NORTH COUNTY ROAD DRAINAGE IMPROVEMENTS

TOWN OF PALM BEACH, FLORIDA FINAL SUBMITTAL FOR DEVELOPMENT REVIEW APPLICATION

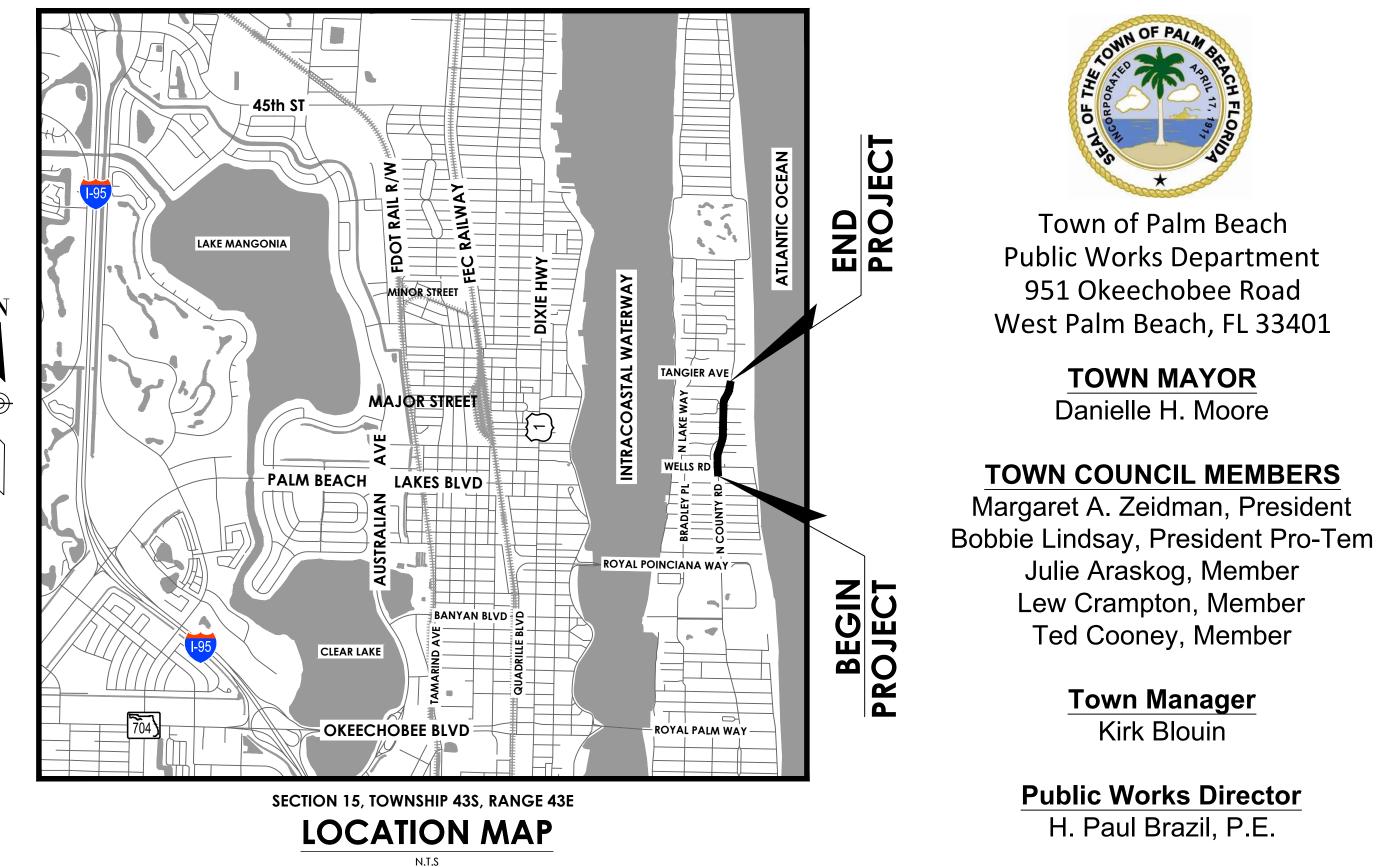
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SCOPE OF WORK

- DRAINAGE IMPROVEMENTS
- TRAFFIC SAFETY IMPROVEMENTS
- **MEDIAN IMPROVEMENTS**

DATE OF ISSUE: 12/22/2022



FILE NUMBER: COA-23-010

PROJECTED DATE OF HEARING: 1/18/2022



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REGISTRATION

Sunshine

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21-0431.00039

CLIENT PROJECT NUMBER

PROJECT NUMBER

GENERAL NOTES:

- 1. THE EXISTING CONDITIONS PRESENTED ARE BASED ON TOPOGRAPHIC SURVEY (AVIROM & ASSOCIATES INC, 2020 & 2021) AND AERIAL PHOTOGRAPHY.
- 2. THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONICS METHOD AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION AND THE LOCATIONS AND ELEVATIONS OF EXPOSED FEATURES SHALL BE CAREFULLY NOTED ON THE PROJECT RECORD "AS-BUILT" DRAWINGS. ANY AND ALL CONFLICT OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE CONTRACTOR IN AN APPROVED MANNER.
- 3. 48 HOURS PRIOR TO DIGGING, CONTRACTOR SHALL COORDINATE WITH ALL UNDERGROUND SERVICE COMPANIES TO VERIFY THE LOCATION OF THEIR FACILITIES. ADDITIONALLY, CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. AT 1-800-432-4770 PRIOR TO DIGGING.
- 4. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK, ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED. THE CONTRACTOR IS ADVISED TO USE EXTREME CAUTION WHEN CONSTRUCTION IS NEAR OR AROUND ANY ELECTRICAL FACILITIES.
- 5. THE CONTRACTOR SHALL COORDINATE THE UTILITIES TO ARRANGE RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC., AS NECESSARY TO COMPLETE THE WORK. ANY COST INVOLVED IS TO BE BORNE BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL MAINTAIN A SET OF PLANS WITH CURRENT FIELD CHANGES ACCURATELY MARKED AND SHALL DELIVER THESE PLANS TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION. THE CURRENT MARKINGS SHALL BE REVIEWED WITH THE ENGINEER DAILY, OR AS NEEDED, TO ASSURE THAT THEY BOTH AGREE THAT THE MARK-UPS REFLECT THE ACTUAL "AS-BUILT" CONDITIONS. THE CONTRACTOR WILL PREPARE PROJECT RECORD DRAWINGS AT THE CONCLUSION OF THE PROJECT BASED ON THE MARK-UP DRAWINGS AND TIES.
- 7. ANY U.S.G.S., N.G.S. OR STATE OF FLORIDA MONUMENT OR BENCH WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND DISTRICT LOCATION SURVEYOR.
- 8. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED.
- 9. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- 10. THE CONTRACTOR IS ADVISED THAT ALL PROPERTIES ADJACENT TO THE PROJECT MAY HAVE UTILITY SERVICES WHICH MAY NOT BE SHOWN IN THE PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES. THE ADDITIONAL COST OF EXCAVATING, INSTALLING, BACKFILLING AND COMPACTING AROUND THESE LATERALS SERVICING SAID PROPERTIES MUST BE INCLUDED IN THE BID ITEMS.
- 11. IF SHEETING, SHORING, OR DEWATERING (INCLUDING WELL POINTS) ARE NECESSARY AND UTILIZED, THE CONTRACTOR MUST MONITOR AND CONTROL ALL WORK THAT MAY CAUSE CRACKING TO ANY ADJACENT BUILDING AND THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS OPERATIONS. THE COST OF THIS WORK WILL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE.
- 12. CONTRACTOR SHALL NOTIFY PROPERTY OWNERS 15 DAYS PRIOR TO CONSTRUCTION ON THEIR STREET.
- 13. IN ALL CASES WHERE THE CONTRACTOR MUST CAUSE AN INTERRUPTION OF EXISTING WATER AND/OR SEWER SERVICES, CONTRACTOR SHALL SUBMIT TO ENGINEER A COMPLETE DESCRIPTION OF THE PROPOSED PROCEDURE AND A TIME SCHEDULE FIVE WORKING DAYS PRIOR TO COMMENCING THE WORK .
- 14. WHENEVER POSSIBLE, THE CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES AND WILL MAINTAIN ACCOMMODATIONS FOR INTERSECTING AND CROSSING TRAFFIC. ROADWAY AND INTERSECTION CLOSURES WILL BE COORDINATED WITH THE TOWN AND THE ENGINEER A MINIMUM OF ONE MONTH IN ADVANCE.
- 15. ANY PAVEMENT MARKINGS OR SIGNS THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED.
- 16. THE PERMIT PLAN SET MUST BE ON SITE AT ALL TIMES.
- 17. CONTRACTOR TO PAVE AT ITS OWN RISK IF INSTALLED STORM DRAINAGE HAS NOT BEEN APPROVED BY ENGINEER.
- 18. MAINTAIN MAXIMUM LONGITUDINAL SLOPE OF 5% AND CROSS SLOPE OF 2% FOR PATHWAYS AND SIDEWALKS.
- 19. FINAL LOCATION OF RELOCATED MAILBOXES SHALL BE AT ITS EXISTING LOCATION. IF FINAL LOCATION CONFLICTS WITH PROPOSED IMPROVEMENTS, CONTRACTOR MUST COORDINATE WITH ENGINEER.
- 20. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWING AND ACTUAL CONDITIONS THAT ARE DISCOVERED PRIOR TO CONSTRUCTION.
- 21. ALL PROPOSED SWALE SHALL BE GRADED TOWARDS THE EXISTING OR PROPOSED DRAINAGE INLETS. NO GRADE SHALL ALLOW WATER TO POND.
- 22. CONTRACTOR IS TO PROTECT ALL EXISTING TREES, SIGNS, AND ABOVE GROUND UTILITIES LOCATED IN THE SWALE AREAS. CONTRACTOR IS TO COORDINATE WITH THE TOWN OF PALM BEACH AND ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW THE CRITICAL ROOT ZONE FOR TREE PROTECTION MAP. ALL WORK WITHIN ROOTZONE SHALL BE IN CONFORMANCE WITH ROOT PRUNING NOTE.
- 23. ALL DISTURBED EXISTING DRIVEWAYS TO BE RESTORED TO EXISTING CONDITIONS OR BETTER.
- 24. ALL DISTURBED SWALE AREAS SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
- 25. ALL INLETS ARE TO RECEIVE 3,000 PSI CONCRETE APRONS REINFORCED WITH FIBER MESH. NEW APRONS ARE TO EXTEND TO THE EDGE OF PAVEMENT. TERMINUS OF THE FLARED END SECTION FROM THE TYPE 'F' CURB AND GUTTER TO INSURE CONVEYANCE OF THE STORMWATER RUNOFF FROM THE GUTTER TO THE CATCH BASIN TO PREVENT EROSION OF THE SWALE AREA.
- 26. PAVEMENT AND DRIVEWAY RESTORATION ARE TO MATCH EXISTING GRADE UNLESS OTHERWISE NOTED. ALL INTERFACES SHALL BE SAWCUT.
- 27. ANY EXISTING UTILITIES DAMAGED BY THE ON-GOING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR IN KIND.
- 28. CONTRACTOR TO PROVIDE DETAILED AS-BUILT SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO ALL RIM ELEVATIONS (EXISTING AND PROPOSED STRUCTURES), ALL INVERTS, BOTTOM OF STRUCTURE, SUFFICIENT SWALE ELEVATIONS TO DEMONSTRATE THAT SWALES DRAIN TO INLETS, LOCATION OF EXFILTRATION TRENCH, LOCATION OF DRIVEWAY RESTORATION, AND RESTORED ASPHALT PAVEMENT.
- 29. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- 30. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF POWER LINES.
- 31. ALL EXISTING MANHOLES, VALVES, ETC. ARE TO BE ADJUSTED TO MATCH PROPOSED ELEVATIONS.

ROOT PRUNING NOTES FOR TREE SLATED TO REMAIN:

ROOT PRUNING IS THE CUTTING OF ROOTS TO ACCOMMODATE THE PROPOSED INFRASTRUCTURE AND SITE IMPROVEMENTS. IN INSTANCES WHERE ROOT PRUNING IS REQUIRED, THE WORK SHALL BE CONDUCTED BY OR UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. PRIOR TO ROOT PRUNING, THE TREES SHALL BE EVALUATED BY AN ISA CERTIFIED ARBORIST TO DETERMINE WHETHER THE ROOT CUTTING WILL DESTABILIZE THE TREE OR CAUSE UNACCEPTABLE DAMAGE TO THE TREE.

- ROOTS MAY NOT BE TORN OFF WITH POWER EQUIPMENT, AND CUT ROOTS SHALL NOT BE LEFT WITH RIPPED, RAGGED OR SHREDDED ENDS. ROOTS MUST BE CLEANLY SEVERED WITH SHARP HAND TOOLS OR POWER ROOT SAWS.
- 2. PRUNING TRENCHES SHALL BE BACKFILLED WITH NATIVE SOILS, FREE OF DEBRIS.
- WHEN A ROOT WITH A DIAMETER OF TWO INCHES OR GREATER IS ENCOUNTERED, A FINAL CLEAN CUT SHALL BE MADE WITH A SAW. THE CUT SHALL BE MADE FLUSH WITH THE SIDE OF THE TRENCH CLOSEST TO THE TREE.
- WHEN ADJACENT TO NEW CURBING, UNCURBED PAVED AREAS, OR AREAS OF GRADE CHANGES, ROOTS SHALL BE CUT NO MORE THAN 18 INCHES TOWARDS THE TREE FROM THE BACK OF THE CURB, THE EDGE OF THE PAVEMENT, OR THE POINT OF INTERSECTION OF OLD AND NEW GRADES, RESPECTIVELY. AFTER ROOT PRUNING, NO EXCAVATION FOR THE INSTALLATION OF FORMS OR FOR ANY OTHER REASON MAY BE PERFORMED ANY CLOSER THAN SIX INCHES OUTSIDE OF THE ROOT PRUNING CUT. THE ROOT PRUNING TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY TREES IN NEED OF SUPPLEMENTAL SUPPORT FOLLOWING ROOT PRUNING. PRIOR TO COMMENCEMENT OF ROOT PRUNING, THE CONTRACTOR SHALL FURNISH A SUPPLEMENTAL SUPPORT PLAN WHICH IDENTIFIES EACH TREE IN NEED OF TEMPORARY SUPPLEMENTAL SUPPORT AND PROPOSE A STAKING/GUYING SYSTEM. THE CONTRACTOR SHALL INSTALL THE APPROVED SUPPORT SYSTEMS IMMEDIATELY FOLLOWING ROOT PRUNING.

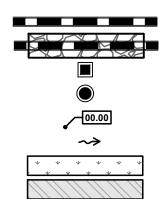
DEMOLITION NOTES:

1. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.

2. BEFORE PROCEEDING WITH DEMOLITION OPERATIONS THE CONTRACTOR IS TO DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS.

- 3. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- 4. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR IN-USE FACILITIES WITHOUT PERMISSION FROM OWNER, THE TRIBE AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED BY GOVERNING **REGULATIONS.**
- 5. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- 6. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, BARRIERS, RAILINGS, ETC. WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- 7. PROTECT EXISTING SITE IMPROVEMENTS. APPURTENANCES. AND LANDSCAPING TO REMAIN.
- 8. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- 9. FOR SELECTIVE DEMOLITION, USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING OR CHOPPING. **TEMPORARILY COVER OPENINGS TO REMAIN**
- 10. DEMOLISH CONCRETE IN SMALL SECTIONS. CUT CONCRETE AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS; DO NOT USE POWER-DRIVEN IMPACT TOOLS.
- 11. INFORMATION SHOWN ON THE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER; HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN.
- 12. REMOVAL, DEMOLITION, HAULING, AND DISPOSAL SHALL COMPLY WITH REGULATIONS BY F.D.E.P., E.P.A., AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- 13. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- 14. ALL EXISTING PATHWAY AND STREET LIGHTING WILL REMAIN IN PLACE AND REMAIN IN SERVICE DURING CONSTRUCTION OPERATIONS.

PROPOSED LEGEND



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PROPOSED STORM DRAINAGE PIPE PROPOSED STORM DRAIN PIPE WITH EXFILTRATION TRENCH PROPOSED CATCH BASIN OR INLET **PROPOSED STORM MANHOLE** PROPOSED ELEVATION PROPOSED SURFACE FLOW ARROW PROPOSED SOD FULL DEPTH OVERLAY FULL DEPTH RECONSTRUCTION TRENCH EXISTING ROADWAY EXCAVATION DEMOLITION PROPOSED 6" WHITE SOLID **PROPOSED 6" YELLOW SOLID** PROPOSED 6" YELLOW 6-10 SKIP PROPOSED 6" WHITE 6-10 SKIP **CRITICAL ROOT ZONE**

EXISTING LEGEND

MINIMAL ROOT ZONE

	EXISTING LEGEN	<u>U</u>		
— — — EX 0/W — — —	EXISTING OVERHEAD WIRE	۵	ANTENNA	
		-848-	BACK FLOW PREVENTOR VALVE	
- — — EX OE — — —	EXISTING OVERHEAD ELECTRIC	�	BENCHMARK	
— — — EX BE — — —	EXISTING BURIED ELECTRIC	•	BOLLARD (UNLESS NOTED)	
- — — EX CATV — — —	EXISTING COMMUNICATIONS CABLE OR DUCT		CABLE TELEVISION RISER	
			CATCH BASIN	
- — — EX CATV — — —	EXISTING TELEVISION CABLE OR DUCT	•	CATCH BASIN	
– – – EX BTV – – –	EXISTING BURIED CABLE TELEVISION	● <上∕	CLEAN OUT CONCRETE LIGHT POLE	
— — — ЕХ ОТV — — —	EXISTING OVERHEAD CABLE TELEVISION	<u></u> ●	CONCRETE LIGHT FOLE	
— — — EX BF0 — — —	EXISTING BURIED FIBER OPTICS	畫	CONCRETE UTILITY POLE WITH LIGHT CURB INLET	
— — — EX OFO — — —	EXISTING OVERHEAD FIBER OPTICS		DOUBLE DETECTOR CHECK VALVE	c
		D	DRAINAGE MANHOLE	(
— — — EX BT — — —	EXISTING BURIED TELEPHONE	Ē		С
— — — EX OT — — —	EXISTING OVERHEAD TELEPHONE	EM	ELECTRIC METER	(
— — — EX GAS — — —	EXISTING GAS PIPE	E	ELECTRIC RISER	
		E	ELECTRIC SERVICE BOX	
========	EXISTING CONCRETE WALL	• 0.00	EXISTING ELEVATION	I
	EXISTING WOOD FENCE	Δ	FIRE HYDRANT	
x x x —	EXISTING CHAIN OR WIRE FENCE	0	FLAG POLE	
~ ~ ~		©	GAS MANHOLE	
-0-	EXISTING TELEPHONE POLE	GM	GAS METER	
^		©	GAS SERVICE BOX	
<i>-</i> ≻-	EXISTING POWER POLE	図	GAS VALVE	
@	EXISTING COMMUNICATIONS MANHOLE	f	GREASE TRAP	
~		<u> </u>	GUY ANCHOR	
69	BANYAN	Ð		
¥	PALM	_⊕-	IRRIGATION CONTROL BOX IRRIGATION CONTROL VALVE	
	· · · 		LANDSCAPE LIGHT (SPOT LIGHT)	
£	UNKNOWN SPECIES	Ĩ	MAIL BOX	
£ 12"	DENOTES 12" DIAMETER TRUNK (TYPICAL)	() () () () () () () () () () () () () (METAL LIGHT POLE	
E to d	DENOTES 12 DIAMETER TRONK (TIFICAL)			
_	YARD DRAIN		OVERHEAD WIRES	
Ũ	UNKNOWN MANHOLE	S	SANITARY MANHOLE	
	UNKNOWN UTILITY RISER	X	SEWER VALVE	
Ø	UNKNOWN UTILITY SERVICE BOX	<u> </u>	SIGN (UNLESS NOTED)	
24	UNKNOWN VALVE	8	SPIGOT	
		Ū	TELEPHONE MANHOLE	
			TELEPHONE RISER	
		θ	TELEPHONE SERVICE BOX	
	WELL WOOD UTILITY POLE		TRAFFIC LIGHT SUPPORT POLE	
<u> </u>	WOOD UTILITY POLE WITH LIGHT	TC	TRAFFIC SIGNAL CONTROL RISER	
		ß	TRAFFIC SIGNAL SERVICE BOX	
		©	UNDERGROUND GAS MARKER	

ABBREVIATIONS

ABN - ABANDONED ACP - ASBESTOS CEMENT PIPE **ARV - AIR RELEASE VALVE** ASPH - ASPHALT BE - BURIED ELECTRIC **BFO - BURIED FIBER OPTICS BFP - BACKFLOW PREVENTER** BH - BORE HOLE 暍 - BASE LINE BOC - BOTTOM OF CURB BOP - BOTTOM OF PIPE **BOS - BOTTOM OF STRUCTURE BT - BURIED TELEPHONE BTV - BURIED CABLE TELEVISION BW - BOTH WAYS CATV - CABLE TELEVISION** CB - CATCH BASIN CC - CENTER TO CENTER **CIP - CAST IRON PIPE** ဖ္ - CENTER LINE **CLF - CHAIN LINK FENCE** CMP - CORRUGATED METAL PIPE CO - CLEAN OUT **COMM - COMMUNICATIONS** CONC - CONCRETE **CONST - CONSTRUCT CORP - CORPORATION** CS - CONTROL STRUCTURE Δ - DELTA ANGLE DDCV - DETECTOR DOUBLE CHECK VALVE DE - DRAINAGE EASEMENT **DIP - DUCTILE IRON PIPE** DS - DOMESTIC SERVICE DWY - DRIVEWAY E - EAST EL - ELEVATION ELEC - ELECTRIC **EOP - EDGE OF PAVEMENT** EX - EXISTING FDC - FIRE DEPARTMENT CONNECTION FF - FINISHED FLOOR FH - FIRE HYDRANT FLG - FLANGE FM - FORCE MAIN **FVO - FLUSHING VALVE OUTLET** G - GAS GA - GAUGE GALV - GALVANIZED GV - GATE VALVE HDPE - HIGH-DENSITY POLYETHYLENE HP - HIGH POINT INV - INVERT **IRR - IRRIGATION** L - ARC LENGTH LAT - LATERAL LBR - LIMEROCK BEARING RATIO LE - LANDSCAPE EASEMENT LF - LINEAR FOOT LP - LIGHT POLE LPFM - LOW PRESSURE FORCE MAIN LT - LEFT

MAX - MAXIMUN MB - MAIL BOX MEG - MATCH EXISTING GRADE MH - MANHOLE MIN - MINIMUN MTR - METER N - NORTH NAVD - NORTH AMERICAN VERTICAL DATUM **NGVD - NATIONAL GEODETIC VERTICAL DATUM** NIC - NOT IN CONTRACT NO - NUMBER NPW - NON-POTABLE WATER NTS - NOT TO SCALE O/W - OVERHEAD WIRE OC - ON CENTER **OE - OVERHEAD ELECTRIC** OFO - OVERHEAD FIBER OPTICS **OR - OFFICIAL RECORDS OT - OVERHEAD TELEPHONE** OTV - OVERHEAD CABLE TELEVISION PB - PLAT BOOK PC - POINT OF CURVATURE PE - POLYETHYLENE PG - PAGE PI - POINT OF INTERSECTION P - PROPERTY LINE PRB - POLLUTION RETARDANT BAFFLE **PRM - PERMANENT REFERENCE MONUMENT PROP - PROPOSED** PSI - POUNDS PER SQUARE INCH PT - POINT OF TANGENCY **PVC - POLYVINYL CHLORIDE PVMT - PAVEMENT** R - RADIUS R/W - RIGHT-OF-WAY **RCP** - REINFORCED CONCRETE PIPE **RPM - REFLECTIVE PAVEMENT MARKER** RT - RIGHT S - SOUTH SAN - SANITARY SEWER SD - STORM DRAIN SH - SHORT SHT - SHEET SLV - SLEEVE **STA - STATION** STL - STEEL **TEL - TELEPHONE** TOC - TOP OF CURB **TOP - TOP OF PIPE** TYP - TYPICAL UE - UTILITY EASEMENT UNK - UNKNOWN VCP - VITRIFIED CLAY PIPE W - WEST W/O - WITHOUT W/R - WHITE & RED WM - WATER MAIN WTR - WATER YD - YARD DRAIN Y/Y - YELLOW & YELLOW

NOT FOR CONSTRUCTION

500 Australian Avenue South Suite 850 West Palm Beach, FL 33401 561.746.6900 www.chenmoore.com

REGISTRATION





PUBLIC WORKS DEPARTMENT 951 OKEECHOBEE ROAD WEST PALM BEACH, FL 33401 **PROJECT INFORMATION**

NORTH COUNTY ROAD DRAINAGE IMPROVEMENTS

TOWN OF PALM BEACH, FLORIDA

PROJECT NUMBER 21-0431.00039

CLIENT PROJECT NUMBER

VERIFY SCALES

IF NOT ONE INCH ON THIS SHEET. ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE 12/22/2022						
DESIGNED BY						
DC						

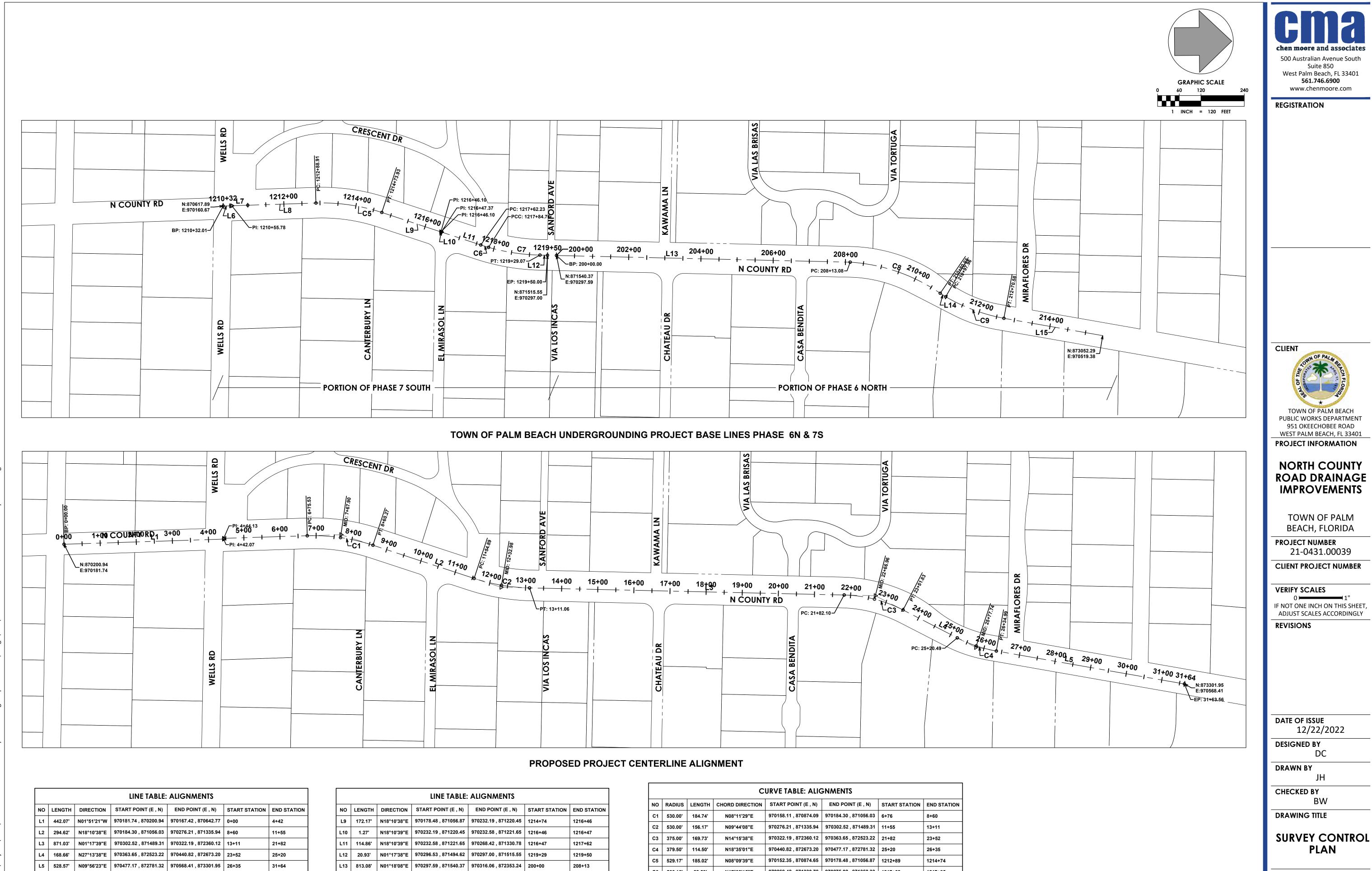
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GENERAL NOTES





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L6 23.77' N01°51'21"W 970160.67 , 870617.89 970159.90 , 870641.65 1210+32

L7 233.12' N01°51'21"W 970159.90, 870641.65 970152.35, 870874.65 1210+56

L8 233.12' N01°51'21"W 970159.90 , 870641.65 970152.35 , 870874.65 1210+56

1210+56

1212+89

1212+89

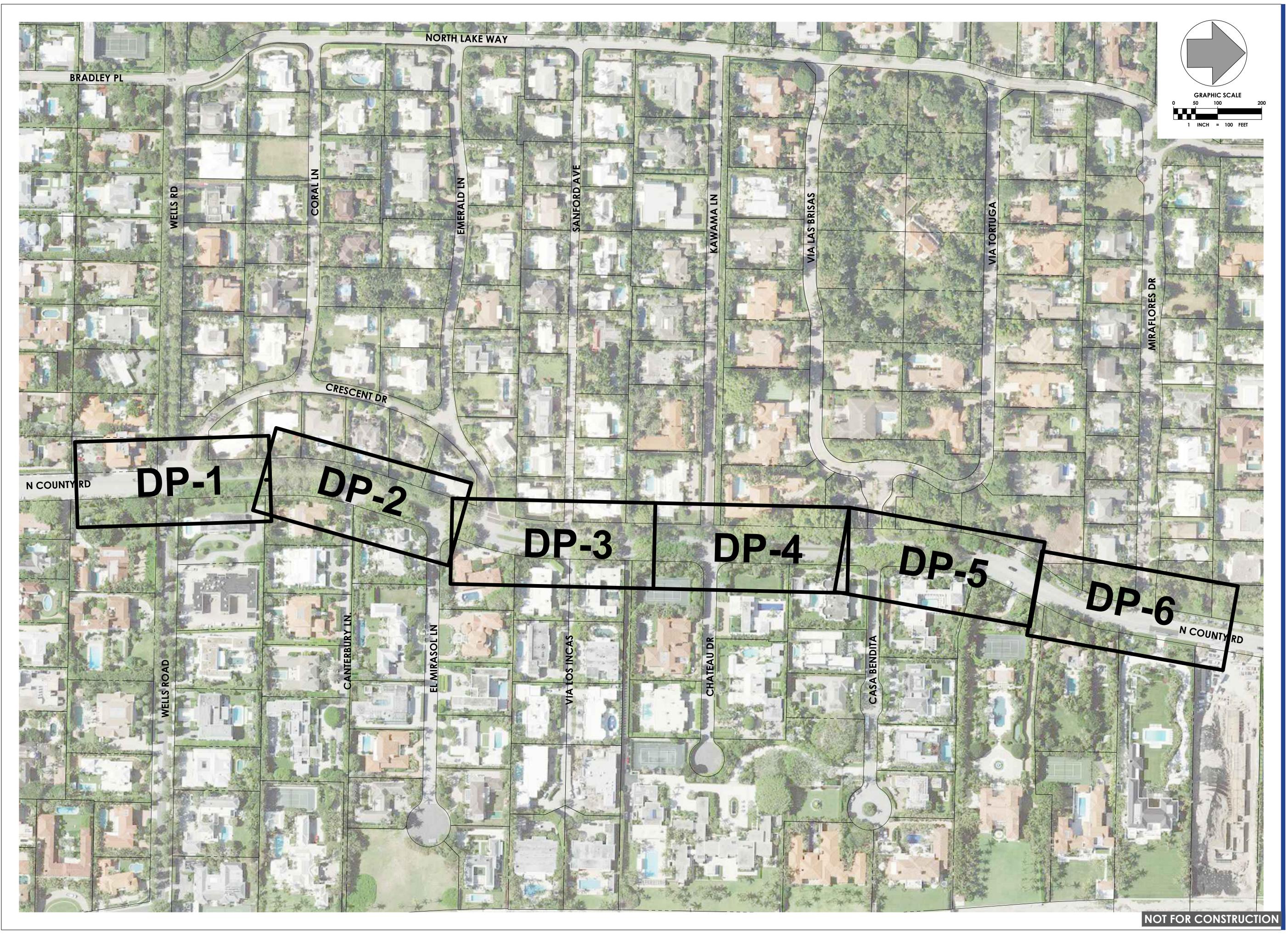
	LINE TABLE: ALIGNMENTS										
NO	LENGTH	DIRECTION	START POINT (E , N)	END POINT (E, N)	START STATION	END STATION					
L9	172.17'	N18°10'38"E	970178.48 , 871056.87	970232.19 , 871220.45	1214+74	1216+46					
L10	1.27'	N18°10'39"E	970232.19 , 871220.45	970232.58 , 871221.65	1216+46	1216+47					
L11	114.86'	N18°10'39"E	970232.58 , 871221.65	970268.42 , 871330.78	1216+47	1217+62					
L12	20.93'	N01°17'38"E	970296.53 , 871494.62	970297.00 , 871515.55	1219+29	1219+50					
L13	813.08'	N01°18'08"E	970297.59 , 871540.37	970316.06 , 872353.24	200+00	208+13					
L14	17.93'	N32°50'30"E	970402.11 , 872602.55	970411.84 , 872617.62	210+80	210+98					
L15	739.96'	N09°56'24"E	970471.45 , 872778.74	970599.17 , 873507.59	212+71	220+11					

	CURVE TABLE: ALIGNMENTS									
NO	RADIUS	LENGTH	CHORD DIRECTION	START POINT (E , N)	END POINT (E , N)	START STATION	END STATION			
C1	530.00'	184.74'	N08°11'29"E	970158.11 , 870874.09	970184.30 , 871056.03	6+76	8+60			
C2	530.00'	156.17'	N09°44'08"E	970276.21 , 871335.94	970302.52 , 871489.31	11+55	13+11			
C3	375.00'	169.73'	N14°15'38"E	970322.19 , 872360.12	970363.65 , 872523.22	21+82	23+52			
C4	379.50'	114.50'	N18°35'01"E	970440.82 , 872673.20	970477.17 , 872781.32	25+20	26+35			
C5	529.17'	185.02'	N08°09'39"E	970152.35 , 870874.65	970178.48 , 871056.87	1212+89	1214+74			
C6	566.16'	22.53'	N17°02'15"E	970268.42 , 871330.78	970275.02 , 871352.33	1217+62	1217+85			
C7	566.16'	144.30'	N08°35'43"E	970275.02 , 871352.33	970296.53 , 871494.62	1217+85	1219+29			
C8	496.36'	266.95'	N19°02'32"E	970316.06 , 872353.24	970402.11 , 872602.55	208+13	210+80			
C9	508.62'	172.62'	N20°18'10"E	970411.84 , 872617.62	970471.45 , 872778.74	210+98	212+71			

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REGISTRATION



21-0431.00039

CLIENT PROJECT NUMBER

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DATE OF ISSUE 12/22/2022 DESIGNED BY

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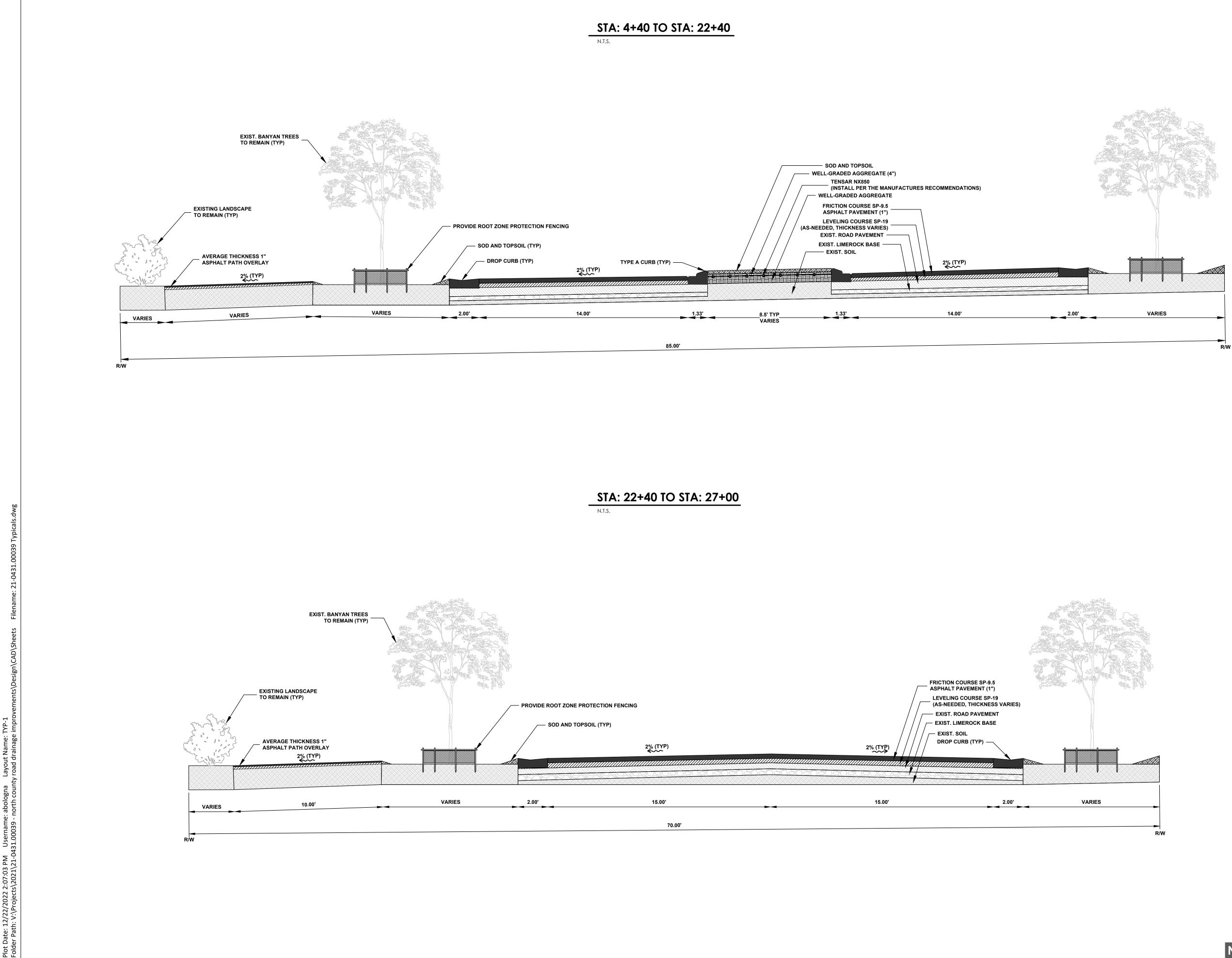
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KEY SHEET

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DRAWING TITLE



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REGISTRATION

CLIENT

TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT 951 OKEECHOBEE ROAD WEST PALM BEACH, FL 33401 **PROJECT INFORMATION**

NORTH COUNTY

ROAD DRAINAGE

IMPROVEMENTS

TOWN OF PALM BEACH, FLORIDA

21-0431.00039

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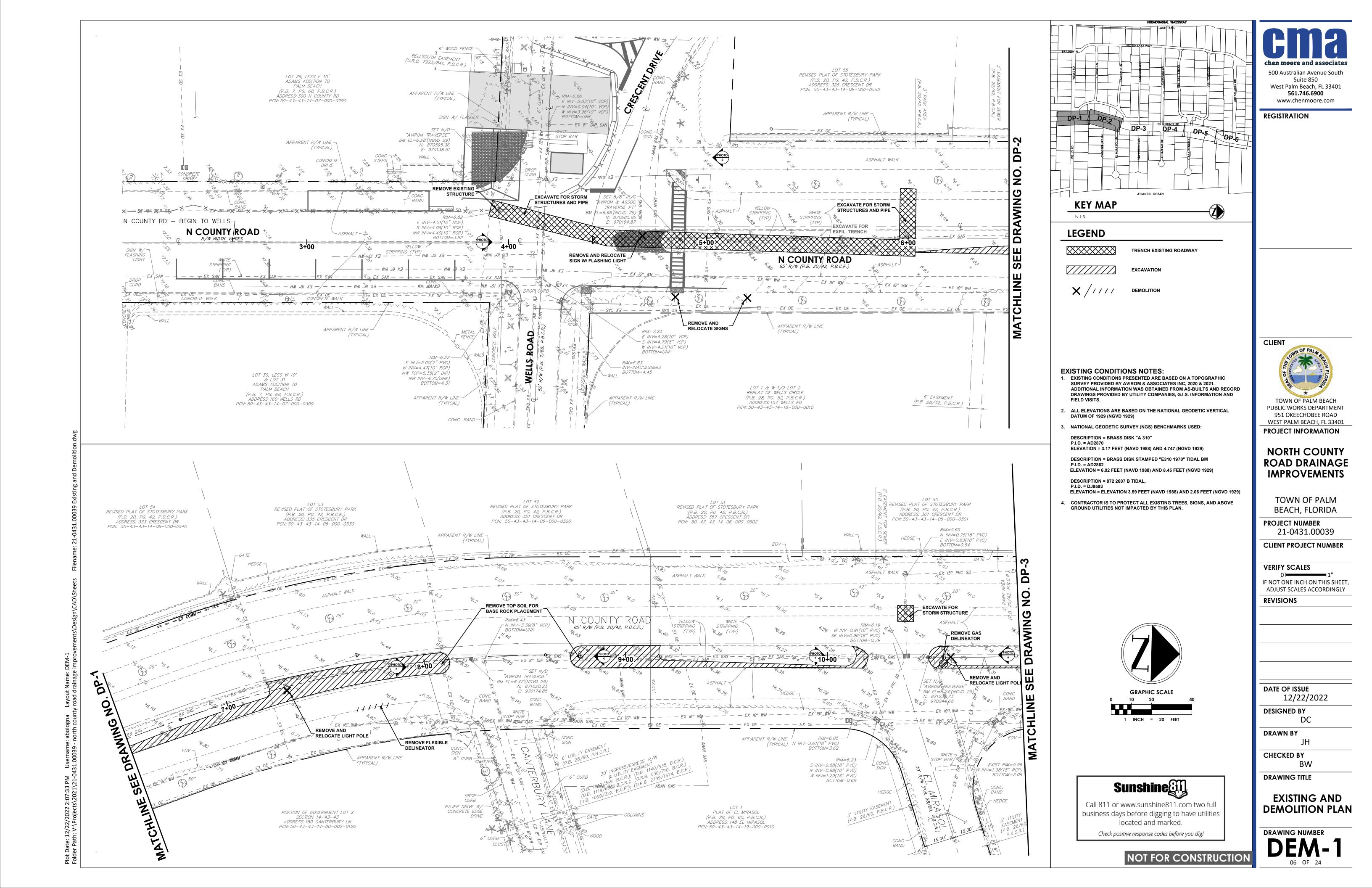
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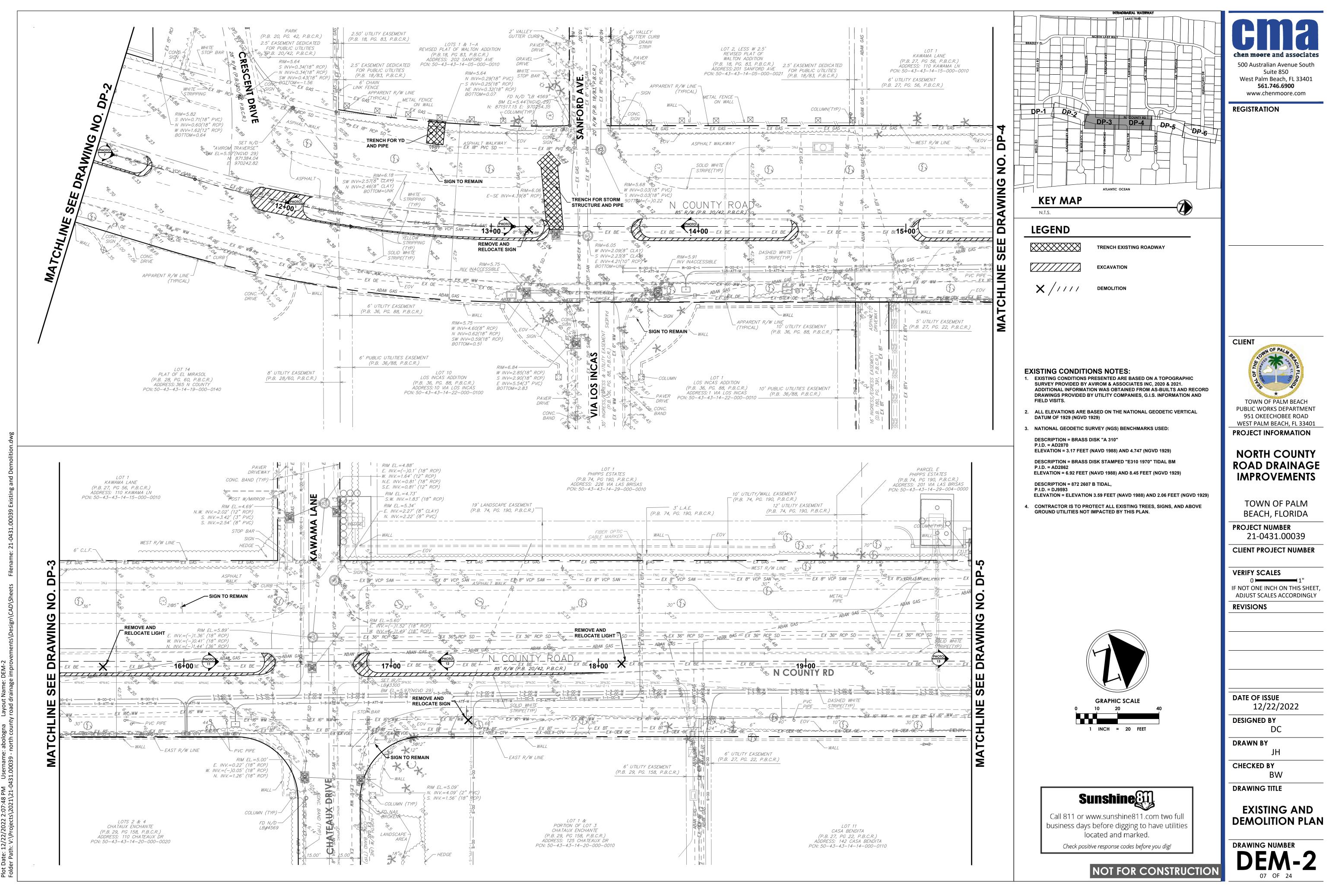
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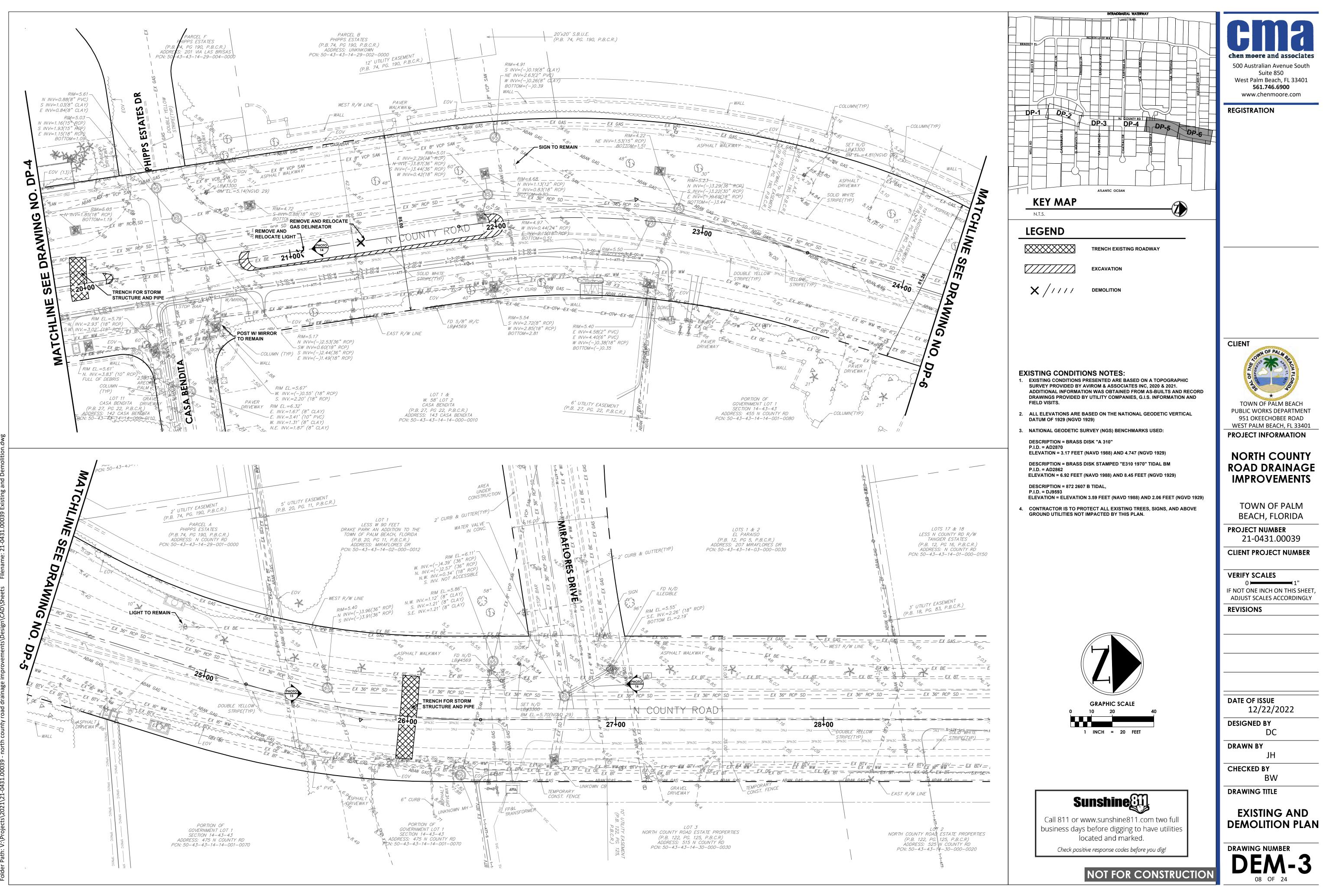
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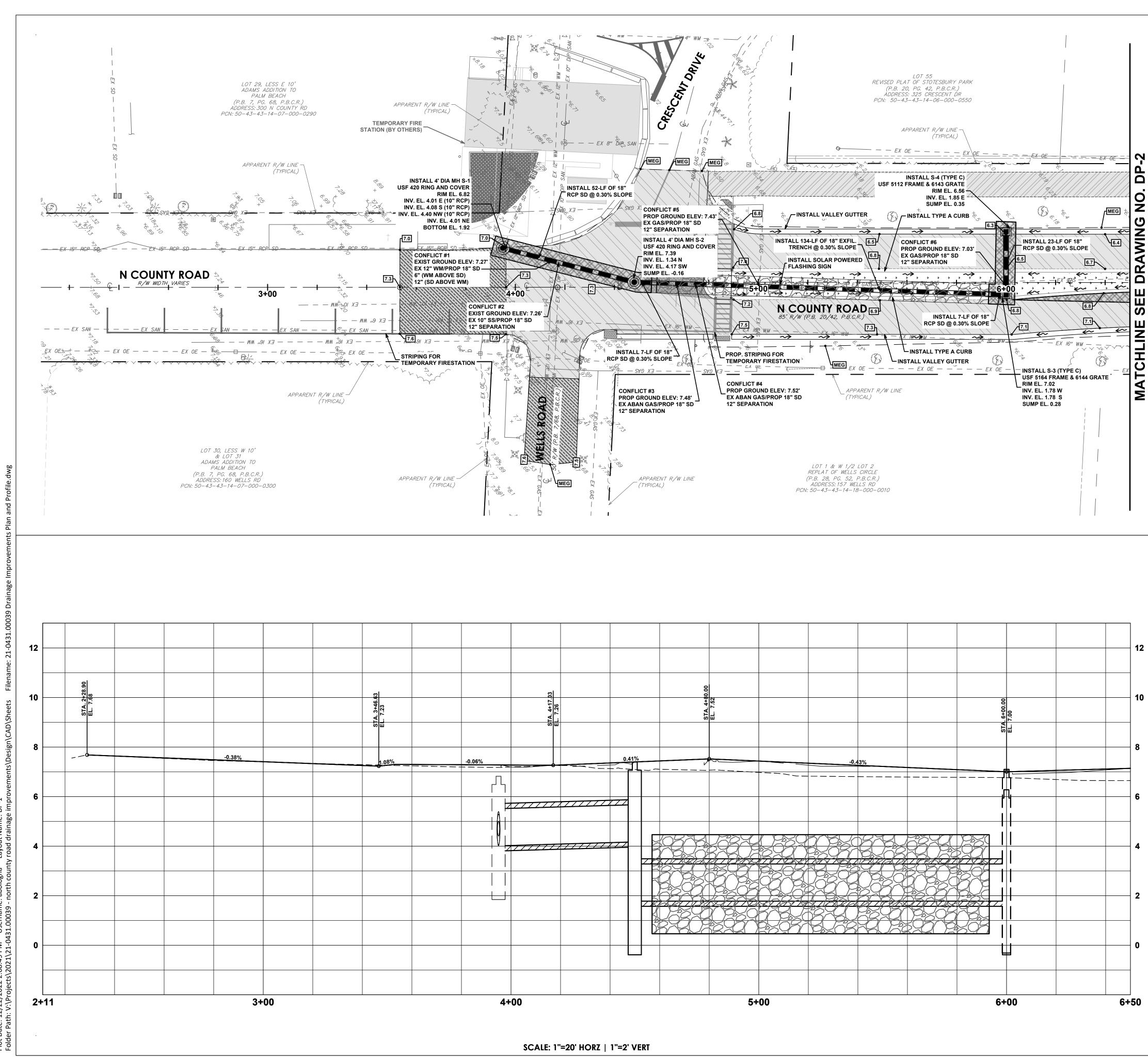
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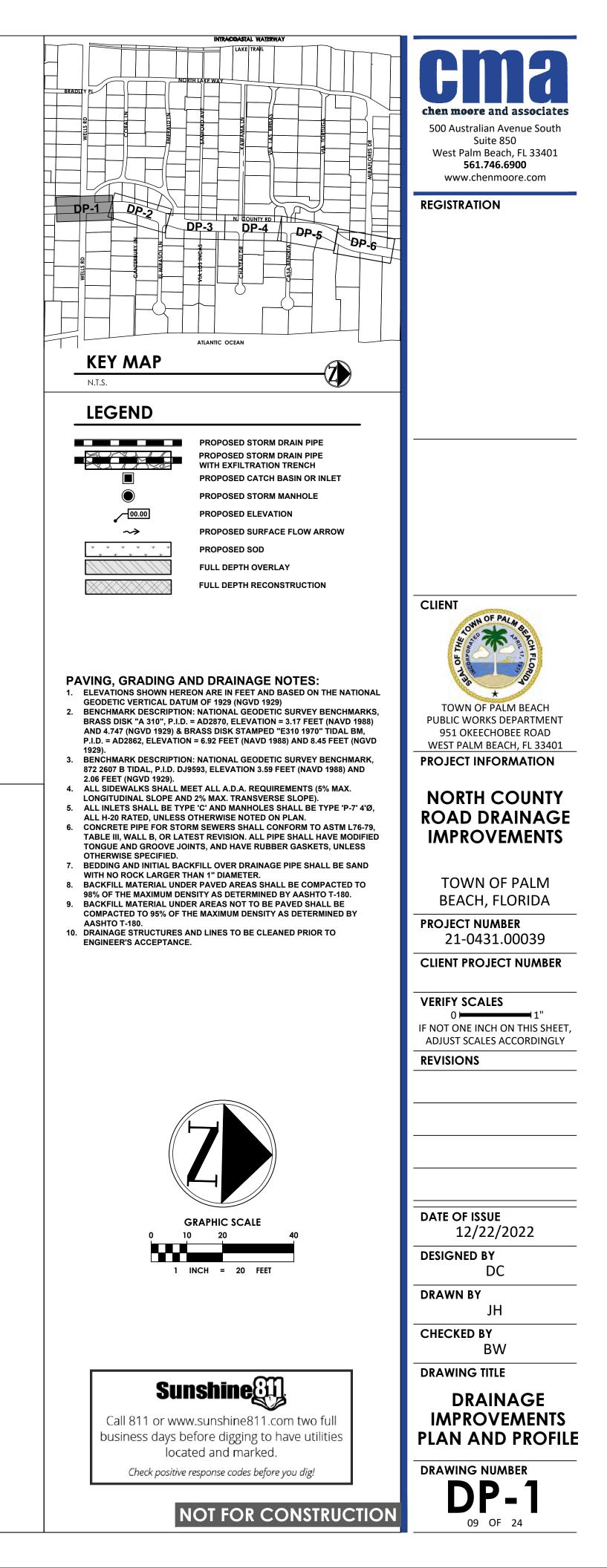


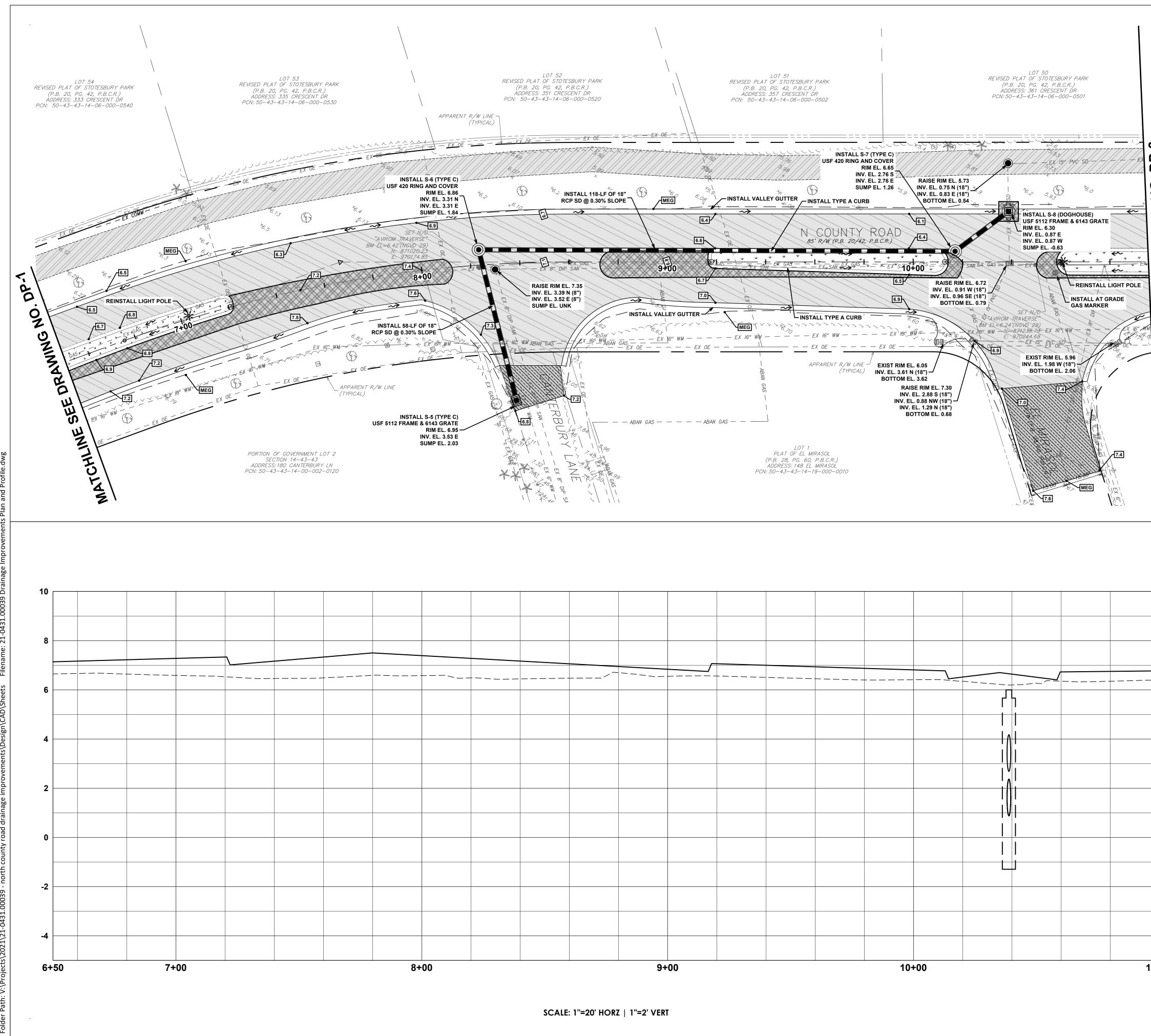


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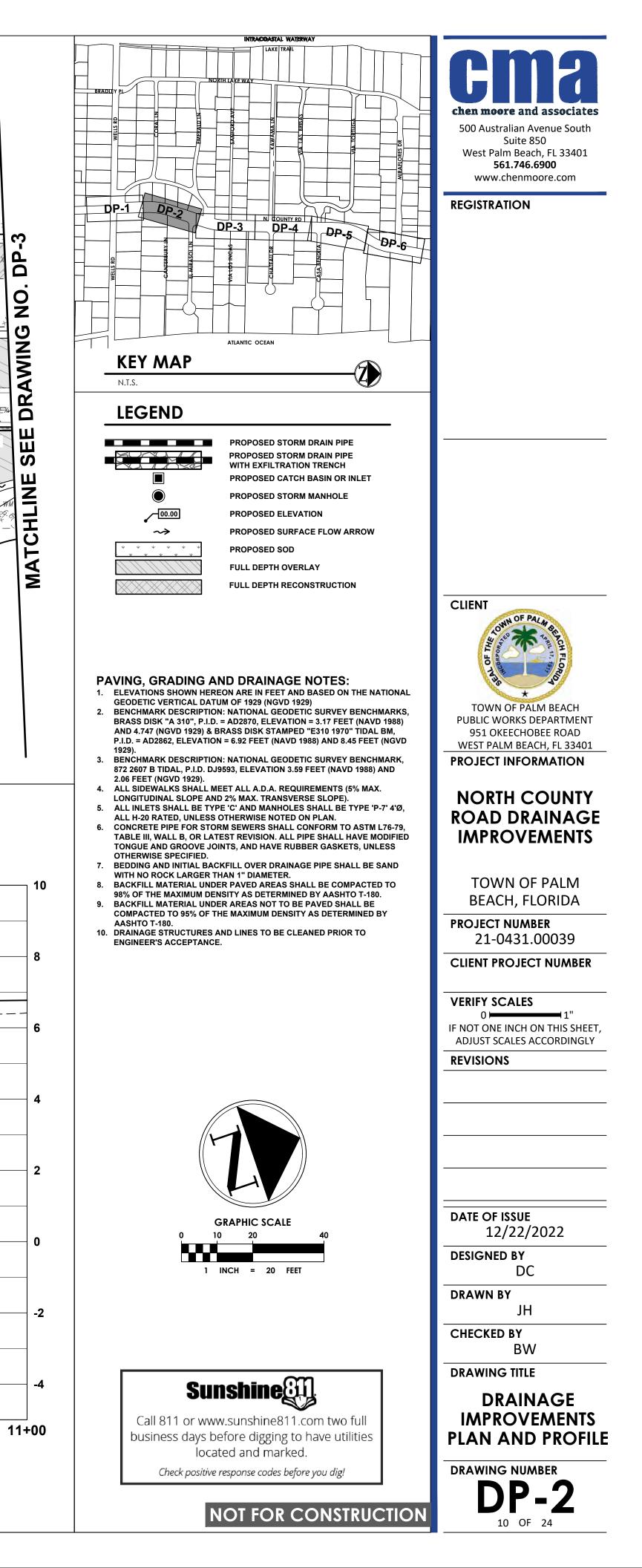
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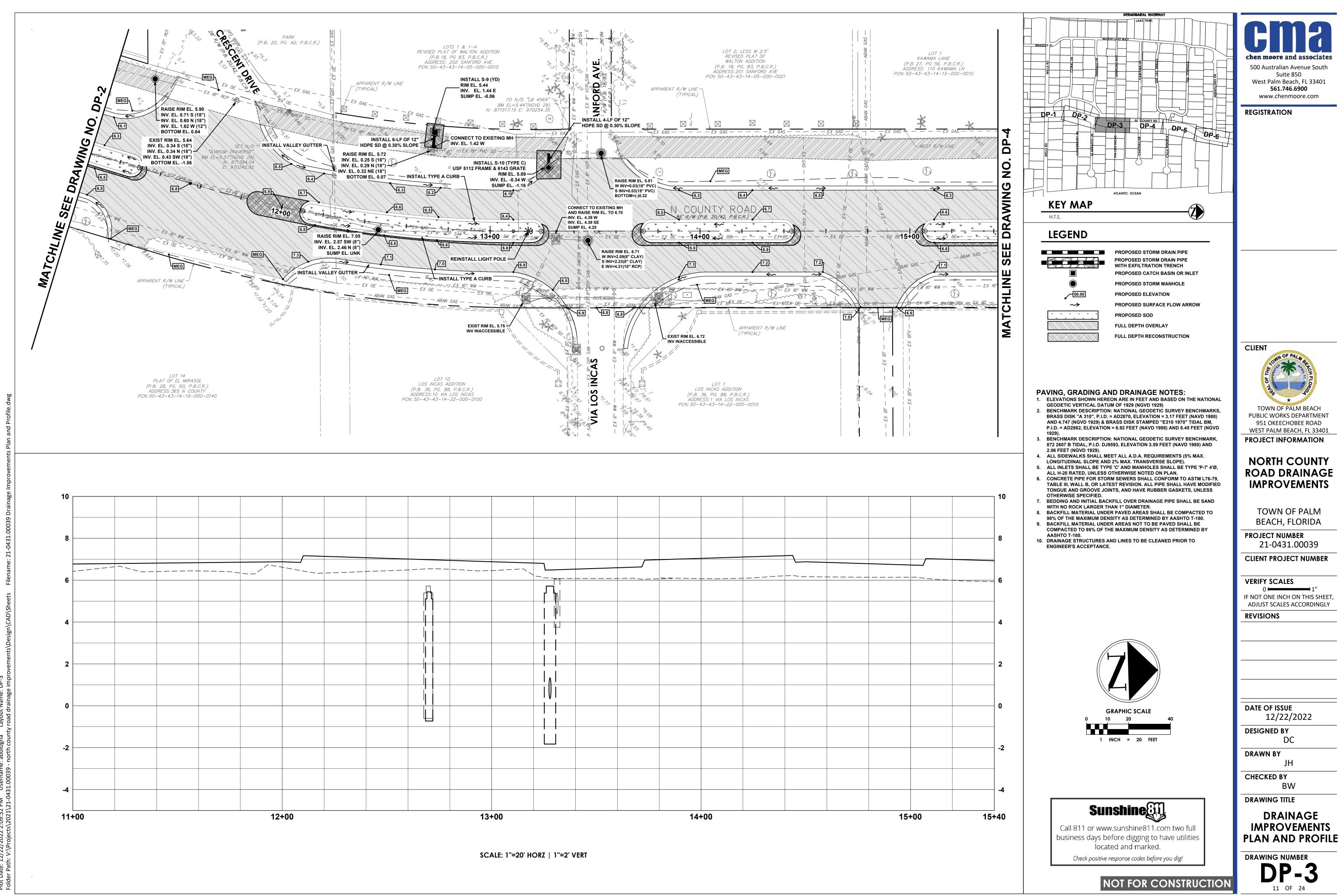




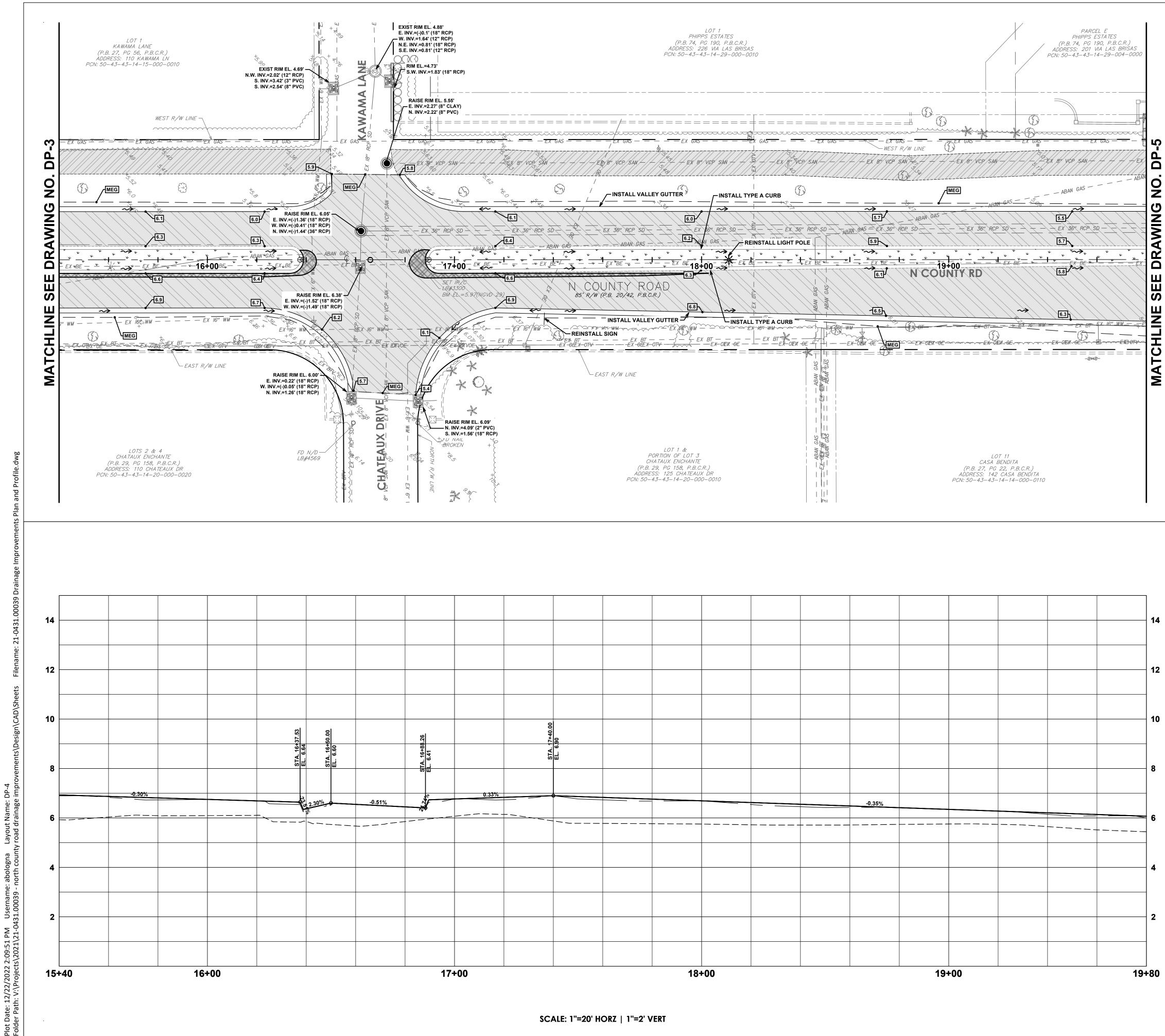
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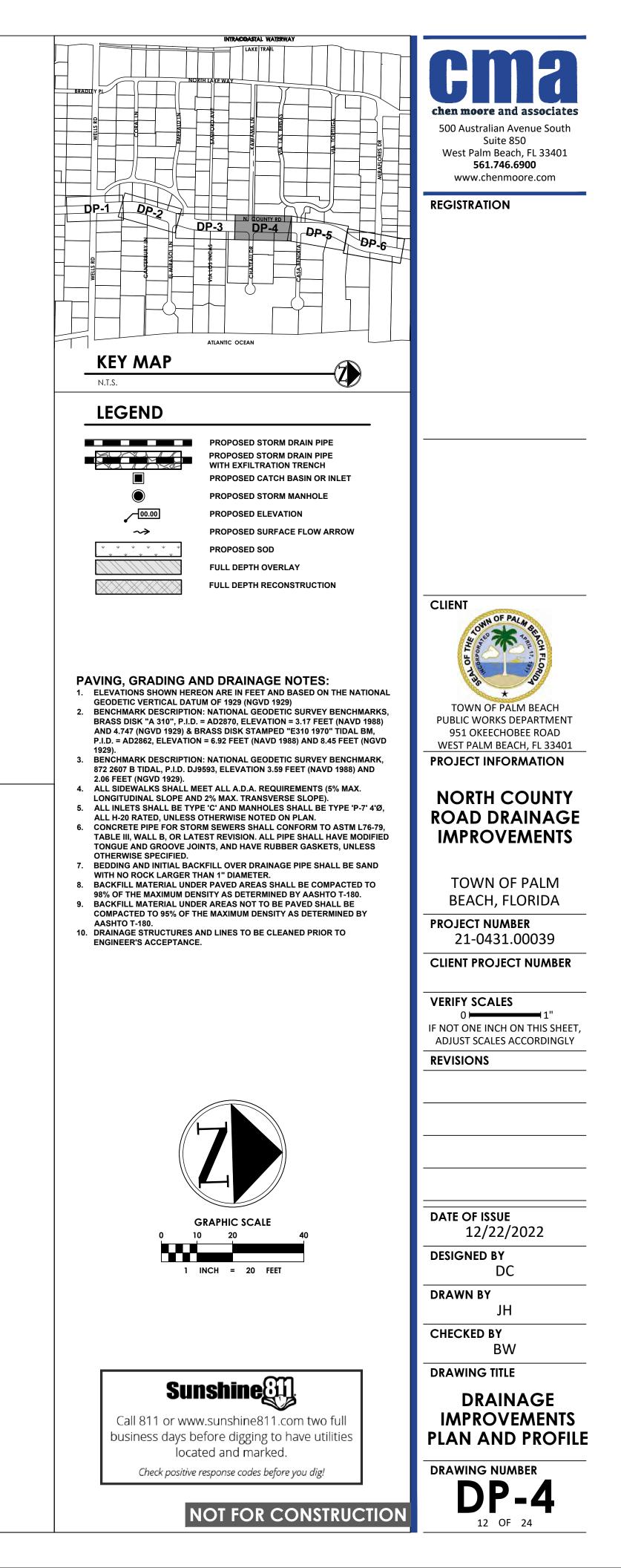


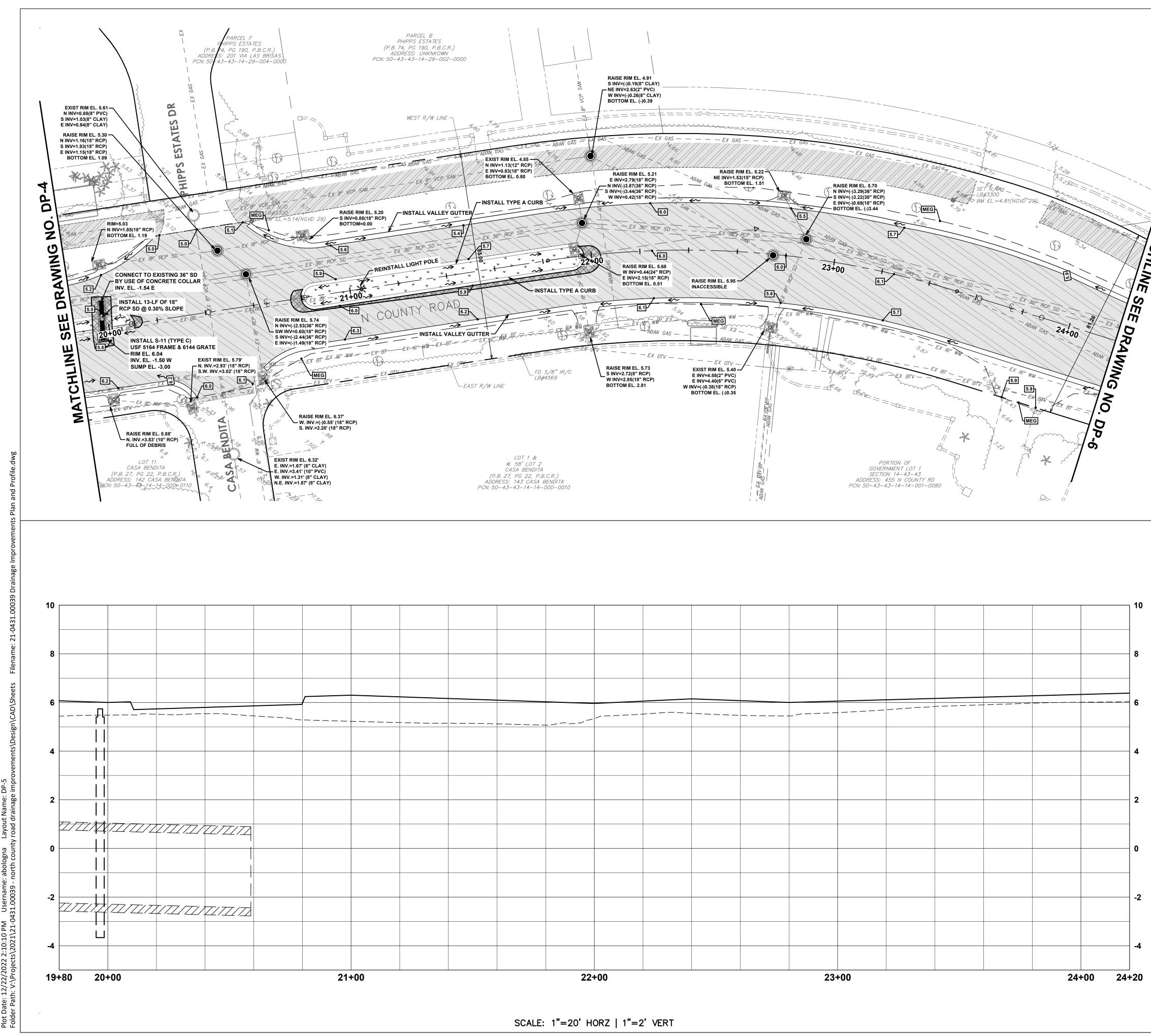


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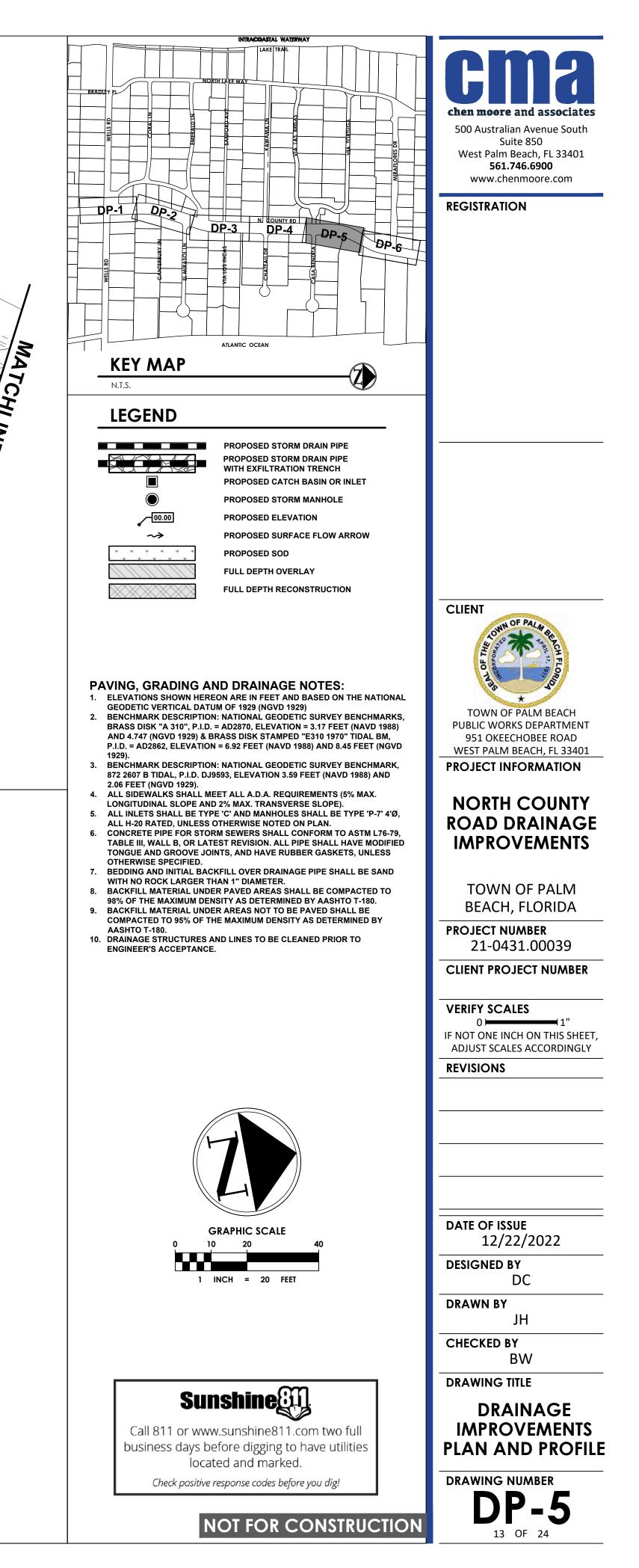
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85' R/W (P.B. 20/42, P.B.C.R.)			
LOT 1 & PORTION OF LOT 3 CHATAUX ENCHANTE (P.B. 29, PG 158, P.B.C.R.) ADDRESS: 125 CHATEAUX DR PCN: 50-43-43-14-20-000-0010		LOT 11 CASA BENDITA (P.B. 27, PG 22, P.B.C.F ADDRESS: 142 CASA BEN PCN: 50–43–43–14–14–000	R.) DITA

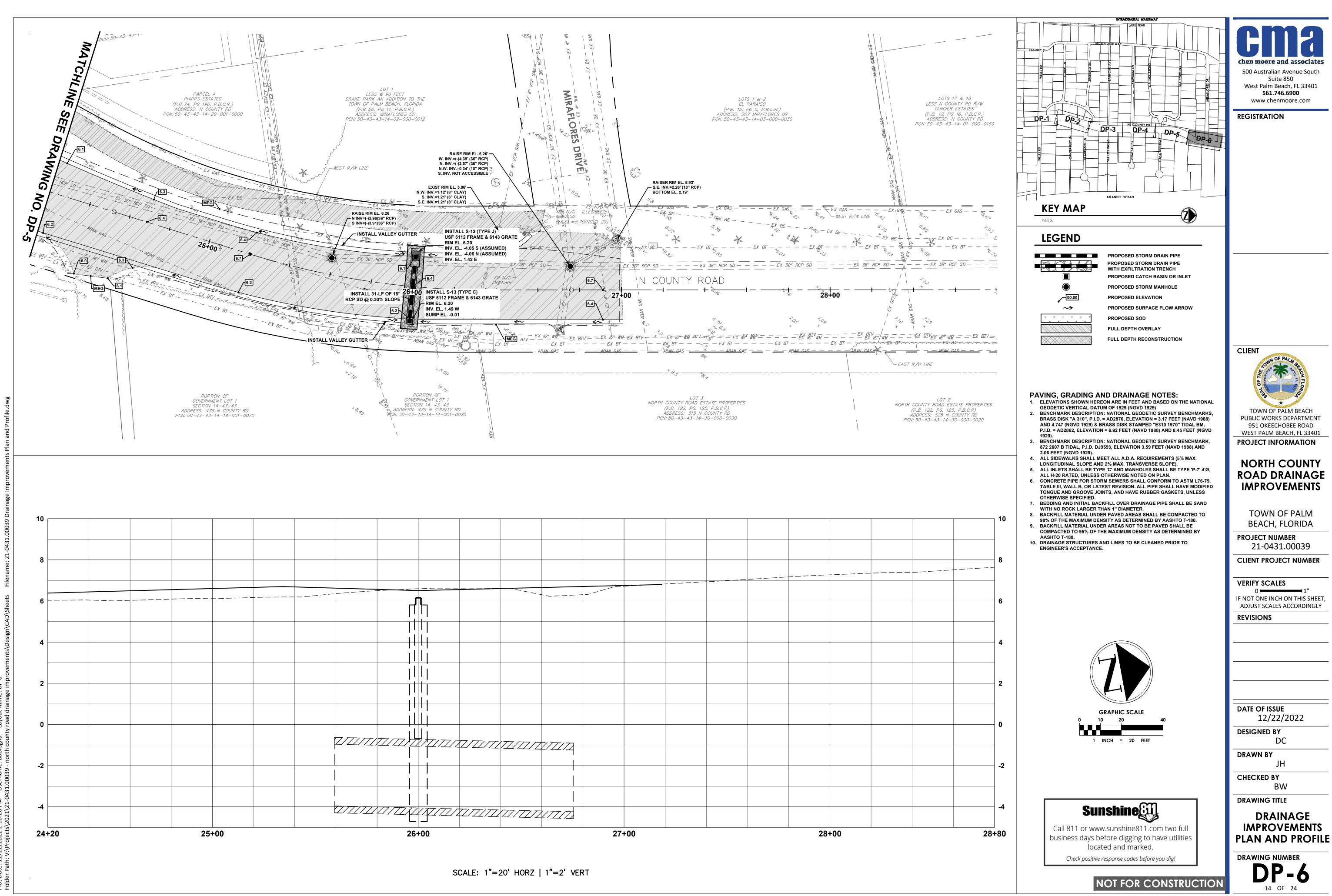




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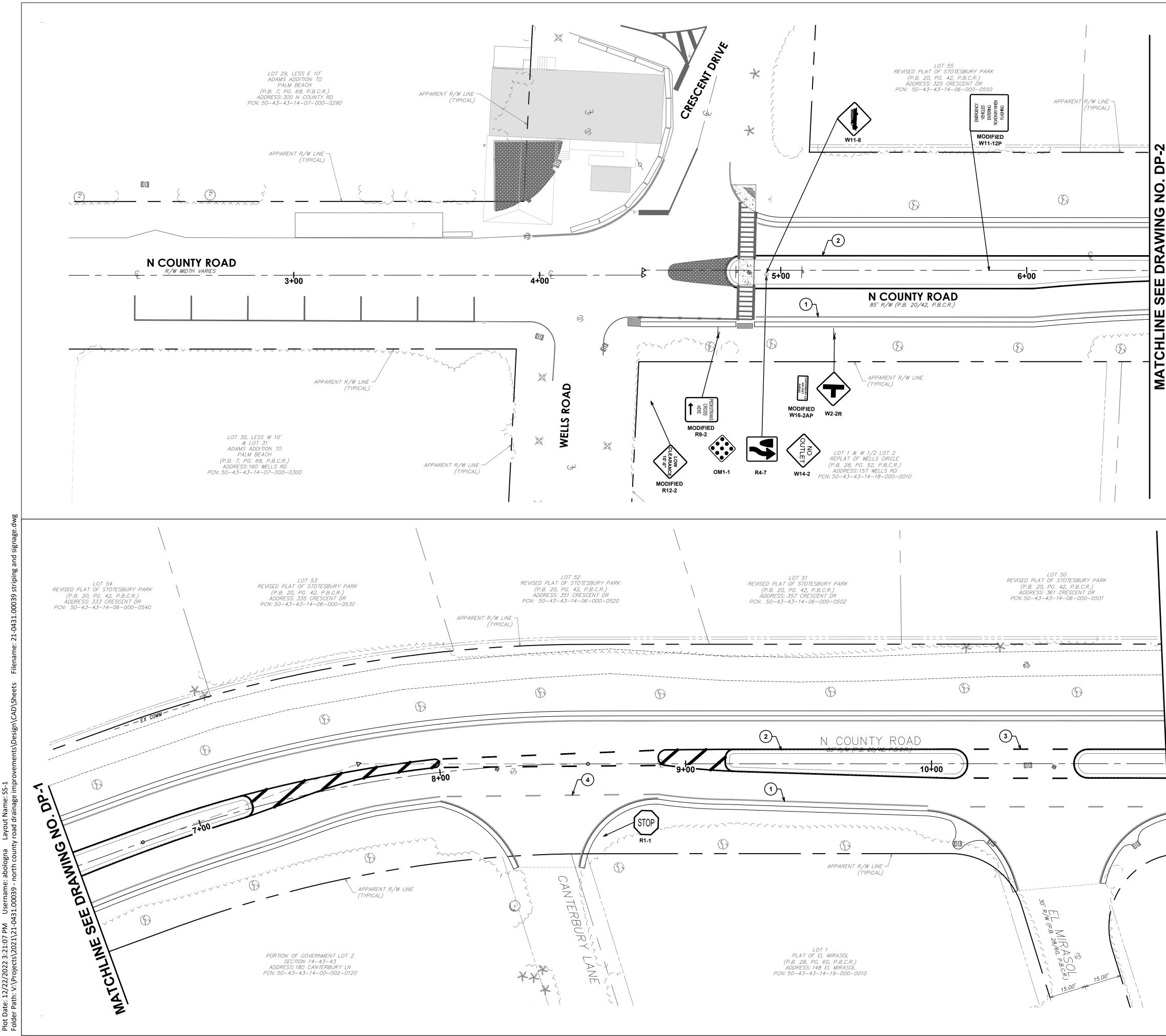
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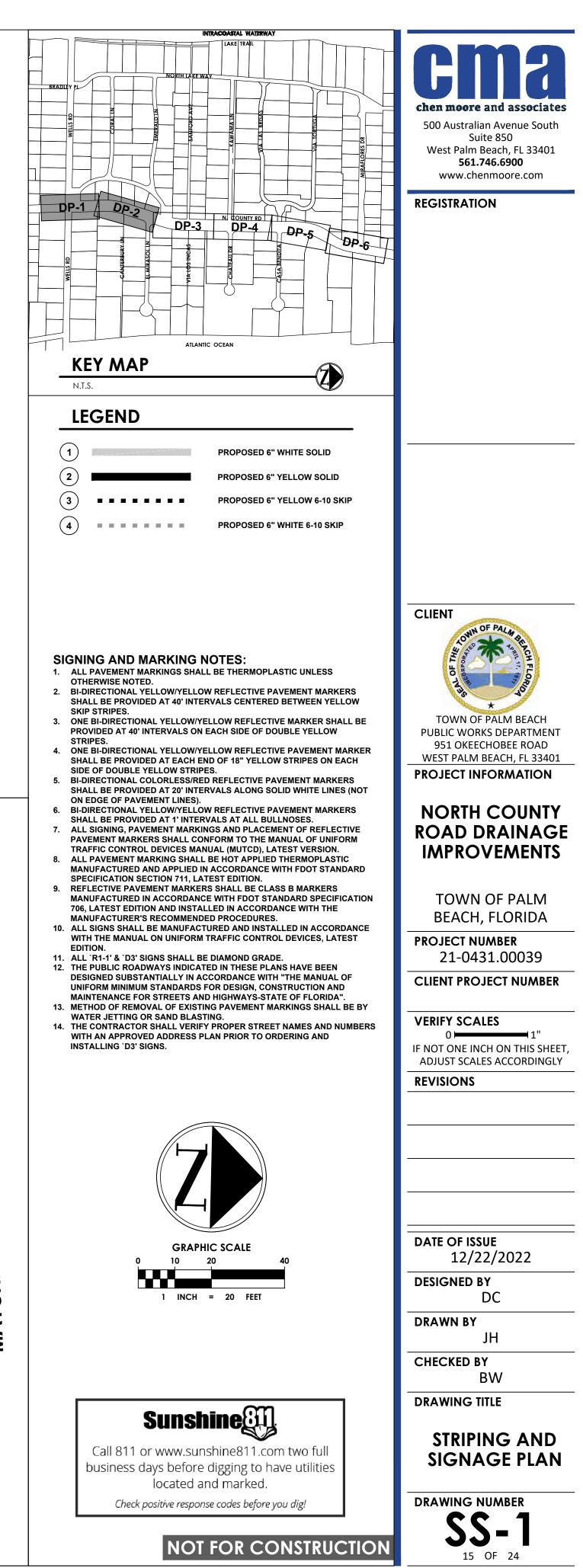


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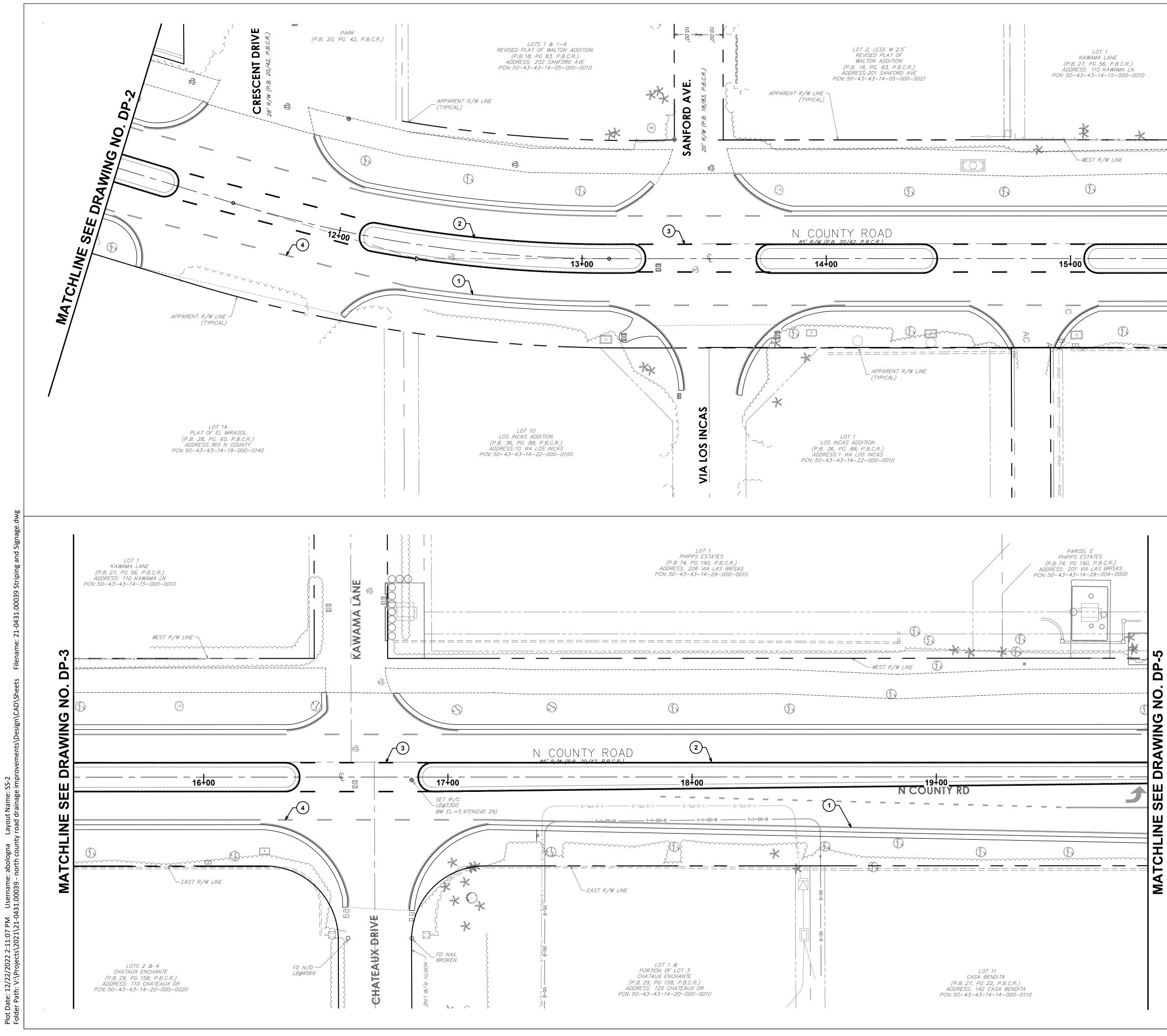
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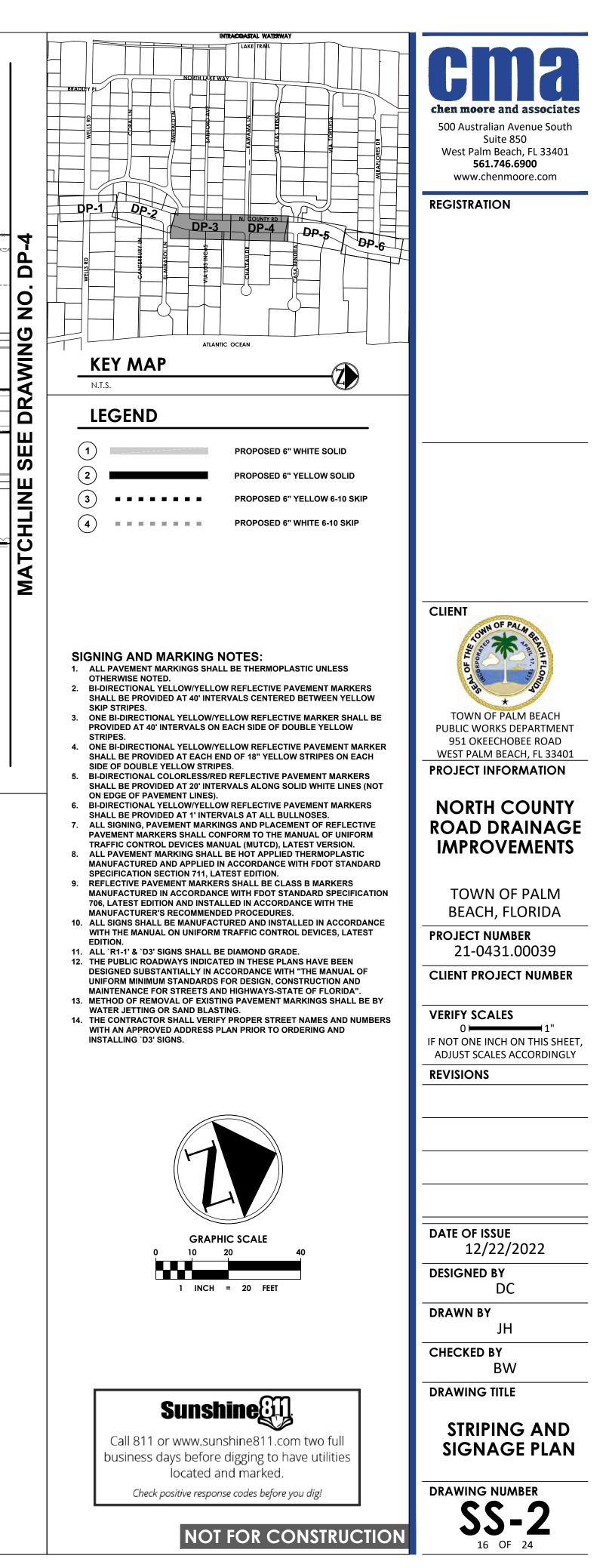


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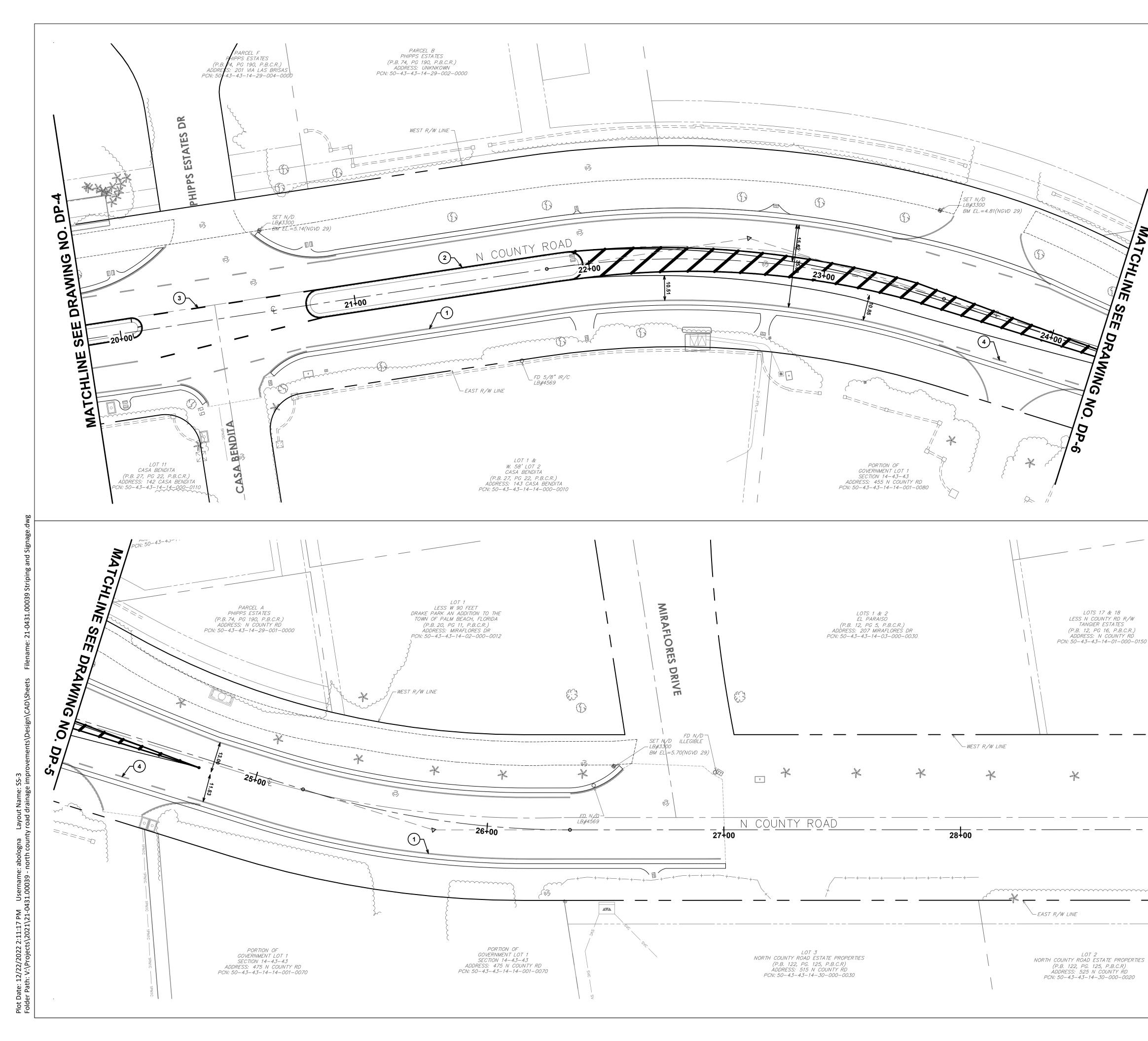


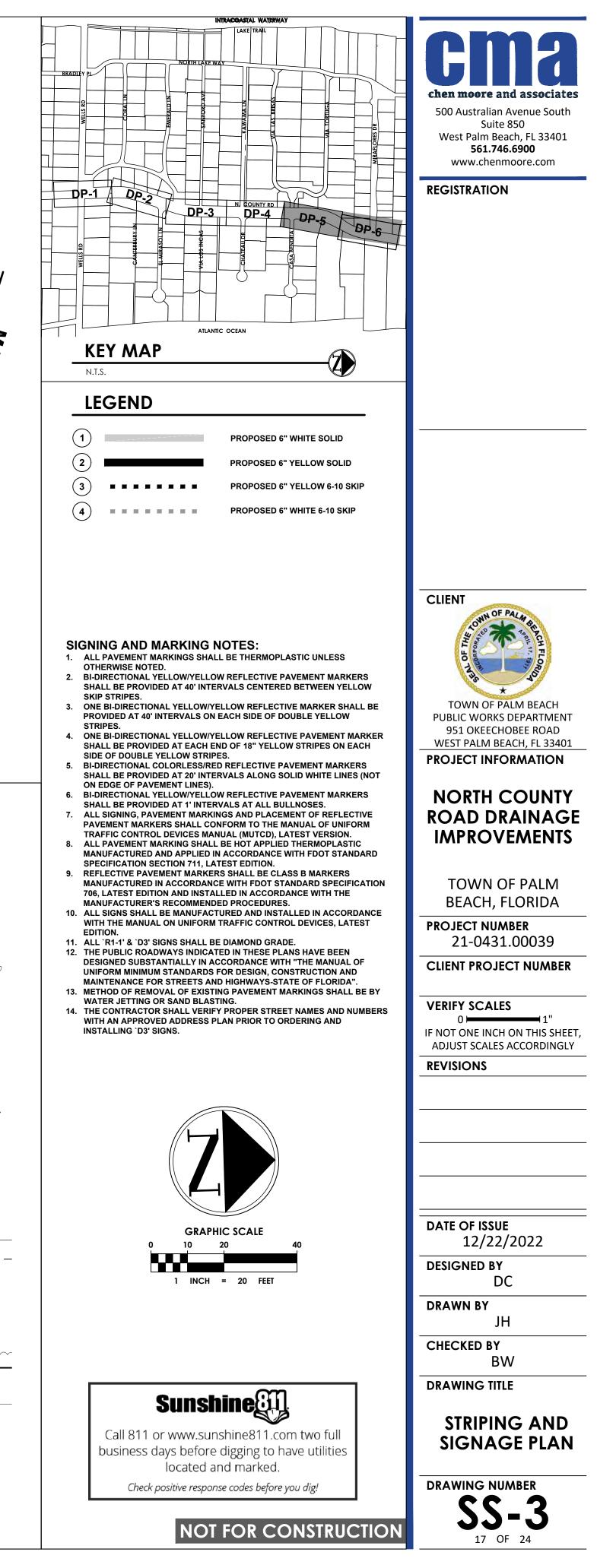
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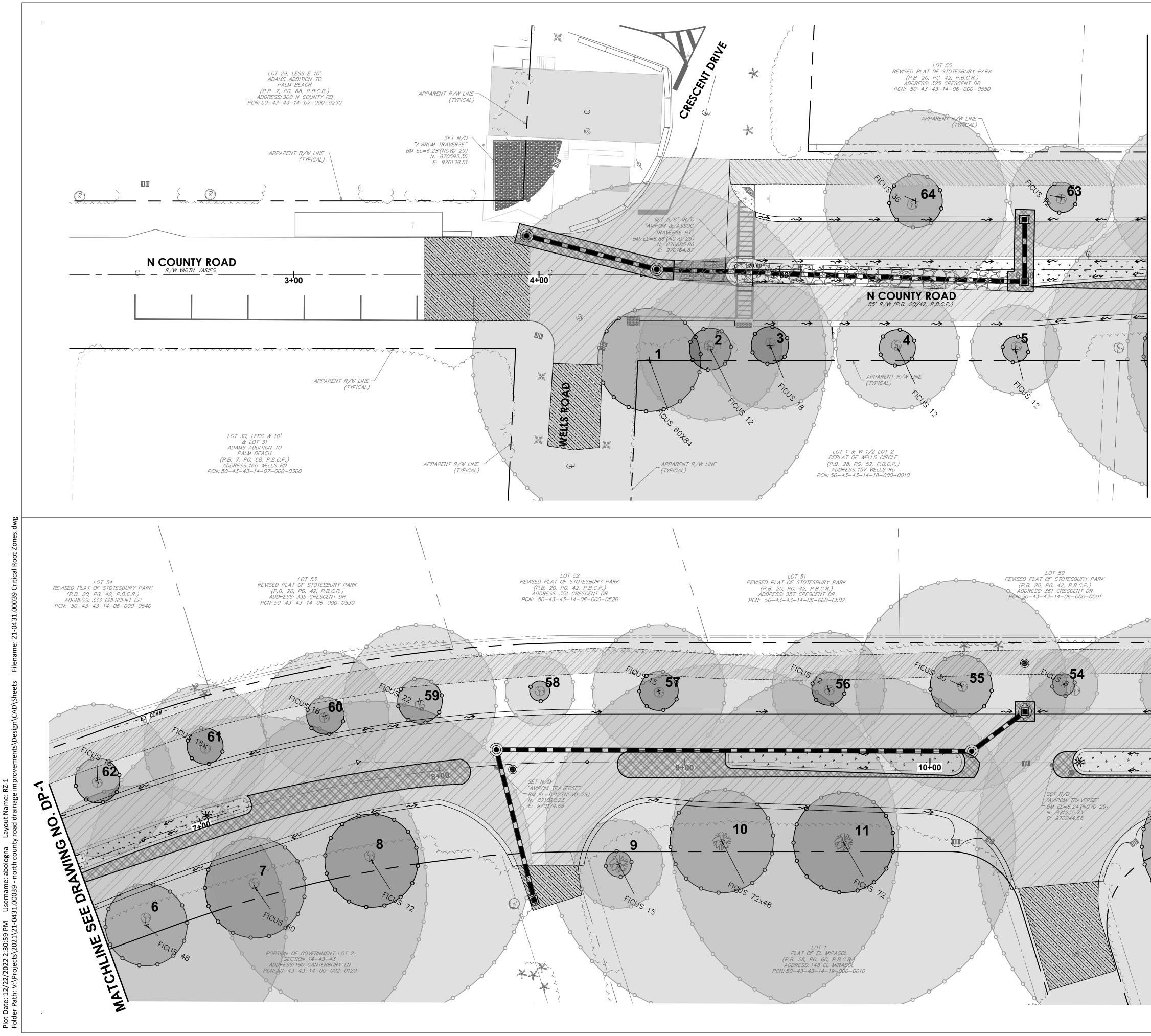


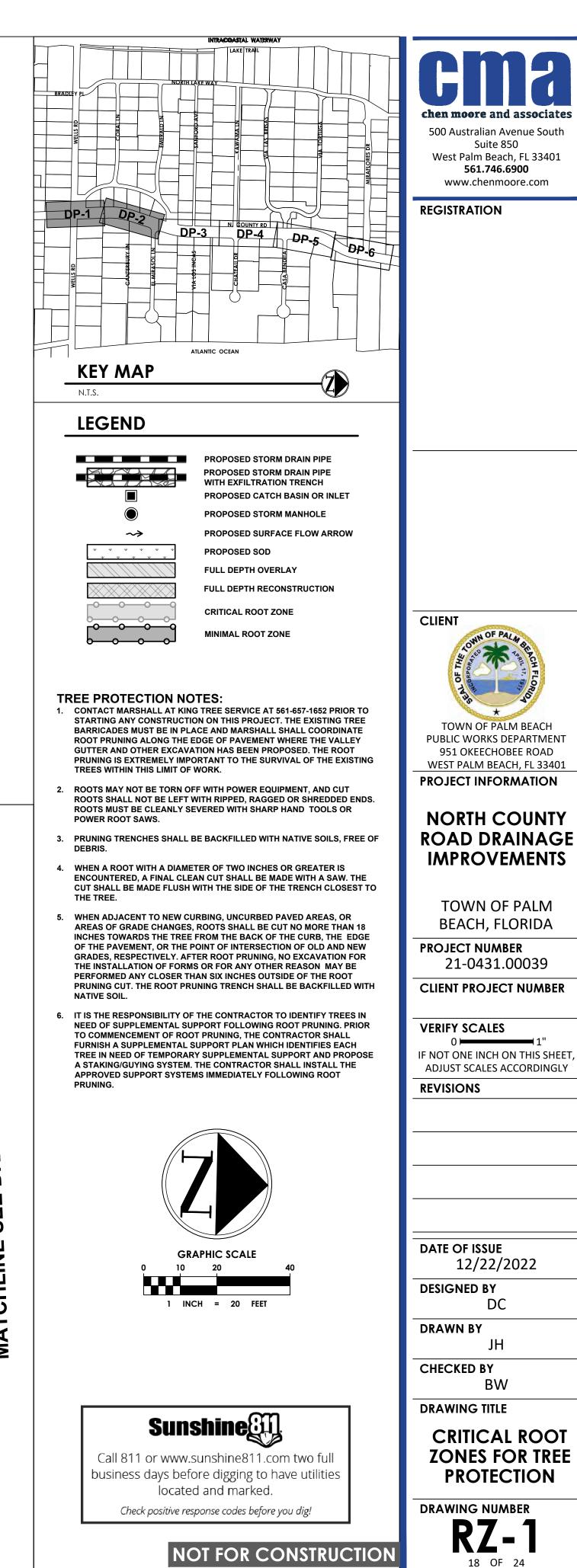


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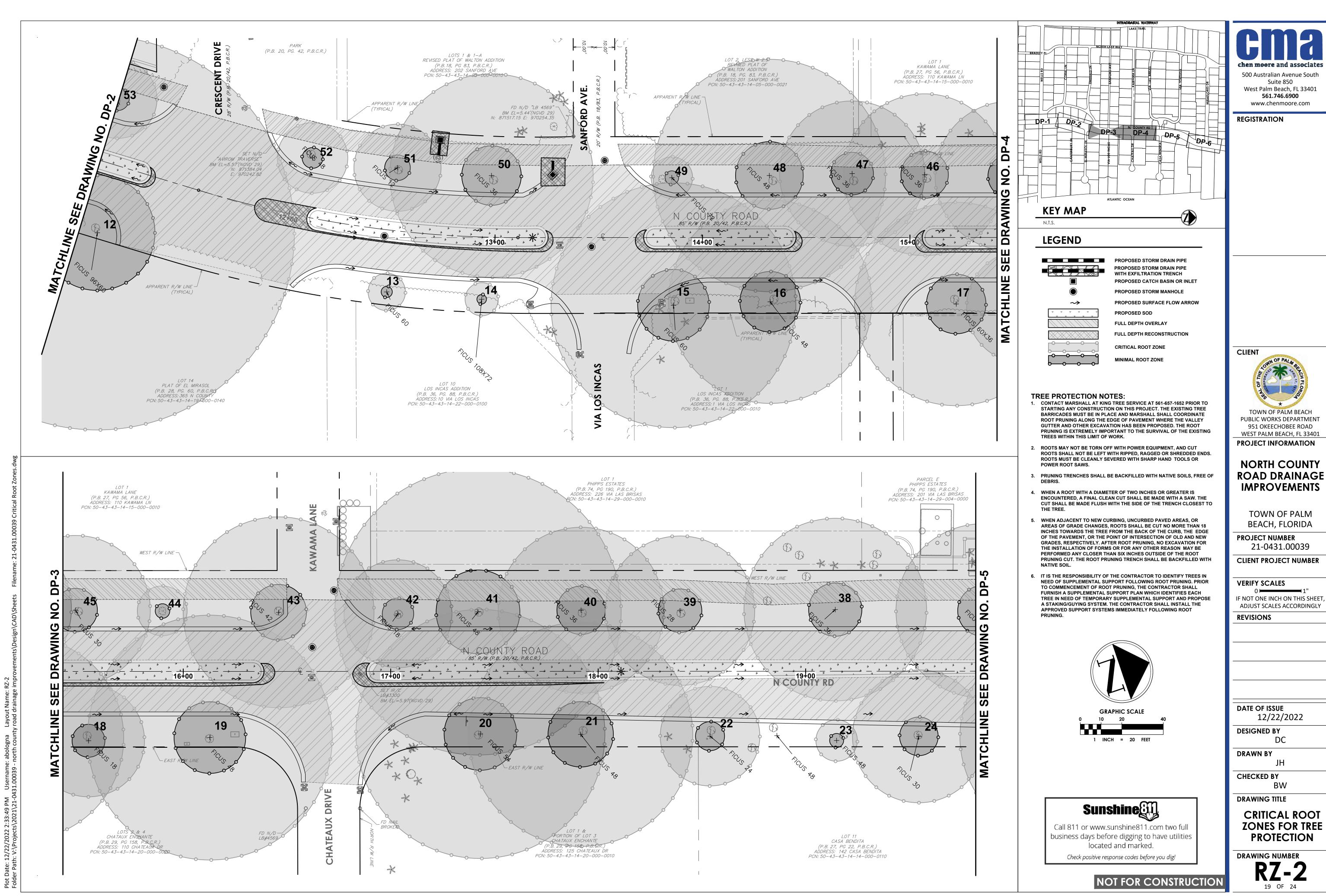


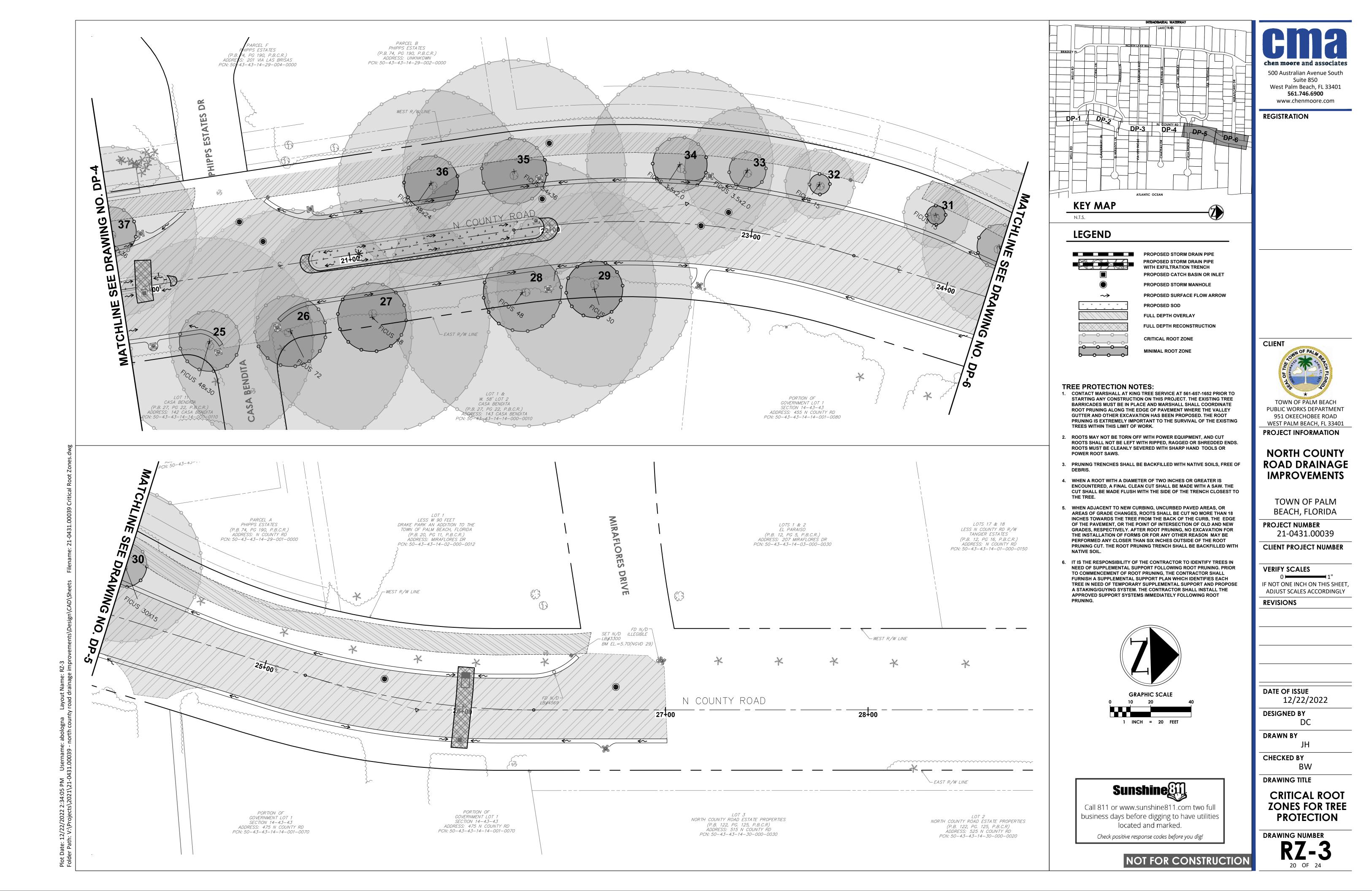






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TREE PRESERVATION FENCING 1/4" = 1'-0"

chen moore and associates 500 Australian Avenue South Suite 850 West Palm Beach, FL 33401 561.746.6900 www.chenmoore.com

REGISTRATION

4' MINIMUM/ – 8' MAXIMUM -O.C. SPACING -2"X4" STRINGER/TOP RAIL — 4' HT. BARRICADE FENCE OF ORANGE "TENSOR" HIGH /---- 2"X4" MIN. WOOD POST XXXX /--- EXISTING UNDISTURBED SOIL

PROTECTION ZONE

DIMENSION VARIES PER CRITICAL

NOTES: CRITICAL PROTECTION ZONE: THE AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR

EACH INCH OF THE TREE TRUNK DIAMETER AT 54" ABOVE FINISHED GRADE. FOR GROUPS OF TREES, PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY. *TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF

THE CRITICAL PROTECTION ZONE. ADJUST AS NECESSARY TO ACCOMMODATE PROPOSED SITE IMPROVEMENTS; REFER TO TREE DISPOSITION NOTES.

- TREE DRIPLINE

(TYP.)

- SECURELY AFFIX FENCE TO

VISIBILITY MESH

STRINGER WITH NAILS OR STAPLES

951 OKEECHOBEE ROAD WEST PALM BEACH, FL 33401 **PROJECT INFORMATION**

TOWN OF PALM BEACH

PUBLIC WORKS DEPARTMENT

CLIENT

NORTH COUNTY ROAD DRAINAGE IMPROVEMENTS

TOWN OF PALM BEACH, FLORIDA

PROJECT NUMBER 21-0431.00039

CLIENT PROJECT NUMBER

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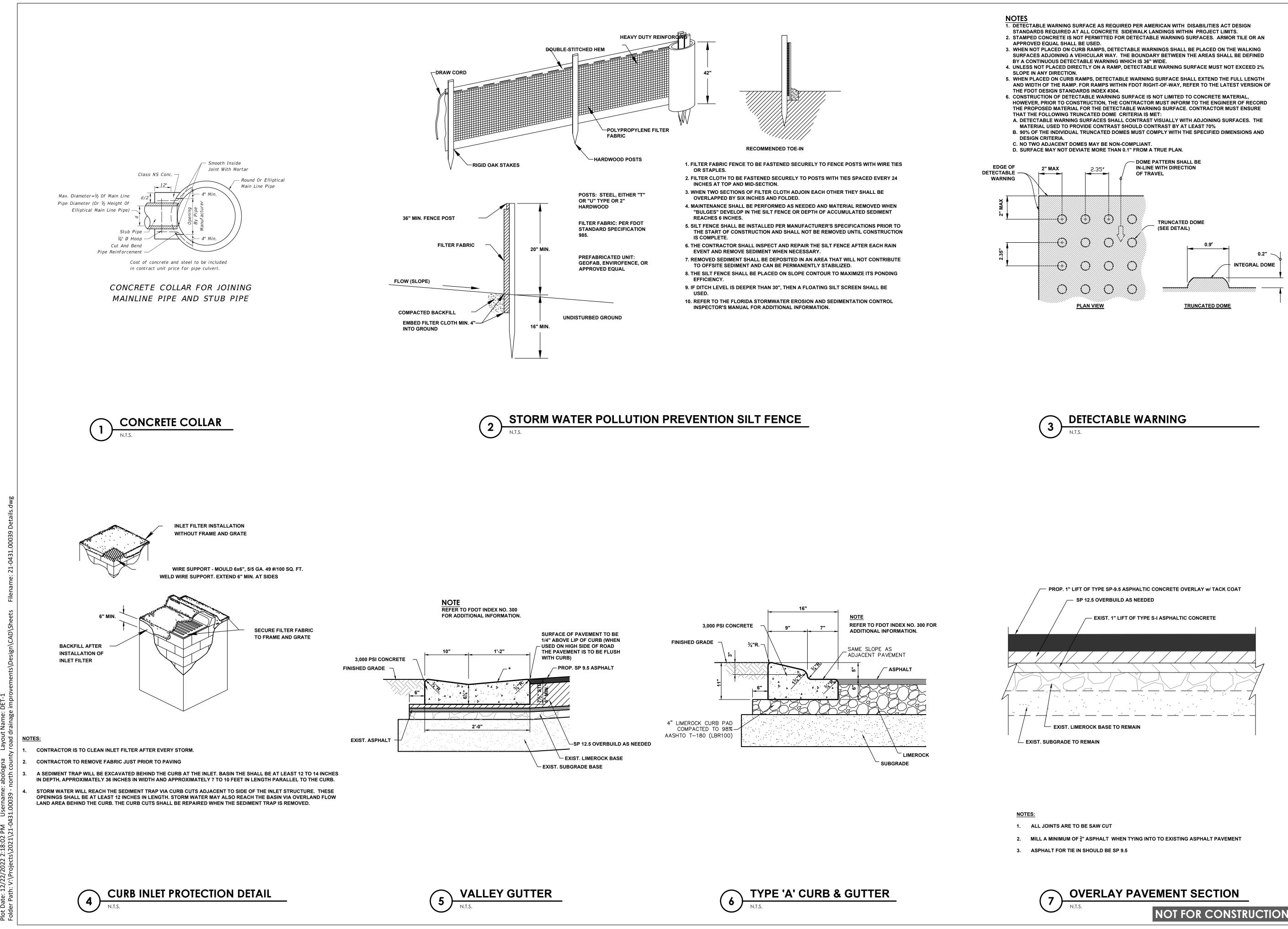
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DRAWING TITLE

CRITICAL ROOT ZONES FOR TREE PROTECTION

DRAWING NUMBER RZ-4

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REGISTRATION



TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT 951 OKEECHOBEE ROAD WEST PALM BEACH, FL 33401 **PROJECT INFORMATION**

NORTH COUNTY **ROAD DRAINAGE IMPROVEMENTS**

TOWN OF PALM BEACH, FLORIDA

PROJECT NUMBER 21-0431.00039

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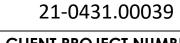
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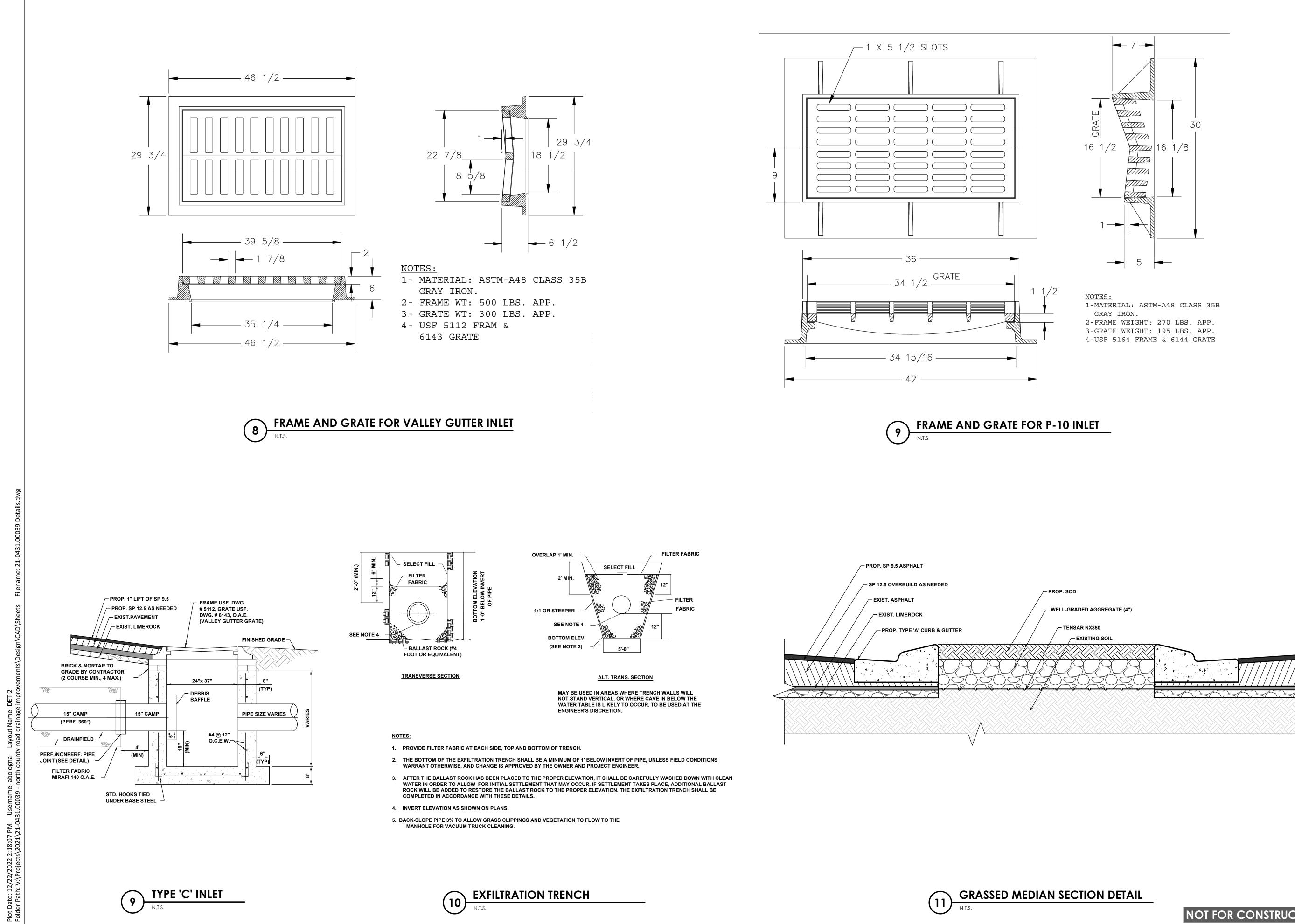
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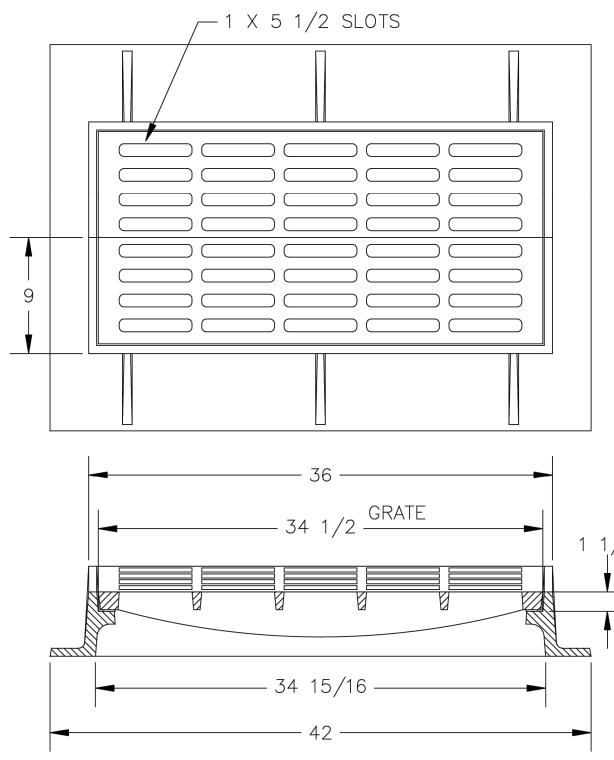
DETAILS

22 OF 24

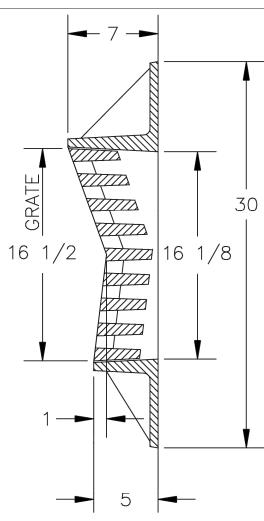
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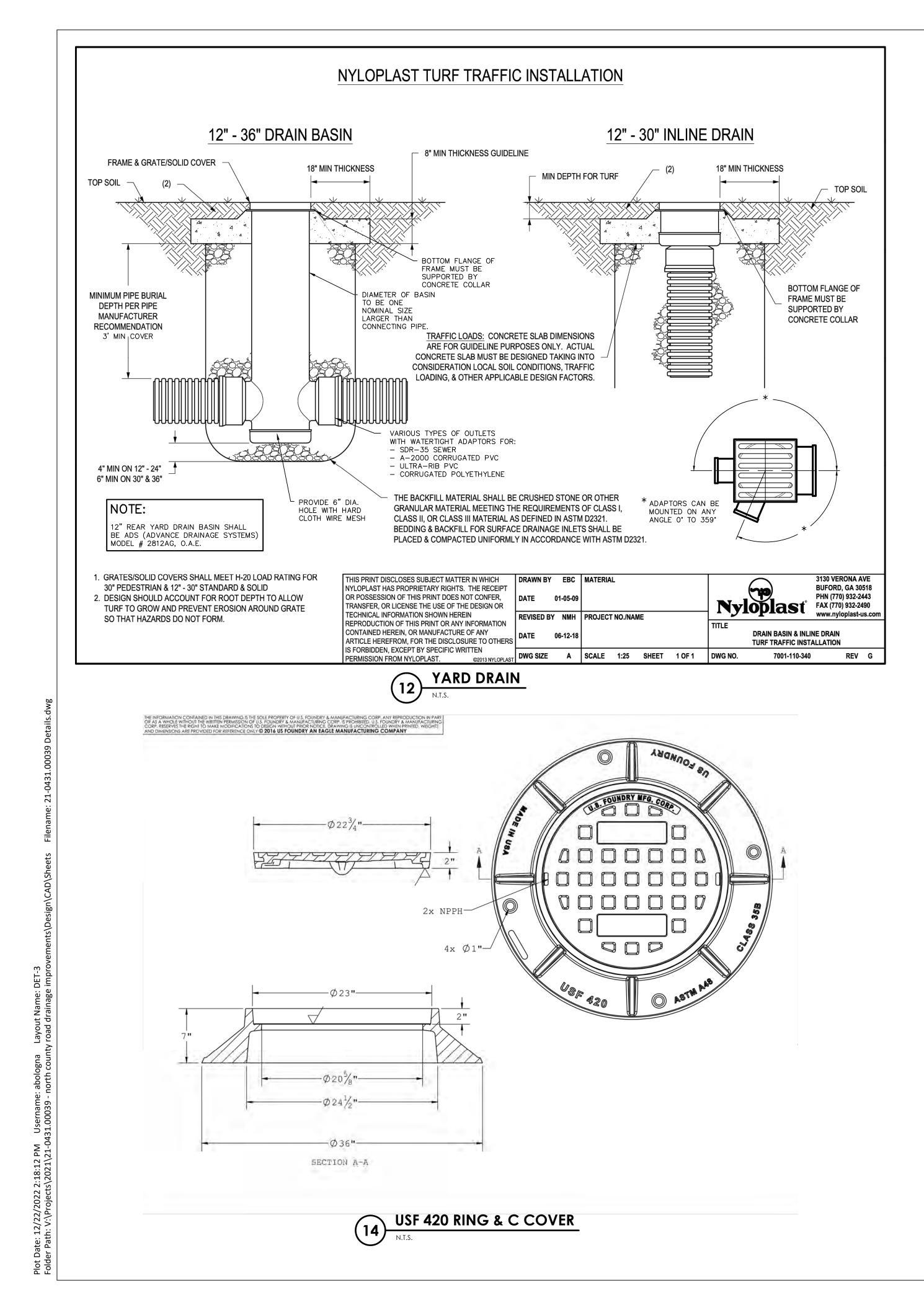
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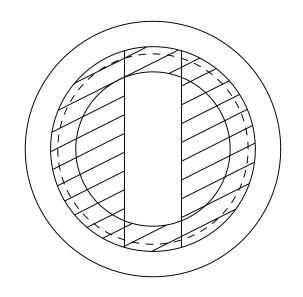
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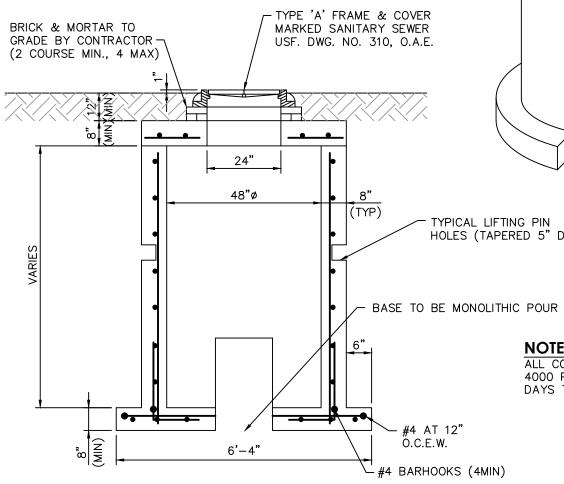
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CONSTRUCTION DETAILS

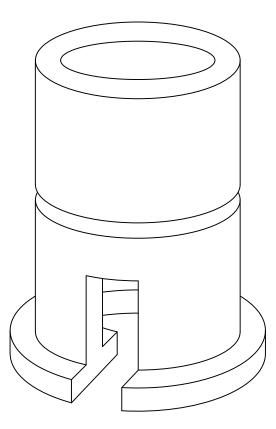










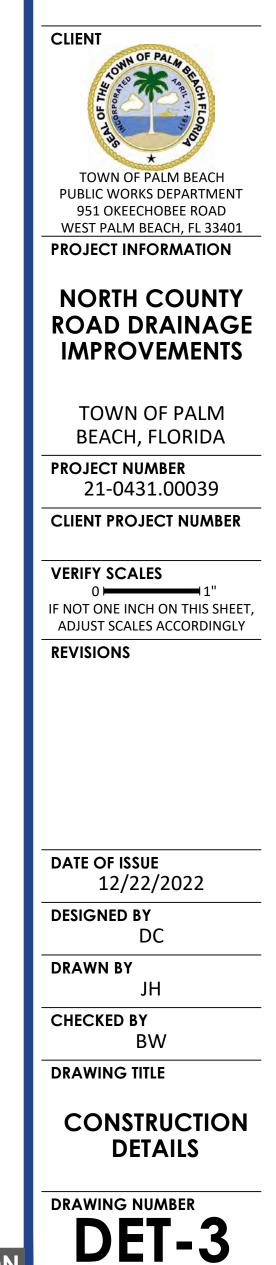


- TYPICAL LIFTING PIN HOLES (TAPERED 5" DEEP)

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chen moore and associates 500 Australian Avenue South Suite 850 West Palm Beach, FL 33401 561.746.6900 www.chenmoore.com

REGISTRATION



24 OF 24

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DEVELOPMENT REVIEW CHECKLIST SUPPORTING DOCUMENTATION COA: 23-010 Exhibit D5. Photo Sheets



Crescent Drive Facing North Existing

Crescent Drive Facing North Proposed

Photo #1

Canterbury Lane Facing North Existing

Canterbury Lane Facing North Proposed

Photo #2



Canterbury Lane Facing South Existing

Canterbury Lane Facing South Proposed

Photo #3





El Mirasol Facing North Existing

El Mirasol Facing North Proposed



El Mirasol Facing South Existing

El Mirasol Facing South Proposed



Crescent Drive Facing North Existing

Crescent Drive Facing North Proposed

Crescent Drive Facing South Existing

Crescent Drive Facing South Proposed





Sanford Ave / Via Los Incas Facing North Existing

Sanford Ave / Via Los Incas Facing North Proposed



Sanford Ave / Via Los Incas Facing South Existing

Sanford Ave / Via Los Incas Facing South Proposed



Kawama Lane / Chateaux Drive Facing North Existing

Kawama Lane / Chateaux Drive Facing North Proposed



Kawama Lane / Chateaux Drive Facing South Existing

Kawama Lane / Chateaux Drive Facing South Proposed

Phipps Estates Dr / Casa Bendita Facing North Proposed





Phipps Estates Dr / Casa Bendita Facing South Existing

Phipps Estates Dr / Casa Bendita Facing South Proposed



Miraflores Drive Facing South Existing

Miraflores Drive Facing South Proposed

Photo #14