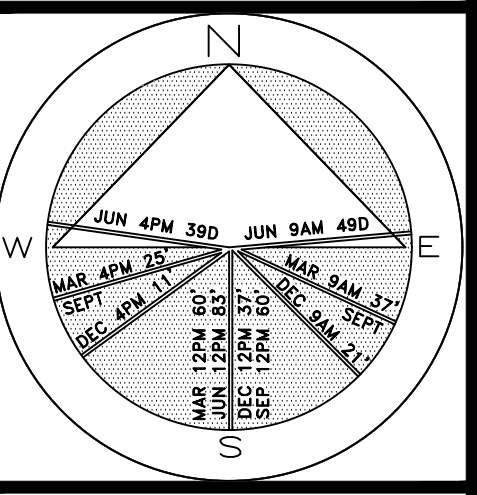
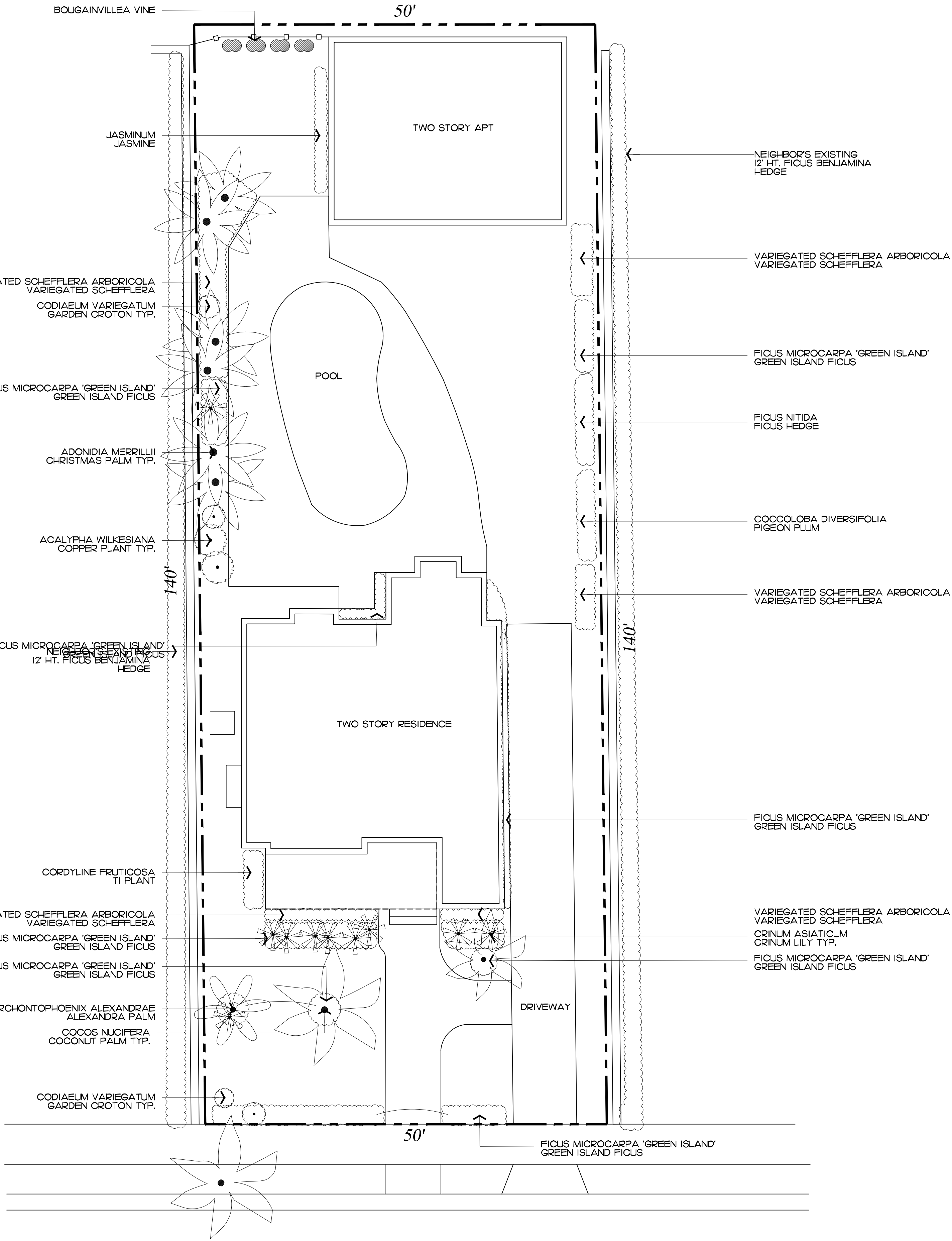
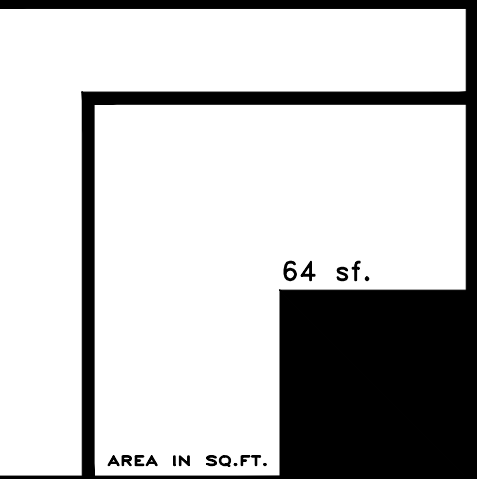


Private Residence  
141 Australian Ave  
Palm Beach



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Alex Ebugri  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L1.0



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48 HOURS BEFORE DIGGING  
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1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

Existing Vegetation

ZON-22-122  
H/B-22-011

SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.





Existing Front Facade



Existing Guest House



Existing Driveway



Existing Pool Garden



Existing Pool Garden



Existing Pool Garden

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
141 Australian Ave  
Town of Palm Beach

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JOB NUMBER: # 22096.00 LA  
DRAWN BY: Nick Pastor  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

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ZON-22-122  
H/B-22-011

Existing Site Photos

SHEET L1.1





Existing Pool Garden



Existing Pool Garden



Existing Front Yard



Existing Front Garden



Existing Rear Alley



Existing Rear Alley

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480

Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture

Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784

Dustin@environmentdesigngroup.com

Private Residence  
141 Australian Ave  
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A  
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JOB NUMBER: # 22096.00 LA  
DRAWN BY: Nick Pastor  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
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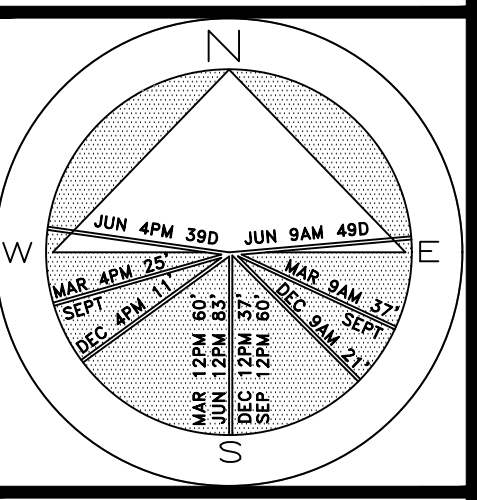
OF FLORIDA, INC.

ZON-22-122  
H/B-22-011  
Existing Site Photos

SHEET L1.2

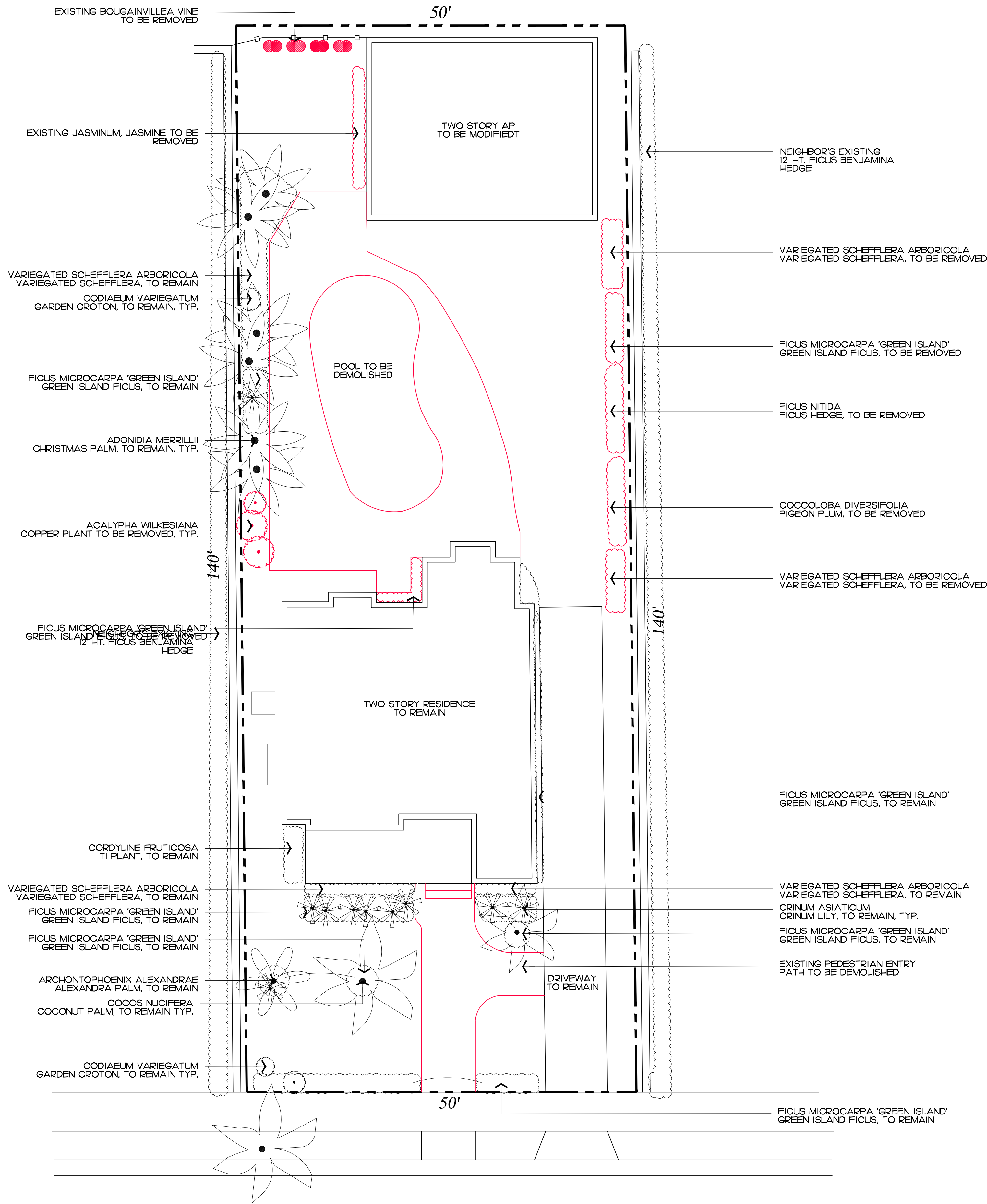
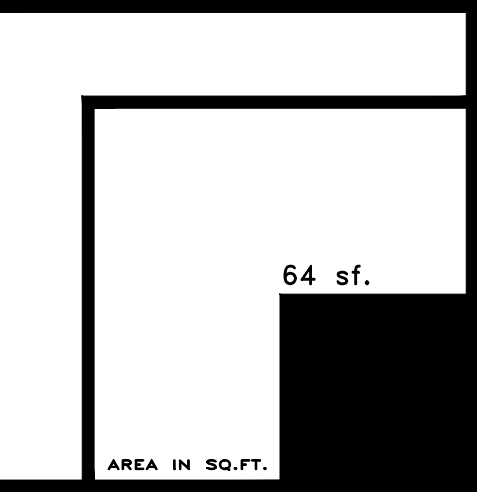


Private Residence  
141 Australian Ave  
Town of Palm Beach



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Nick Pastor  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
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SHEET L2.0



48 HOURS BEFORE DIGGING  
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AUSTRALIAN AVE

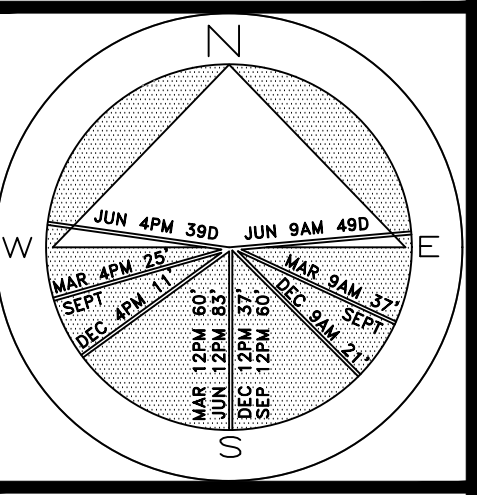
Demolition and Vegetation Action Plan

ZON-22-122  
H/B-22-011

SCALE IN FEET 0' 8' 16' 24'

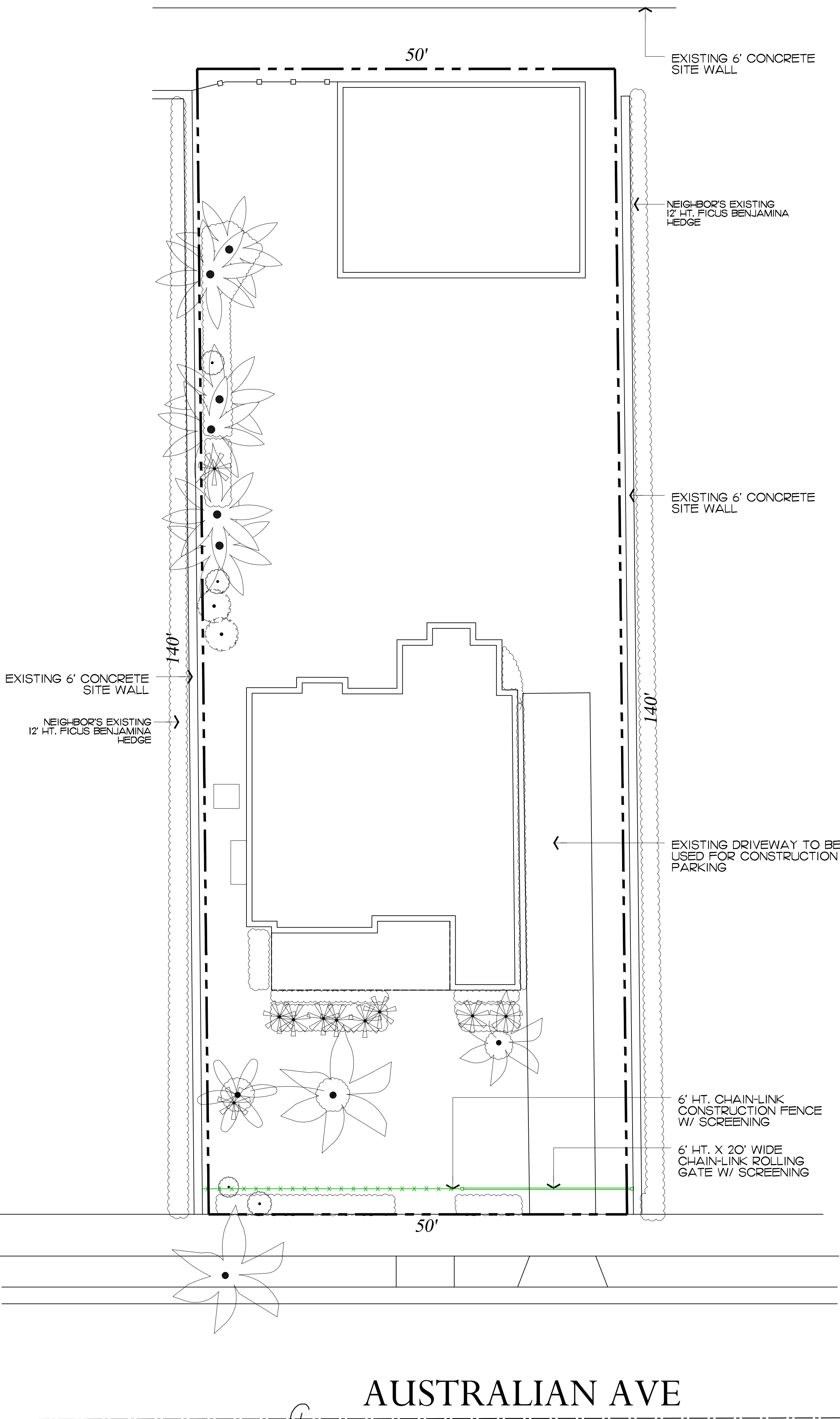


Private Residence  
141 Australian Ave  
Town of Palm Beach



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Nick Pastor  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L3.0



NOTE:  
AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES  
WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING  
CONSTRUCTION.

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CALL TOLL FREE  
1-800-432-4770  
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AUSTRALIAN AVE

Construction Screening Plan

ZON-22-122  
H/B-22-011

SCALE IN FEET 0' 8' 16' 24'





South Buffer

East Buffer



North Buffer

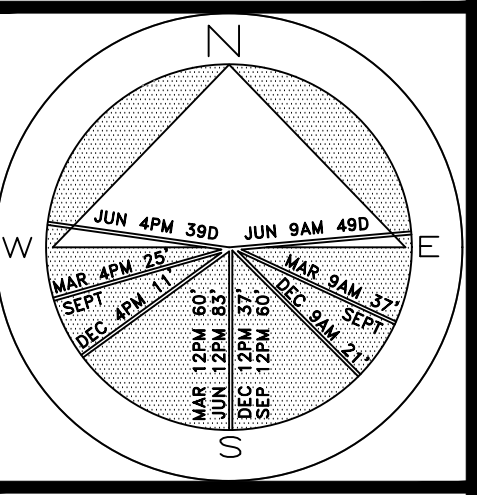
West Buffer

Private Residence  
141 Australian Ave  
Town of Palm Beach

JOB NUMBER: # 22096.00 LA  
DRAWN BY: Jean Twomey  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

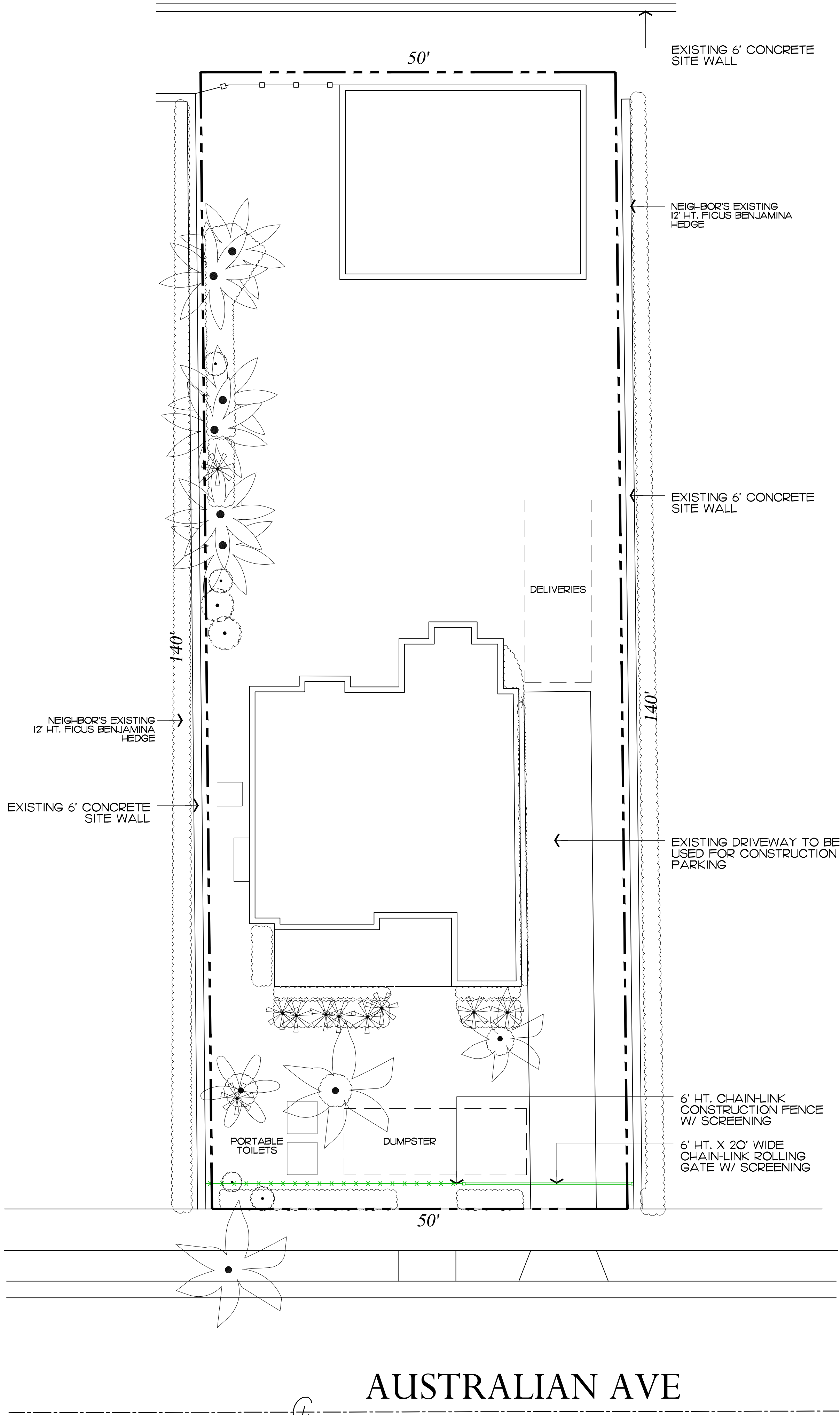


Private Residence  
141 Australian Ave  
Town of Palm Beach



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Nick Pastor  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L4.0



NOTE:  
AT NO TIME SHALL THE SITE BE OPEN TO ADJACENT PROPERTIES  
WITHOUT ANY PERMANENT OR TEMPORARY SCREENING DURING  
CONSTRUCTION.

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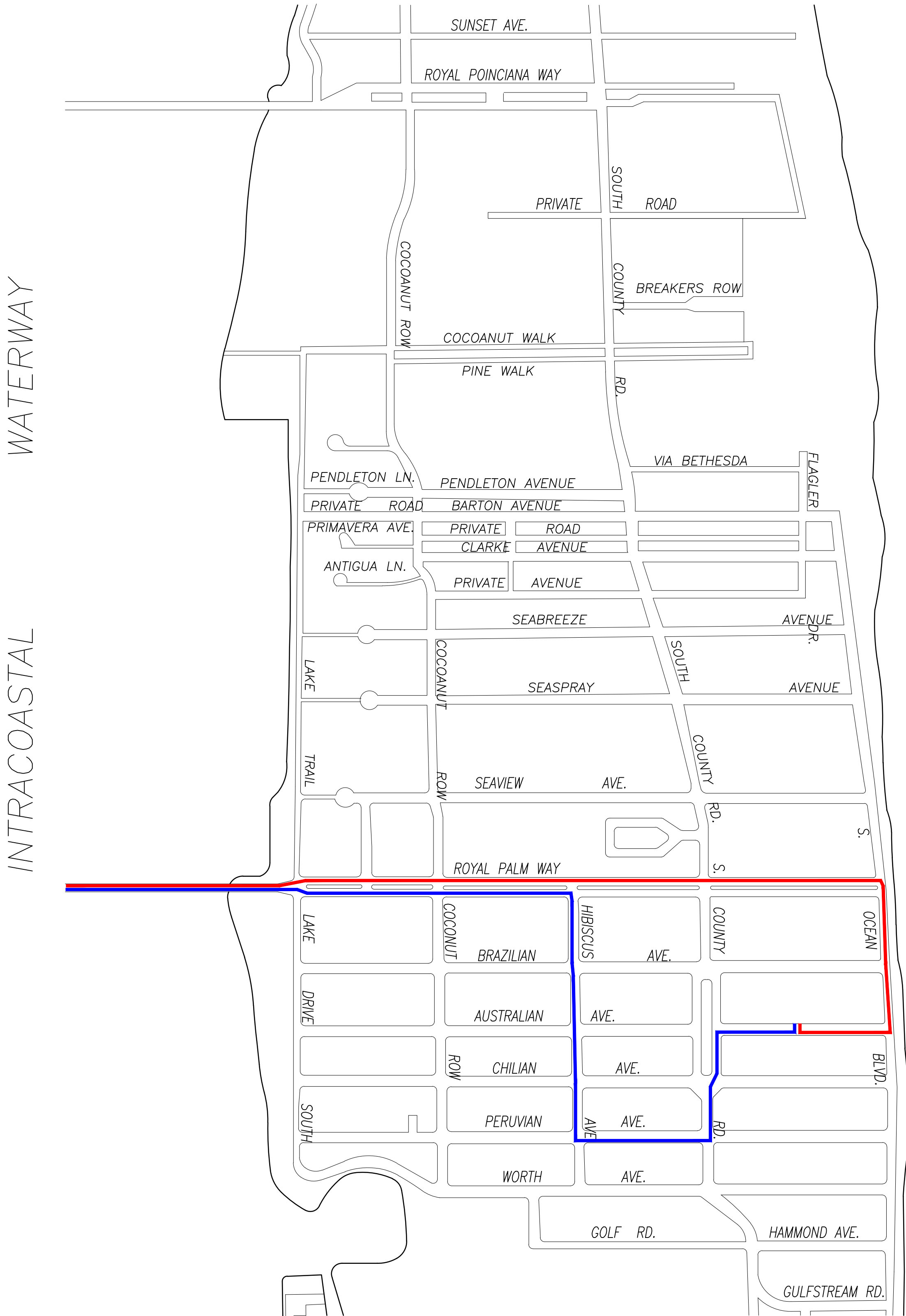
AUSTRALIAN AVE

Construction Staging Plan

ZON-22-122  
H/B-22-011

SCALE IN FEET 0' 8' 16' 24'



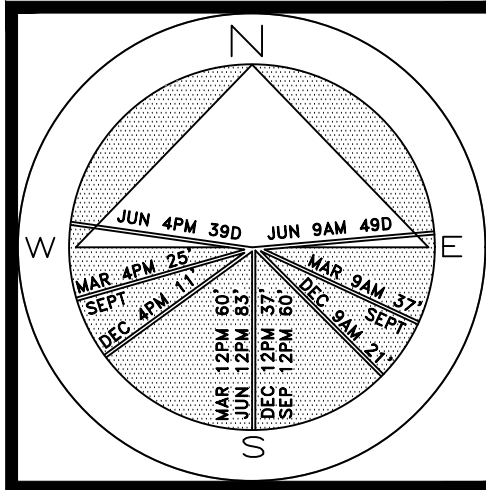


1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

LARGEST TRUCK ->  
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

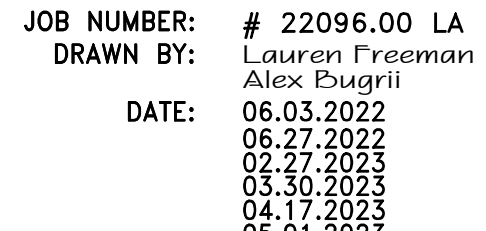
- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Sean Twomey  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L5.0

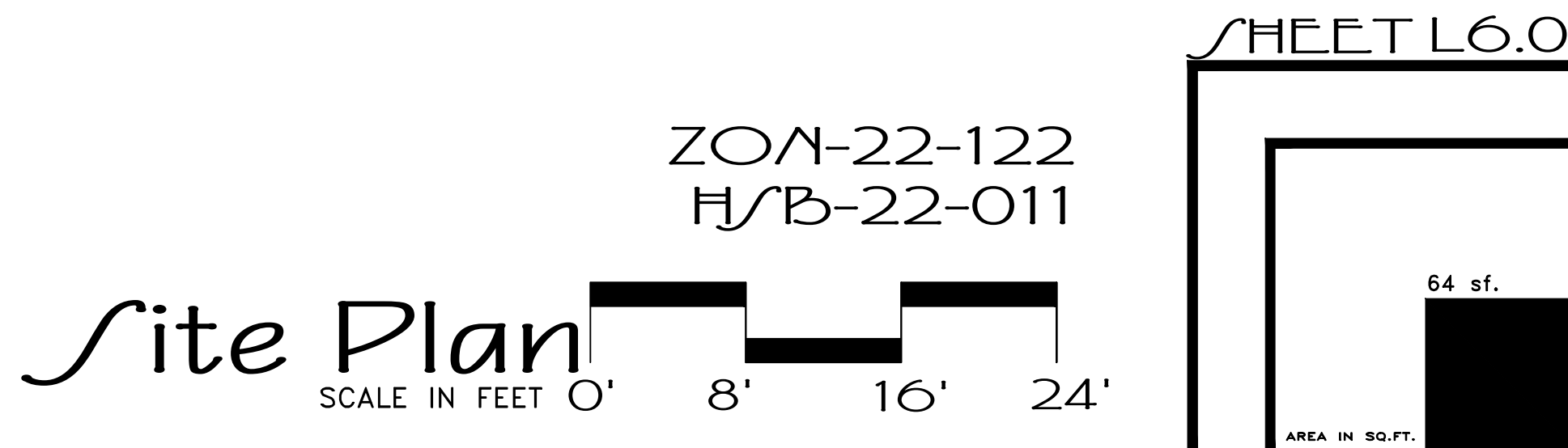




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Site Data							
DESCRIPTION		REQUIRED		EXISTING		PROPOSED	
LOT ZONE				R-B - LOW DENSITY RESIDENTIAL		R-B - LOW DENSITY RESIDENTIAL	
LOT AREA		10,000 S.F. MINIMUM		7,011 S.F.		7,011 S.F.	
OPEN / PERMEABLE SPACE		MINIMUM 45%	3,155 S.F.	43.20%	2,962 S.F.	45.01%	3,159 S.F.
FRONT YARD LANDSCAPE		MINIMUM 40% OF FRONT YARD	500 S.F.	57.95%	725 S.F.	65.9%	824 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE		MINIMUM 50% OF REQ'D OPEN SPACE	1,079.5 S.F.	66.69%	2,057 S.F.	66.69%	2,057 S.F.

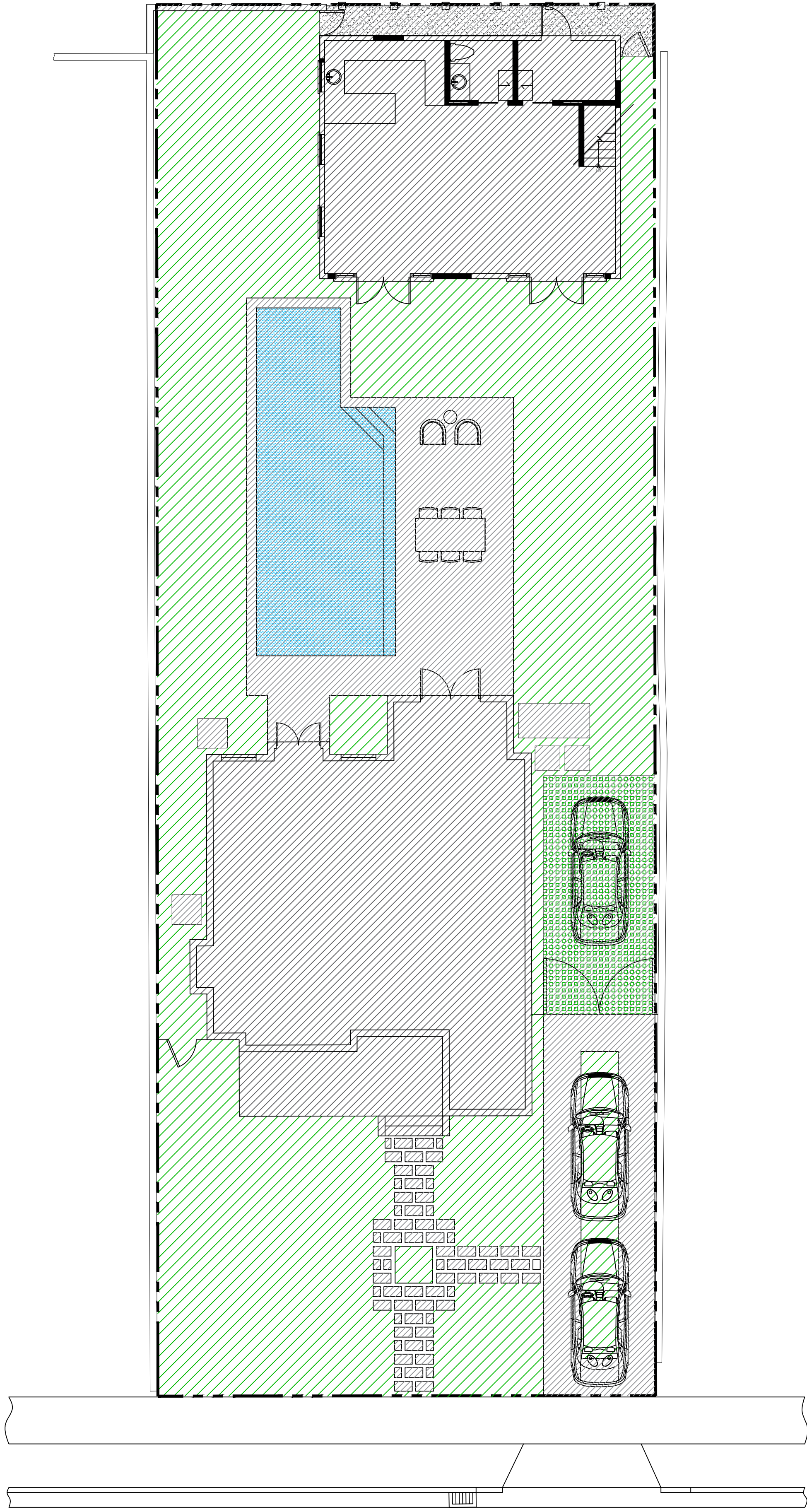




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Legend

IMPERVIOUS AREA (HOUSE/STRUCTURE)

IMPERVIOUS AREA (HARDSCAPE)

PERVIOUS AREA / OPEN SPACE

Site Data

DESCRIPTION	REQUIRED		EXISTING		PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL		R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		7,011 S.F.		7,011 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	3,155 S.F.	43.20%	2,962 S.F.	45.01%	3,159 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	500 S.F.	57.95%	725 S.F.	65.9%	824 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REAR OPEN SPACE	1,079.5 S.F.	66.69%	2,057 S.F.	66.69%	2,057 S.F.

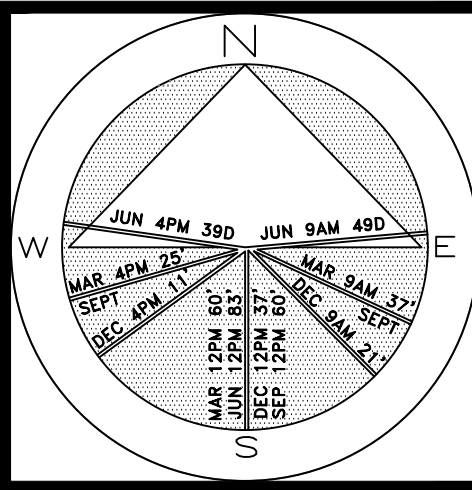
ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
141 Australian Avenue  
Palm Beach



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Alex Eragrii  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L6.1

Site Data / Calculations

ZON-22-122  
H/B-22-011

SCALE IN FEET 0' 8' 16' 24'

64 sf.  
AREA IN SQ.FT.



A circular diagram showing the distribution of 1000 hours of observation across different months and times of day. The circle is divided into segments labeled with months, times, and counts. The segments are: JUN 4PM 390, JUN 9AM 490, MAR 9AM 37, DEC 12PM 80, MAR 12PM 60, JUN 12PM 83, DEC 4PM 17, and MAR 4PM 25. The circle is also labeled with N, E, S, and W.

SHEET L7.0

AREA IN SQ.FT.

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# Landscape Plan





Private Residence  
141 Australian Ave  
Town of Palm Beach

JOB NUMBER: # 22096.00 LA  
DRAWN BY: Jean Twomey  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

SHEET L7.1

## Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ADONIDIA MERRILLII ADONIDIA PALMS	4	12'-16' C.T.	NO
	THRINAX RADIATA FLORIDA THATCH PALM	5	6'-8' C.T.	YES
TOTAL: NATIVE SPECIES:		9 5 (55%)		

## Shrubs

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CHRYSOBALANUS ICACO GREEN COCOPLUM	37	7 GAL., 18" O.C.	YES
	CLUSIA GUTTIFERA SMALL LEAF CLUSIA HEDGE	35	6' HT., 36" O.C.	NO
TOTAL: NATIVE SPECIES:		72 37 (51.4%)		

## Vines & Groundcover

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	FICUS MICROCARPA GREEN ISLAND FICUS	30 40	1 GAL., 6" O.C. 3 GAL., 12" O.C.	NO NO
	PEPEROMIA SPP PEPEROMIA	100	1 GAL., 6" O.C.	YES
TOTAL: NATIVE SPECIES:		170 100 (58.9%)		

## Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH





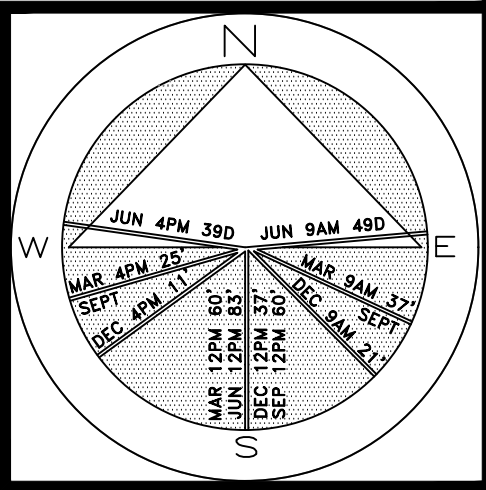
AUSTRALIAN AVE

# Rendered Landscape Plan

SCALE IN FEET 0' 8' 16' 24'

ZON-22-122  
H/B-22-011

SHEET L7.2



JOB NUMBER: # 22096.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 06.27.2022  
02.27.2023  
04.17.2023  
05.01.2023

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
141 Australian Avenue  
Palm Beach

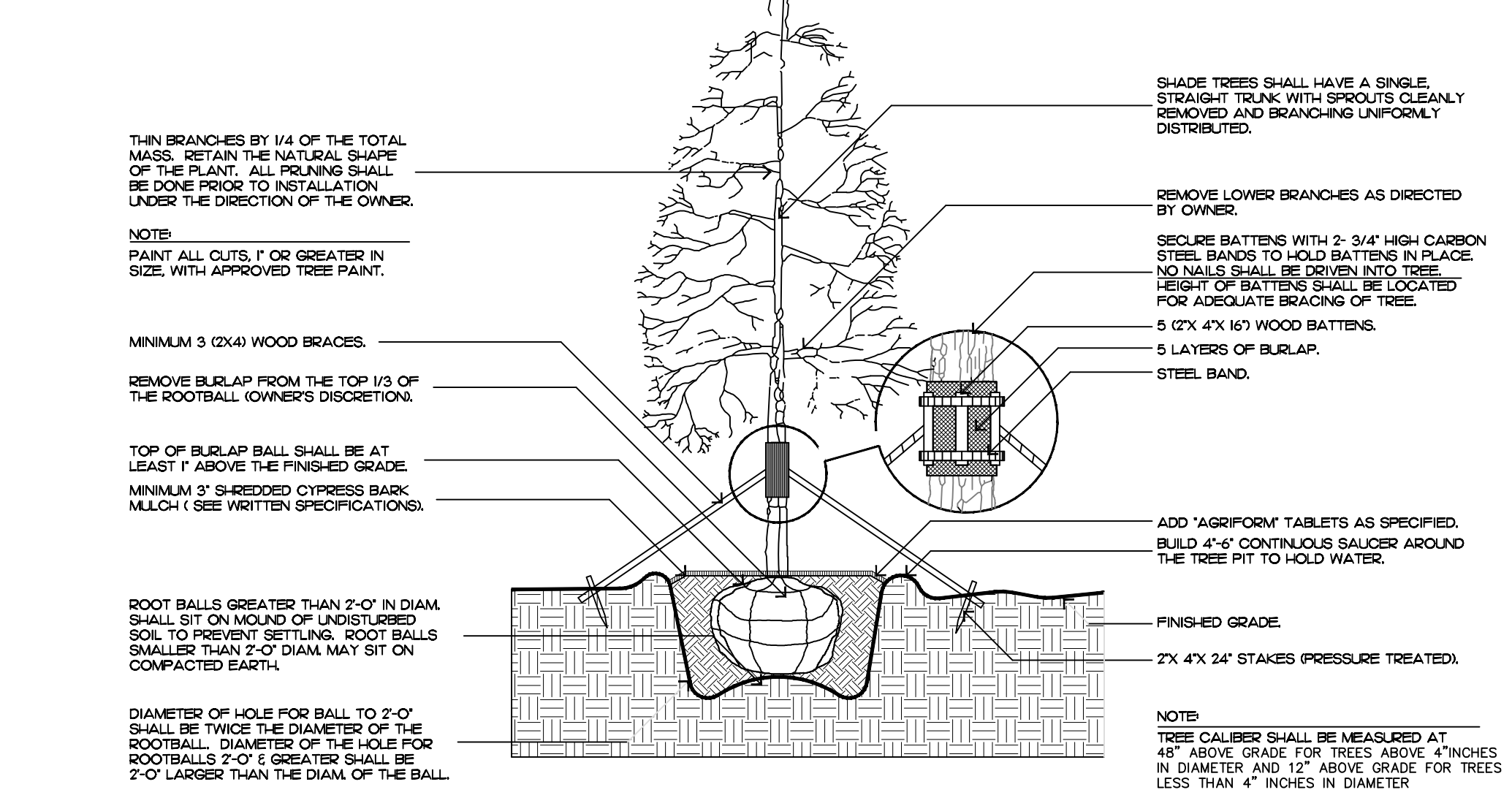
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SUNSHINE STATE ONE CALL  
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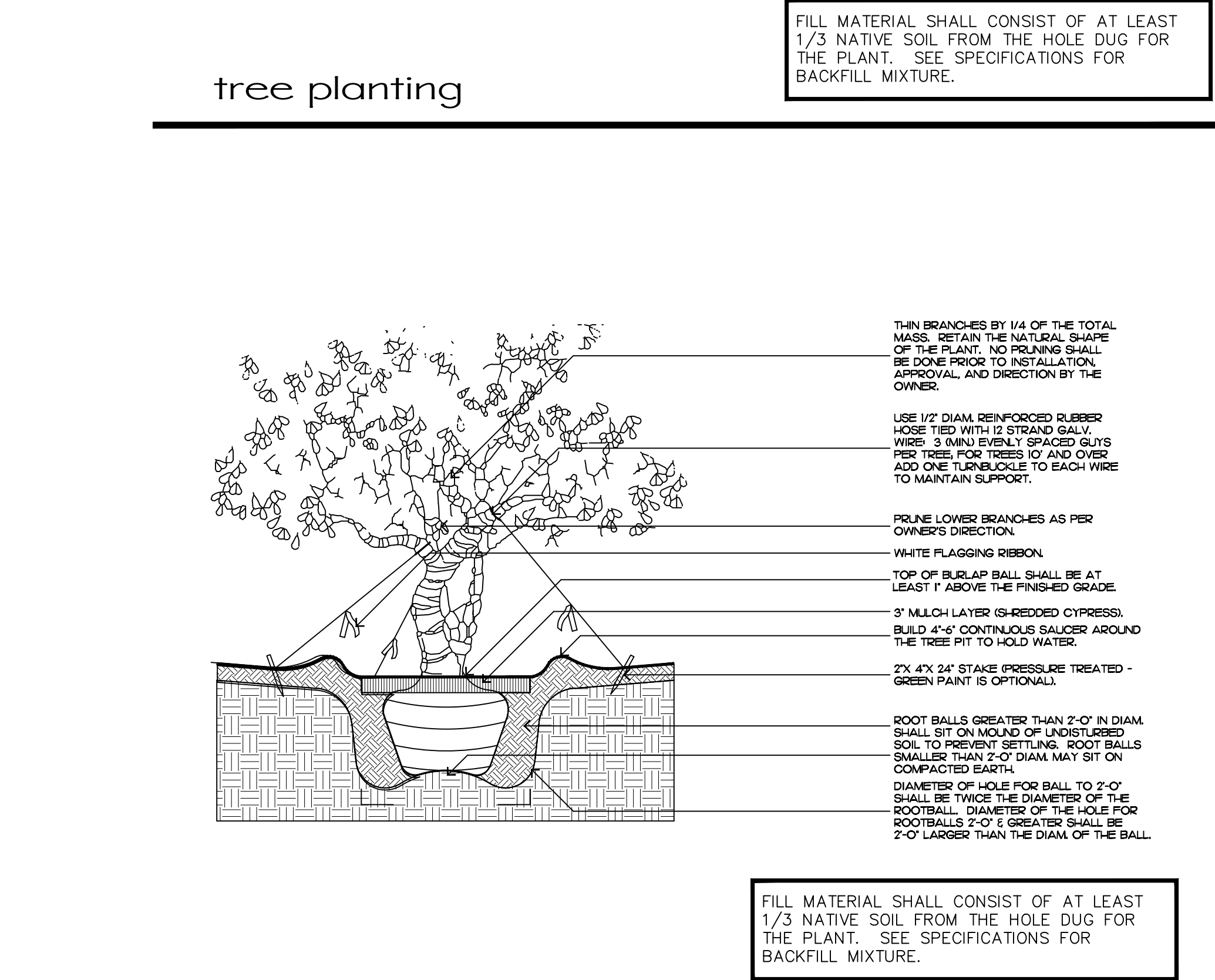
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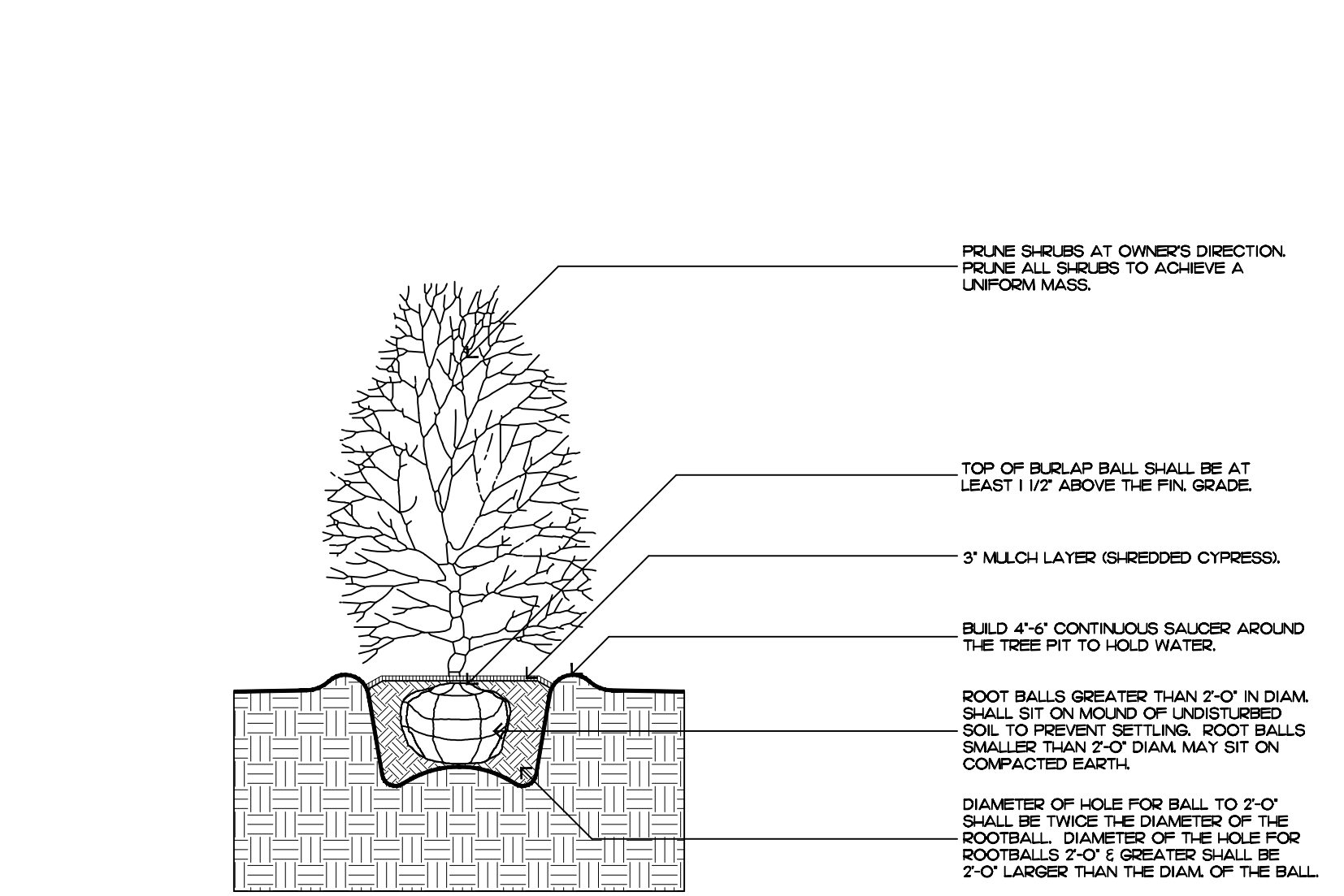




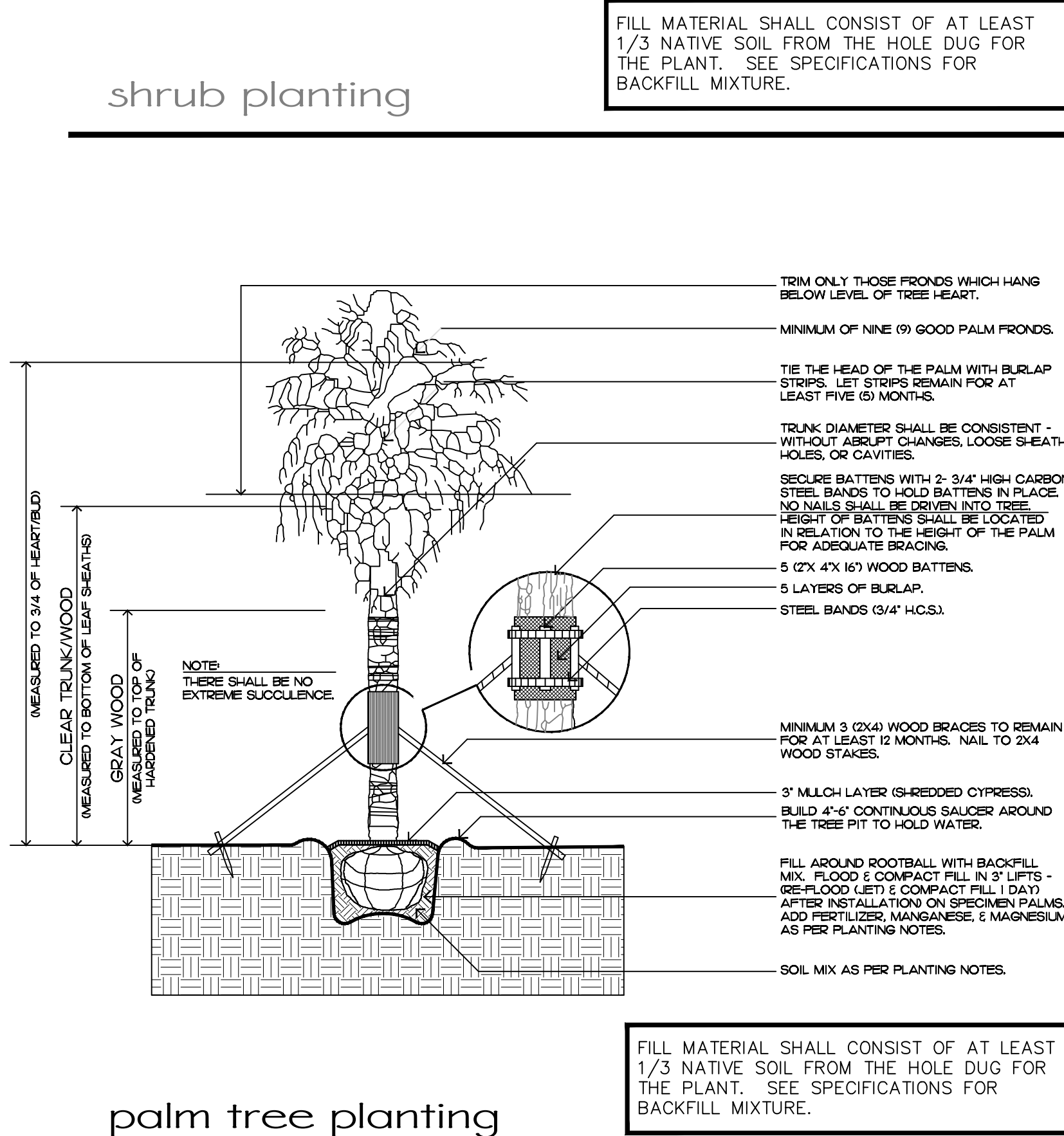
tree planting



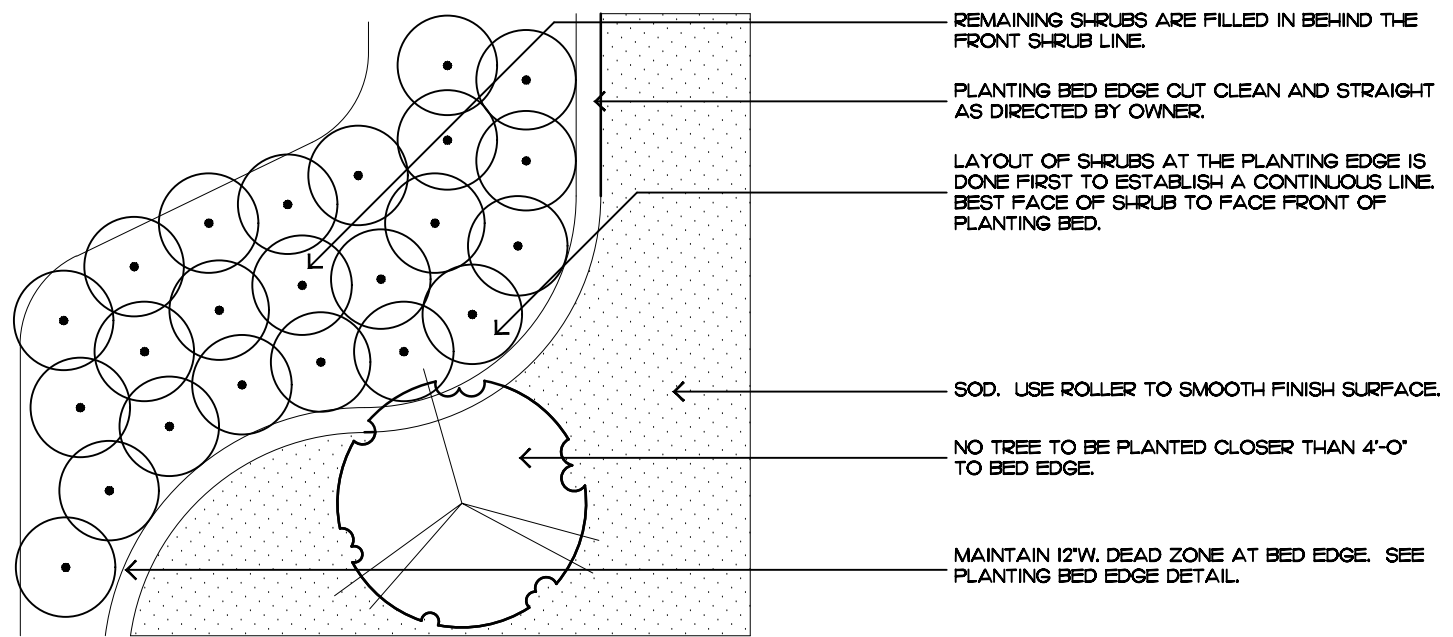
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1 1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERBERIS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN WEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEM. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
- 

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ENVIRONMENT  
DESIGN  
GROUP

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JOB NUMBER: # 22096.00 LA  
DRAWN BY: Dustin Mizell  
DATE: 06.27.2022  
06.27.2023  
04.17.2023  
05.01.2023

SHEET L7.3

**2023**  
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**2023**  
DISCLAIMER: Construction on the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to identify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

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SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ZON-22-122  
H/B-22-011

# Planting Details & Specifications



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 7,011 sq.ft.

Drainage Area Impervious Surface = 3,856 sq.ft.

Drainage Area Pervious Surface = 3,155 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ( $Q=CiA$ )

where:

$C = 1.0$  (impervious surface)

$C = 0.2$  (pervious surface)

$i = 2$  in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2 \text{ in/hr} \times 3,856 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 643 \text{ cu.ft.}$

Pervious Runoff Volume:

$0.2 \times 2 \text{ in/hr} \times 3,155 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 106 \text{ cu.ft.}$

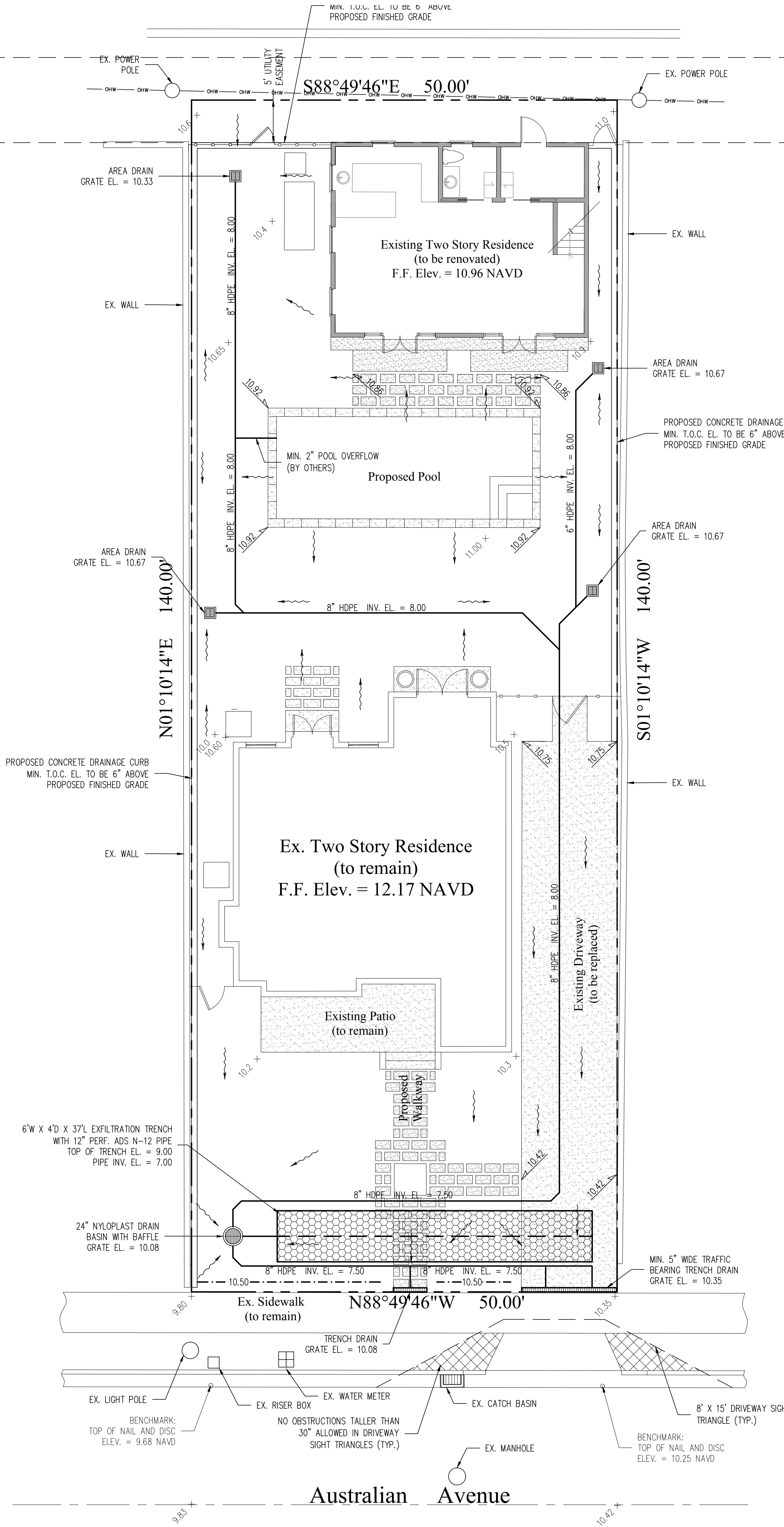
Total Volume to be Retained = 749 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	37	ft
W	=	Trench Width	=	6	ft
K	=	Hydraulic Conductivity	=	0.00005	cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	4.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	904	cu.ft.

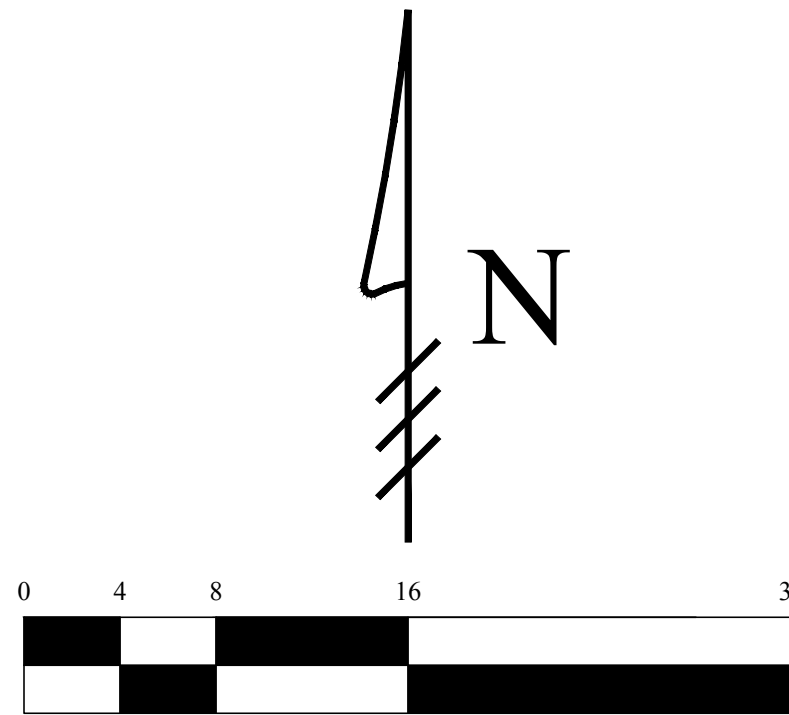
Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER MILLER LAND SURVEYING (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

48 HOURS BEFORE DIGGING  
CALL  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.  
Contractor is responsible for obtaining  
location of existing utilities prior to  
commencement of construction activities.

Location Map  
N.T.S.

Gruber Consulting  
Engineers, Inc.  
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WEST PALM BEACH, FL 33401  
PHONE: 561.312.2841  
office@gruberengineers.com

Project Information				
Project No.	2021-0145	Issue Date	02/26/2023	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan For:  
**Proposed Renovation**  
141 Australian Avenue  
Palm Beach, Florida

Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber

FL P.E. No. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan By  
Environment Design Group Received 2/20/23

HSB-22-011  
ZON-22-122

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Sheet No.

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