



419 SEASPRAY AVE



345 SEASPRAY AVE



346 SEASPRAY AVE



339 SEASPRAY AVE



400 SEASPRAY AVE



SEASPRAY AVE LOOKING EAST



415 SEASPRAY AVE



SEASPRAY AVE LOOKING WEST



346 SEASPRAY AVE



350 SEASPRAY AVE

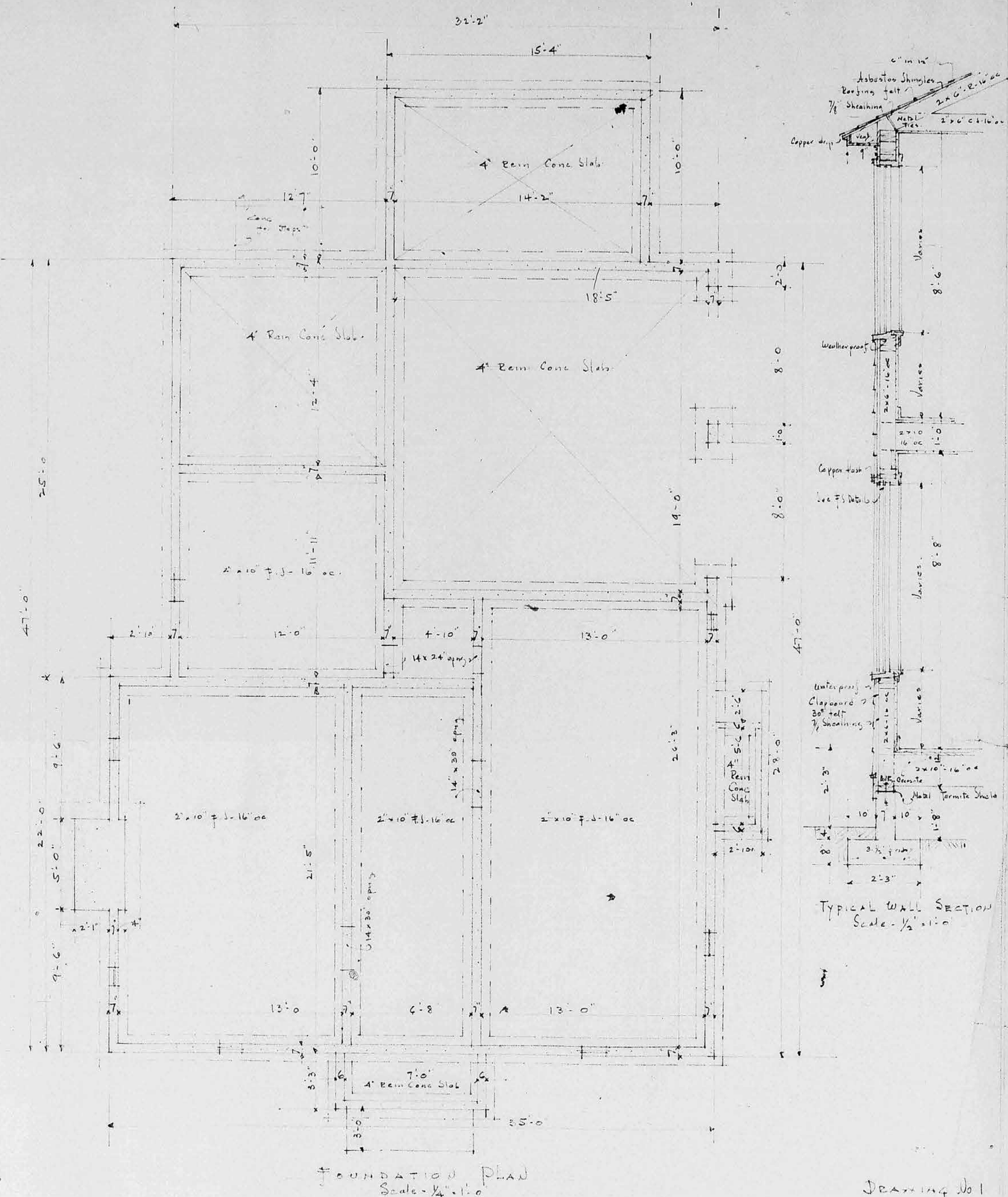


330 SEASPRAY AVE

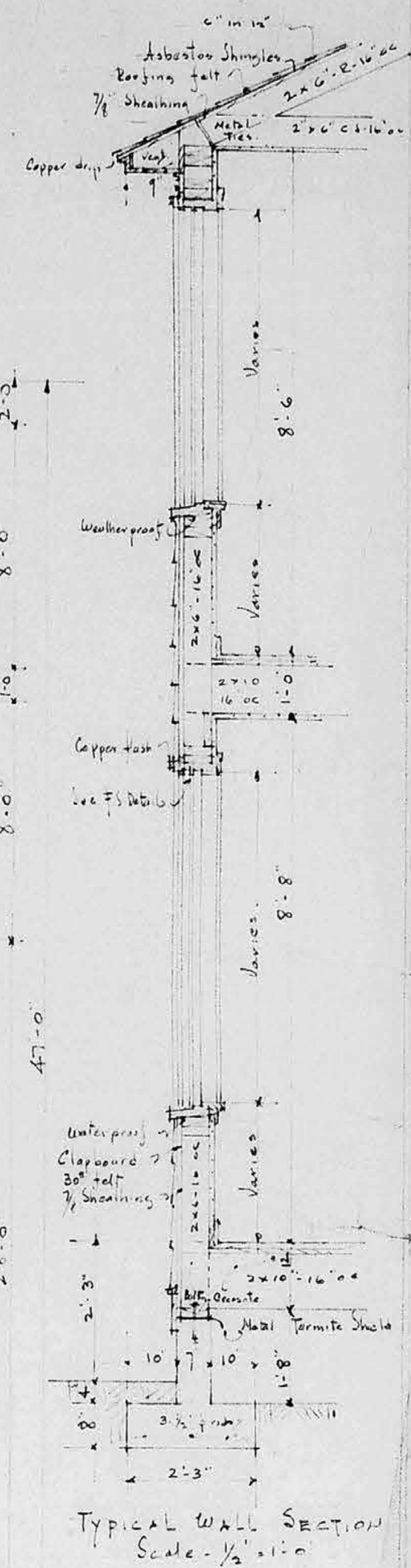


358 SEASPRAY AVE





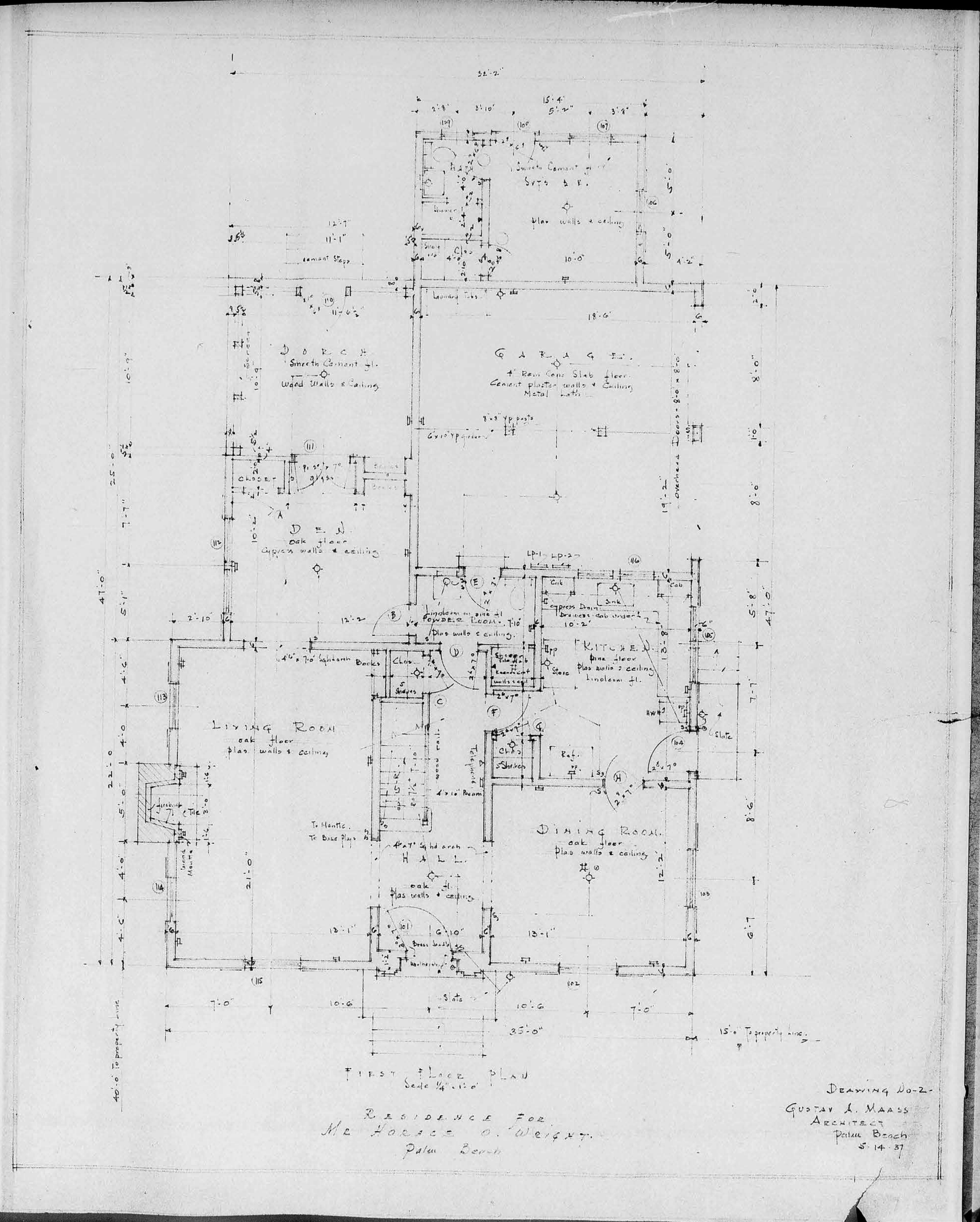
Residence for
Mr HORACE O WRIGHT
Palmy Beach

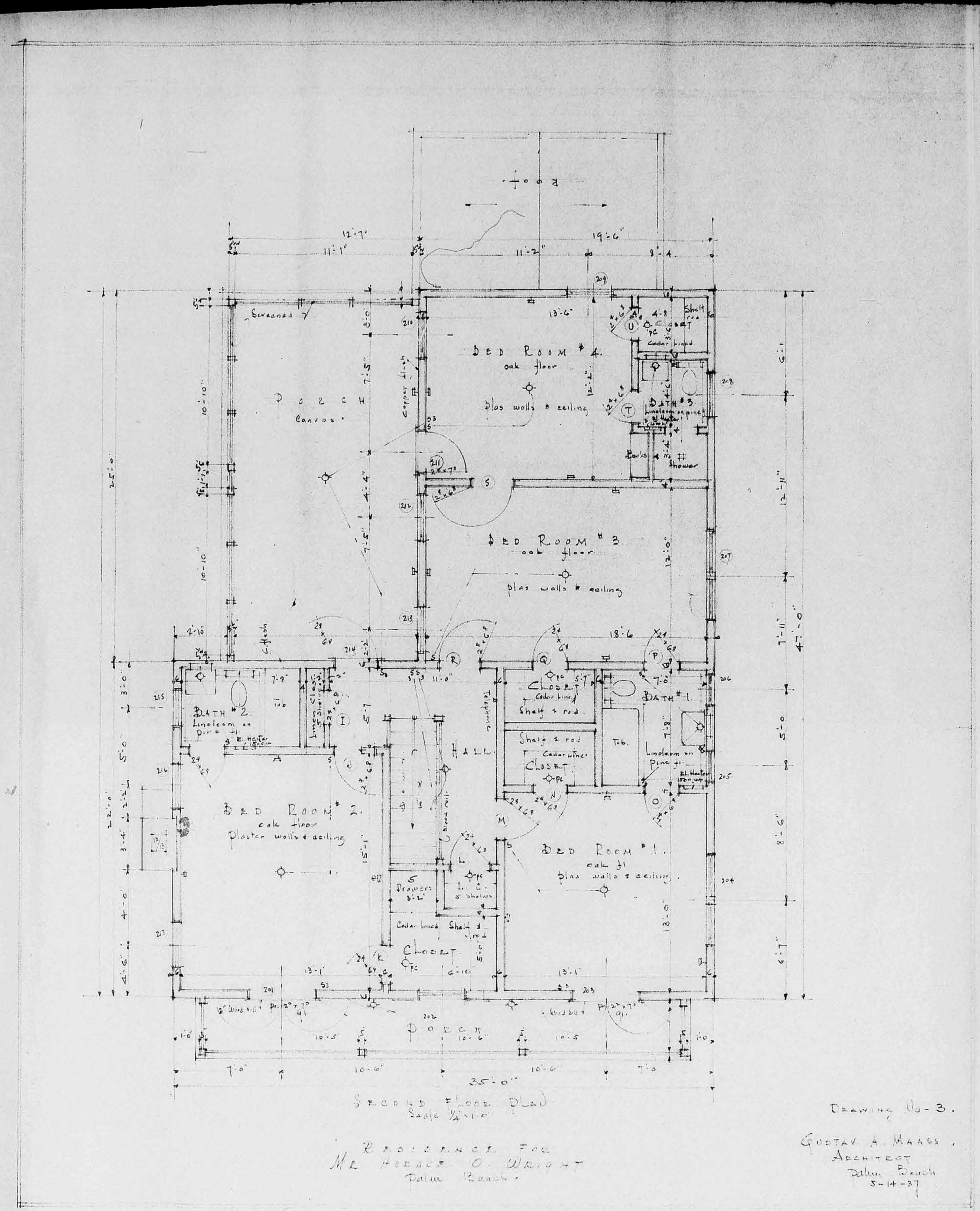


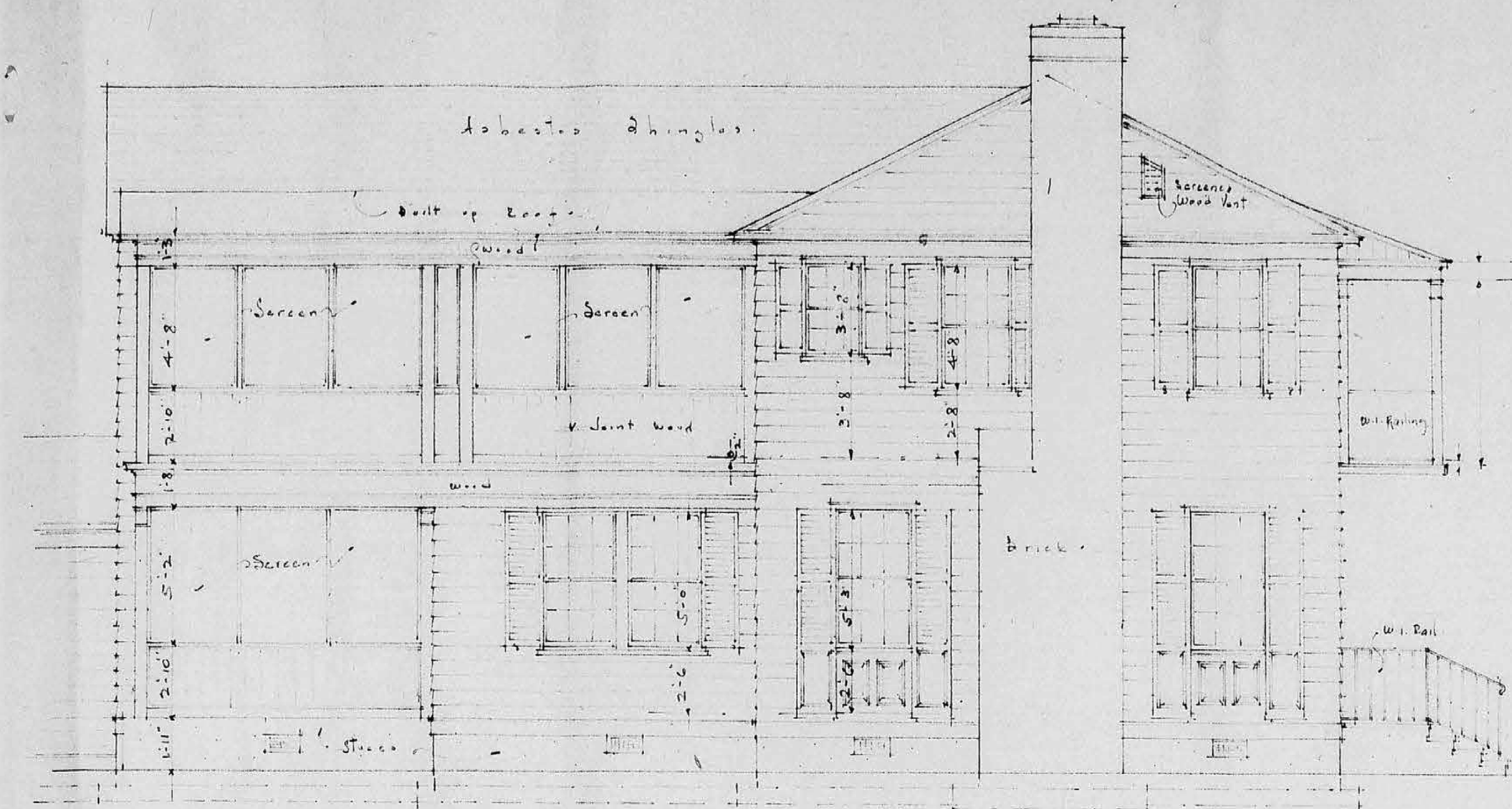
DRAWING No 1
GUSTAV A. MAASS
ARCHITECT
Palm Beach
5-14-39

X 63

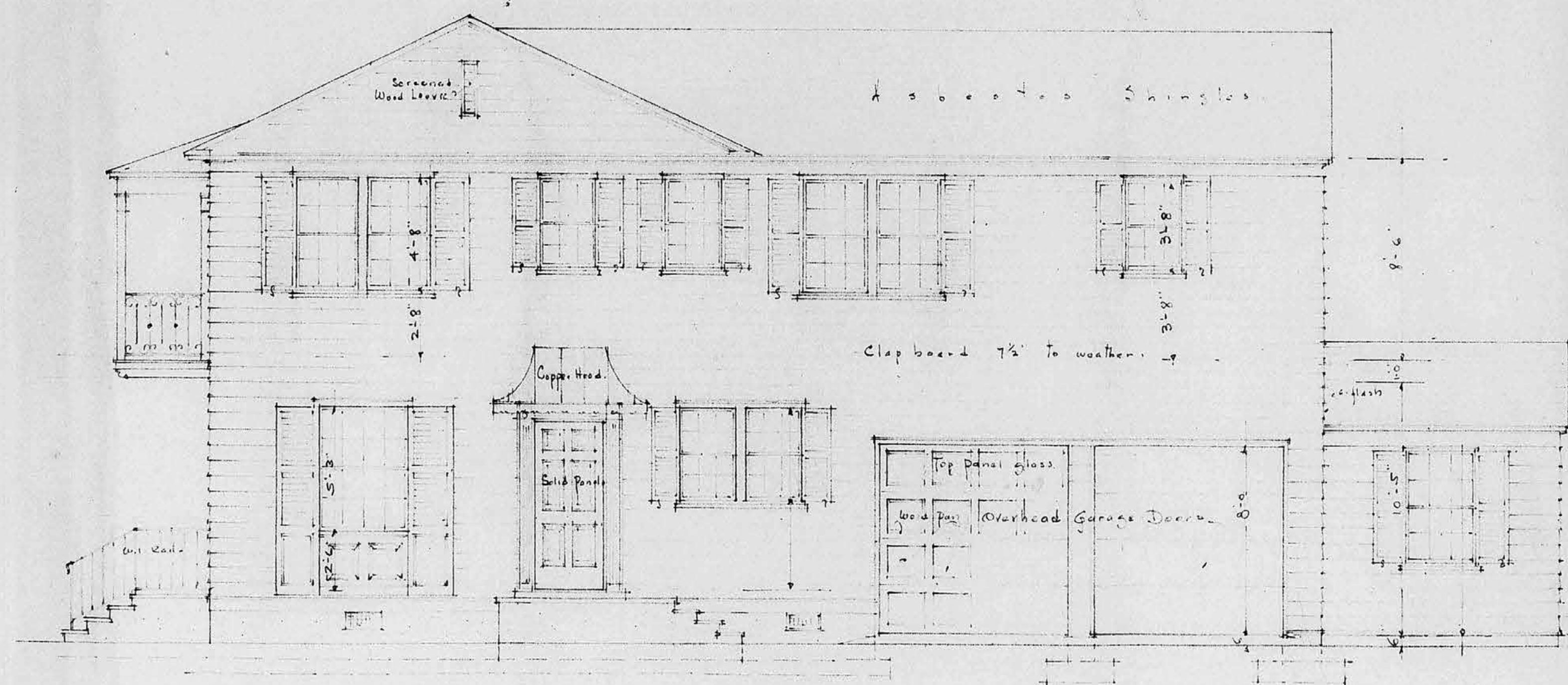
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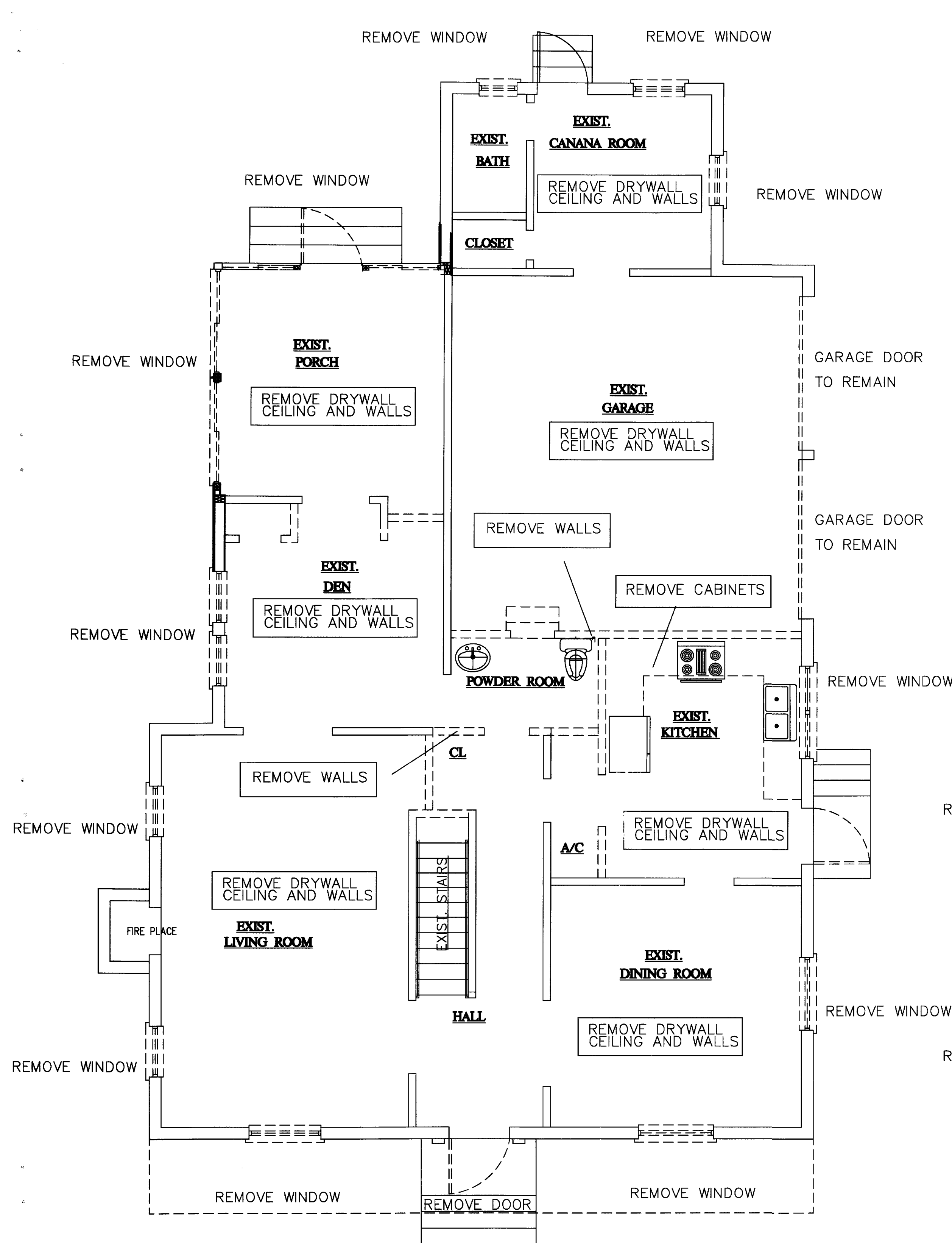
EAST ELEVATION
Scale 1/4" = 1'-0"



WEST ELEVATION
Scale 1/4" = 1'-0"

RESIDENCE
MR. HORACE O. WRIGHT.
Palm Beach

DRAWING No. 5
GUSTAV A. MAASS
ARCHITECT
Palm Beach
5-14-37



EXIST. 1st FLOOR/DEMO PLAN

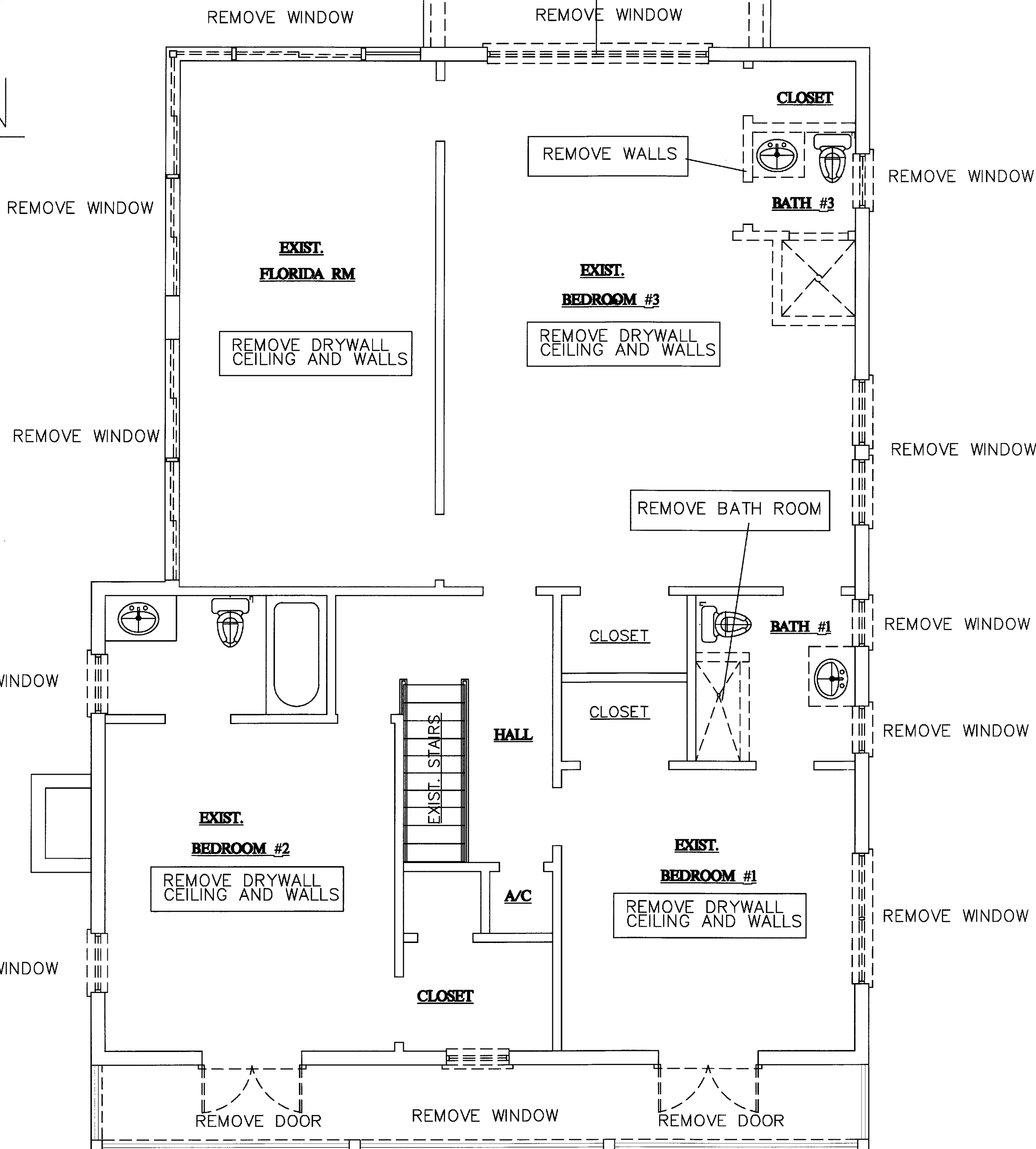
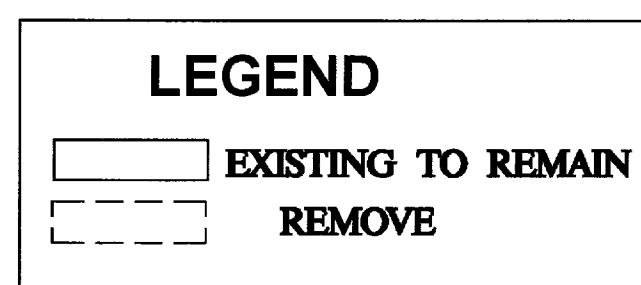
1/4" = 1'-0"

AREA TABULATION

EXIST. HOUSE 1ST FLR.AC	1308 S.F.
EXIST. HOUSE 2ND FLR.AC	1538 S.F.
EXIST. GARAGE	380 S.F.
EXIST. FRONT PORCH	140 S.F.
TOTAL	3360 S.F.

DRAWING INDEX

- A1 DEMO PLAN
- A2 FLOOR PLAN
- A3 EXTERIOR ELEVATIONS
- A4 ELECTRICAL PLAN
- A5 PLUMBING PLAN
- A6 HVAC PLANS
- A7 FLOOR FRAMING PLAN
- A8 ROOF FRAMING PLAN



EXIST. 2nd FLOOR/DEMO PLAN

1/4" = 1'-0"

ADDITIONAL PERMIT REQUIRED
MECH. ☒ ELEC. ☒ PLUMB. ☒
OTHER AS Required

BUILDING TYPE

TYPE OF CONSTRUCTION: TYPE VB
OCCUPANCY TYPE-R-3: RESIDENTIAL- 2 STORY
LEVEL OF ALTERATION 2

ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE

DEMOLITION NOTES

- CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.
- PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE & DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF WORK CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.
- PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.
- DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- PROTECTION OF EXISTING BUILDING:
 - EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
 - COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.
 - AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
 - DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE AREA OF WORK.
- ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS. WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- DISPOSING OF MATERIAL:
 - TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.
 - DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.
 - REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.
- PREPARATION:
 - PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
 - PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
 - PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, PAINTING, APPLY SHEEROCK, FUMES, DUST, & NOISE.
- PERFORMANCE:
 - EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. POOL DECK CUTTING W/ NO SLAB DAMAGE.
 - EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.
 - RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
 - FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
 - REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

OFFICE COPY
SUBJECT TO COMPLIANCE WITH
ALL CODES AND ORDINANCES
IN EFFECT IN THE TOWN OF
PALM BEACH, FLORIDA

SCOPE OF WORK

INTERIOR DEMO OF ALL DRYWALL, MECHANICAL AND ELECTRIC
REMOVE ROOF FRAMING SHOWN O A7 & REPLACE W/TRUSSES
REMOVE ALL BATHROOM AND KITCHEN FIXTURES
REMOVE WINDOWS AND DOORS SHOWN ON PLAN

DESIGN CRITERIA

ALL STRUCTURAL ELEMENTS, EXPOSED TO WIND, HAVE BEEN DESIGNED PER THE GUIDELINES OF THE ASCE 7-10 BUILDING CODE WITH THE FOLLOWING DESIGN VALUES:
FBC 2014
WIND SPEED = 170 MPH
EXPOSURE D
IMPORTANCE FACTOR = 1.00
BUILDING CATEGORY- II
Kd=0.85 FOR MWFRS WITH LOAD FACTORS
MEAN ROOF HEIGHT IS 25'-0"

REVIEWED
APR 04/2016
TPB PLAN EXAMINER

PERMIT B'1652289

REVISIONS	BY

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POMPANO BEACH, FL
954-682-6651

FIRE DAMAGED HOUSE
360 SEASPRAY AVE
PALM BEACH FLORIDA, 333480

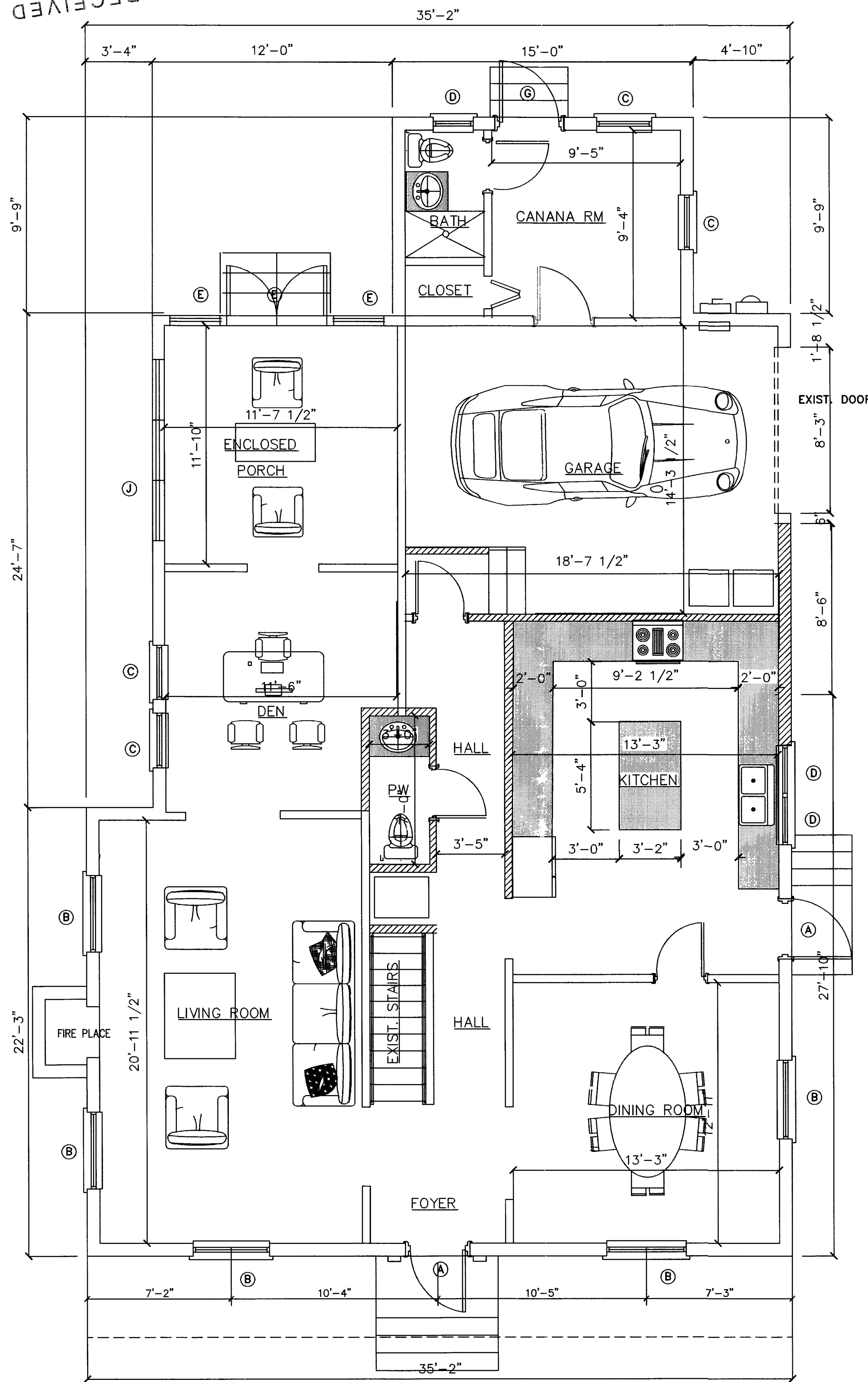
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EMAIL: carlosvilaca2@gmail.com

DATE
1-27-16
SCALE:
1/4" = 1'-0"
PROJECT:
911-360 SEASPRAY

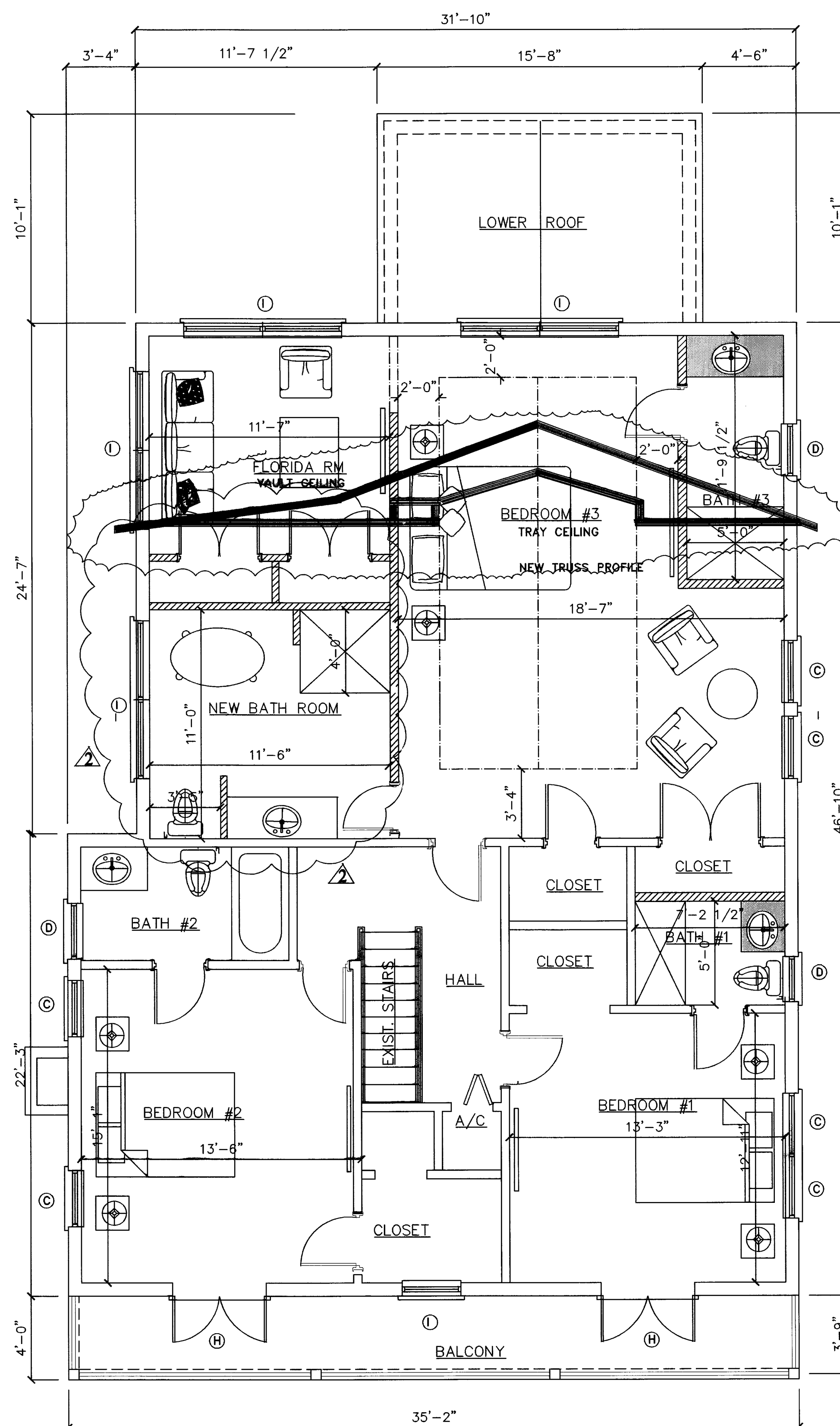
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APR 26 2017
Town of Palm Beach
P.B. Dept.



1ST FLOOR PLAN

1/4" = 1'-0"



2nd FLOOR PLAN

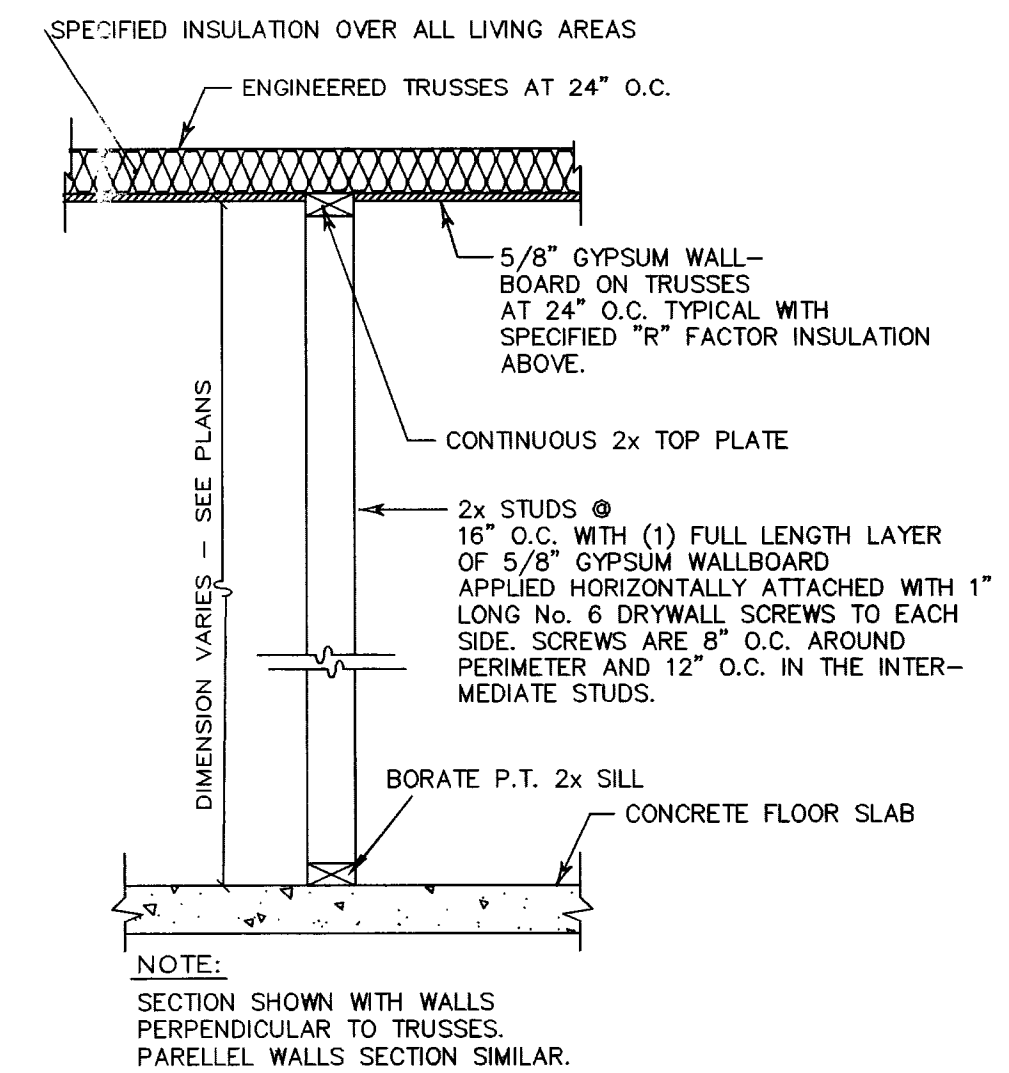
1/4" = 1'-0"

WALL LEGEND

EXISTING WALL
NEW WALL

AREA TABULATION

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EXIST. FRONT PORCH	140 S.F.
TOTAL	3360 S.F.



WOOD NON-BEAR'G WALL
NTS

GENERAL NOTES

THE CONTRACTOR SHALL COORDINATE ALL OF THE WORK OF ALL TRADES. THE CONTRACTOR SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. BACKCHARGES WILL NOT BE ACCEPTED.

DO NOT SCALE DRAWINGS

SUBMIT A MINIMUM OF THREE (3) COPIES OF SHOP DRAWINGS FOR FLOOR AND ROOF SYSTEMS FOR REVIEW AND APPROVAL BY THE ENGINEER'S PRIOR TO FABRICATION.

THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA ENERGY CODE FOR BUILDING CONSTRUCTION INCORPORATED AS CHAPTER 13 OF THE FLORIDA BUILDING CODE.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY.

THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NO.-STRUCTURAL MEMBERS DURING CONSTRUCTION.

THE WINDOW AND DOOR SUPPLIER, AND CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS TO THE CONTRACTOR.

ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED.

PROVIDE METAL THRESHOLD AT ALL EXTERIOR DOORS AND AT DOOR BETWEEN GARAGE AND LIVING AREA.

PROVIDE NOMINAL 1 X 3 P.T. FIRESTOPPING HORIZONTAL AT CEILING & WALL INTERSECTIONS.

WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION. GLAZING IN SWING DOORS AND FIXED AND SLIDING PANELS OF SLIDING GLASS DOORS SHALL BE TEMPERED.

GLAZING IN DOORS AND WALLS OF ENCLOSURES FOR TUBS AND SHOWERS OR MIRRORS LOCATED WITHIN 36" HORIZONTALLY AND 60" VERTICALLY FROM THE WALKING SURFACE SHALL BE TEMPERED.

GLAZING IN SIDELITES LOCATED WITHIN 48" OF THE DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR SHALL BE TEMPERED.

EGRESS WINDOWS SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH AND 24" IN HEIGHT AND 5.7 SQ. FT. IN AREA MINIMUM. THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR LATCHING DEVICES TO BE LESS THAN 54"

ALL BATHROOM FLOORS AND WALLS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.

ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE

REVIEWED

MAY 25 2017

TPB PLAN EXAMINER

B-17-63584

WINDOW / DOOR SCHEDULE

NO.	DESCRIPTION				WIND PRESSURES		
	W	H	TYPE	MAT.	GLASS	POS	NEV
(A)	36"	80"	DOOR	FIBERGLASS	IMPACT RESISTANT	+39	-42
(B)	48"	63"	SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+45	-49
(C)	37"	63"	SINGLE HUNG EGRESS	ALUMINUM	IMPACT RESISTANT	+44	-47
(D)	24"	50"	SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+47	-51
(E)	5'	80"	FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+41	-44
(F)	60"	80"	DBL. 30" FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+45	-49
(G)	30"	80"	FRENCH DOOR	ALUMINUM	IMPACT RESISTANT	+43	-46
(H)	54"	80"	DBL. 27 FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+48	-50
(I)	100"	63"	2-50" SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+43	-46
(J)	108"	63	3 PANEL HOR. ROLLER	ALUMINUM	IMPACT RESISTANT	+39	-42

VERIFY WINDOW/DOORS SIZES WITH FIELD MEASUREMENTS.

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SUBJECT TO COMPLIANCE WITH
ALL CODES AND ORDINANCES
IN EFFECT IN THE TOWN OF
PALM BEACH, FLORIDA

RECEIVED

APR 26 2017

Town of Palm Beach
P.B. Dept.

REVISIONS	BY
REAR GARAGE	CV 3-14-16
ADDED BATH RM	CV 4-19-17

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FIRE DAMAGED HOUSE
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PALM BEACH, FLORIDA, 333480

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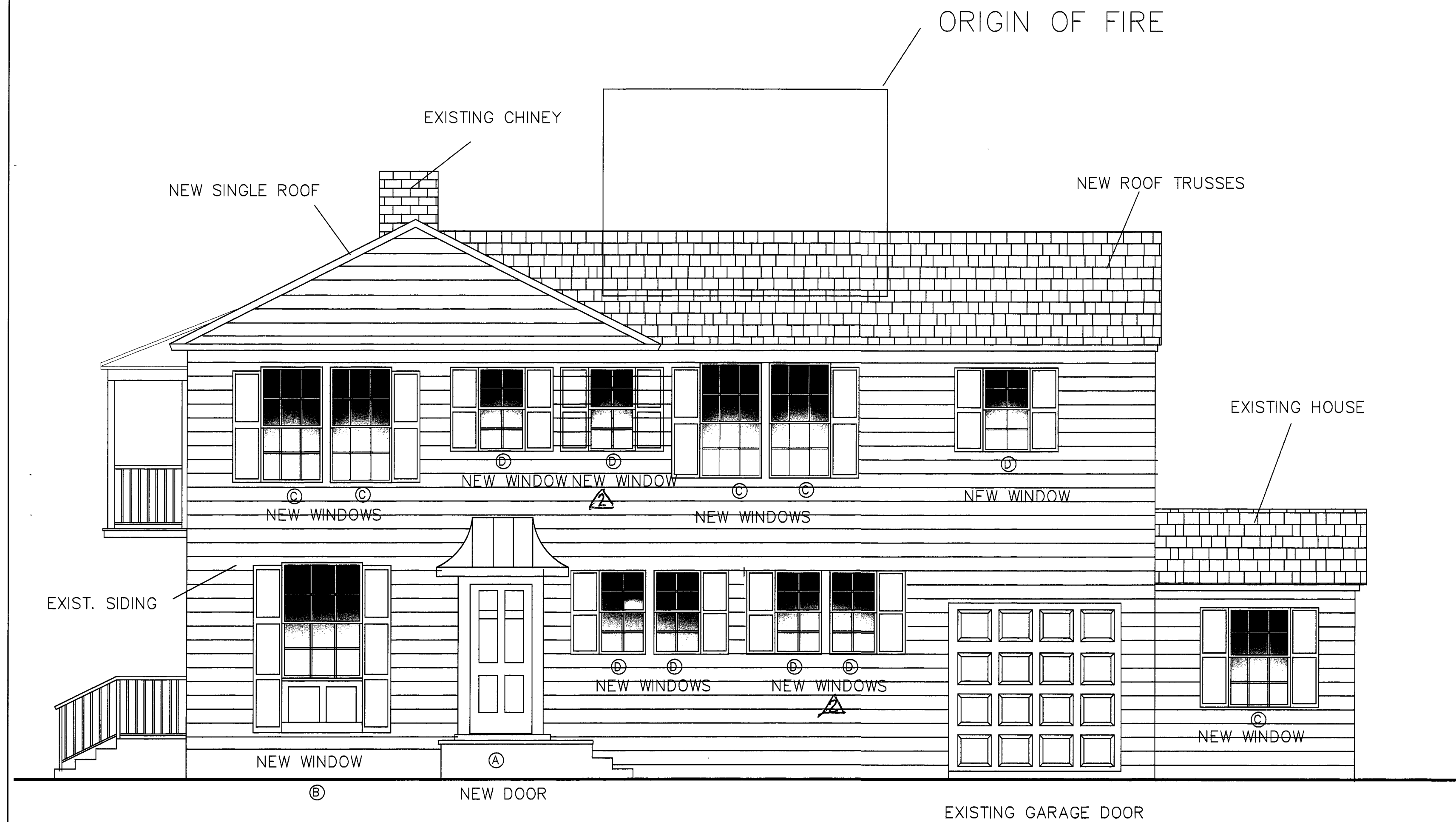
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DATE
1-27-16

SCALE:
1/4" = 1'-0"

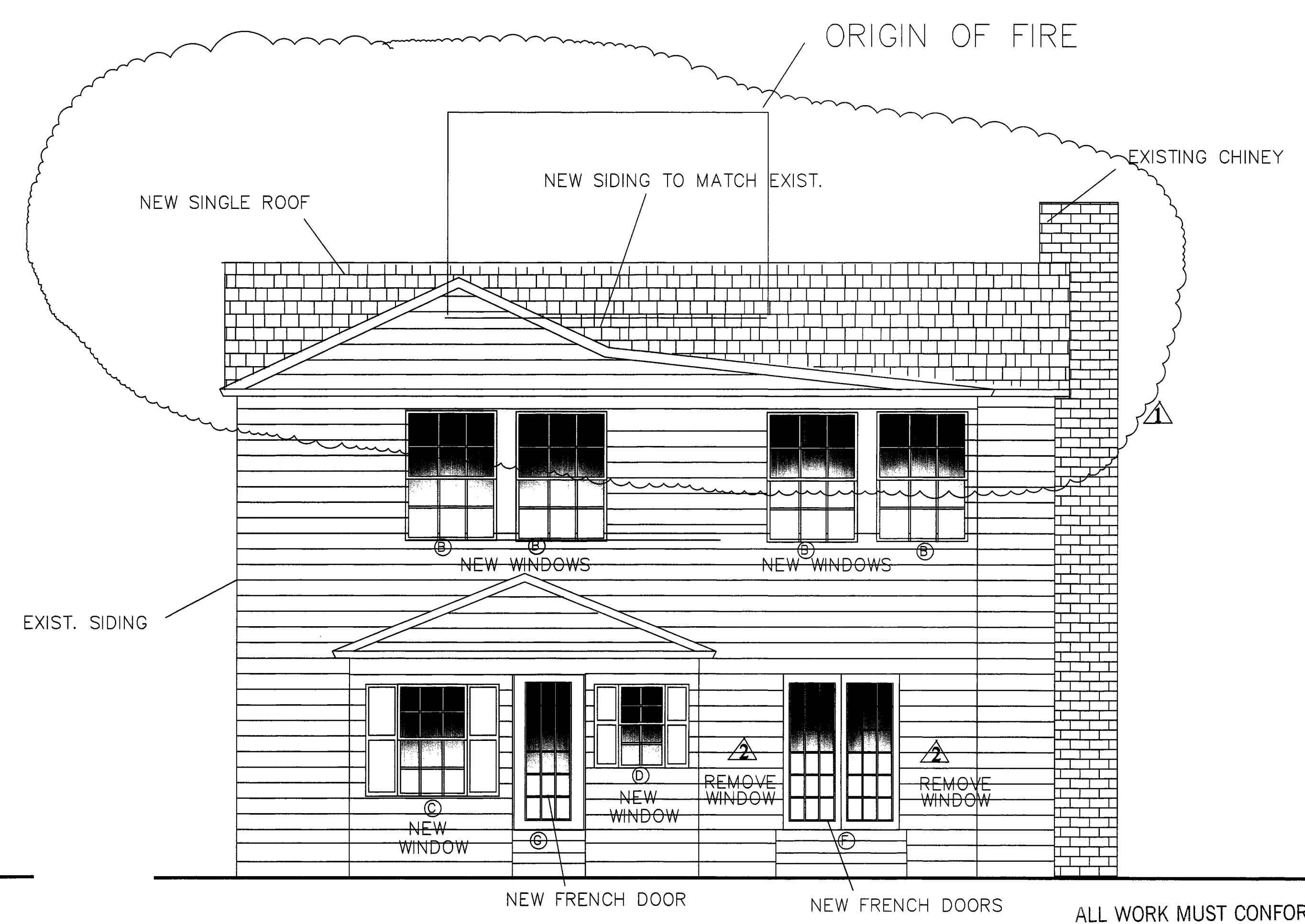
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911-360 SEASPRAY

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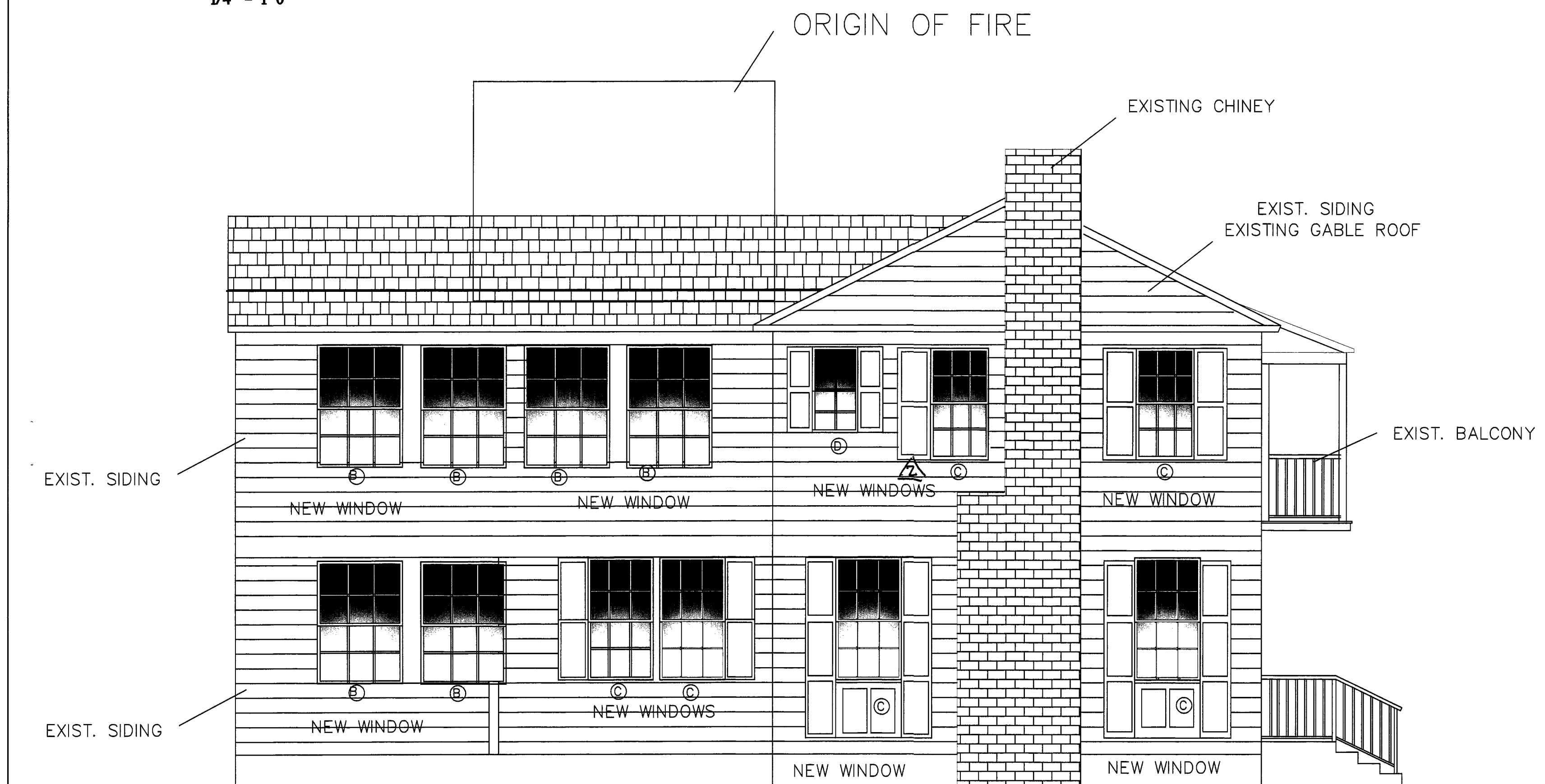
RIGHT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

REVISIONS	BY
REAR GABLE	CV 3-14-16
REMOVED WINDOW E	CV 3-30-16

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3/31/16
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FIRE DAMAGED HOUSE
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PALM BEACH FLORIDA, 333480
ALL WORK MUST CONFORM
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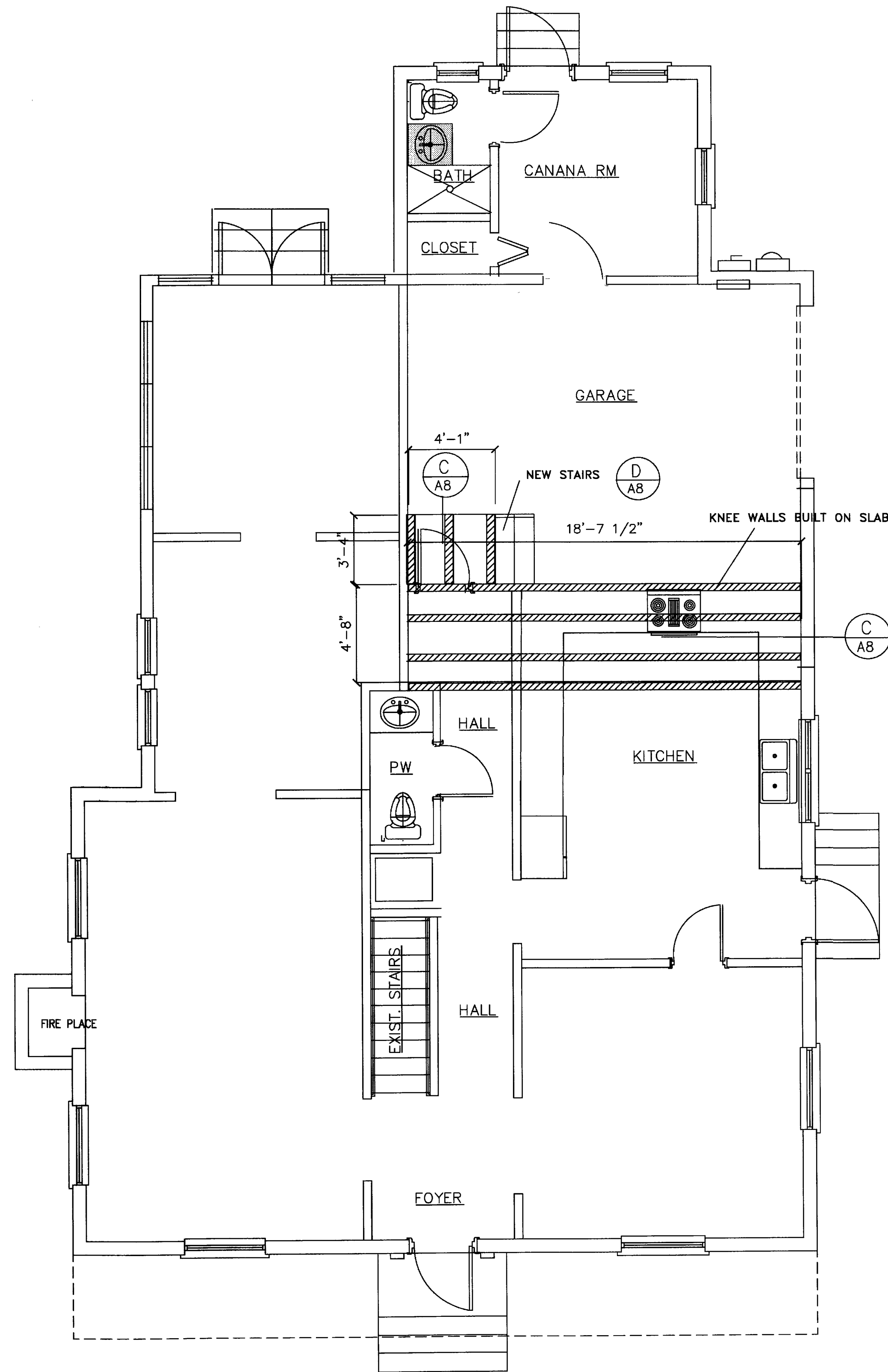
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PR7 DEPT.

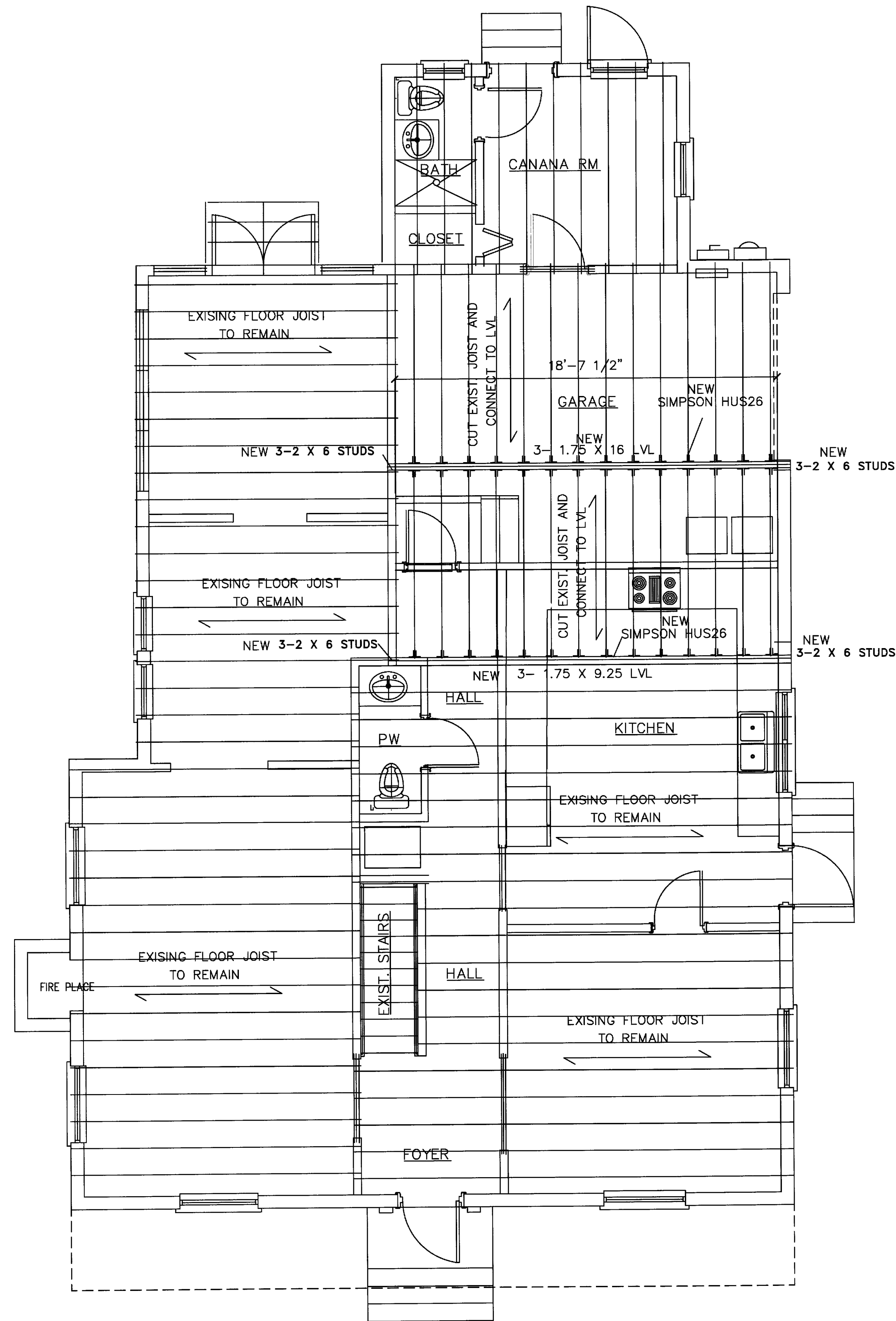
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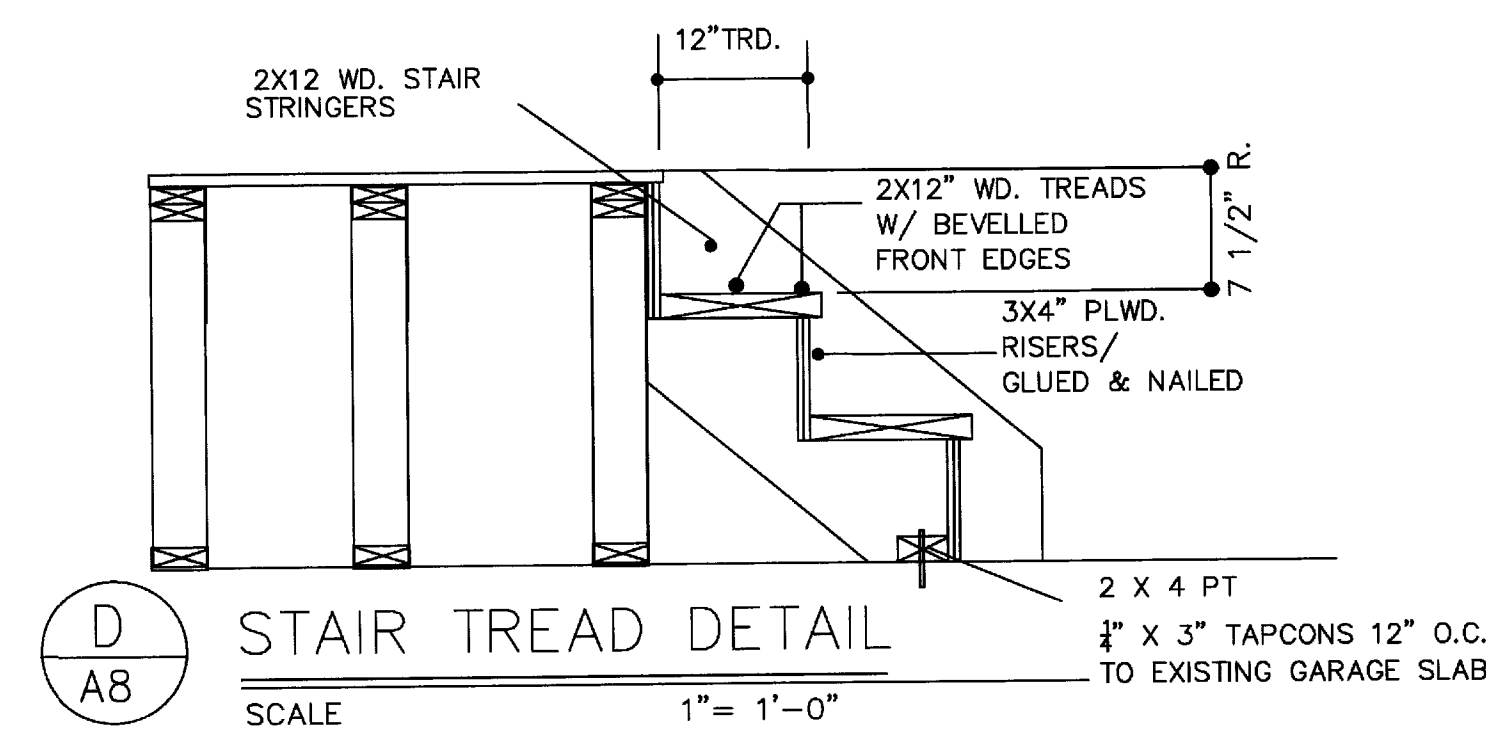
FIRST FRAMING FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

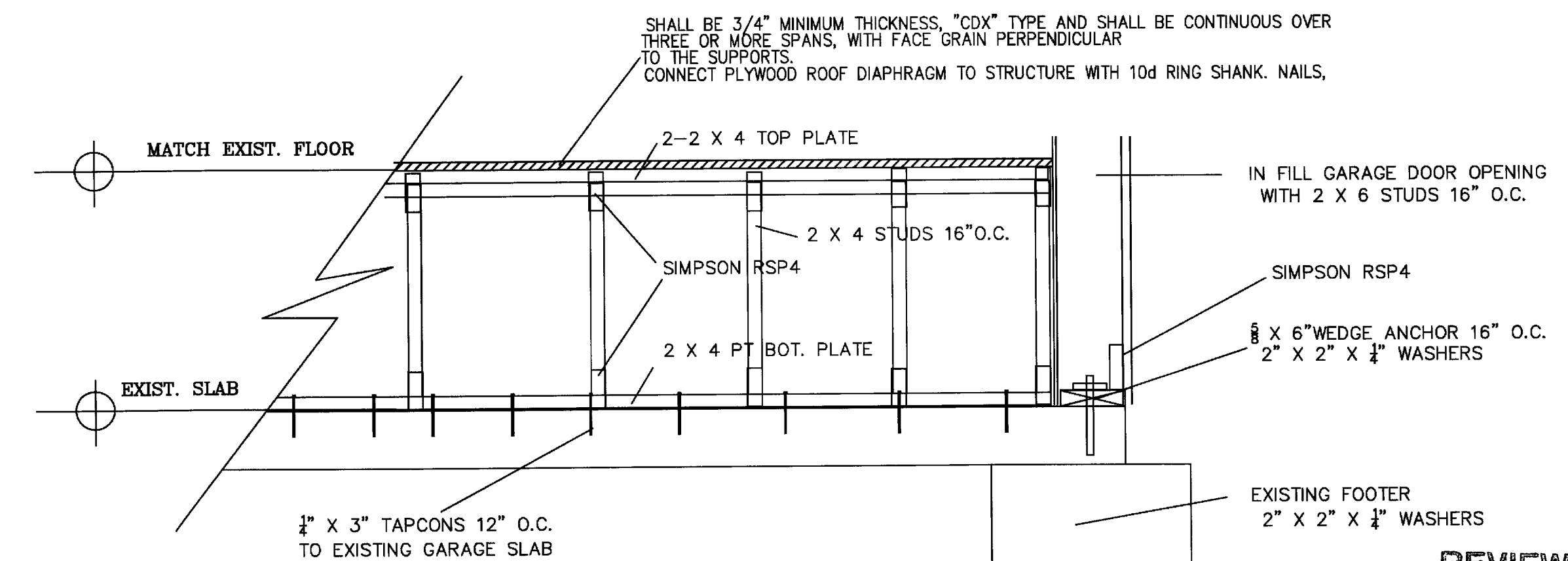
1/4" = 1'-0"



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A8

STAIR TREAD DETAIL

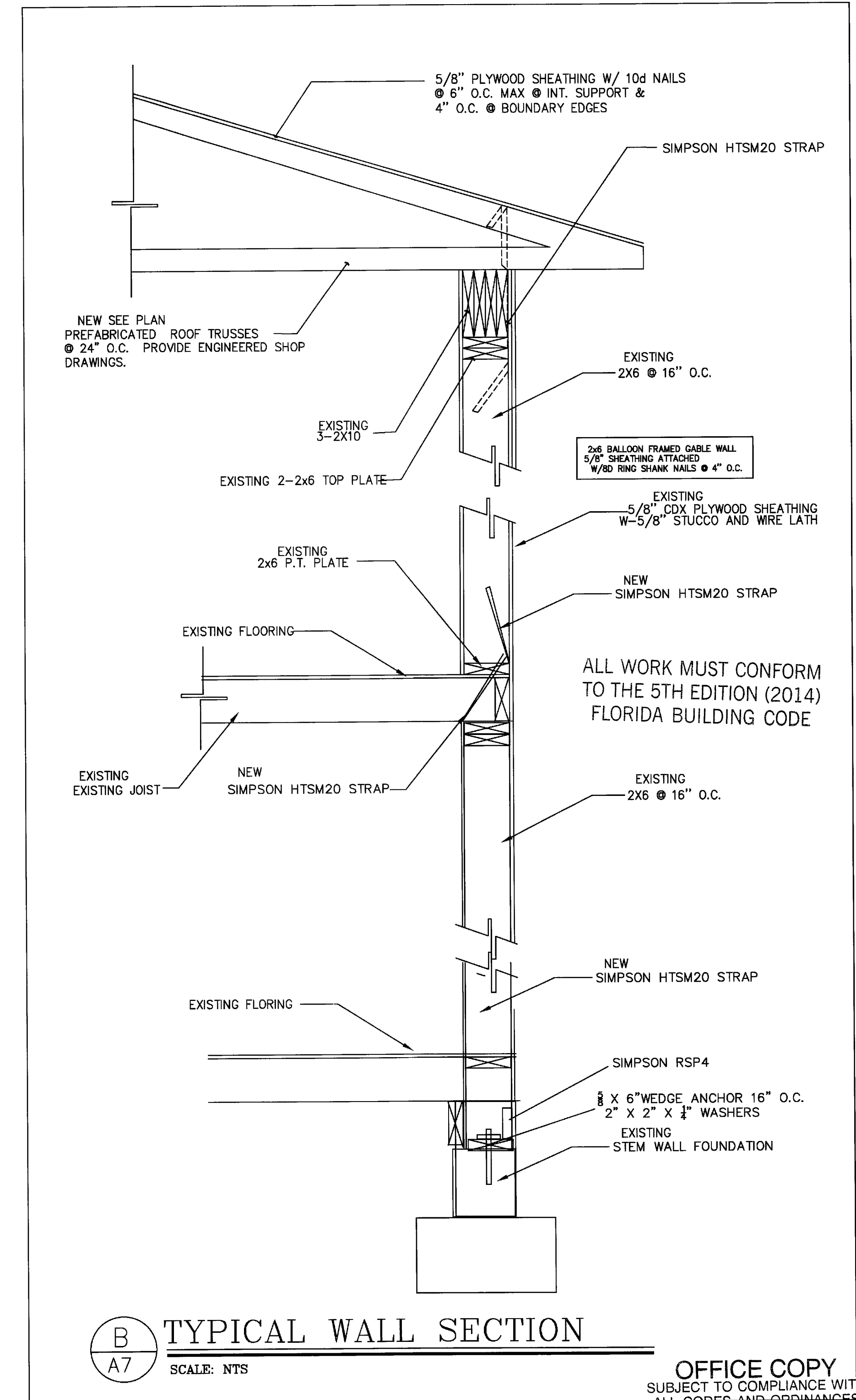
SCALE 1" = 1'-0"



C
A8

KNEE WALL TO RAISE FLOOR SECTION

SCALE: NTS



B
A7

TYPICAL WALL SECTION

SCALE: NTS

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REVISIONS	BY

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954-682-6651

FIRE DAMAGED HOUSE
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PALM BEACH FLORIDA, 333480
RELATIVE TO THE TOWN OF PALM BEACH, FLORIDA, THE TOWN ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND HAS DETERMINED THAT THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE TOWN OF PALM BEACH, FLORIDA, BUILDING CODE, 5TH EDITION (2014). THE TOWN ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND SPECIFICATIONS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE TOWN ENGINEER'S REVIEW IS NOT A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE TOWN ENGINEER'S REVIEW IS NOT A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

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