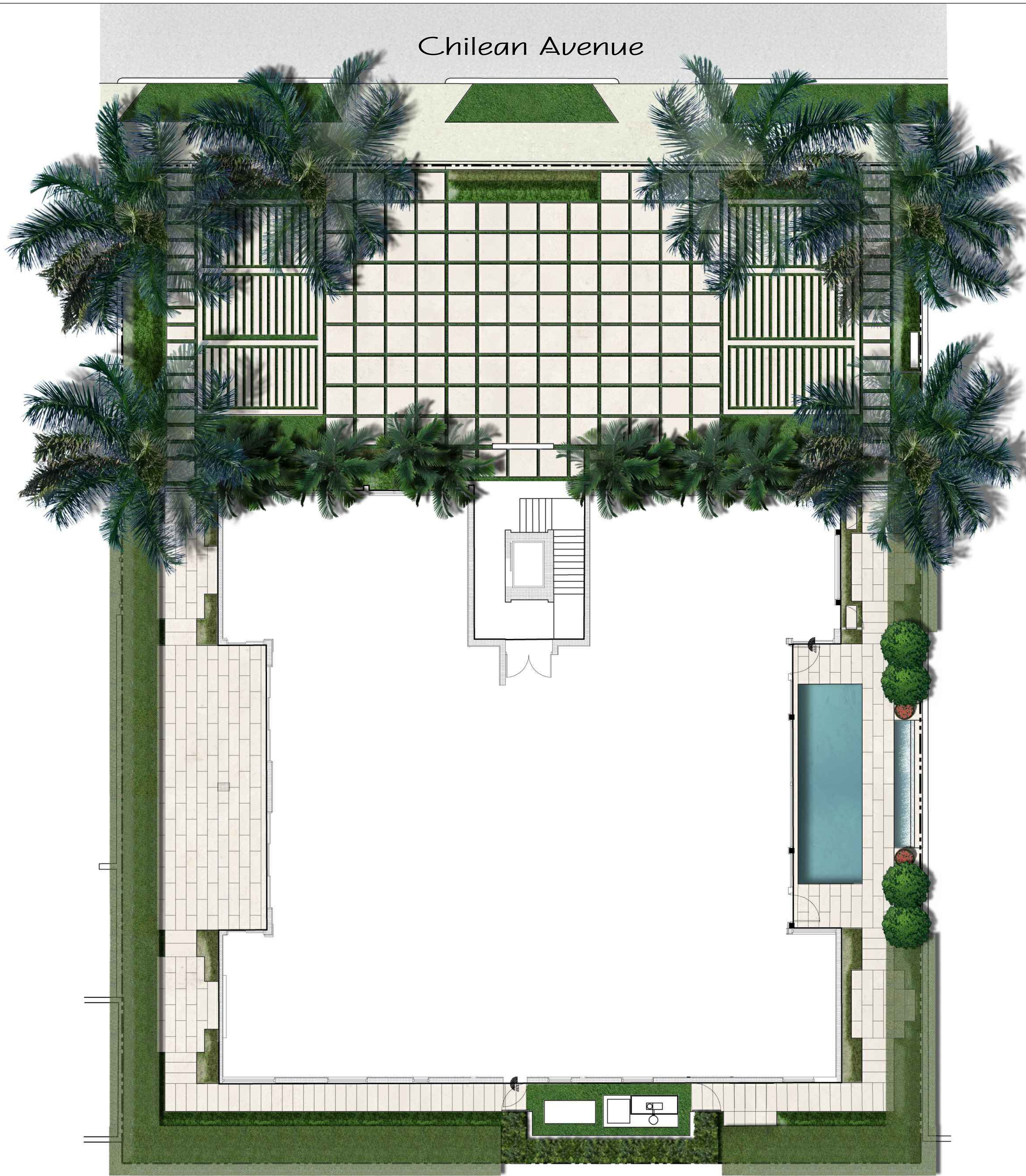
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JOB NUMBER: # 22244.00 LA
DRAWN BY: Adam Mills
DATE: 05.15.2023

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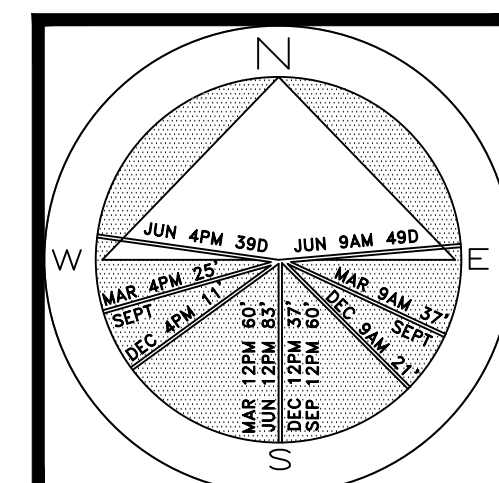
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ARC# 23-015
ZON# 23-021

Rendered Landscape Plan

NOT TO SCALE



JOB NUMBER: # 22244.00 LA
DRAWN BY: Jean Twomey
DATE: 05.15.2023

SHEET L8.0

**ENVIRONMENT
DESIGN
GROUP**
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Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, MIA RLA #6666784
Dustin@environmentdesigngroup.com

Private Residences
320 Chilean Ave
Palm Beach

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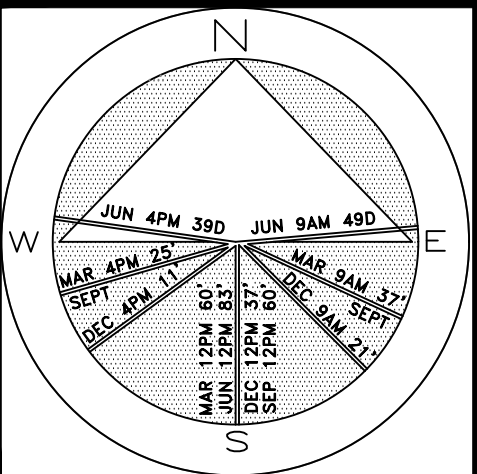


North / Front Elevation



South / Rear Elevation

Private Residences
320 Chilean Ave
Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Jean Twomey
DATE: 05.15.2023

SHEET L9.0

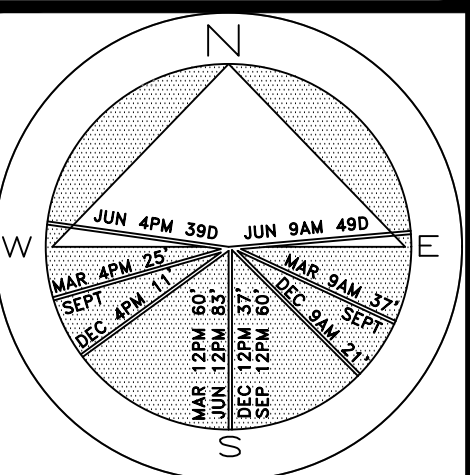
ARC# 23-015
ZON# 23-021 Front & Back Landscape Elevations
NOT TO SCALE

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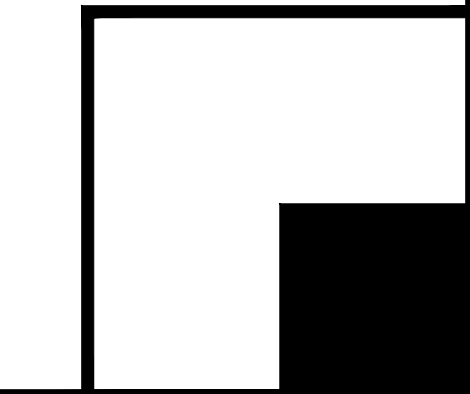
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Private Residences
320 Chilean Ave
Palm Beach



JOB NUMBER: # 22244.00 LA
DRAWN BY: Jean Twomey
DATE: 05.15.2023

SHEET L9.1



West Elevation

PREVIOUSLY
APPROVED



East Elevation

CHILEAN AVENUE

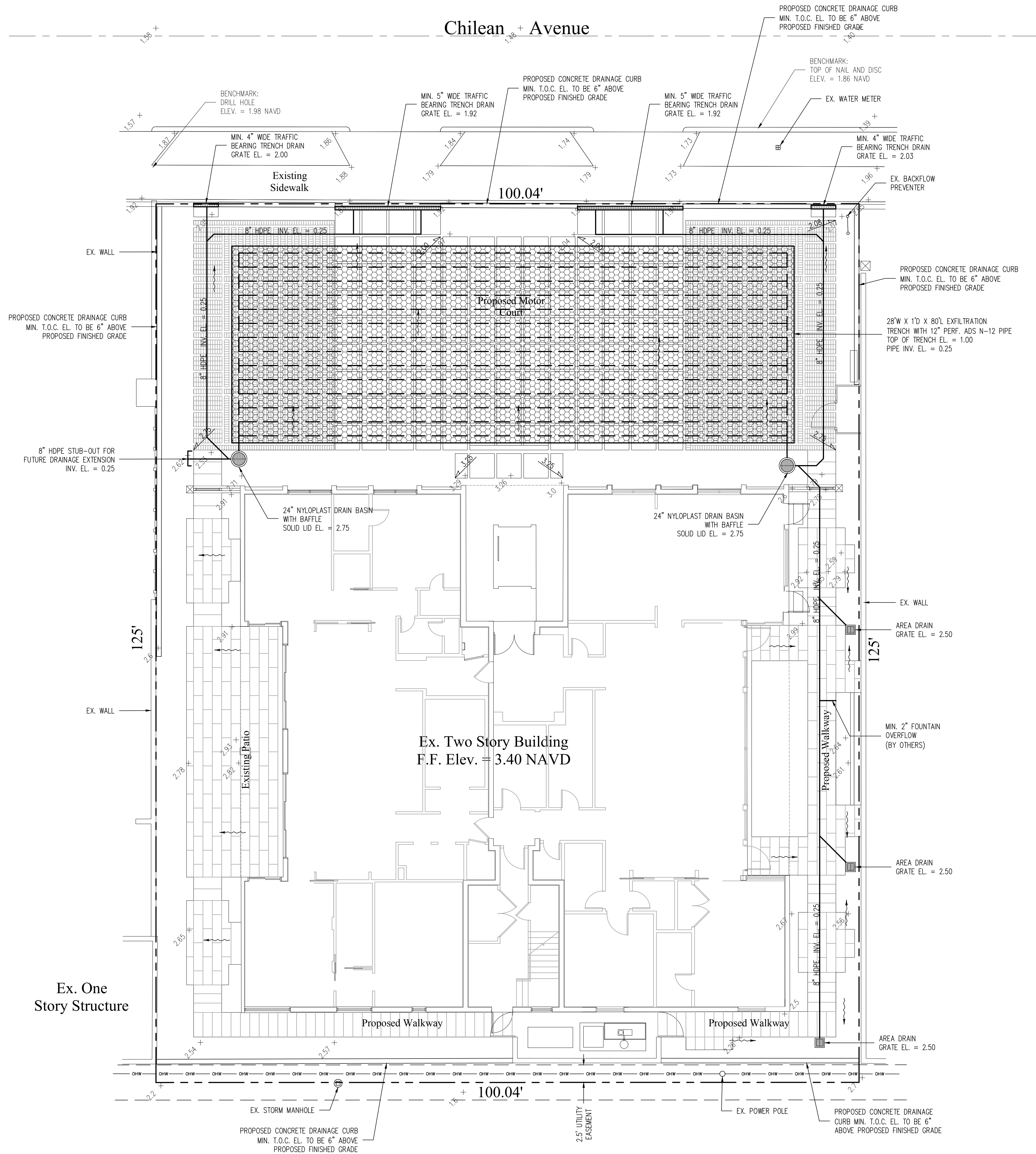
ARC# 23-015
ZON# 23-021

Side Landscape Elevations
NOT TO SCALE

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2023
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STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 12,505 sq. ft.
Drainage Area Impervious Surface = 10,707 sq. ft.
Drainage Area Pervious Surface = 1,798 sq. ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)
where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 10,707 \text{ sq. ft.} \times 1 \text{ ft./12 in.} = 1,785 \text{ cu. ft.}$
Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 1,798 \text{ sq. ft.} \times 1 \text{ ft./12 in.} = 60 \text{ cu. ft.}$
Total Volume to be Retained = 1,845 cu. ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	80	ft
W	=	Trench Width	=	28	ft
K	=	Hydraulic Conductivity	=	0.0005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	0.42	ft
DU	=	Un-Saturated Trench Depth	=	0.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	12	cu. ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

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CALL
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OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
5754 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

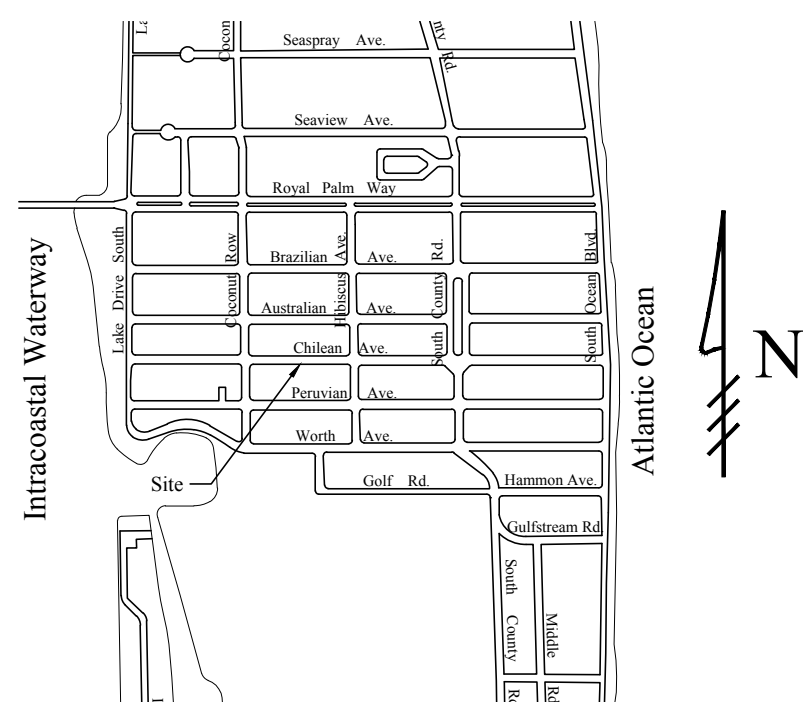
Project Information				
Project No.	2021-0177	Issue Date	05/12/2022	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading and Drainage Plan for:
Proposed Renovation
Palm Beach, Florida
320 Chilean Avenue

Revisions	
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Chad M. Gruber
FL P.E. No. 57466

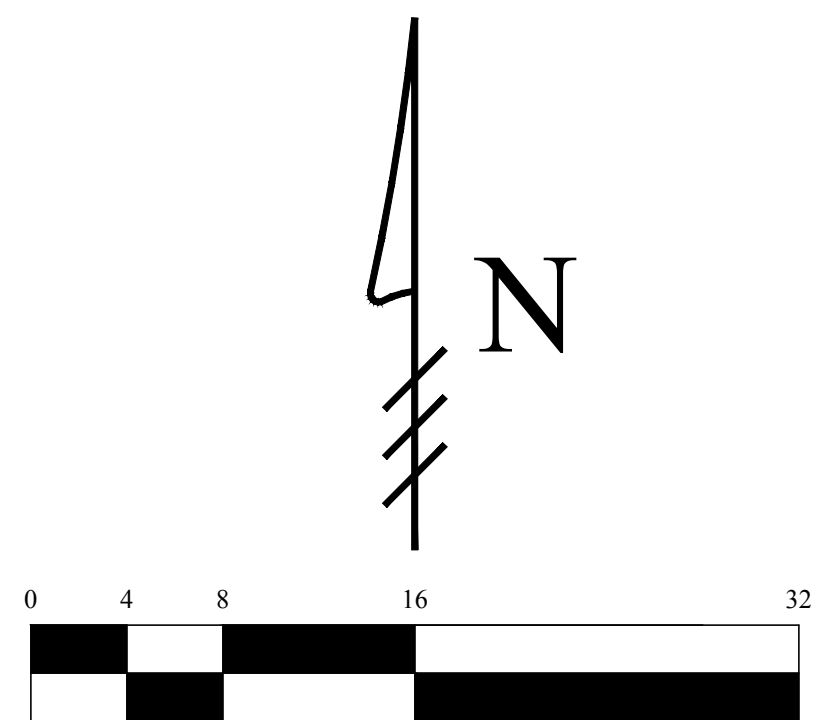
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C-1



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

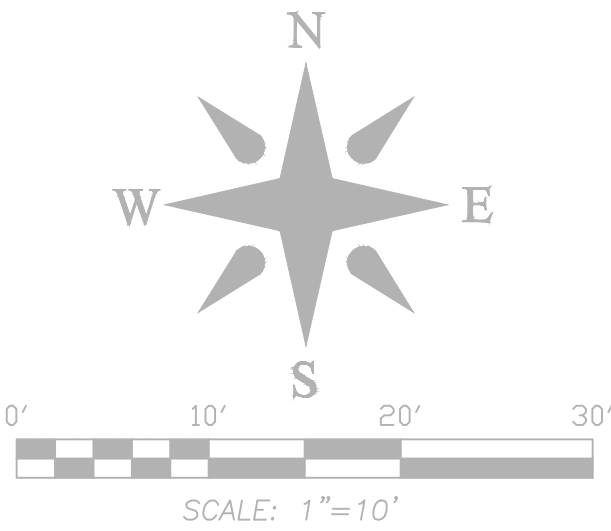
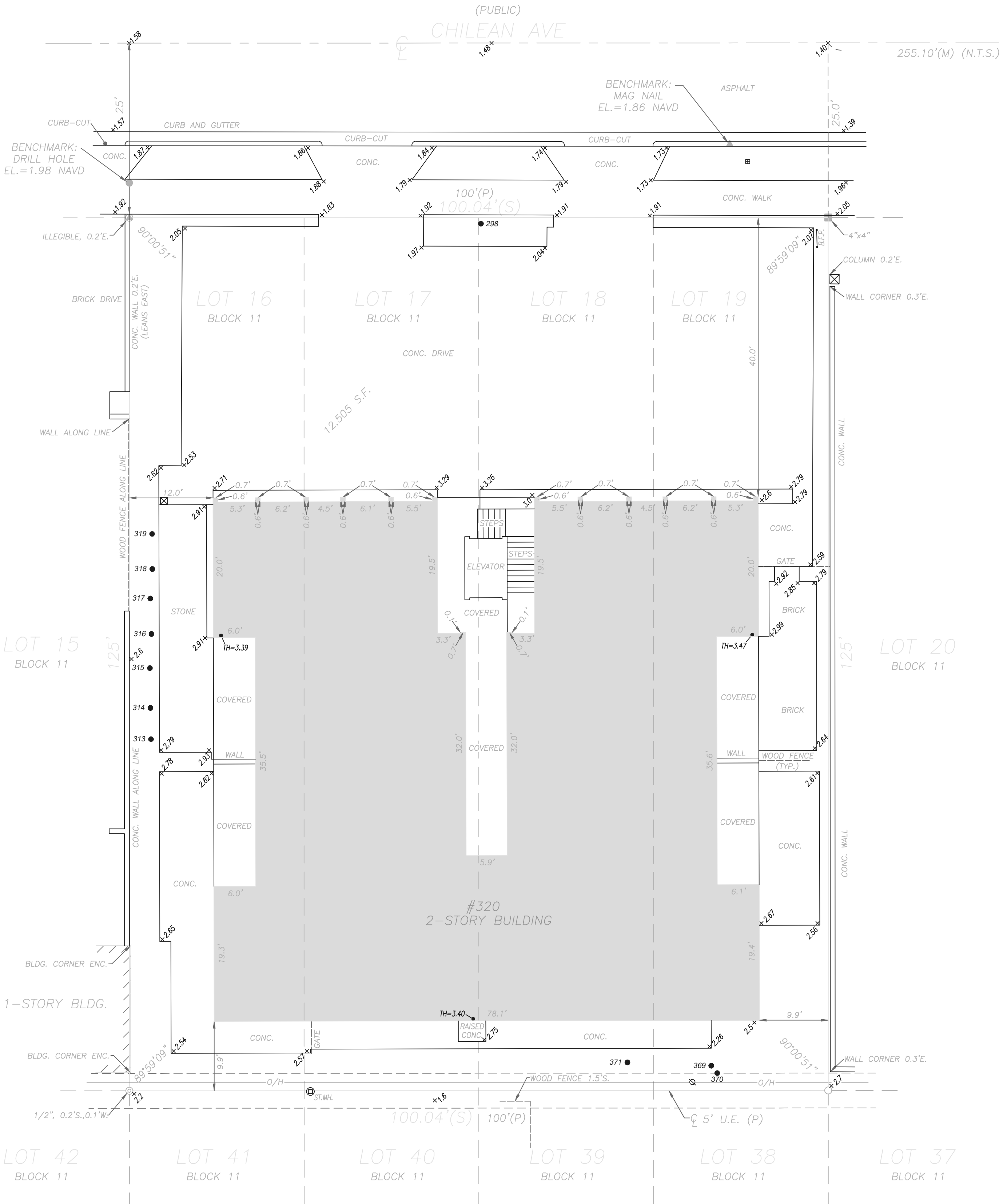
This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by
Environment Design Group Received 1/30/23

ARC-23-____
ZON-23-____

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
B.F.P. = BACKFLOW PREVENTER
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
D/W = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
F.O.C. = FACE OF CURB
I.D. = INSIDE DIAMETER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C.P. = PERMANENT CONTROL POINT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P/MT = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R/W = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
ST.MH. = STORM MANHOLE
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
= BASELINE
= CENTERLINE
= CENTRAL ANGLE/DELTA
= CONCRETE MONUMENT FOUND (AS NOTED)
= CONCRETE MONUMENT SET (LB #4569)
= ROD & CAP FOUND (AS NOTED)
= 5/8" ROD & CAP SET (LB #4569)
= IRON PIPE FOUND (AS NOTED)
= IRON ROD FOUND (AS NOTED)
= NAIL FOUND
= NAIL & DISK FOUND (AS NOTED)
= MAG NAIL & DISK SET (LB #4569)
= PROPERTY LINE
= UTILITY POLE
= FIRE HYDRANT
= WATER METER
= WATER VALVE
= LIGHT POLE
= PINE TREE
= SABAL PALM



VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR:
320 CHILEAN CONDOMINIUM, INC.

This survey is made specifically and only for the following parties for the purpose of a permit on the surveyed property.

320 Chilean Condominium, Inc.

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

320 Chilean Ave,
Palm Beach, FL 33480.

LEGAL DESCRIPTION:

Lots 16, 17, 18 and 19, Block 11, ROYAL PARK ADDITION to the Town of Palm Beach, Florida, according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 4, Page 1.

TREE LEGEND (TREE DESIGNATION SHOWN THUS: ● 298)

TREE NUMBER	SPECIES	CALIPER (DBH)
298	PITCH APPLE (ADONIDIA MERRILLII) (DOUBLE)	6"
313	ROYAL PALM (CLUSIA MAJOR)	3"
314	ROYAL PALM (CLUSIA MAJOR)	3"
315	ROYAL PALM (CLUSIA MAJOR)	3"
316	ROYAL PALM (CLUSIA MAJOR)	3"
317	ROYAL PALM (CLUSIA MAJOR)	3"
318	ROYAL PALM (CLUSIA MAJOR)	3"
319	ROYAL PALM (CLUSIA MAJOR)	3"
369	UNKNOWN PALM	7"
370	UNKNOWN PALM	7"
371	UNKNOWN PALM	7"

TREE LOCATION NOTES:

This firm has identified the various types of trees located on this site based on common knowledge of tree species. For positive identification of tree species, a qualified landscape architect or botanist should be consulted. Trees four (4") caliper inches or larger, when measured at breast height, are shown on the survey drawing. Invasive trees such as Melaleuca, Brazilian Pepper and Australian Pine are not shown on the survey drawing. Clusters of trees are shown grouped with an approximation of the total number of trees located within the group. The canopy diameter and spread are not shown hereon, unless indicated otherwise.

CERTIFICATION:

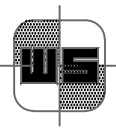
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 3/27/2021

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

BOUNDARY SURVEY FOR:

320 CHILEAN CONDOMINIUM, INC.



WALLACE SURVEYING

CORP., LICENSED BUSINESS # 4569
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD: J.P.	JOB NO: 21-1162	F.B: PB309 PG. 2
OFFICE: M.B.	DATE: 3/27/21	SWG. NO: 21-1162
C.K.D: C.W.	REF: 21-1162.DWG	SHEET 1 OF 1