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LANDSCAPE, HARDSCAPE, & POOL

2773 SOUTH OCEAN BOULEVARD PALM BEACH, FLORIDA

1

SHEET INDEX:

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- V1 Vicinity Location Map & Location Plan
- P1 Current Photographs of Site
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- L2.1b Currently Proposed Pool Area Landscape & Hardscape Plan (1/4")
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- CS1 Construction Screening Plan
- CS2 Construction Staging & Truck Logistics Plan

ARC-22-162
APRIL 26, 2023 MEETING
ZON-22-110
MAY 10, 2023 MEETING

CONSULTANTS:

Survey
Perimeter Surveying & Mapping
947 Clint Moore Road
Boca Raton, FL 33487
(561) 241-9988

SCOPE OF WORK:

- Demolish Existing Pool and Terrace
- New Pool, Pool Terrace, and Sunset Promenade
- New Landscaping at Proposed Terraces and Promenade
- Landscape Lighting
- No Changes to Parking or Zoning

JOB #: 1002

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

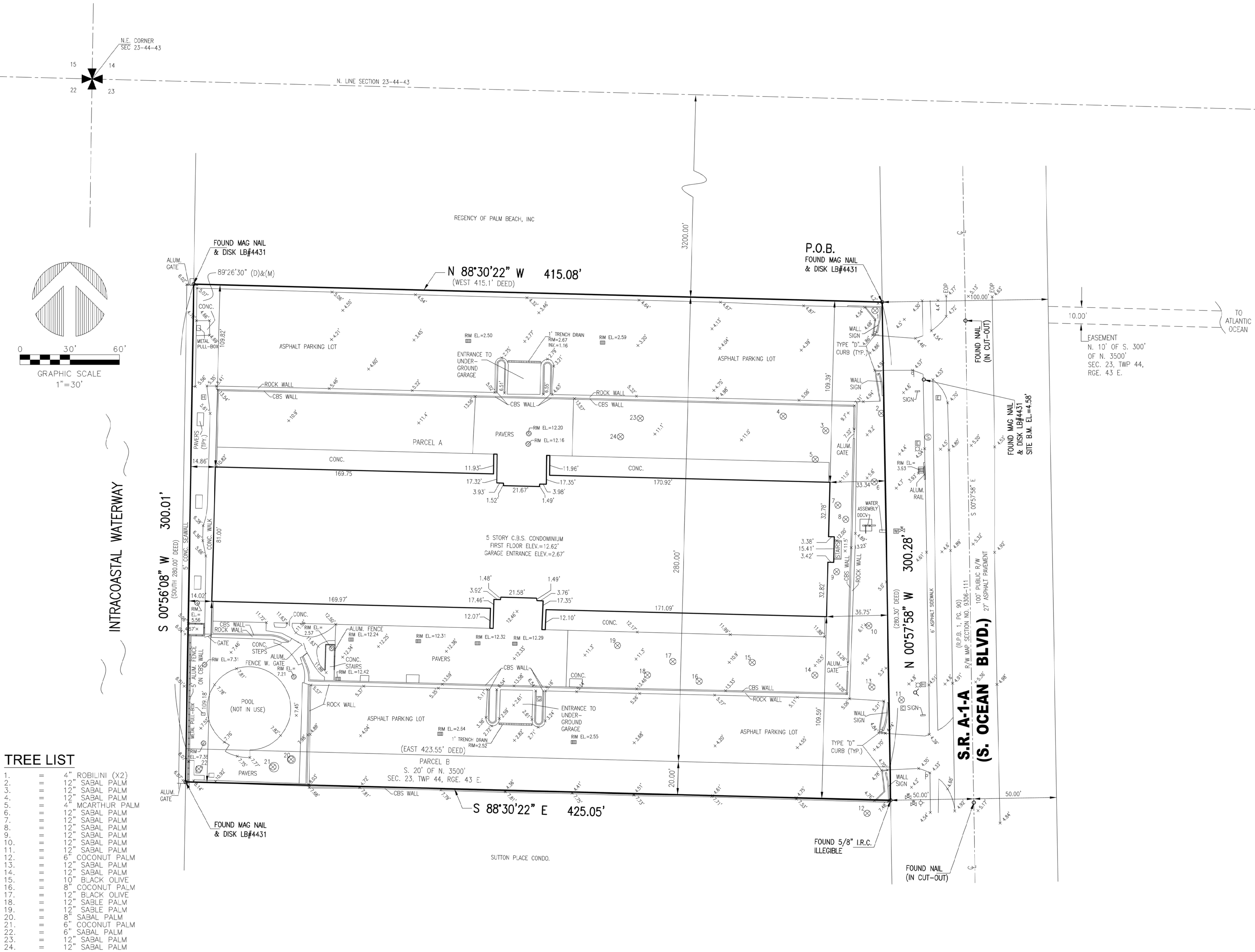
04-10-23
ARCOM COMMENTS



DATE PLOTTED:
April 10, 2023

FINAL SUBMITTAL REV 1
APRIL 10, 2023

C:\Users\terb_1\Desktop\Don Slowron\Carlyle House\Survey.dwg



TREE LIST

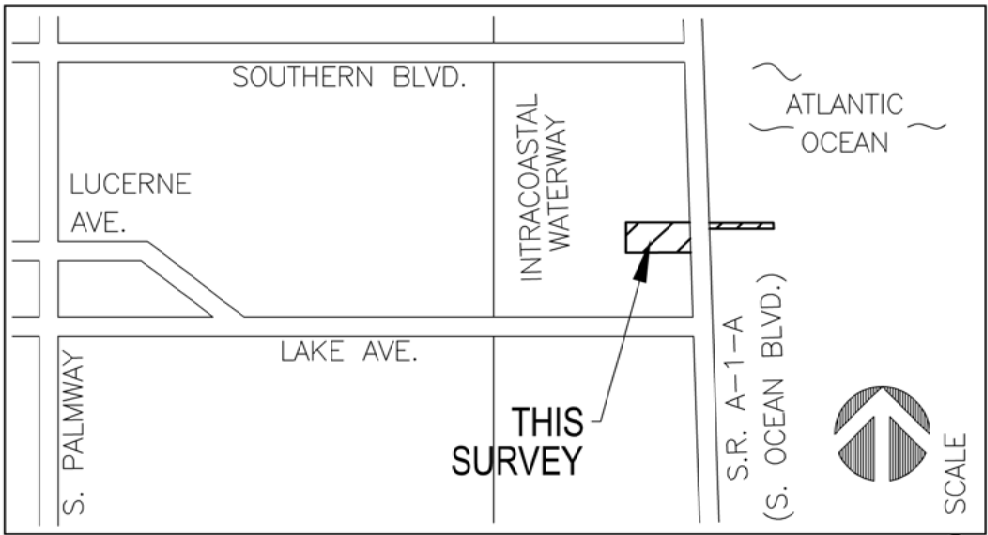
1.	==	4"	ROBINLI (X2)
2.	==	12"	SABAL PALM
3.	==	12"	SABAL PALM
4.	==	12"	SABAL PALM
5.	==	4"	MCARTHUR PALM
6.	==	12"	SABAL PALM
7.	==	12"	SABAL PALM
8.	==	12"	SABAL PALM
9.	==	12"	SABAL PALM
10.	==	12"	SABAL PALM
11.	==	12"	SABAL PALM
12.	==	6"	COCONUT PALM
13.	==	12"	SABAL PALM
14.	==	12"	SABAL PALM
15.	==	10"	BLACK OLIVE
16.	==	8"	COCONUT PALM
17.	==	12"	BLACK OLIVE
18.	==	12"	SABAL PALM
19.	==	12"	SABAL PALM
20.	==	8"	SABAL PALM
21.	==	6"	COCONUT PALM
22.	==	12"	SABAL PALM
23.	==	12"	SABAL PALM
24.	==	12"	SABAL PALM

LEGAL DESCRIPTION

PARCEL A:
A PARCEL OF LAND IN SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43, IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA; DESCRIBED AS FOLLOWS:
BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A, AS SHOWN ON ROAD PLAT BOOK 1, PAGE 90, AND A LINE PARALLEL TO AND 3200 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, RUN WEST, ALONG SAID PARALLEL LINE 415.1 FEET, MORE OR LESS, TO A POINT IN A CONCRETE BULKHEAD; THENCE, RUN SOUTH (MAKING AN ANGLE OF 89°26'-30" WITH THE PRECEDING COURSE, MEASURED FROM EAST TO SOUTH), ALONG SAID CONCRETE BULKHEAD A DISTANCE OF 280.0 FEET, MORE OR LESS, TO A POINT IN A LINE PARALLEL TO AND 3480 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, EAST ALONG SAID PARALLEL LINE 423.55 FEET, MORE OR LESS, TO A POINT IN THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A; THENCE, NORTH ALONG SAID RIGHT OF WAY LINE 280.30 FEET, MORE OR LESS, TO A POINT OF BEGINNING;
AND RIGHT OF WAY AND EASEMENT AS SET FORTH IN DEED BOOK 1107, PAGE 253, PALM BEACH COUNTY RECORDS, OVER THE FOLLOWING DESCRIBED PREMISES:
THE NORTH 10 FEET OF THE SOUTH 300 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING BETWEEN THE EAST RIGHT OF WAY LINE OF STATE ROAD A-1-A AND THE WATERS OF ATLANTIC OCEAN.
PARCEL B:
THE SOUTH 20 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING WEST OF STATE ROAD A-1-A RIGHT OF WAY.
SUBJECT TO EASEMENTS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.
SAID LANDS SITUATE IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, AND CONTAIN 2.893 ACRES, MORE OR LESS.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- BEARING SHOWN HEREON ARE BASED ON THE W. R/W LINE OF S.R. A-1-A HAVING A BEARING OF S 00°57'58" E, AS REFERENCED TO THE STATE PLANE COORDINATES SYSTEM, NORTH AMERICAN DATUM OF 1983 (90 ADJ.), FLORIDA EAST ZONE.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM USCGS BENCHMARK "D-315", ELEVATION: 4.24'.
- PROPERTY ADDRESS: 2773 S. OCEAN BLVD. PALM BEACH, FL.
- FLOOD INFORMATION IS AS FOLLOWS:
COMMUNITY NUMBER : 120220
PANEL NUMBER : 0781
DATE OF FIRM INDEX : 10-05-2018
ZONE : AE (EL. 6.0)



LOCATION MAP

NOT TO SCALE

ABBREVIATIONS

AC	==	AIR CONDITIONER
ALF	==	ALUMINUM FENCE
C.B.R.	==	CONCRETE BLOCK & STUCCO
CLF	==	CHAIN LINK FENCE
CONC.	==	CONCRETE
DDCV	==	DOUBLE DETECTOR CHECK VALVE
D	==	DEED
DE	==	DRAINAGE EASEMENT
ELEV.	==	ELEVATION
FF	==	FINISHED FLOOR
GAR.	==	GARAGE
G.A.	==	GRATE ELEVATION
I.E.	==	INVERT ELEVATION
IP	==	IRON PIPE
IR	==	IRON ROD
IRC	==	IRON ROD & CAP
L.M.E.	==	LAKE MAINTENANCE EASEMENT
(M)	==	MEASURED
MON.	==	MONUMENT
N/D	==	NAIL AND DISC
P.B.	==	PLAT BOOK
P.O.B.	==	POINT OF BEGINNING
P.B.C.R.	==	PALM BEACH COUNTY RECORDS
PG.	==	PAGE
PROP.	==	PROPOSED
R	==	RADIUS
R.P.B.	==	ROAD PLAT BOOK
R.E.	==	RIM ELEVATION
R/W	==	RIGHT-OF-WAY
S.R.	==	STATE ROAD
TYP.	==	TYPICAL
U.E.	==	UTILITY EASEMENT

LEGEND

⊠	WATER METER
⊠	ELECTRIC SERVICE
⊠	TELEPHONE BOX
⊠	CABLE TV BOX
⊠	DRAINAGE MANHOLE
⊠	SANITARY MANHOLE
⊠	WATER VALVE
⊠	SIGN
⊠	FIRE HYDRANT
⊠	CATCH BASIN
⊠	PLAT BOOK
⊠	WOOD UTILITY POLE
⊠	CONCRETE UTILITY POLE
⊠	CLEAN OUT
⊠	CENTERLINE
⊠	EXISTING ELEVATION
⊠	ELECTRIC PULLBOX

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

DATE OF LAST FIELD WORK: AUGUST 2, 2022



Certificate of Authorization No. LB7264

947 Clint Moore Road
Boca Raton, FL 33487
Tel: (561) 241-9988
Fax: (561) 241-5182

BOUNDARY, TOPOGRAPHIC AND TREE SURVEY

CARLYLE HOUSE
2773 S. OCEAN BLVD. PALM BEACH, FL. 33480

NO.	DATE	BY	CK'D	REVISION
-----	------	----	------	----------

1				
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JOB NO. 22162

SCALE 1"=30'

DRAWN GY

CHECKED JSH

SEAL

SHEET 1 of 1

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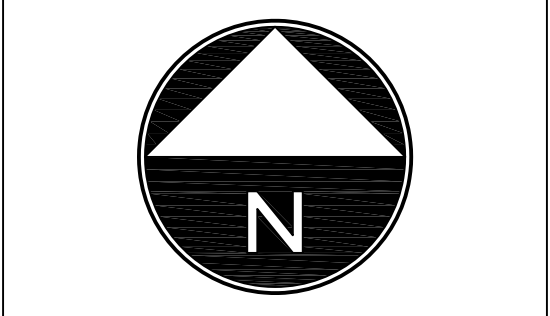
VICINITY LOCATION MAP & LOCATION PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

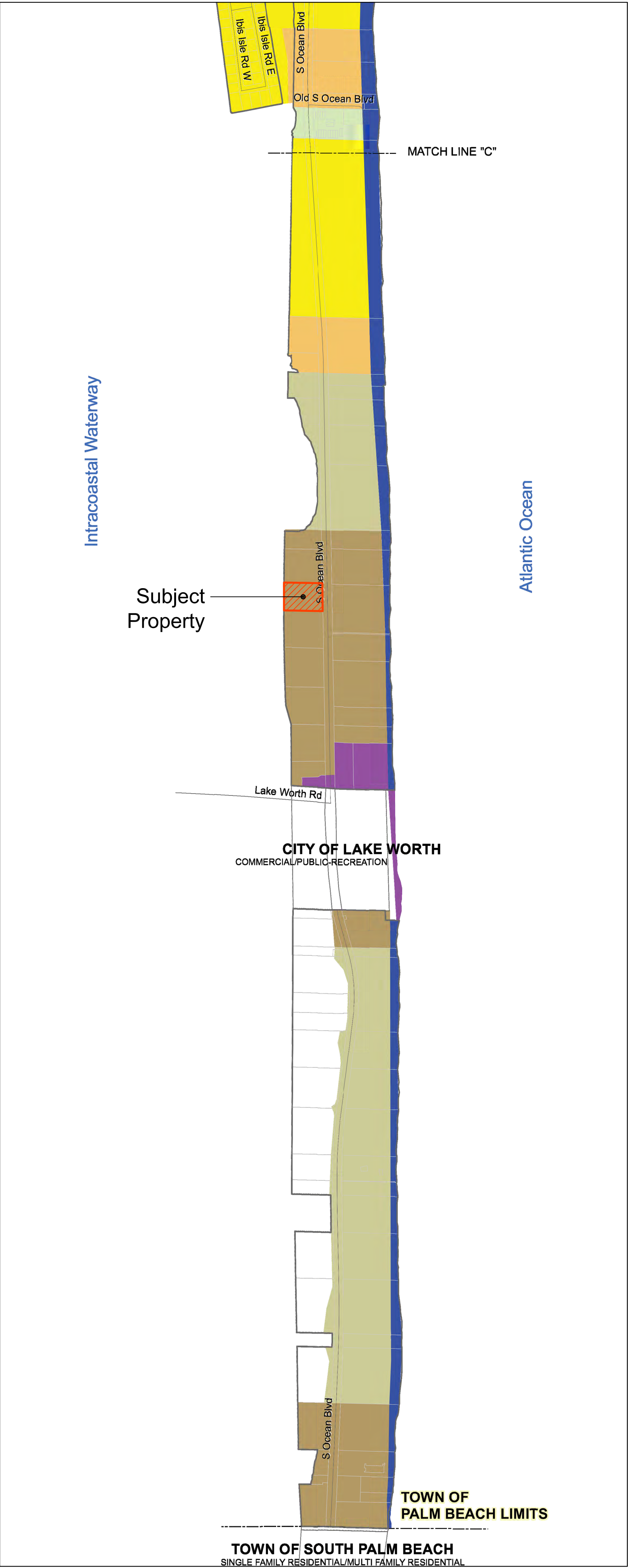
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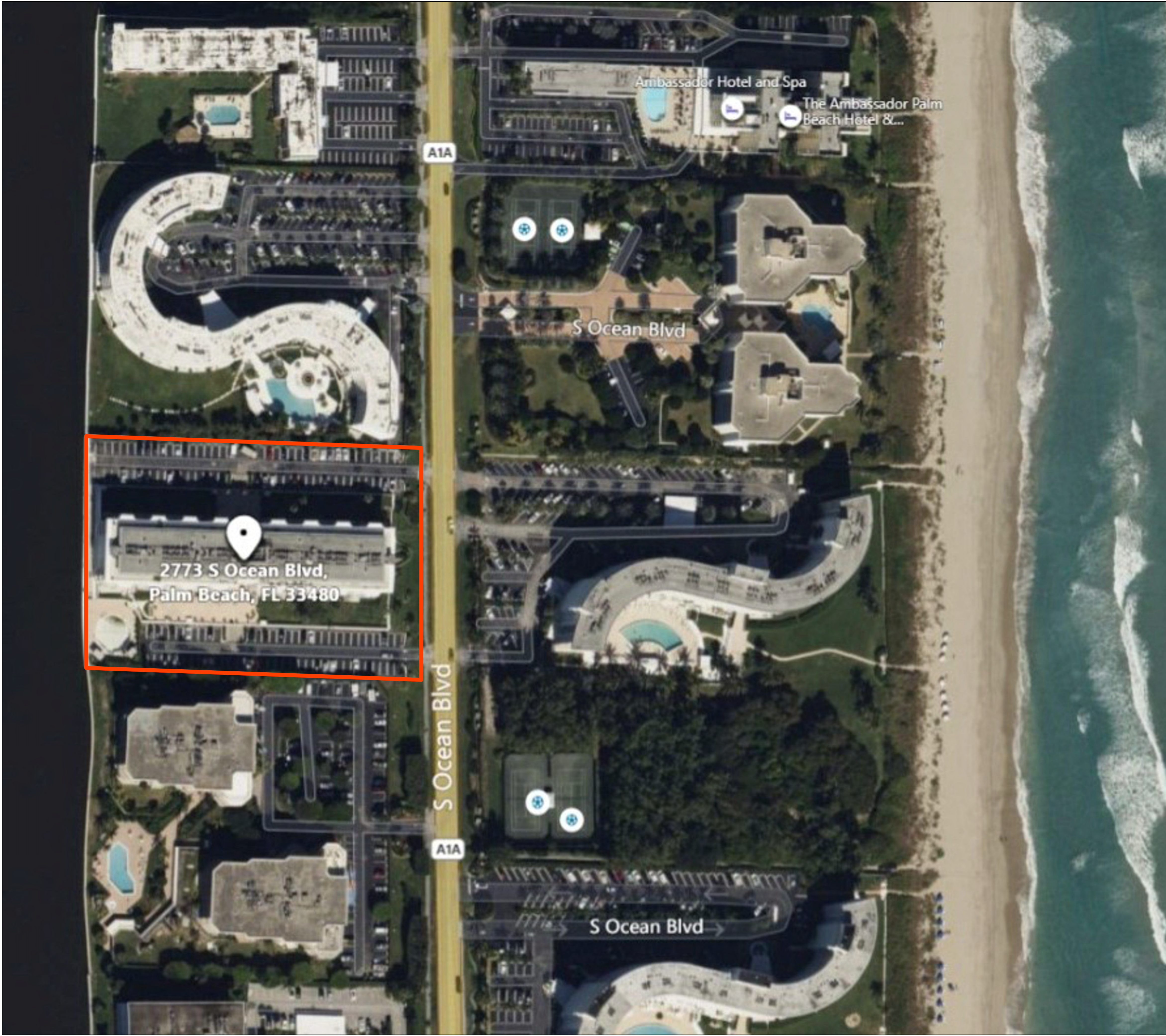
DATE PLOTTED:
February 9, 2023



V1



VICINITY LOCATION MAP
N.T.S.



LOCATION PLAN
N.T.S.

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023





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Birds Eye-Looking SE



Birds Eye-Looking NW



Pool Area



Existing Terrace over garage roof- Looking East



Existing Terrace over garage roof- Looking West



Current pool and pool deck condition



New Access point to Pool area from Garage level



Promenade Area-Looking N



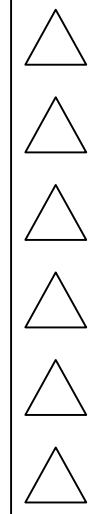
Promenade Area- Looking S

CURRENT PHOTOGRAPHS OF SITE

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023



DATE PLOTTED:
February 9, 2023

ARC 22-162
ZON 22-110
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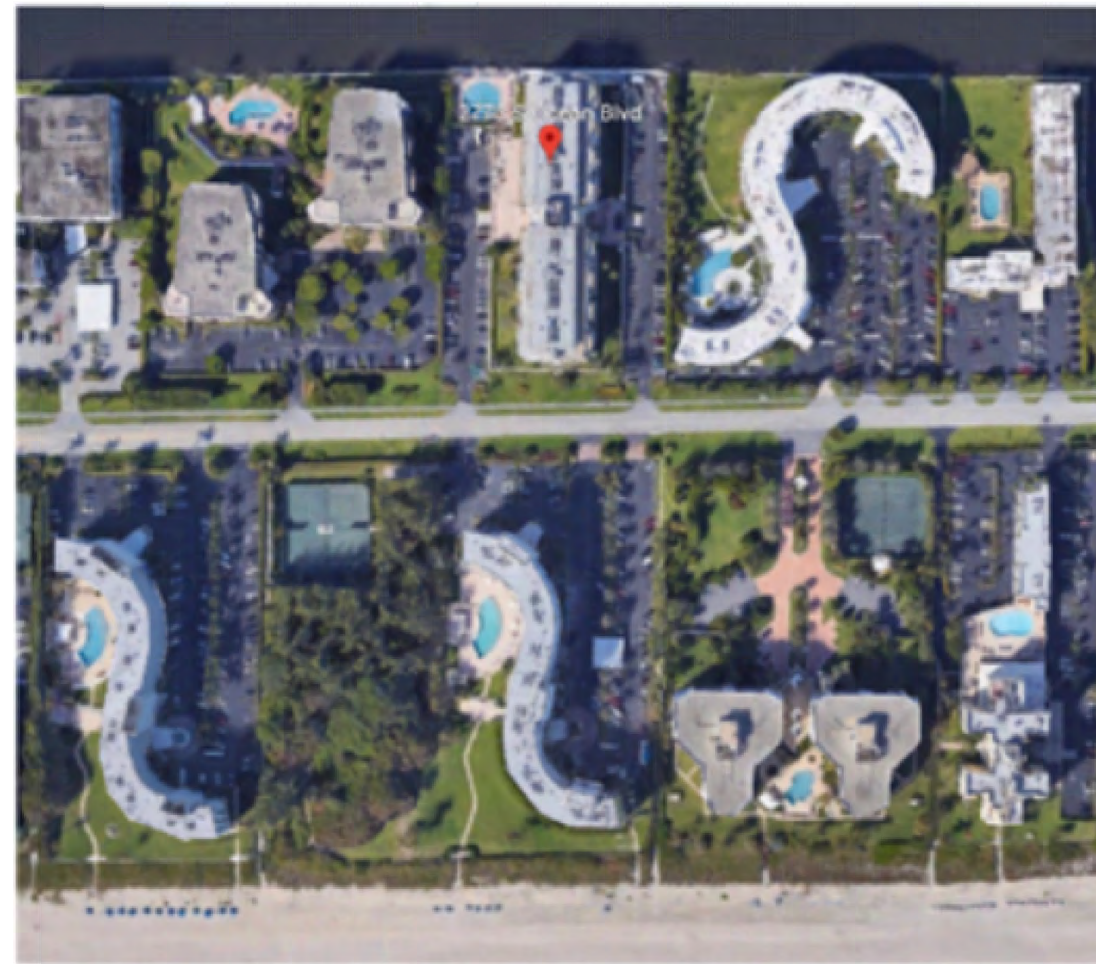
P1





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Aerial Photo of Surrounding Area



Project Site-South Entrance



Project Site-2773 South Ocean Blvd



Project Site-North Entrance



2760 South Ocean Blvd



2760 South Ocean Blvd



2760 South Ocean Blvd



2770 South Ocean Blvd



2774 South Ocean Blvd



2774 South Ocean Blvd



2780 South Ocean Blvd



2778 South Ocean Blvd



2778 South Ocean Blvd



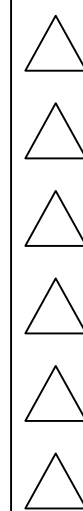
2778 South Ocean Blvd

PHOTOGRAPHS OF SURROUNDING PROPERTIES

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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P2

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1/32" = 1'-0"

EXISTING & PROPOSED SITE PLANS

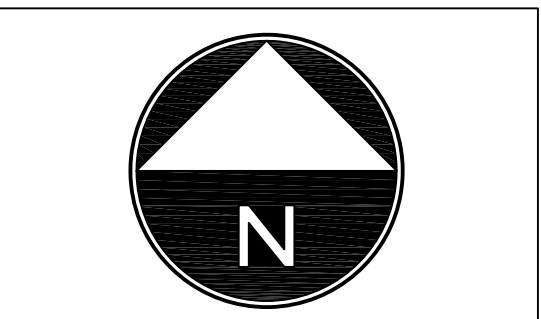
Carlyle House
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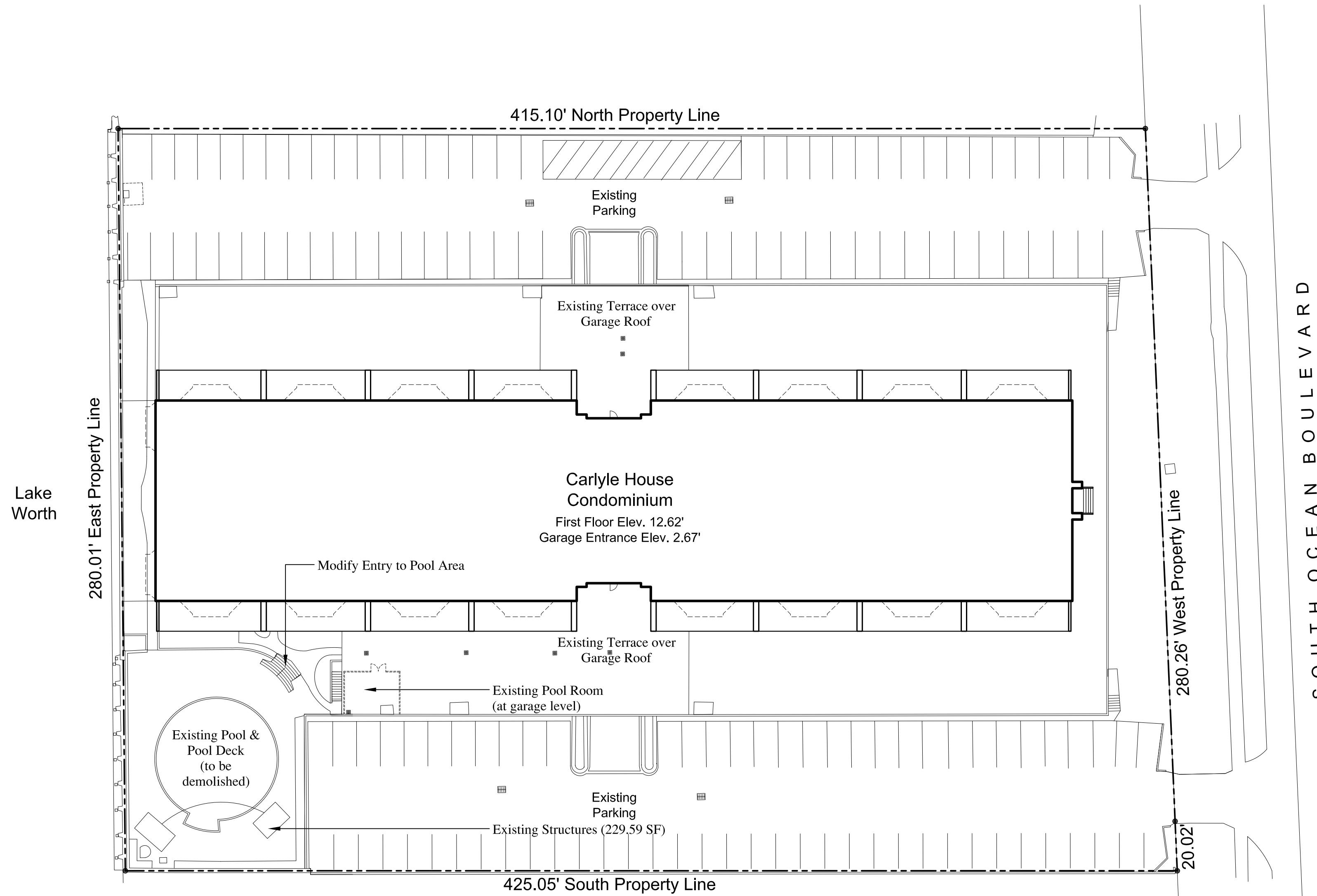
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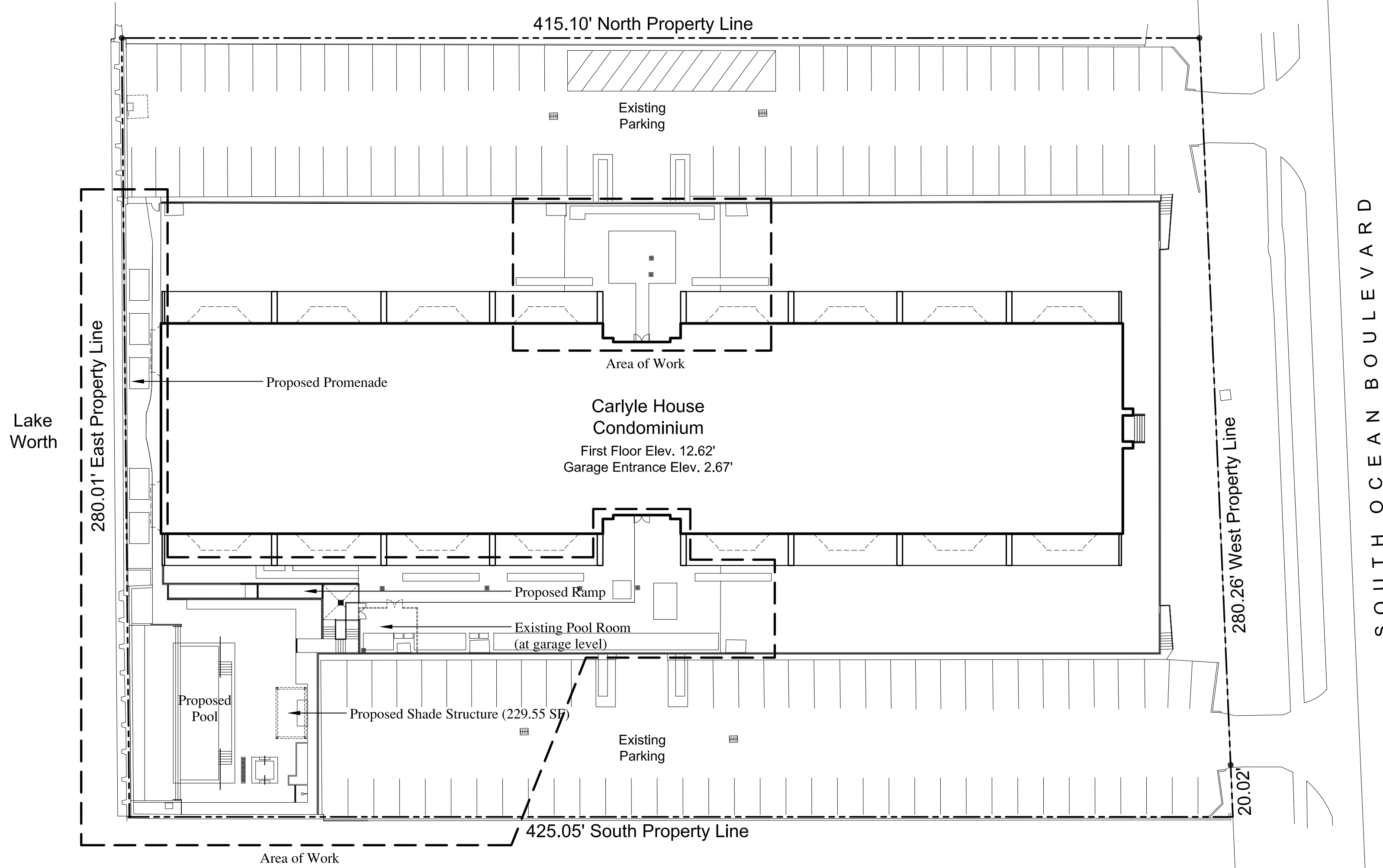
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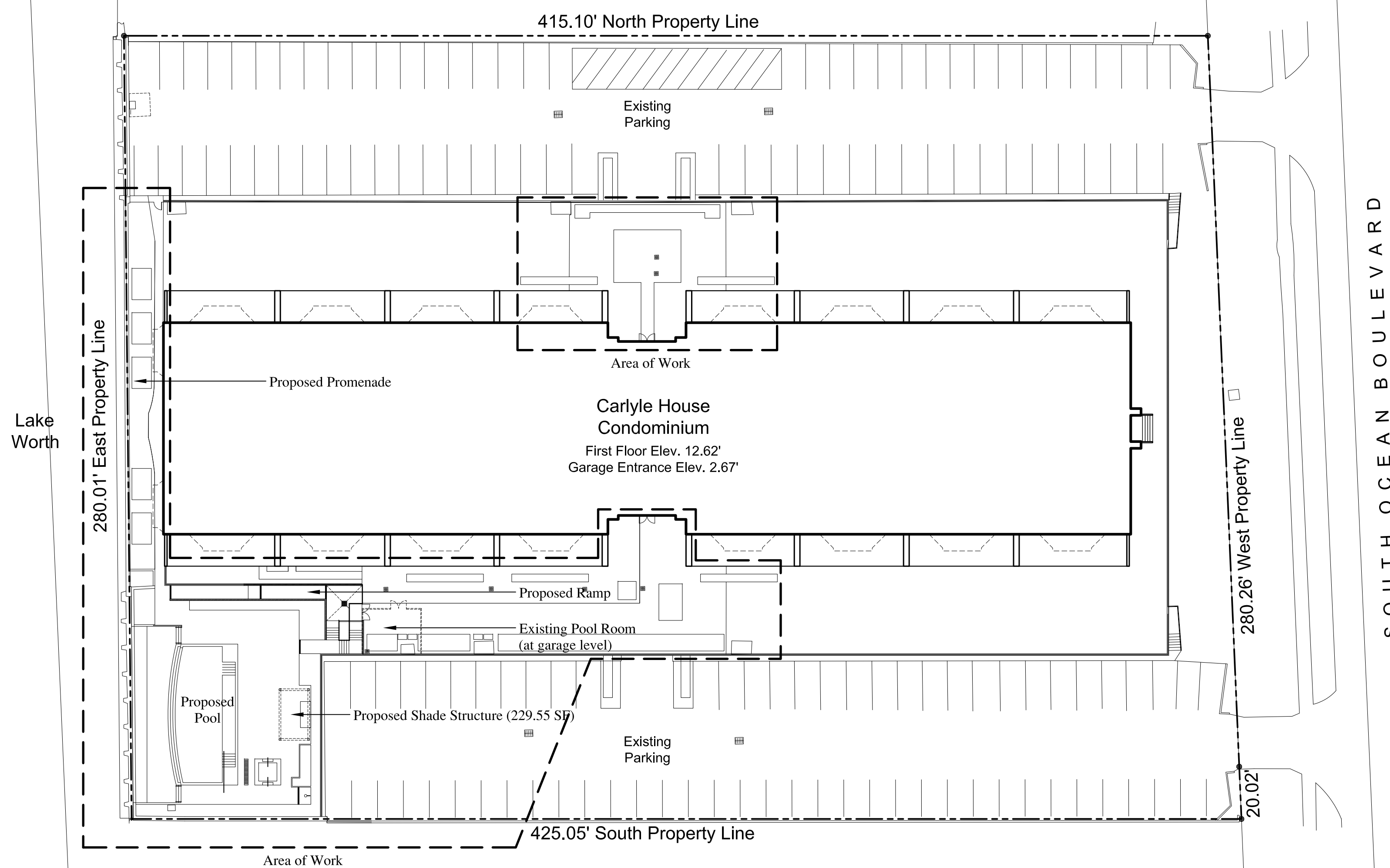
SP1



EXISTING SITE PLAN



PREVIOUSLY PROPOSED SITE PLAN



CURRENTLY PROPOSED SITE PLAN

- NOTES:
1. All existing perimeter site walls to remain
 2. All existing mechanical equipment located on roof to remain on roof
 3. All existing pool equipment located in pool equipment room to remain in pool equipment room
 4. Parking - No change to count

8 20 40 80

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

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Zoning Legend				
Property Address:	2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480			
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL			
Structure Type:	MULTI-FAMILY			
	Required/Allowed	Existing	Previously Proposed	Currently Proposed
Lot Size (sq ft)	40,000	126,022.55	N/C	N/C
Lot Depth	200.00'	425.08'	N/C	N/C
Lot Width	150.00'	300.00'	N/C	N/C
Lot Coverage (sq ft and %)	27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)	N/C
Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C	N/C
Cubic Content Ration (CCR) (R-B ONLY)	N/A	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	30.17'	N/C
Rear Yard Setback (ft.)	30.00'	3.83'	54.42'	N/C
Angle of Vision (deg.)	N/A	N/A	N/C	N/C
Building Height (ft.)	35.00'	58.88'	N/C	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.62'	N/C	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)	N/C
Perimeter LOS (sq ft and %)	N/A	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A	N/A
** Native Plant Species %	Please refer to separate landscape legend.			

* Indicate each side yard with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

If value is not changing, enter N/C

REV BF 20220304

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

TOWN OF PALM BEACH ZONING LEGEND

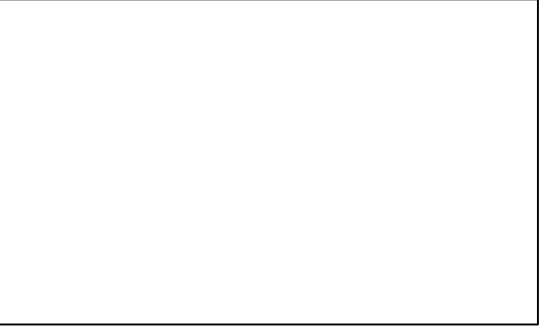
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Z1

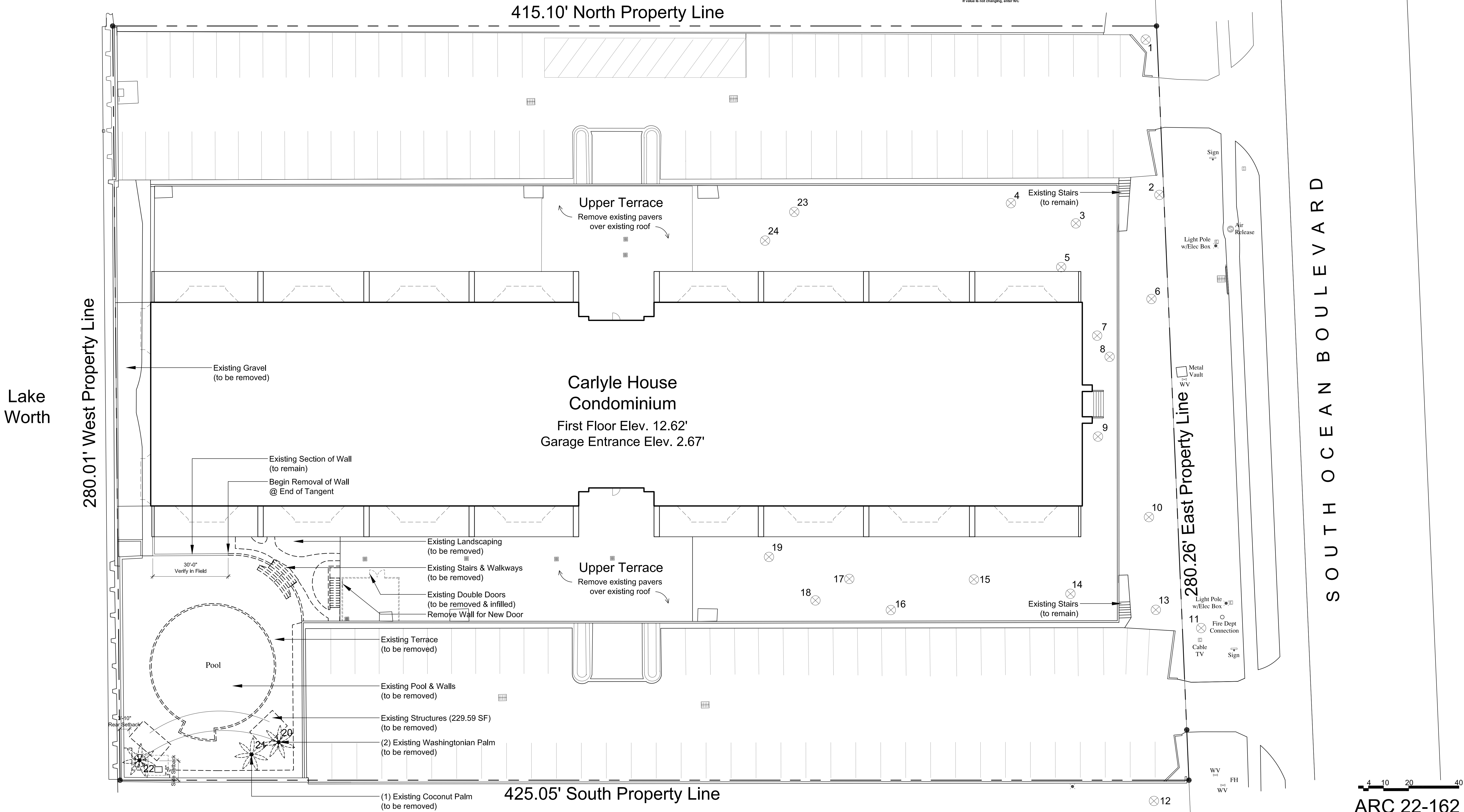
EXISTING TREE LIST				EXISTING TREE LIST			
TREE #	TREE NAME	NATIVE	COMMENT	TREE #	TREE NAME	NATIVE	COMMENT
1	ROBELLINI PALM (DBL.)		REMAIN	13	WASHINGTONIAN PALM		REMAIN
2	WASHINGTONIAN PALM		REMAIN	14	WASHINGTONIAN PALM		REMAIN
3	WASHINGTONIAN PALM		REMAIN	15	OAK	X	REMAIN
4	WASHINGTONIAN PALM		REMAIN	16	COCONUT PALM		REMAIN
5	McARTHUR PALM		REMAIN	17	OAK	X	REMAIN
6	WASHINGTONIAN PALM		REMAIN	18	WASHINGTONIAN PALM		REMAIN
7	WASHINGTONIAN PALM		REMAIN	19	WASHINGTONIAN PALM		REMAIN
8	WASHINGTONIAN PALM		REMAIN	20	WASHINGTONIAN PALM		REMOVE
9	WASHINGTONIAN PALM		REMAIN	21	COCONUT PALM		REMOVE
10	WASHINGTONIAN PALM		REMAIN	22	WASHINGTONIAN PALM		REMOVE
11	WASHINGTONIAN PALM		REMAIN	23	WASHINGTONIAN PALM		REMAIN
12	COCONUT PALM		REMAIN	24	WASHINGTONIAN PALM		REMAIN

Zoning Legend			
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FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C
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Perimeter LOS (sq ft and %)	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A
** Native Plant Species %	Please refer to separate landscape legend.		
* Indicate each side, plot with cardinal direction (N, S, E, W)			
If value is not applicable, enter N/A			
If value is not changing, enter N/C			

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EXISTING CONDITIONS INVENTORY

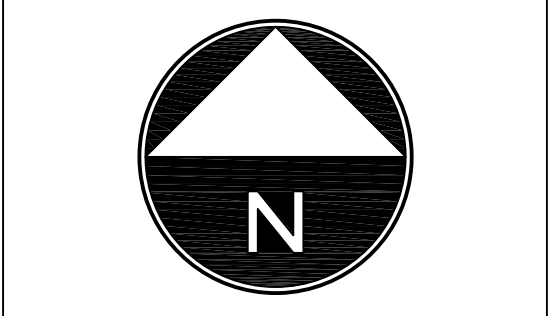
1/16" = 1'-0"

JOB #: 1002

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2773 South Ocean Boulevard
Palm Beach, Florida

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EX1

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

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PROPOSED LANDSCAPE & HARDSCAPE PLAN

1/16" = 1'-0"

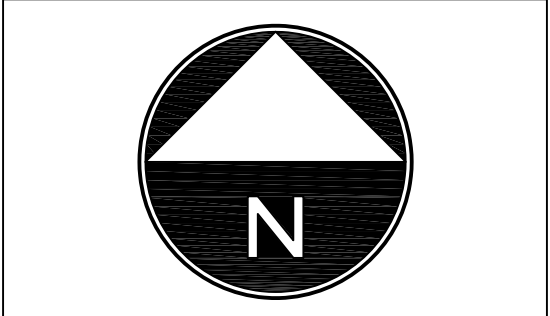
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023



L1

Proposed Plant List						
	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
TREES (777N) 98%	2	GUMBO LIMBO	BURSERA SIMARUBA	8'-10' O.A.		X
	1	SCREW PINE	PANDANUS VEITCHII			X
	1	SEAGRape	COCCOLOBA UVIFERA	10' O.A.		X
PALMS (177N) 98%	3	SILVER BUTTWOOD	CONOCARPUS ERECTUS	8'-10' O.A.		X
	6	COCONUT PALM	COCOS NUCIFERA	12' C.T.		X
	4	COCONUT PALM	COCOS NUCIFERA	12'-15' C.T.		X
	7	FLORIDA THATCH PALM	THRINAX RADIATA	10'-12' C.T.		X
SHRUBS (1,127/152N) 97%	68	SWEET BEGONIA	BEGONIA ODORATA 'ALBA'	3 GAL.		
	69	CLUSIA	CLUSIA ROSEA	3' O.A.	FULL TO BASE, FORM HEDGE	
	30	CLUSIA	CLUSIA ROSEA	5' O.A.	FULL TO BASE, FORM HEDGE	
	45	CLUSIA	CLUSIA ROSEA	10' O.A.	FULL TO BASE, FORM HEDGE	
	330	DWARF FAKAHATCHEE	TRIPSCUM FLORIDANUM	3 GAL.		X
	42	EUGENIA SP.	EUGENIA UNIFLORA	7 GAL.		X
	500	GREEN ISLAND FICUS	FICUS MICROCARPA	3 GAL., 12" O.C.	FULL TO BASE, FORM HEDGE	
	12	GREEN ISLAND FICUS	FICUS MICROCARPA	7 GAL.	FULL TO BASE, FORM HEDGE	
	6	OLEANDER 'PINK ICE'	NERIUM OLEANDER	15 GAL.		
	55	SALT MARSH CORDGRASS	SPARTINA ALTERNIFLORA	3 GAL.		X
GOVINES (2,271/102N) 97%	92	FLORIDA PEPEROMIA	PEPEROMIA HUMILIS	1 GAL., 6" O.C.		X
	100	WILD SAGE	LANTANA INVOLUCRATA	1 GAL., 12" O.C.		X
	20	MARINE IVY	CISSUS TRIFOLIATA	3' O.C.	CASCADE DOWN WALL	

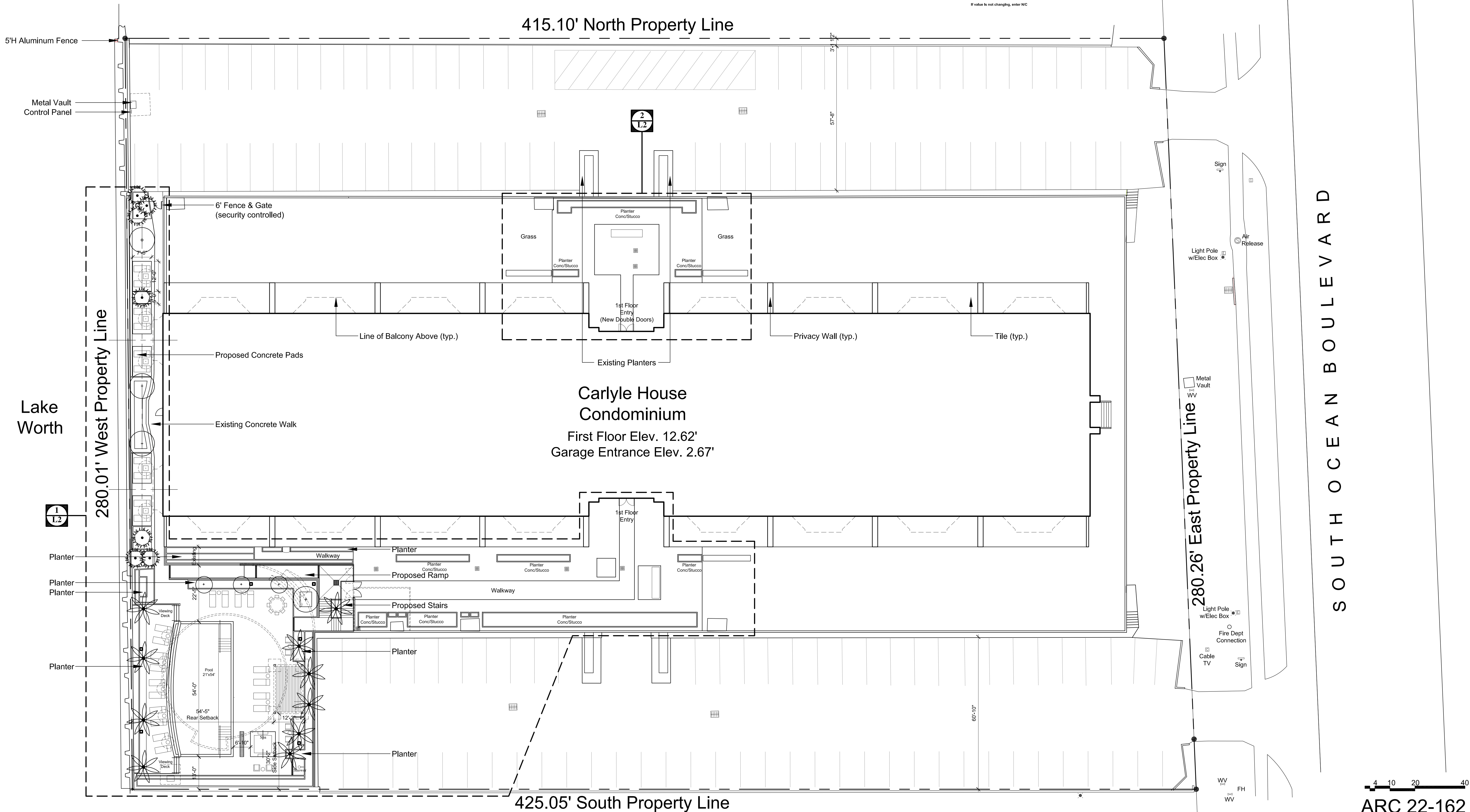
Native Landscape Legend			
Property Address: 2773 SOUTH OCEAN BOULEVARD			
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,553.95 (20.28%)	26,012.85 (20.64%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	2.45 (35%)	0 (0%)	6 (86%)
Native* Palms (%)	5.95 (35%)	0 (0%)	7 (41%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation (IRC), Natives for Your Neighborhood guide shall be used.

Zoning Legend				
Property Address: 2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480				
Zoning District: R-D(2) HIGH DENSITY RESIDENTIAL				
Structure Type: MULTI-FAMILY				
	Required/Allowed	Existing	Previously Proposed	Currently Proposed
Lot Size (sq ft)	40,000	126,022.55	N/C	N/C
Lot Depth	200.00'	425.08'	N/C	N/C
Lot Width	150.00'	300.00'	N/C	N/C
Lot Coverage (sq ft and %)	27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)	N/C
Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C	N/C
Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	N/C	N/C
Rear Yard Setback (ft.)	30.00'	3.83'	54.42'	N/C
Angle of Vision (deg.)	N/A	N/A	N/C	N/C
Building Height (ft.)	35.00'	58.88'	N/C	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.62'	N/C	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)	N/C
Perimeter LOS (sq ft and %)	N/A	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A	N/A
** Native Plant Species %				
Please refer to separate landscape legend.				

* Indicate each side with cardinal direction (N, S, E, W)
If value is not applicable, enter N/A
If value is not changing, enter N/C

REV BP 20220304



4 10 20 40

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

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Proposed Plant List					
QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
2	GUMBO LIMBO	BURSERA SIMARUBA	8'-10' O.A.		X
1	SEAGRPE	PANDANUS VETCHII	18' O.A.		X
3	SILVER BUTTWOOD	CONOCARPUS ERECTUS	8'-10' O.A.		X
6	COCONUT PALM	COCOS NUCIFERA	12' C.T.		X
7	FLORIDA THATCH PALM	THRIAX RADIATA	10'-12' C.T.		X
68	SWEET BEGONIA	BEGONIA ODORATA ALBA	3 GAL.		
69	CLUSIA	CLUSIA ROSEA	3' O.A.	FULL TO BASE, FORM HEDGE	
39	CLUSIA	CLUSIA ROSEA	5' O.A.	FULL TO BASE, FORM HEDGE	
45	CLUSIA	CLUSIA ROSEA	10' O.A.	FULL TO BASE, FORM HEDGE	
330	DWARF FAKAHATCHEE	TRIPSACUM FLORIDANUM	3 GAL.		X
42	EUGENIA SK	EUGENIA UNIFLORA	7 GAL.		X
500	GREEN ISLAND FICUS	FICUS MICROCARPA	3 GAL. 12" O.C.	FULL TO BASE, FORM HEDGE	X
12	GREEN ISLAND FICUS	FICUS MICROCARPA	7 GAL.	FULL TO BASE, FORM HEDGE	
6	OLEANDER PINK ICE	NERIUM OLEANDER	15 GAL.		X
55	SALT MARSH CORDGRASS	SPARTINA ALTERNIFLORA	3 GAL.		X
52	FLORIDA PEPEROMIA	PEPEROMIA HUMILIS	1 GAL. 6" O.C.		X
100	WILD SAGE	LANTANA INVOLUCRATA	1 GAL. 12" O.C.		X
20	MARINE IVY	CISSUS TRIPLIATE	3' O.C.	CASCADE DOWN WALL	



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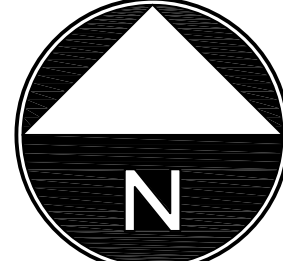
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LA6666674

1/8" = 1'-0"
JOB #: 1002

PROPOSED LANDSCAPE & HARDSCAPE PLAN
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023
04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023



L2

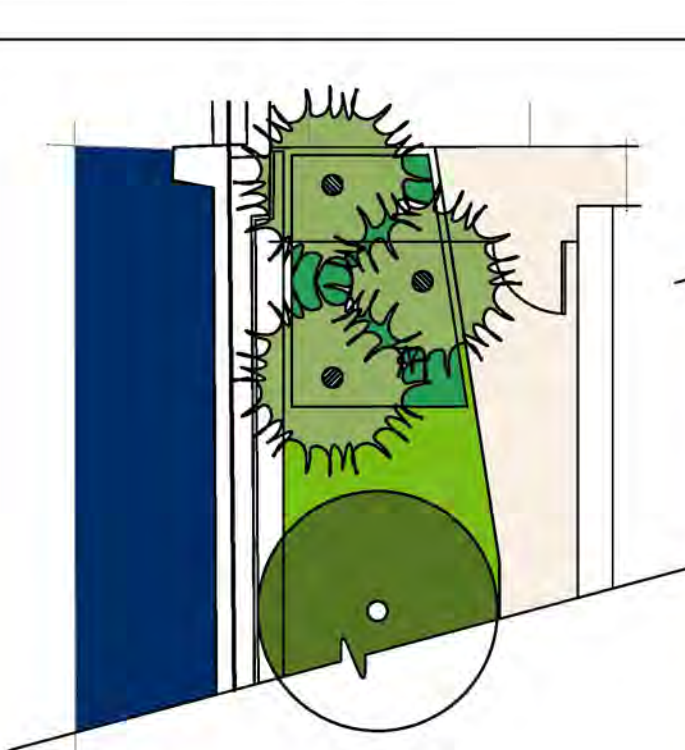
2 NORTH BUILDING ENTRY

- (3) Silver Buttonwood, 15 gal., 8'-10' o.a. NATIVE
- (20) Marine Ivy, 3' o.c.
- (90) Green Island Ficus, 3 gal., 12" o.c.
- (72) Florida Peperomia, 1 gal., 6" o.c. NATIVE
- (22) Clusia, 5' o.a.
- (12) Green Island Ficus, 7 gal.
- (18) Clusia, 3' o.a.
- (18) Begonia Odorata 'Alba', 3 gal.
- (1) Screw Pine, 12'-18' o.a.

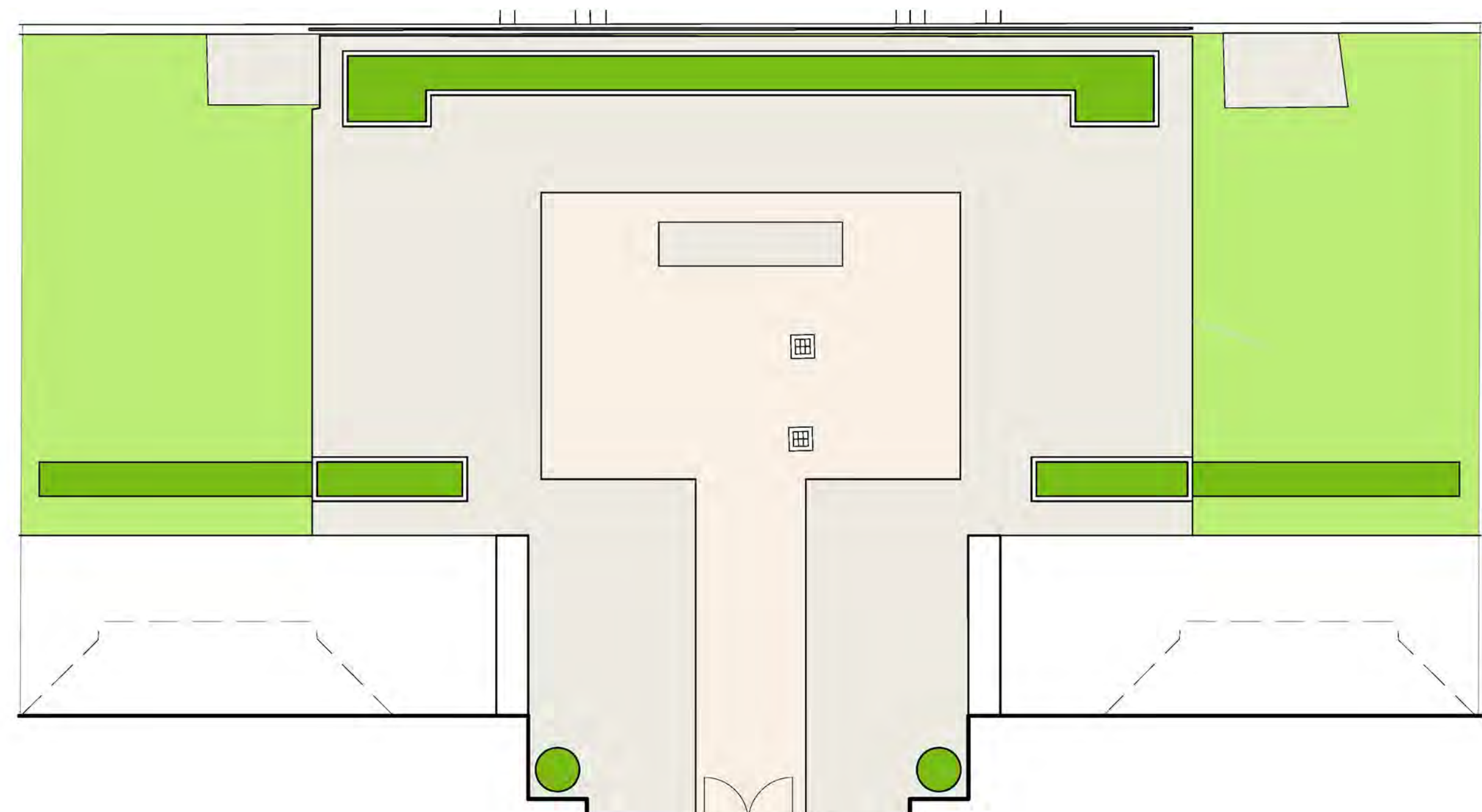
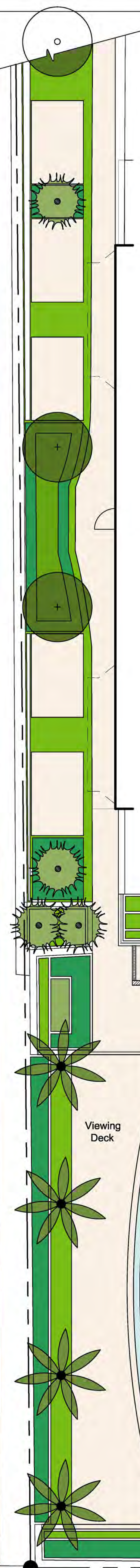
1 SOUTH BUILDING ENTRY, POOL, & SUNSET VERANDA

ARC 22-162
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APRIL 10, 2023

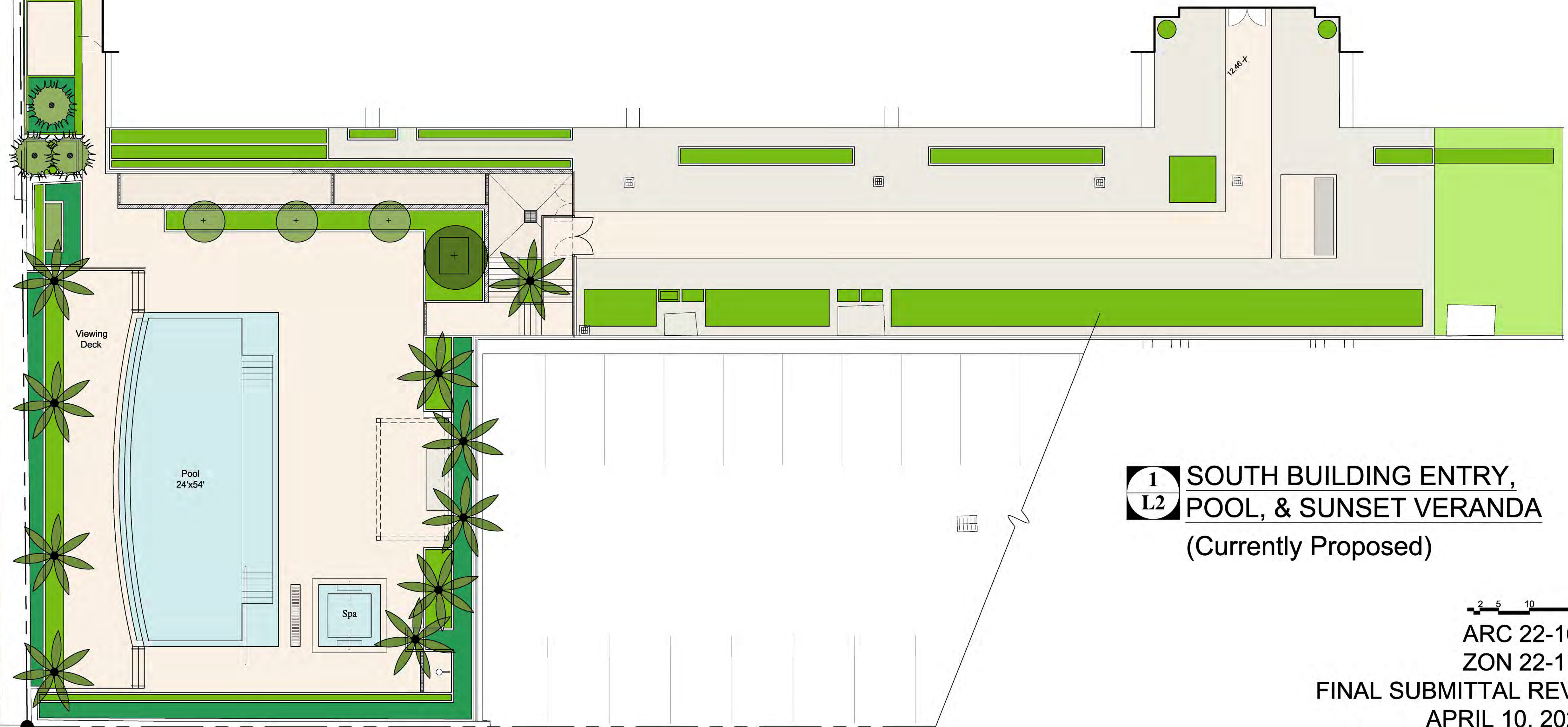
2 5 10 20



Lake Worth



NORTH BUILDING ENTRY



1
L2 SOUTH BUILDING ENTRY,
POOL, & SUNSET VERANDA
(Currently Proposed)

2 5 10 20

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FINAL SUBMITTAL REV 1
APRIL 10, 2023

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1/8" = 1'-0"

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

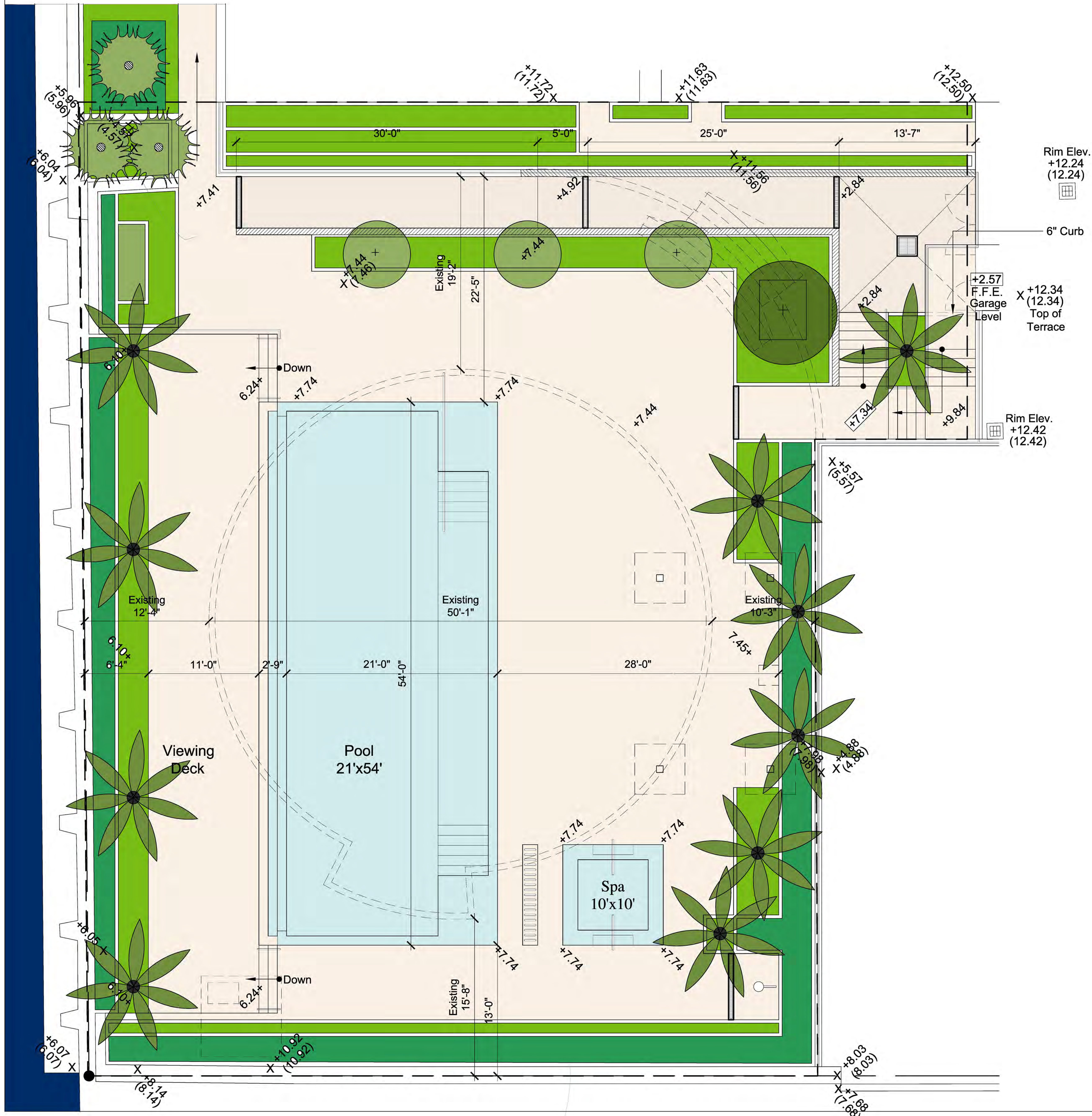
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L2R

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POOL DECK CALCULATIONS
(Previously Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,059.21 SQ. FT.	53.62%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,281.83 SQ. FT.	16.93%

1 2 5 10

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APRIL 10, 2023


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PREVIOUSLY PROPOSED POOL

SCALE: 1/4" = 1'-0"

JOB #: 1000

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
April 10, 2023

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April 10, 2023



L2.1a

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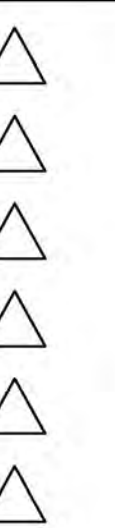
1111

SCALE: 1/4" = 1'-0"

Canyle House
2773 South Ocean Boulevard
Palm Beach, Florida

CURRENTLY PROPOSED POOL

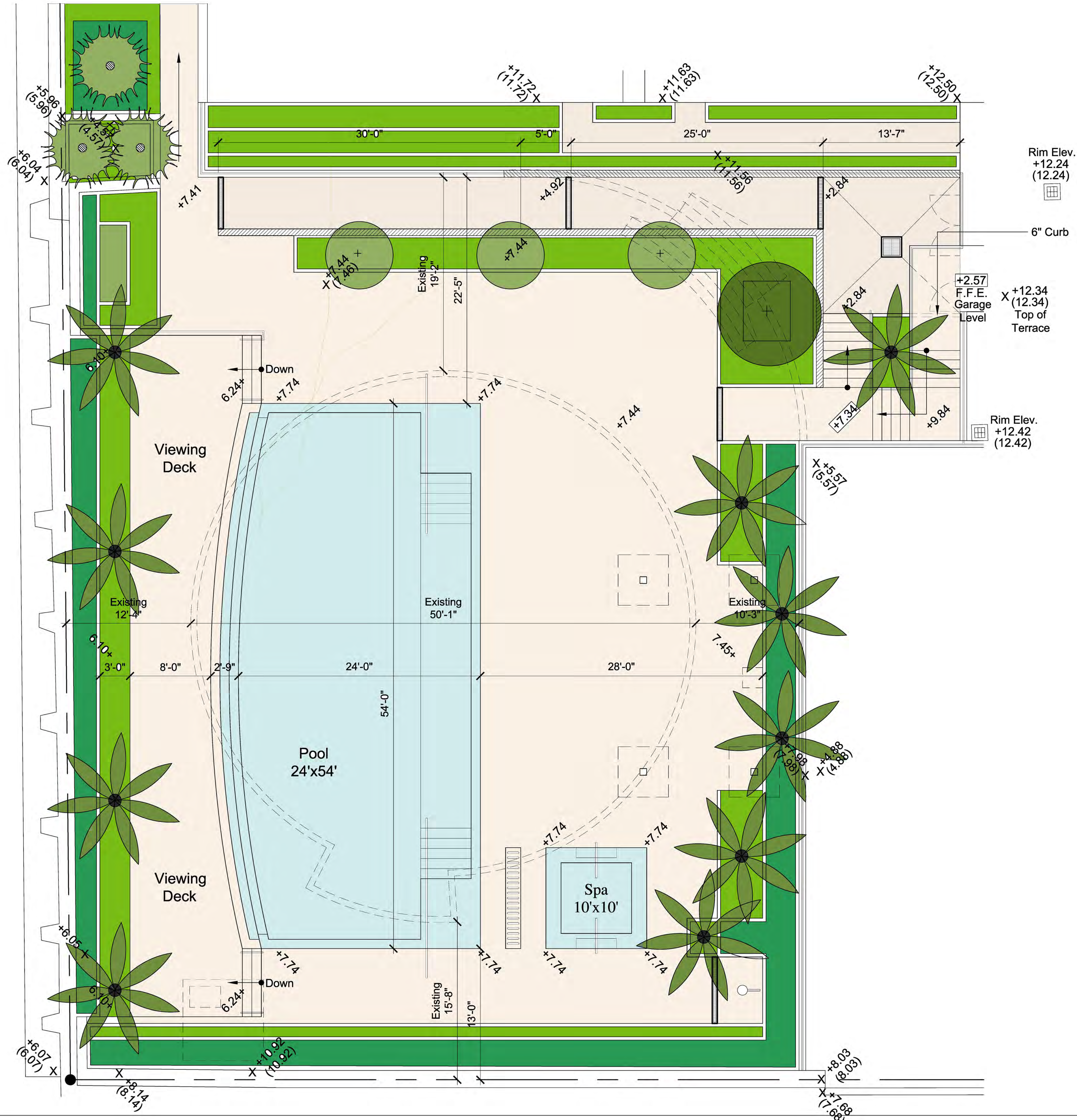
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L2.1b



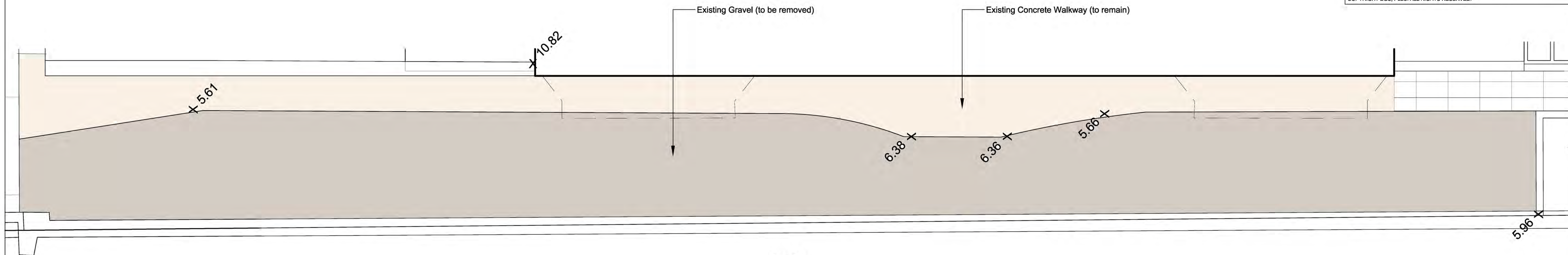
POOL DECK CALCULATIONS (Currently Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,354.19 SQ. FT.	52.23%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,386.85 SQ. FT.	18.32%

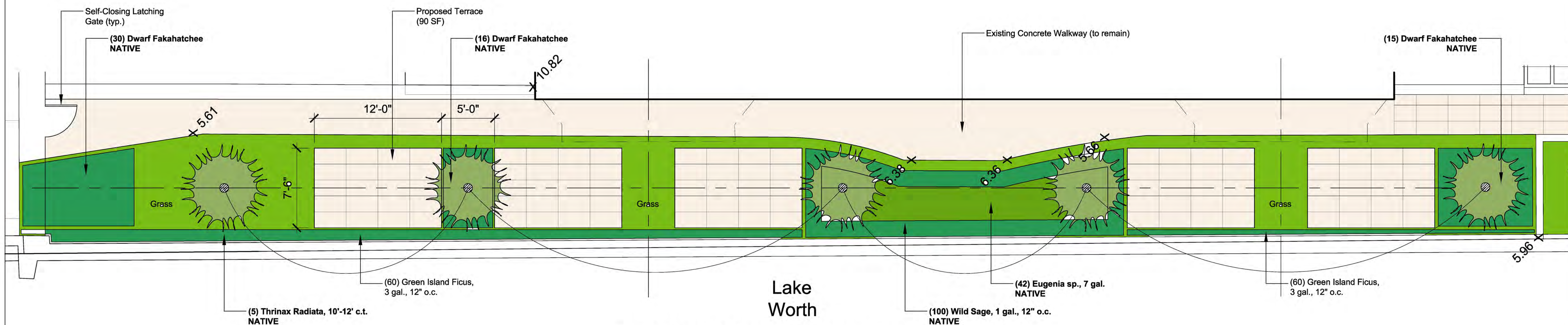
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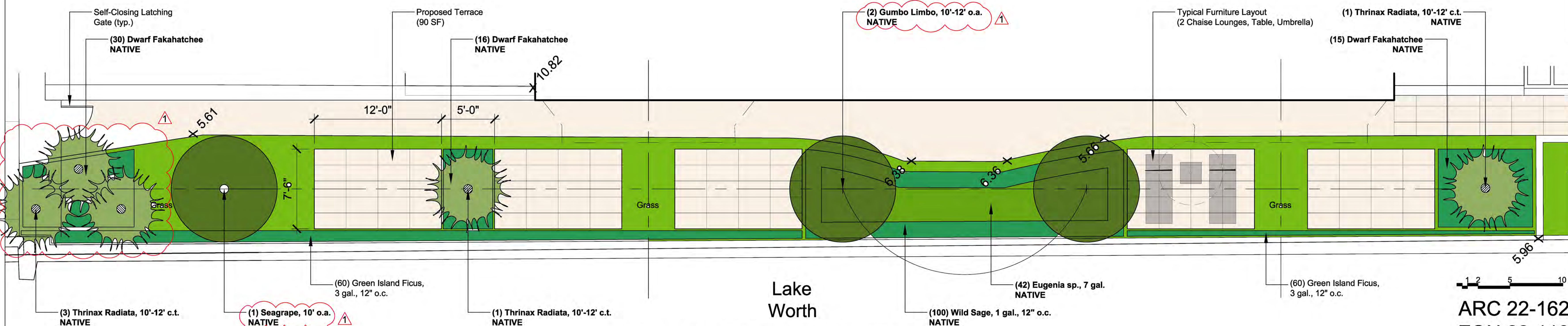
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Lake Worth
EXISTING PROMENADE
1/4" = 1'-0"



Lake Worth
PREVIOUSLY PROPOSED PROMENADE
1/4" = 1'-0" 1/4" = 1'-0"



Lake Worth
CURRENTLY PROPOSED PROMENADE
1/4" = 1'-0"

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
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SUNSET PROMENADE

SCALE: 1/4" = 1'-0"

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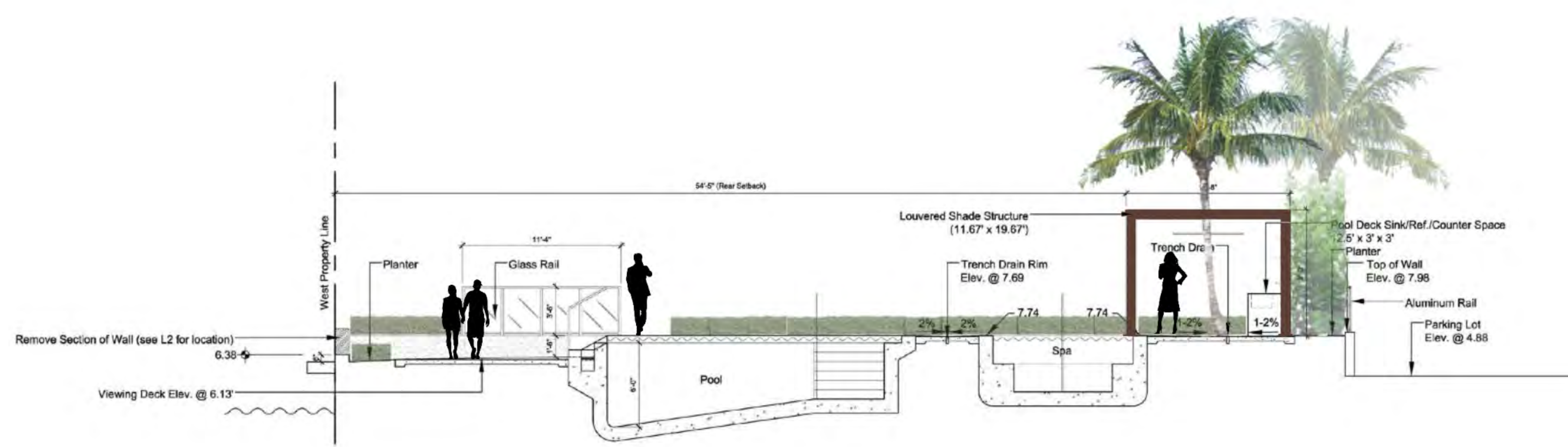
L2.2

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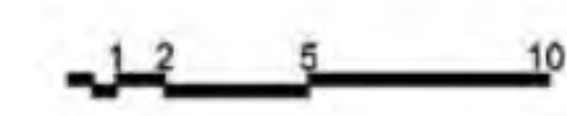
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1
L3 WEST/EAST POOL SECTION



2
L3 NORTH/SOUTH STAIR SECTION/ELEVATION



ARC 22-162
ZON 22-110

1/4" = 1'-0"

POOL ELEVATIONS/SECTIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
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DATE PLOTTED:
March 9, 2023

L3

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DETAILS & SECTIONS

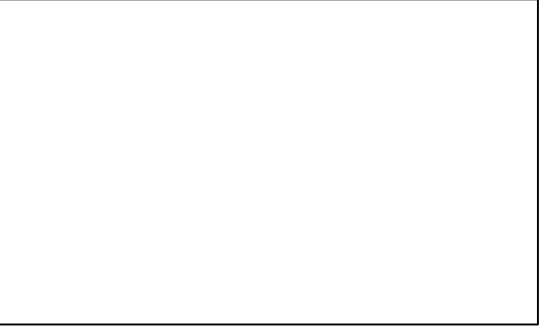
1" = 1'-0"

JOB #: 1002

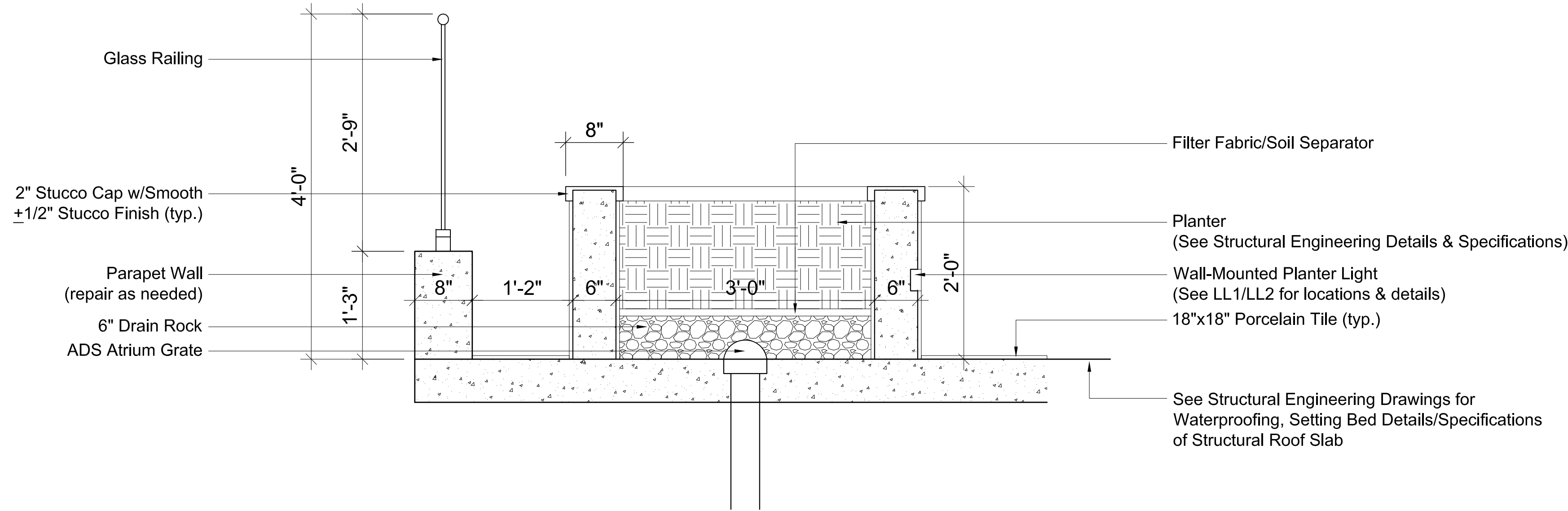
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Palm Beach, Florida

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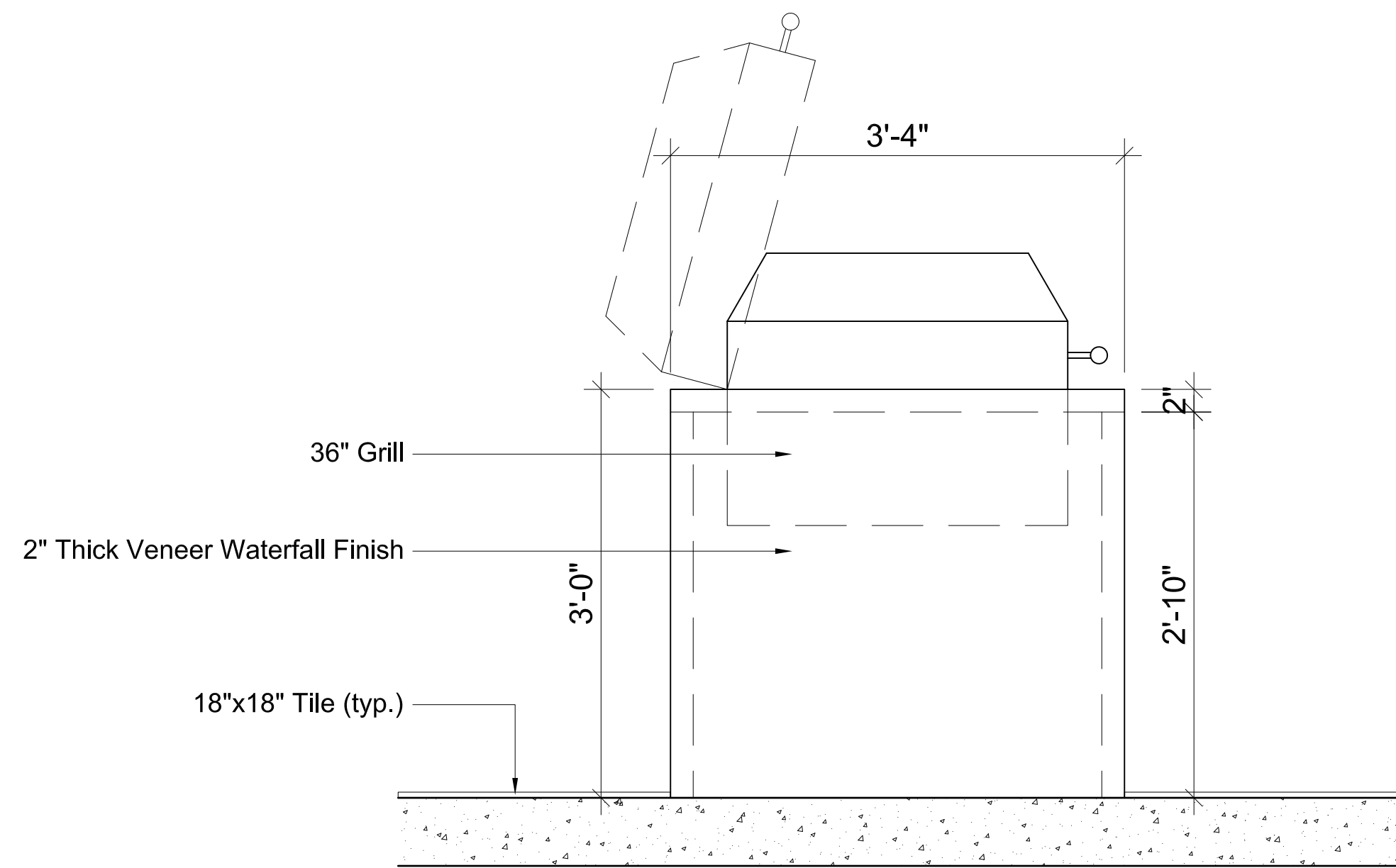
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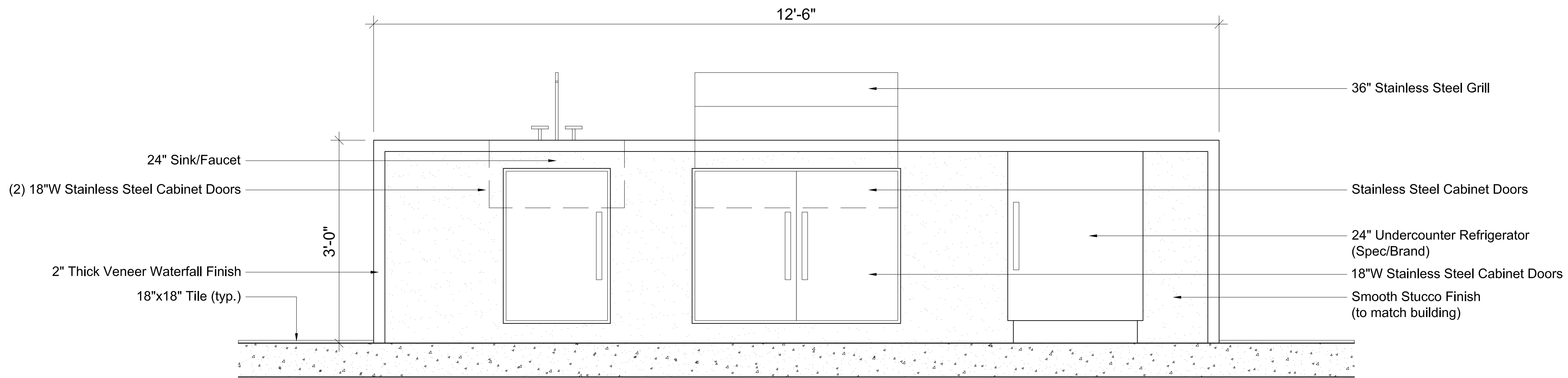
L4



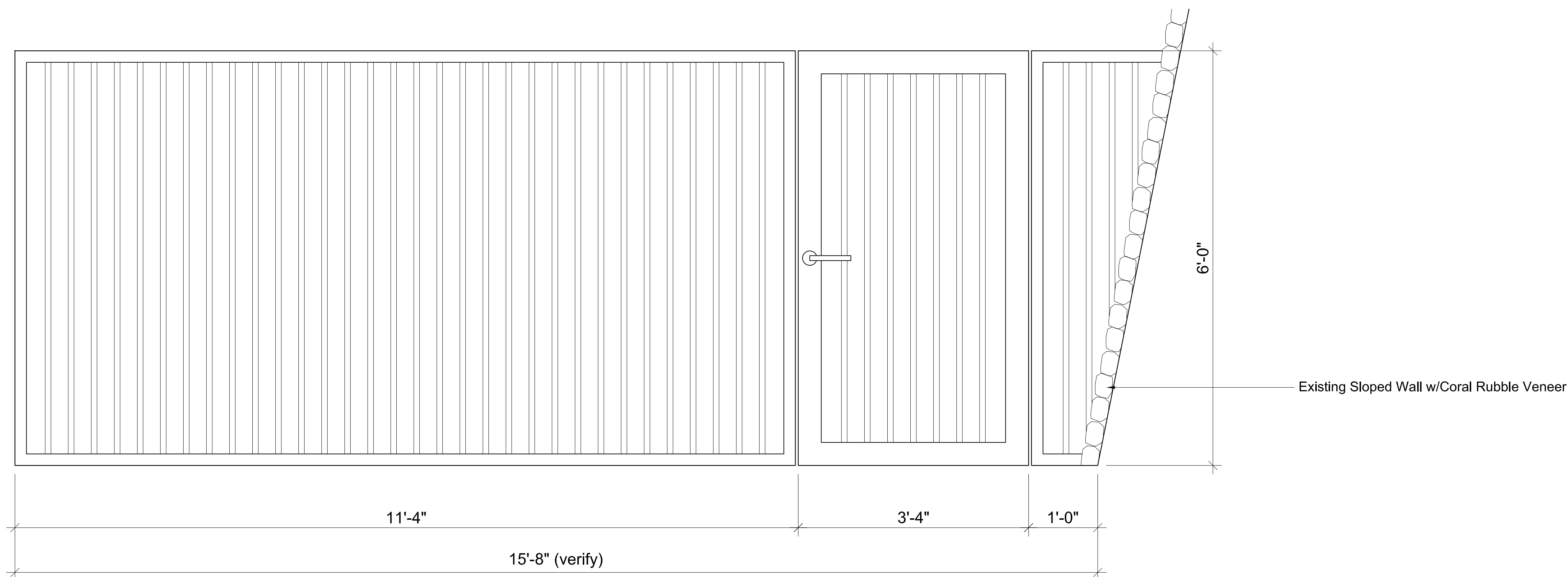
1 North Glass Wall & Planter Section
L4



2 BBQ, Sink, & Refrigerator Section (North & South Terrace)
L4



3 BBQ, Sink, & Refrigerator Elevation (North & South Terrace)
L5

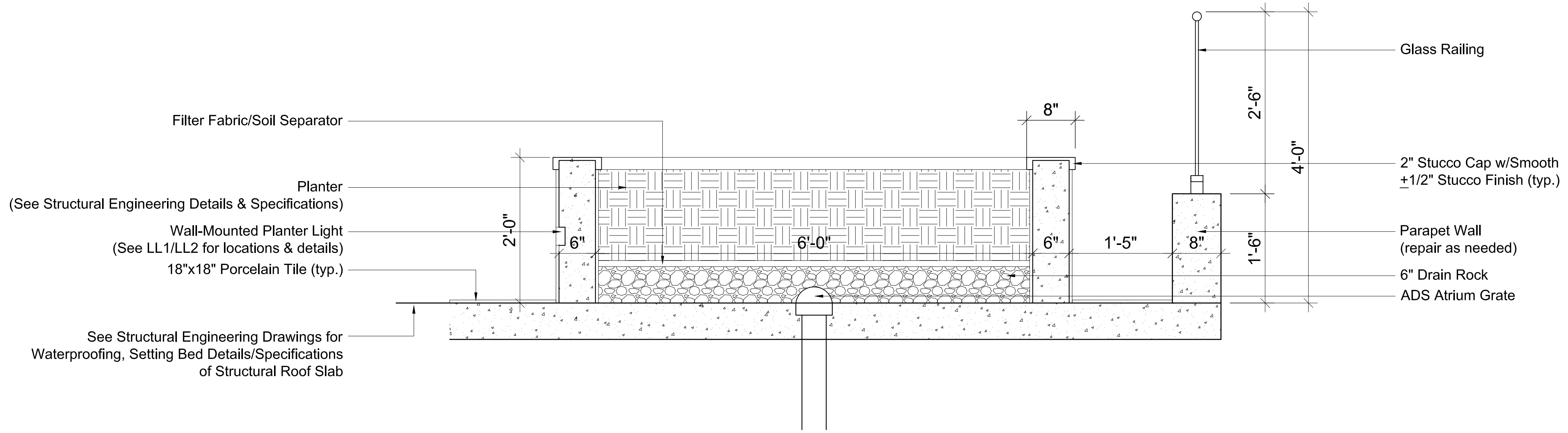


4 North Gate & Fence Elevation
L4

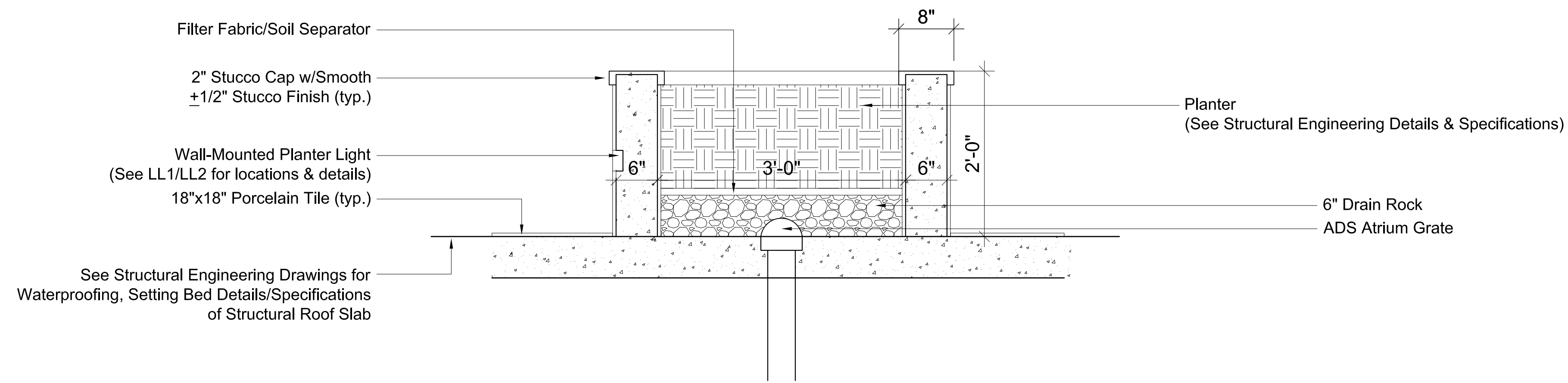


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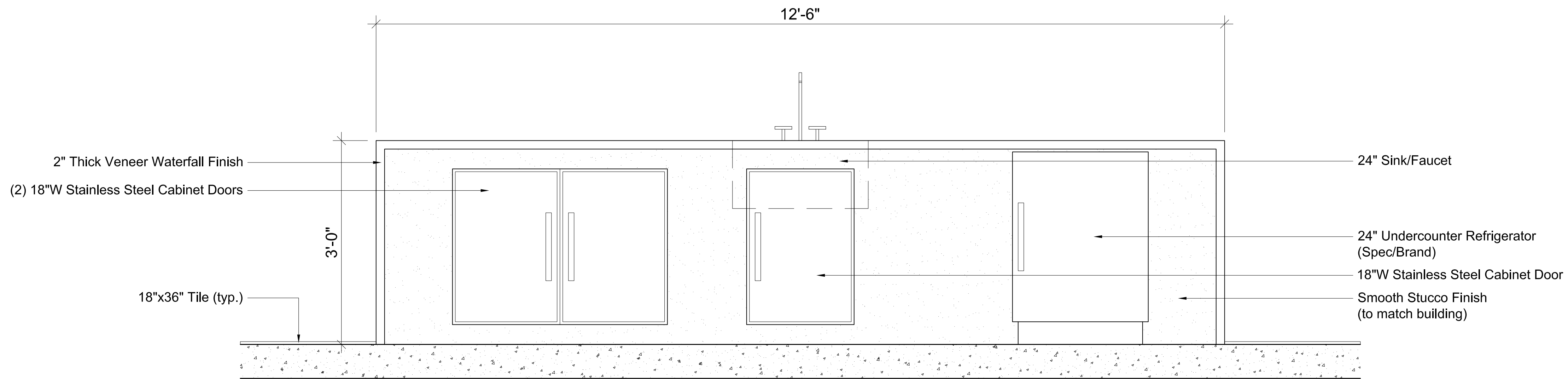
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1 South Glass Wall & Planter Section



2 Typical Planter Section



3 Pool Deck Sink & Refrigerator Elevation

1 2 3

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APRIL 10, 2023



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1" = 1'-0"

DETAILS & SECTIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

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April 10, 2023



L5

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1/8" = 1'-0"

LANDSCAPE LIGHTING PLAN

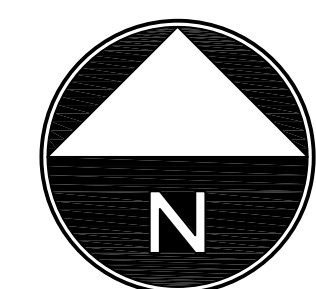
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Palm Beach, Florida

JOB #: 1002

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04-10-23
ARCOM COMMENTS

DATE PLOTTED:
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LL1

Lake
Worth

(12) Accent
WAC 5011-27BBR
(10) Mini Accent Path
WAC 6111-27BBR

(9) Step
WL-LED101-27-WT

NORTH BUILDING ENTRY

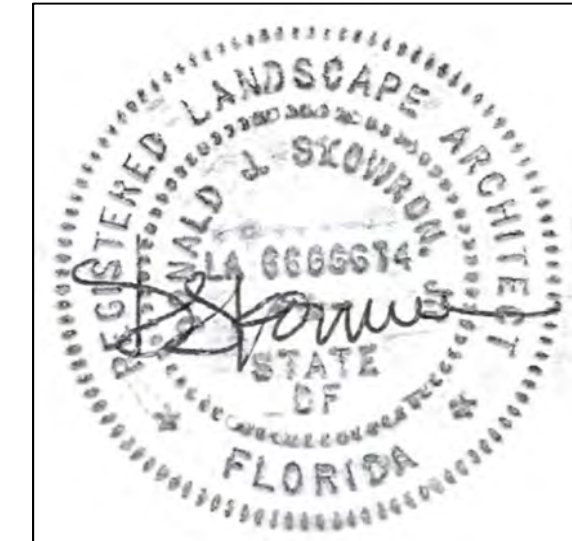
(18) Step
WL-LED101-27-WT
(15) Step
WL-LED101-27-WT
(7) Accent
WAC 5011-27BBR
(6) Mini Accent Path
WAC 6111-27BBR
(4) Accent
WAC 5011-27BBR
(5) Wall Wash
WAC 5021-27BBR
(4) Accent
WAC 5011-27BBR
(13) Mini Accent Path
WAC 6111-27BBR

SOUTH BUILDING ENTRY, POOL, & SUNSET VERANDA

2 5 10 20

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

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LIGHTING LEGEND

Symbol	Qty.	Manufacturer	Model Number	Volts	Type
 	23	WAC Lighting	5011-27BBR	12	Accent
	29	WAC Lighting	6111-27BBR	12	Mini Accent Path
	5	WAC Lighting	5021-27BBR	12	Wall Wash
	42	WAC Lighting	WL-LED101-27-WT	120	Step

ACCENT 1V 5011

WAC LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Landscape accent luminaire. Two fixture options of all-terrain landscape accent light.

FEATURES

- Replaceable and lockable beam angle
- Energy efficient
- 1000 lumens (Directed against light-obscure water jet)
- Corrosion resistant body
- Solid die-cast brass or corrosion resistant aluminum
- Factory sealed water tight gaskets
- Operating status: 1" walk over and direct burr-free end nuts included
- Materials contact brass versus against copper ring
- 120° beam spread
- 100° beam spread with remote 50° dimmer

SPECIFICATIONS

Input: 120VAC
Power: 10 to 100W / 240-280A
Voltage: 20-30 to 110-120V
Beam Angle: 10° to 90°
Life: 100,000
Color Life: 70000 Hours

ORDERING NUMBER

		Beam Type		Finish	
5011	Accent 1V	27	2700K	BB	Black or Aluminum
		36	3000K	BB	Black or Aluminum
		40	4000K	BB	Black or Brass

5011-

Example: 5011-200BR

www.lighting.com
P.O. Box 126-1268
Irvine, CA 92612-0128

Headquarters/Export Distribution Center
Attn: Export Fun Dept
One Red Bankway, NJ 07030

Central Distribution Center
1001 Division Dr.
Lafayette, CA 94501

Western Distribution Center
1115 Appleland Parkway
Ontario, CA 91764

WAC Lighting reserves the right to modify the design of any of its products at any time and at any time without notice. APR 13, 2001

MINI ANGLE LED PATH

6111 / 6211

WAC

LANDSCAPE LIGHTING

Feature Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Landscape wall mount landscape. One fixture requires all other fixtures landscape angle type.

FEATURES

- Continuously Adjustable Beam Angles: Indicated at 17°, 27°, 40°, 60°
- Continuously Adjustable Brightness Control: Indicated at 1W, 2W, 4W, 6W, 7W
- Adjustable Beam
- Wide Cast: Remote-gated high pressure sodium jets
- Includes a detachable shield
- 1" Solid die-cast aluminum or corrosion-resistant aluminum
- Factory welded water tight joints
- Cast anodized for UV UV rays
- Can be used as an uplight or downlight
- 2700K or 3000K color temperature
- Detachable shield should, if had, aim and direct light off shield over walls included
- UL, ETL, IESL listed

SPECIFICATIONS

6111

Input:

9.15WAC (Transformer is required)

Power:

100-170V 2W 2A-10.0W

Output:

100 to 160 lm

Beam Spread:

70 degrees

6211

Input:

9.15WAC (Transformer is required)

Power:

100-170V 2W 2A-10.0W x 2

Output:

40lm to 160 lm x 2

Beam Spread:

70 degrees

6111

Beam Spread:

70 degrees

6211

Beam Spread:

70 degrees

ORDERING NUMBER

Color Temp		Finish	
6111	Single 27	2700K Warm White	BBN Bronze
6211	Double 30	3000K Pure White	BBN Bronze

6111-___BBN

Example: 6111-___BBN

waclighting.com

1-800-255-2883

Headquarters/Eastern Distribution Center

44 Taylor Park Drive

Deerfield Heights, WI 53001

Central Distribution Center

1400 S. Spring Creek Rd. #1212

Little Rock, AR 72202

Western Distribution Center

1191 Ardmore Avenue

Costa Mesa, CA 92626

WAC Lighting reserves the right to the design of our products at any time as part of the company's continuous improvement program.

WAC

LANDSCAPE LIGHTING

5021 _____

PRODUCT DESCRIPTION

Landscape Wash luminaire

FEATURES:

- A wide-area distribution wash made from a small form factor
- IP68 rated. Protected against high pressure water jets
- Photocell. Allows control against light pollution
- Factory mounted water tight ligature
- Mounting rail. 1/2 inch x 2 inch x deep half yard flat bar with slots included
- Maintenance. Removable lens allows easy cleaning
- Materials. Corrosion resistant aluminum extruded body
- US. ETL listed
- ISL Compatible with remote MUY Dimmer

ORDERING NUMBER		Color Temp.	Finish
5021	Black w/white LxH	37 50K	BR BWB
		50 50K	BZ BWB
			Black w/white Bronze or aluminum Brushed brass

5021 _____

Example: 5021-BWB

waclighting.com P.O. Box 100, 2306 Hwy. 3803, Los Osos CA 94026	Headquarters/Eastern Distribution Center 1st Avenue Park Drive Fort Washington, PA 19033	Central Distribution Center 10000 Distribution C. Dallas Springs, GA 30122	Western Distribution Center 1715 Arroyo Valley Lane Ontario, CA 91764
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©2012 Lighting trends Inc. This is the legally design of our product or any case as part of the company's continuous improvement program. FEB 17, 2022

[illegible] $1/8" = 1'-0"$

LANDSCAPE LIGHTING SPECIFICATIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

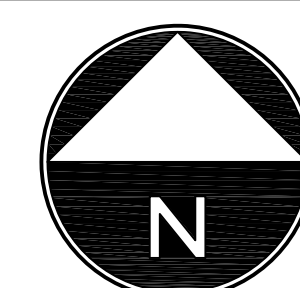
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DATE ISSUED:
February 9, 2023

1 04-10-23
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DATE PLOTTED
April 10, 2023



LL2

ARC 22-162
ZON 22-110
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NATIVE LANDSCAPE DIAGRAM & CALCULATIONS

1/16" = 1'-0"

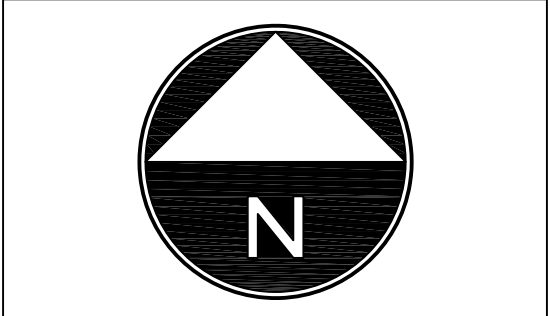
Carlyle House
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Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
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ARCOM COMMENTS

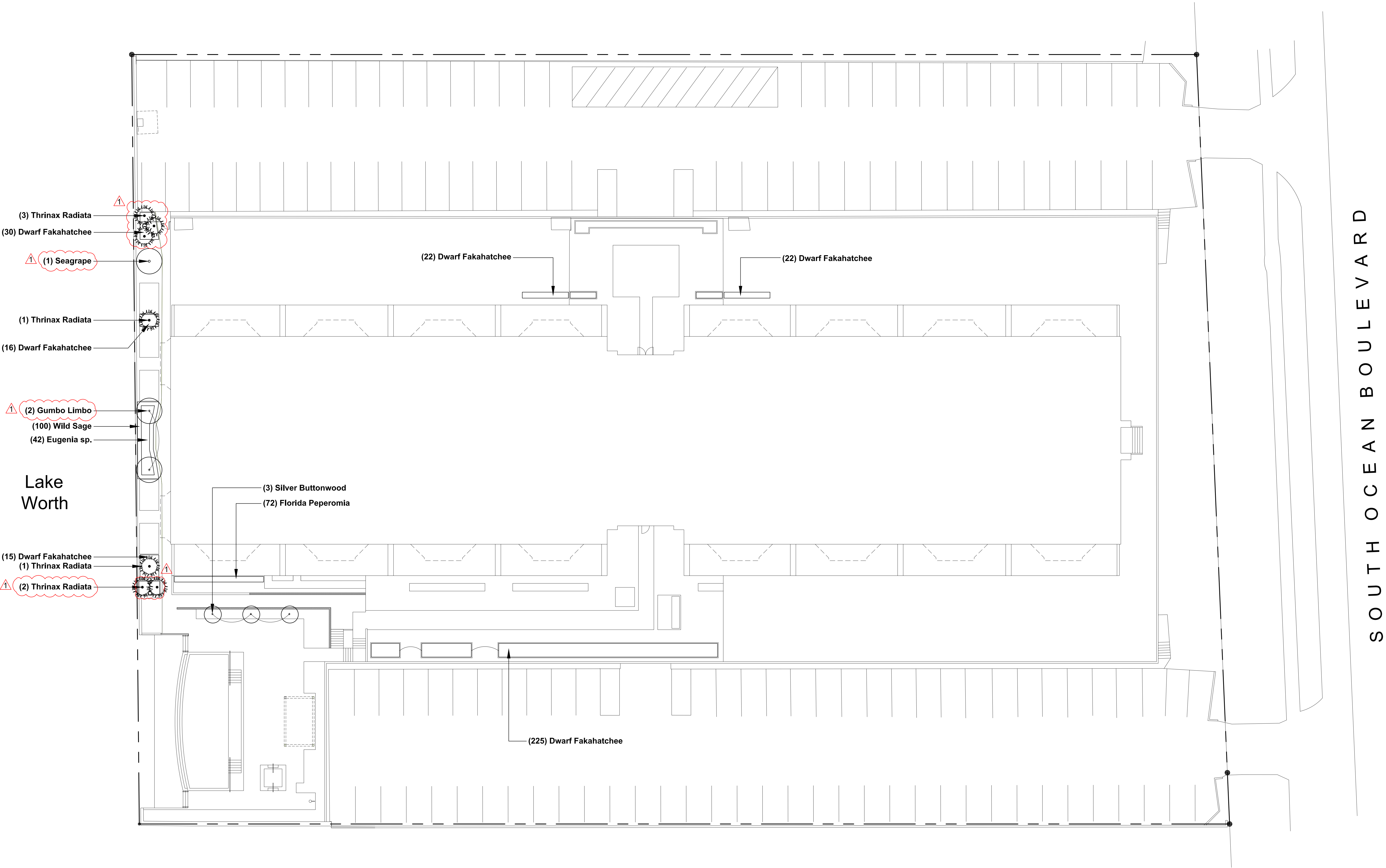
DATE PLOTTED:
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NL1

Native Landscape Legend			
Property Address: 2773 SOUTH OCEAN BOULEVARD			
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,553.95 (20.28%)	26,012.85 (20.64%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	2.45 (35%) 1	0 (0%)	6 (86%) 1
Native* Palms (%)	5.95 (35%)	0 (0%)	7 (41%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.



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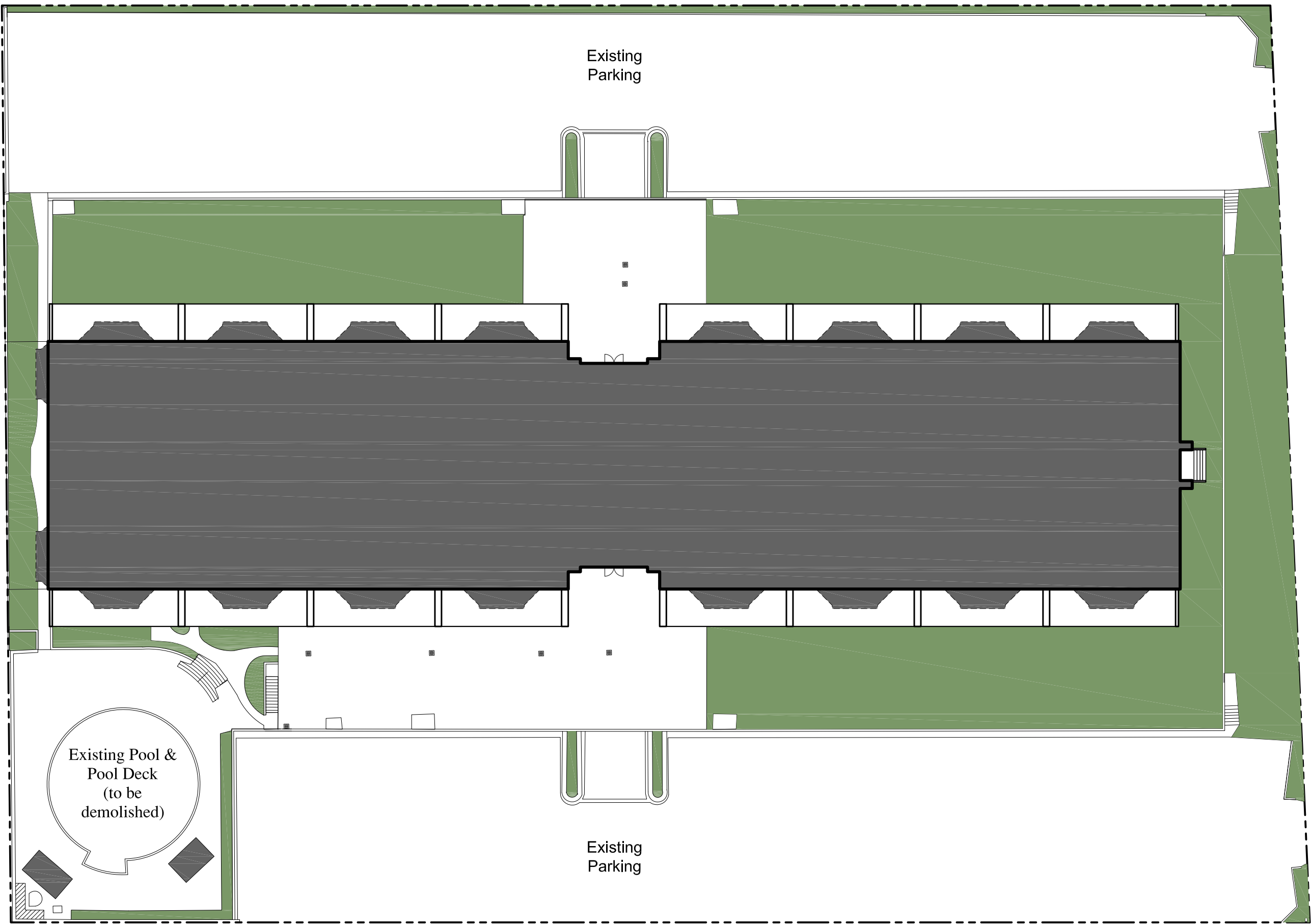
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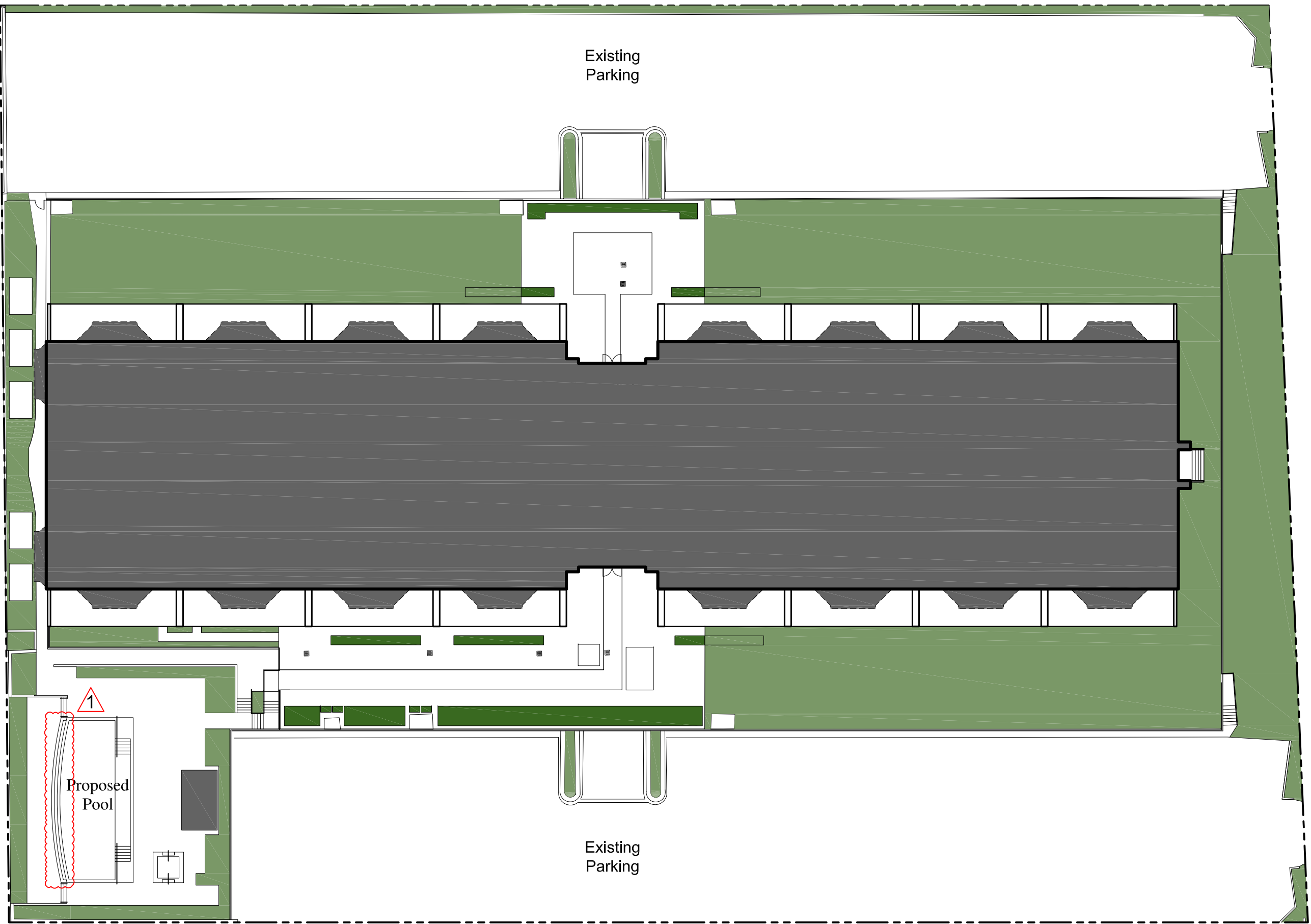

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EXISTING LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL		
- Existing	126,022.55 SQ.FT.	100.00%
LANDSCAPE - OVERALL		
- Required	42,107.89 SQ.FT.	35.00%
- Existing	25,596.78 SQ.FT.	20.98%
LOT COVERAGE		
- Max Allowable	27,724.96 SQ.FT.	22.00%
- Existing	31,963.26 SQ.FT.	25.36%
HARDSCAPE		
- Existing	64,462.51 SQ.FT.	52.83%



PROPOSED LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL		
- Existing	126,022.55 SQ.FT.	100.00%
LANDSCAPE - OVERALL		
- Required	42,107.89 SQ.FT.	35.00%
- Proposed	26,079.09 SQ.FT.	21.69%
LOT COVERAGE		
- Max Allowable	27,724.96 SQ.FT.	22.00%
- Proposed	31,963.22 SQ.FT.	25.36%
HARDSCAPE		
- Proposed	63,929.79 SQ.FT.	52.07%



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LANDSCAPE OPEN SPACE DIAGRAMS & CALCULATIONS

Carlyle House
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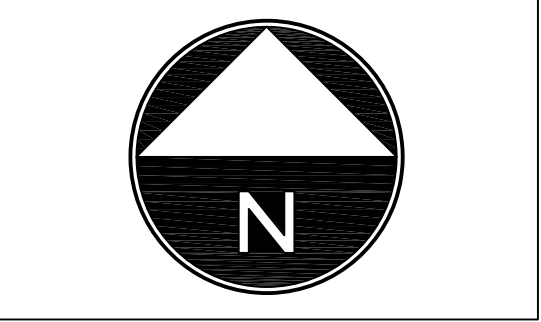
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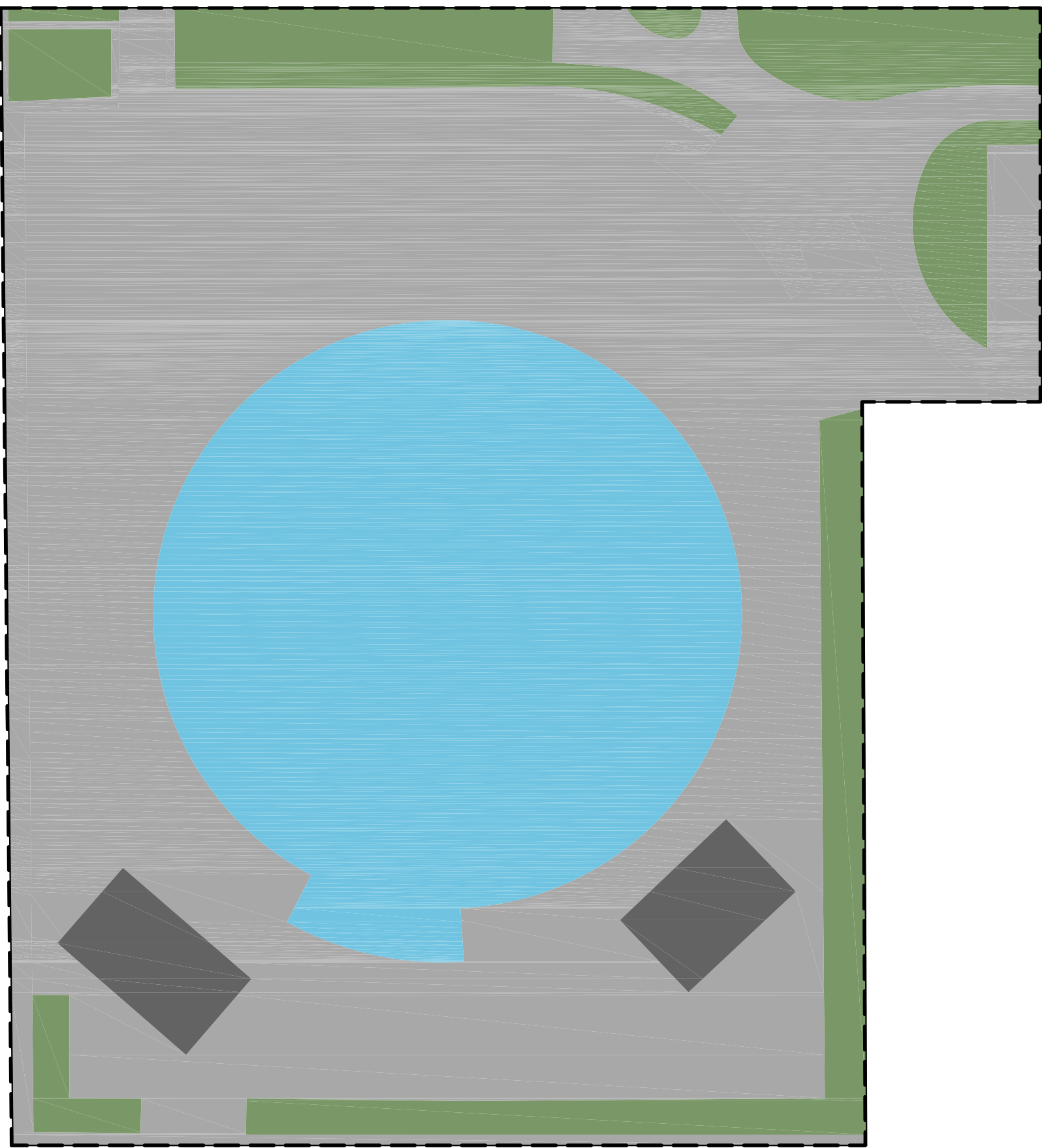
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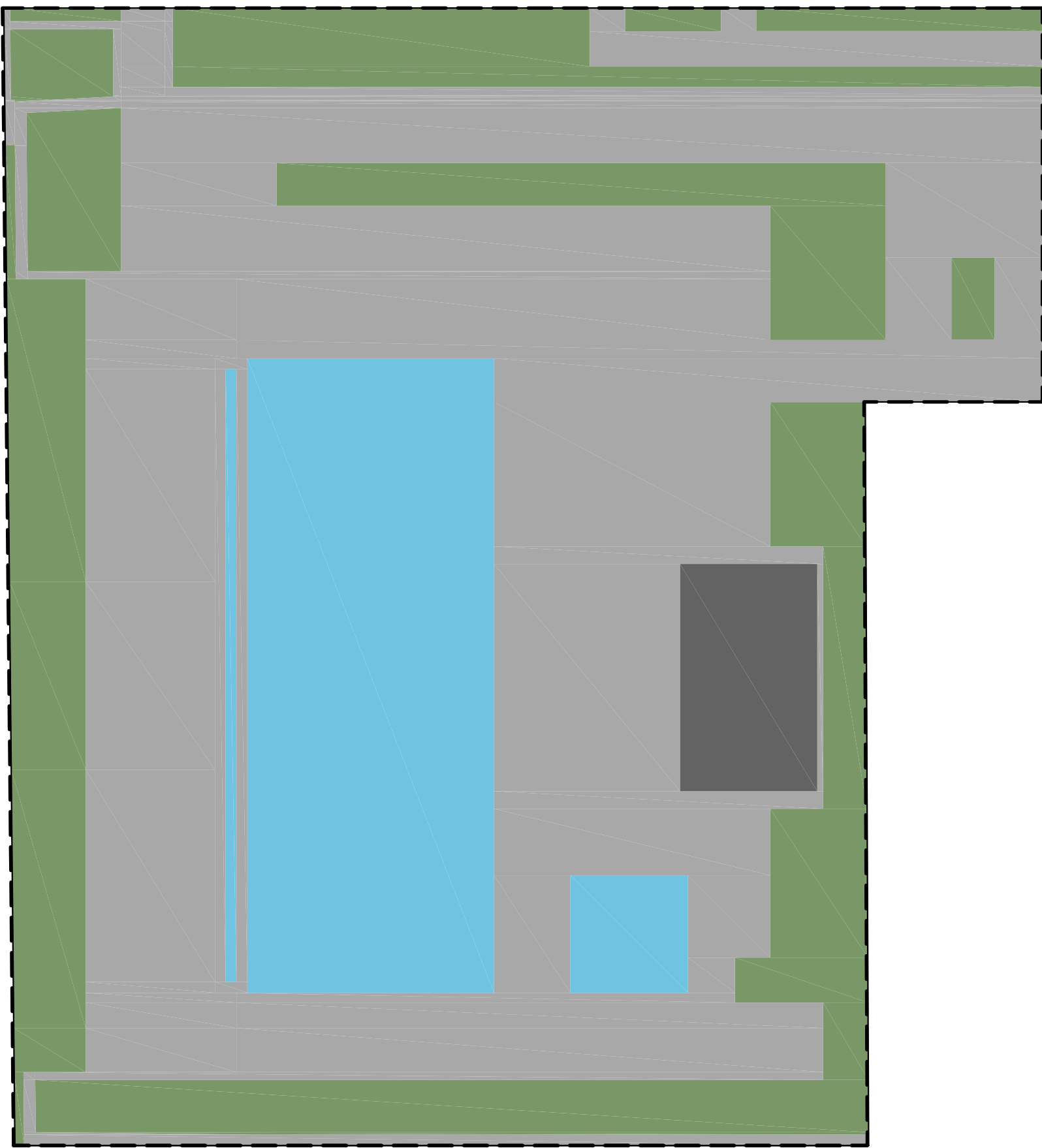
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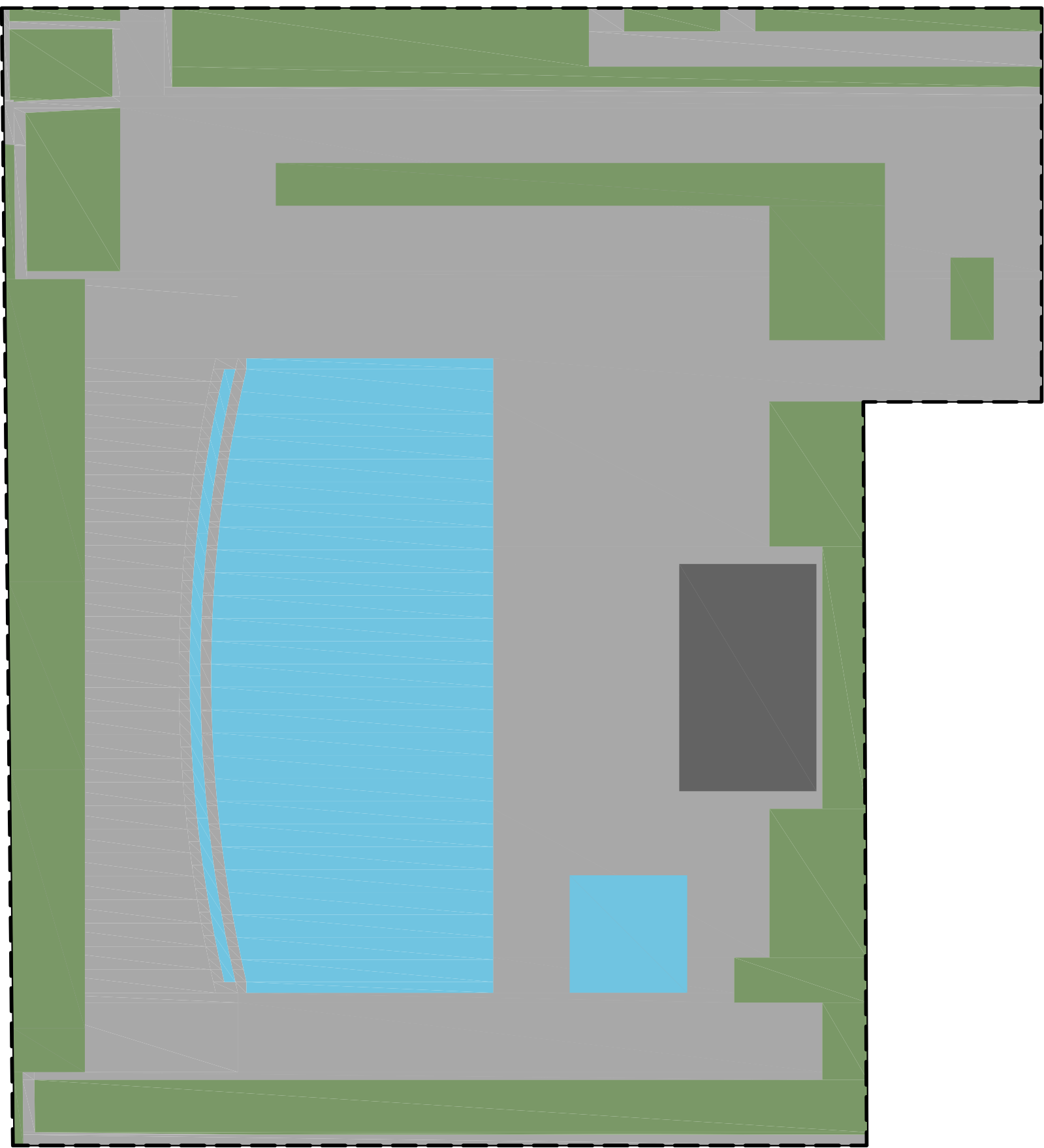
POOL DECK CALCULATIONS (Existing)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Existing Pool	2,037.12 SQ. FT.	26.91%



POOL DECK CALCULATIONS (Previously Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,059.21 SQ. FT.	53.62%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,281.83 SQ. FT.	16.93%



POOL DECK CALCULATIONS (Currently Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,354.19 SQ. FT.	52.23%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,386.85 SQ. FT.	18.32%



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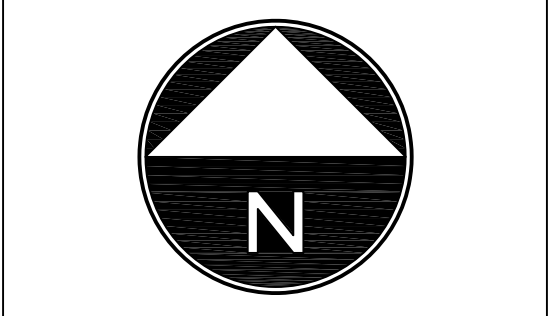
POOL DECK OPEN SPACE DIAGRAMS & CALCULATIONS

Carlyle House
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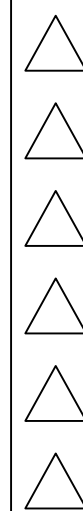
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PROPOSED RENDERING

Carlyle House
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LR1



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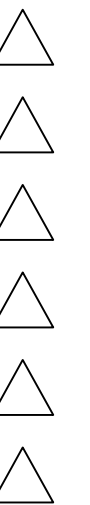
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PROPOSED RENDERING

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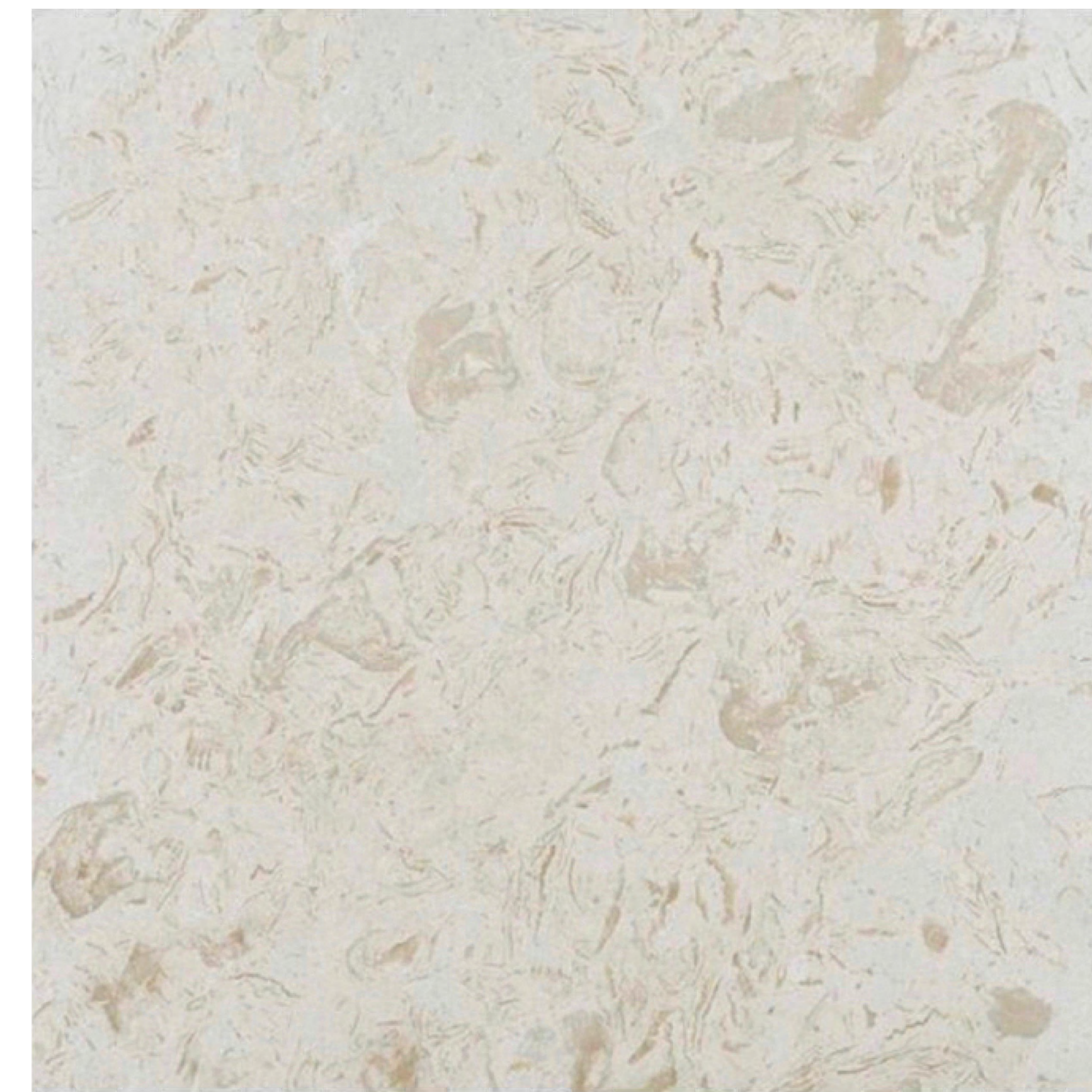


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Example of Proposed Shade Structure
See L3-Elevations and Dimensions



Shell Stone 18" x 36"



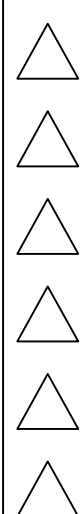
Porcelain Paving 18" x 18"

MATERIALS & FINISHES

Carlyle House
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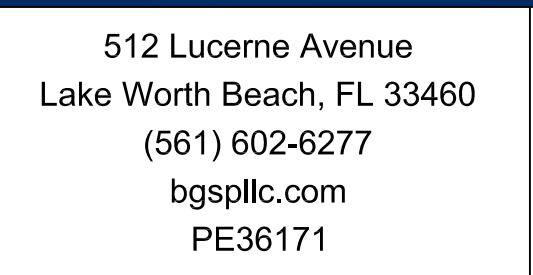


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M1

A circular professional engineer seal for Jason Brydges, License No. 94071, State of Florida. The seal features the text "JASON BRYDGES", "LICENSE", "No. 94071", "STATE OF", and "FLORIDA PROFESSIONAL ENGINEER" around a central star. A blue ink signature is written over the seal.

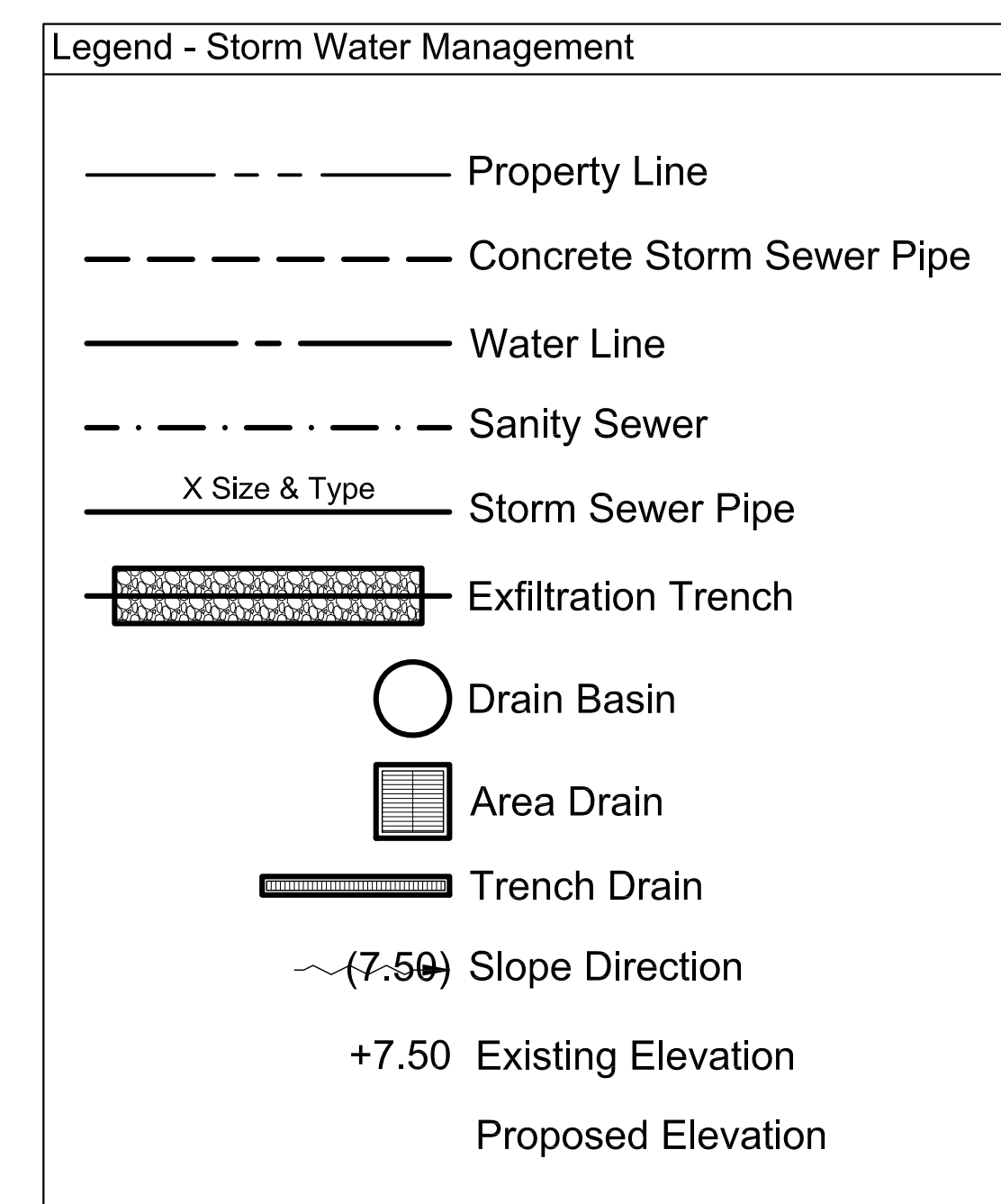
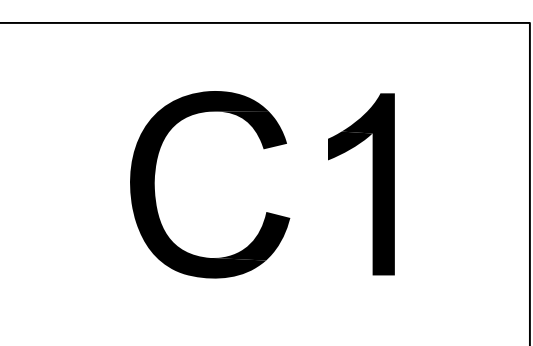


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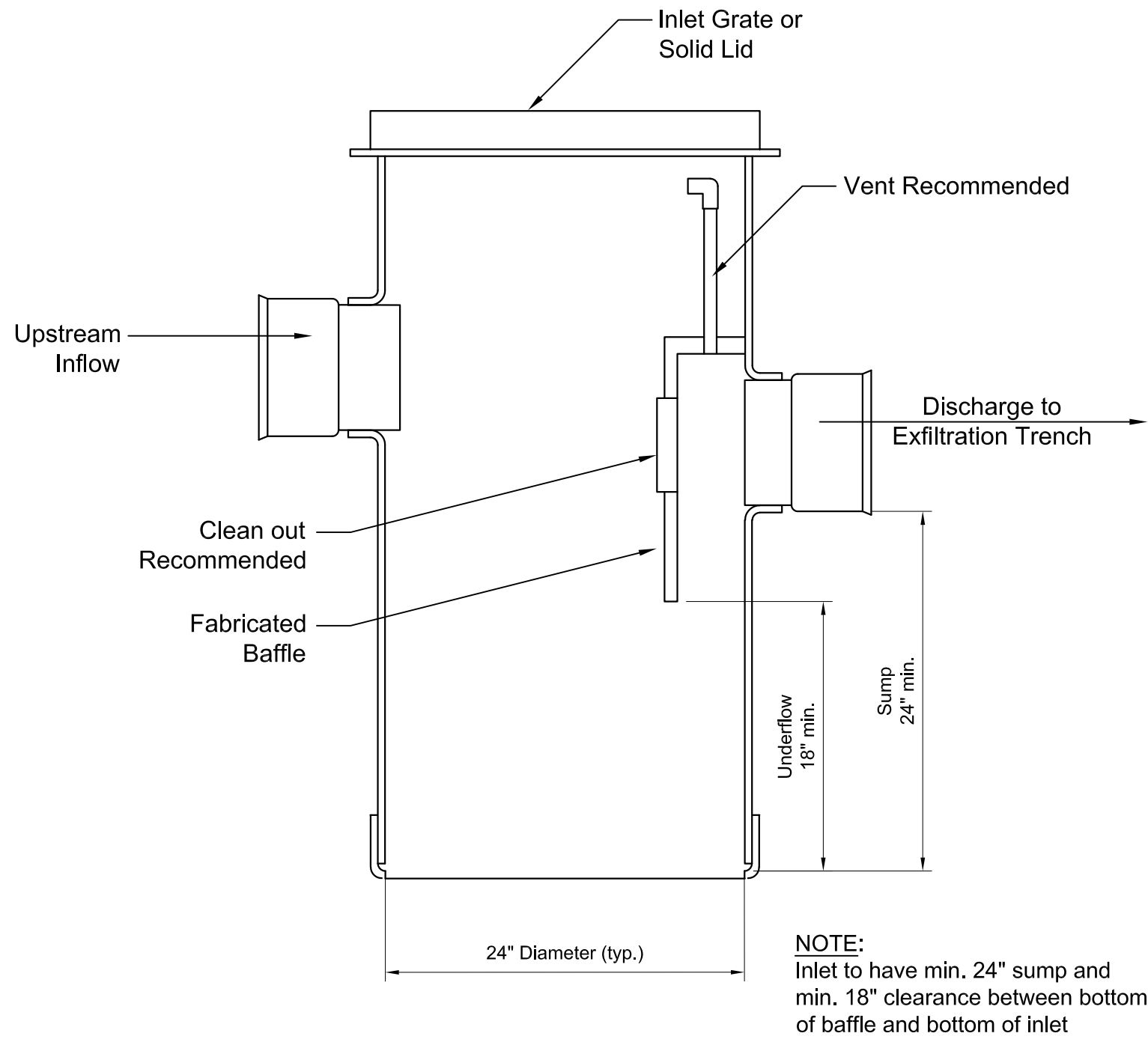


GENERAL NOTES & SPECIFICATIONS:

- Contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in specifications or mentioned in the specifications and not shown on the drawings, shall be of the like effect as if shown or mentioned in both.
- Figures marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors, which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, contractor shall adjust such dimensions as conditions may require.
- If contractor, in the course of work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by contractor, it shall be contractor's duty to immediately inform engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at one report to engineer any discrepancies between the executed work and the drawings.
- Engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. Contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing, or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit by any unburned remains are to be disposed of as directed by the owner or his representatives.
- Contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims for damage. Contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalks, lawns, utilities, and other items damaged by this construction activity.
- Contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by engineer. Should any test fail to meet specification as shown herein, contractor shall, at contractor's expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman-like manner and shall conform with all applicable City, County, State, and Federal regulations and/or codes. Contractor shall obtain all permits and licenses required to begin work.
- Contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed, and/or relocated, which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect completed work.
- Contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at contractor's expense.
- All work shall be accomplished in a safe and workman-like manner. Contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury, or property damage.
- Minimum Construction Inspection Checkpoints:
 - Prior to any major deviation from the approved plan
 - Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved
 - Upon completion of sub-grade compacting
 - At the time of delivery of base material
 - Upon completion of the base and prior to priming
 - Immediately prior to and upon the first and second applications of the plant mixed wearing course
 - Upon completion of construction, a final inspection will be made with project representative.
- All unsuitable material such as muck, marl, and debris shall be removed from the limits of construction and legally disposed. At the engineer's directions, much may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design, and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts, or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement(s) and repair(s) within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- Contractor shall complete "as-built" information relative to pipe lengths, materials, and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

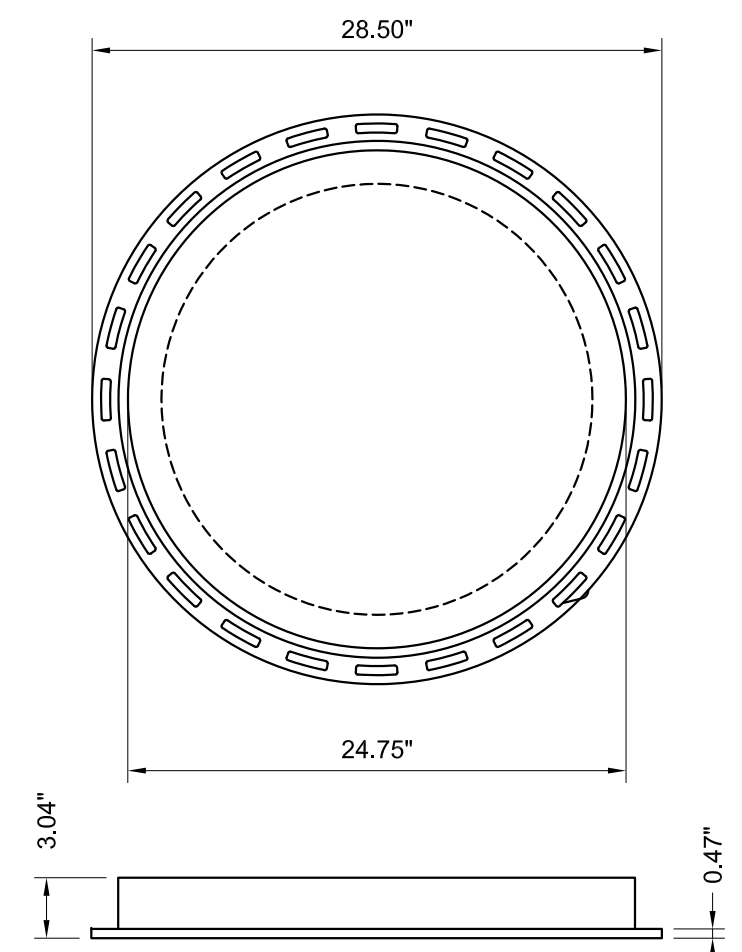
NOTES:

- All pipe systems shall be installed in accordance with ASTM D321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", latest addition.
- Measures should be taken to prevent migration of native fines into backfill material, when required.
- Suitable Subgrade:** Where the trench bottom is unstable, contractor shall excavate to a depth required by engineer and replace with suitable material as specified by engineer. As an alternative, and at the discretion of design engineer, trench bottom may be stabilized using geotextile material.
- Bedding:** Suitable material shall be Class I, II, or III. Contractor shall provide documentation for material specification to engineer. Unless otherwise noted by engineer, minimum bedding thickness shall be 4" for 4"-24" pipe and 6" for 30"-60" pipe.
- Initial Backfill:** Suitable material shall be Class I, II, or III in the pipe zone extending not less than 6" above crown of pipe. Contractor shall provide engineer with documentation for material specification. Material shall be installed as required in ASTM D2321, latest edition.
- Minimal Cover:** Minimum Cover, H in non-traffic applications (grass or landscape areas) is 12" from the top of pipe to ground surface. Additional cover may be required to prevent flotation. For traffic applications, minimum cover, H, is 18" up to 48" diameter pipe and 24" of cover for 54"-60" diameter pipe, measured from top of pipe to bottom of flexible pavement or to top of rigid pavement.



24" NYLOPLAST DRAIN BASIN

N.T.S.



STANDARD:
Approx. Drain Area = 194.60 SQ. IN.
Approx. Weight with Frame = 124.00 LBS.
Standard Grate has H-25 heavy duty rating
Solid Cover has H-25 heavy duty rating
Pedestrian Grate has H-10 medium duty rating

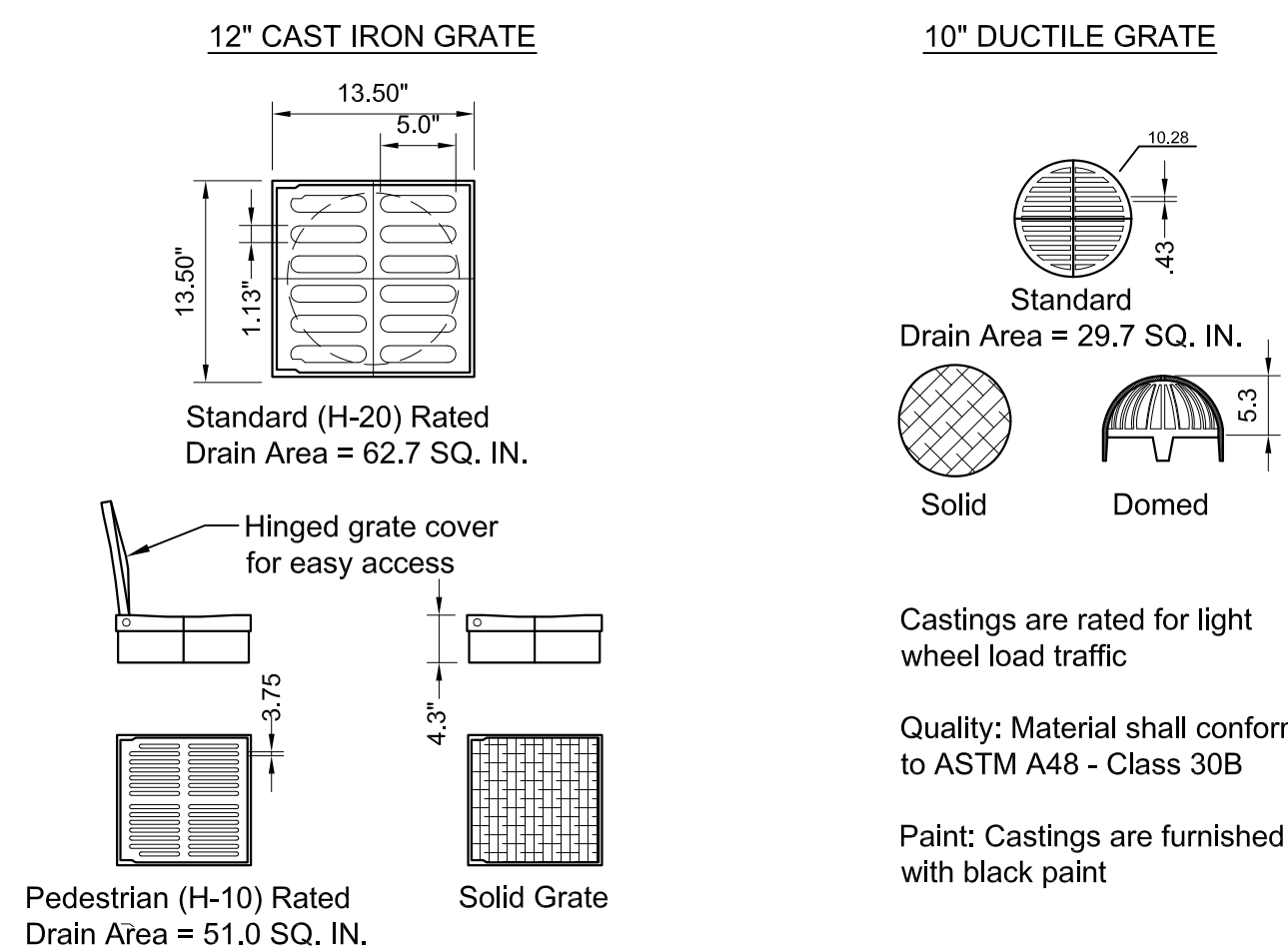
Quality: Materials shall conform to ASTM A536 Grade 70-50-05

Material: Ductile Iron

Paint: Castings are furnished with a black paint locking device available upon request. Price includes Frame & Grate/Cover

24" DUCTILE IRON GRATE

N.T.S.



NOTE:

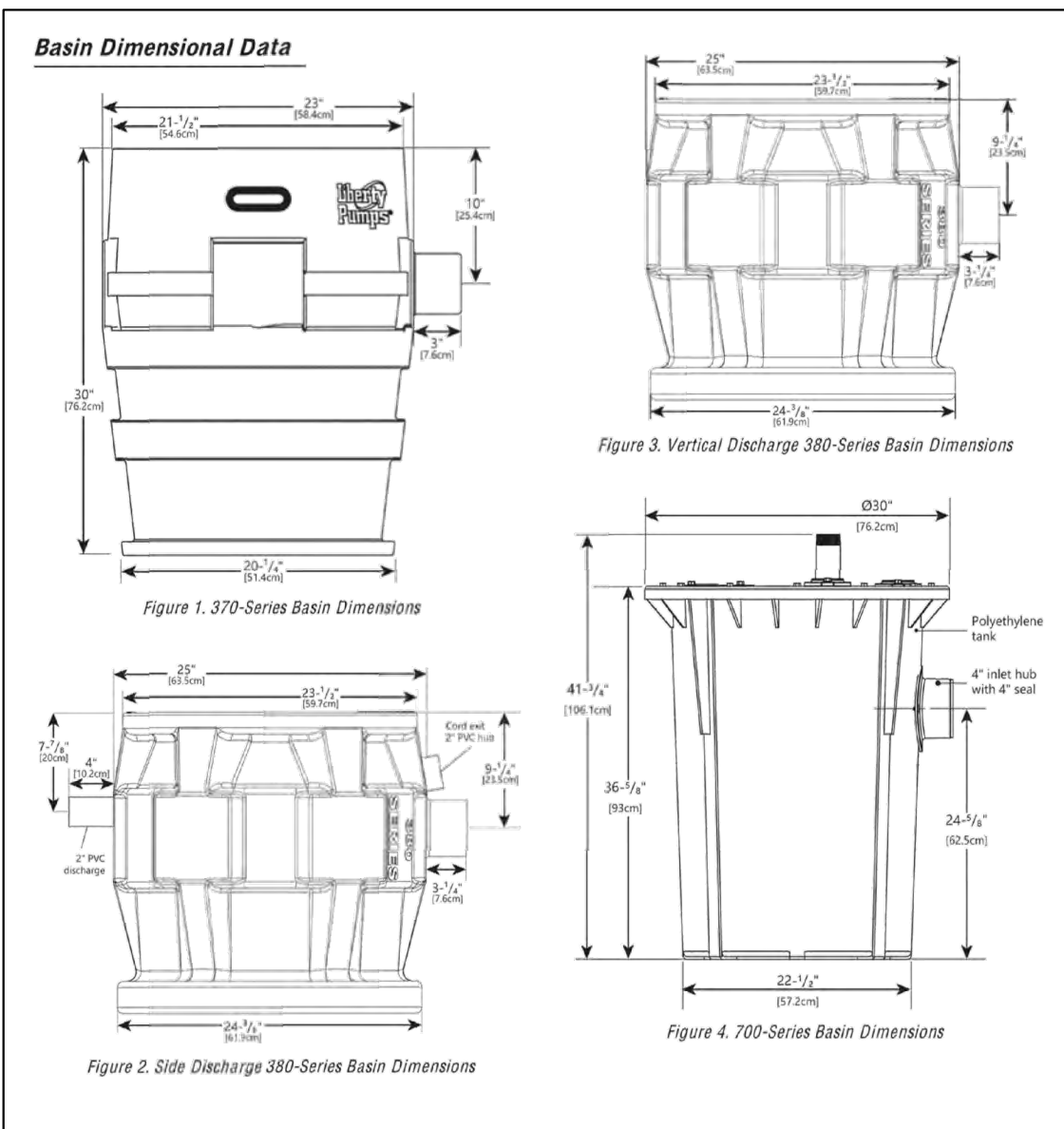
Type of grates & inlets to be coordinated with engineer & landscape architect

Pipe material may be PVC, ADS, NDS, or approved equal

AREA DRAIN DETAILS

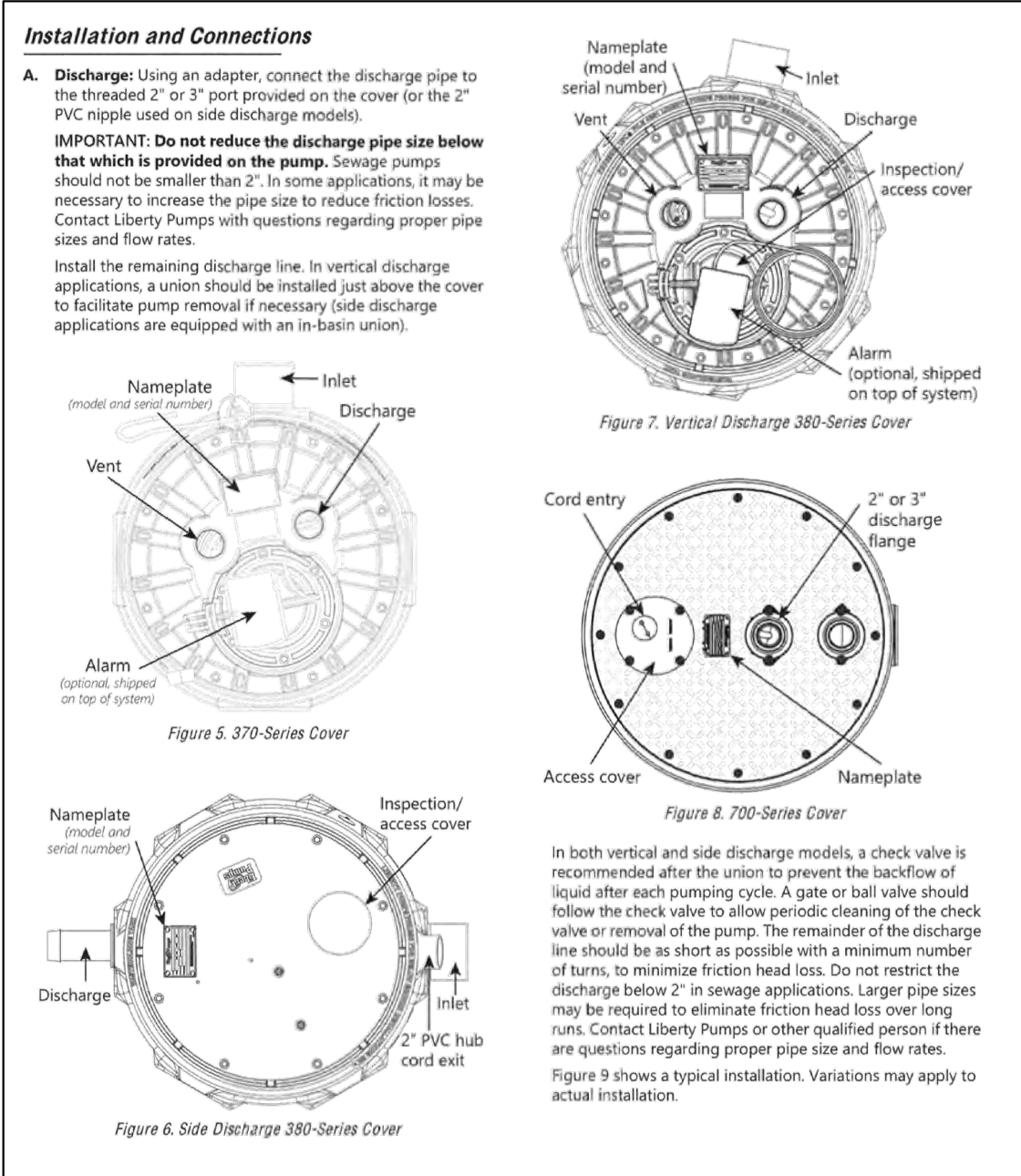
N.T.S.

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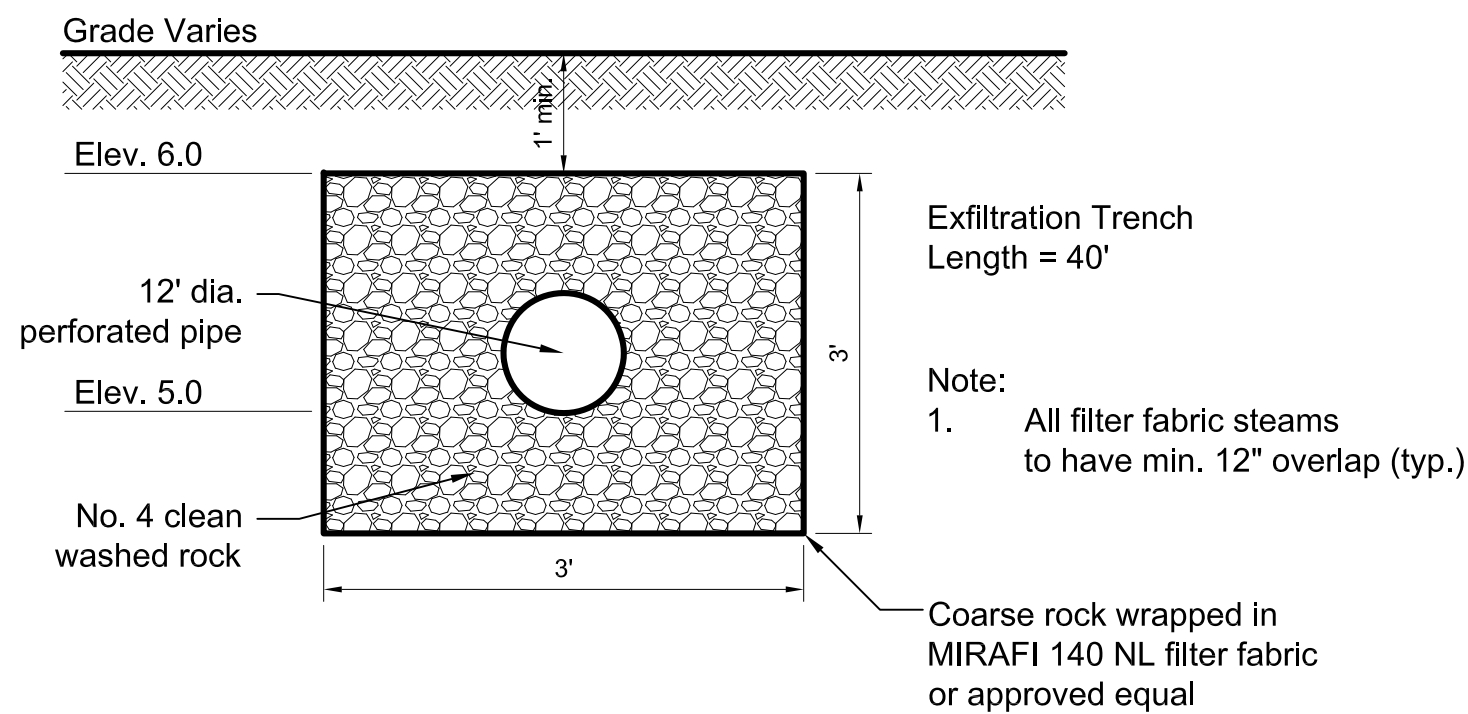
SUMP PUMP DETAIL #1

N.T.S.



SUMP PUMP DETAIL #2

N.T.S.



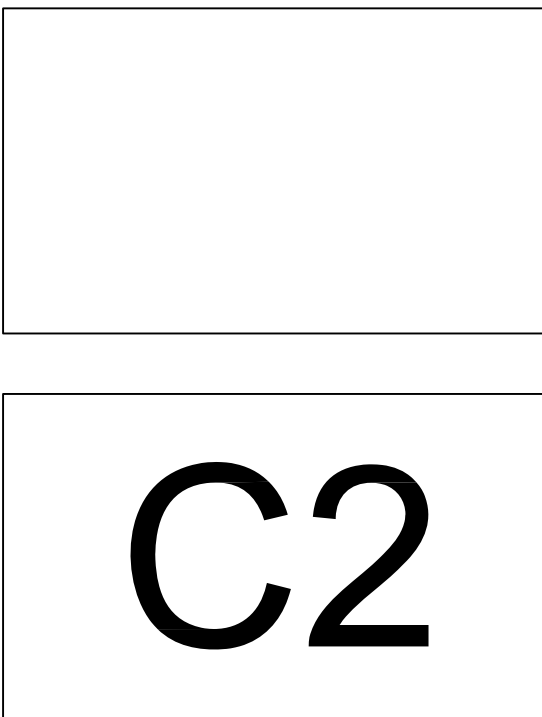
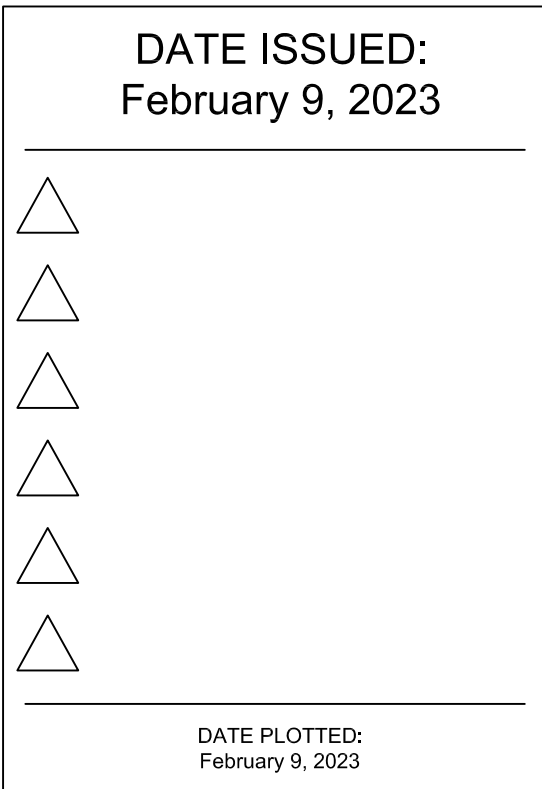
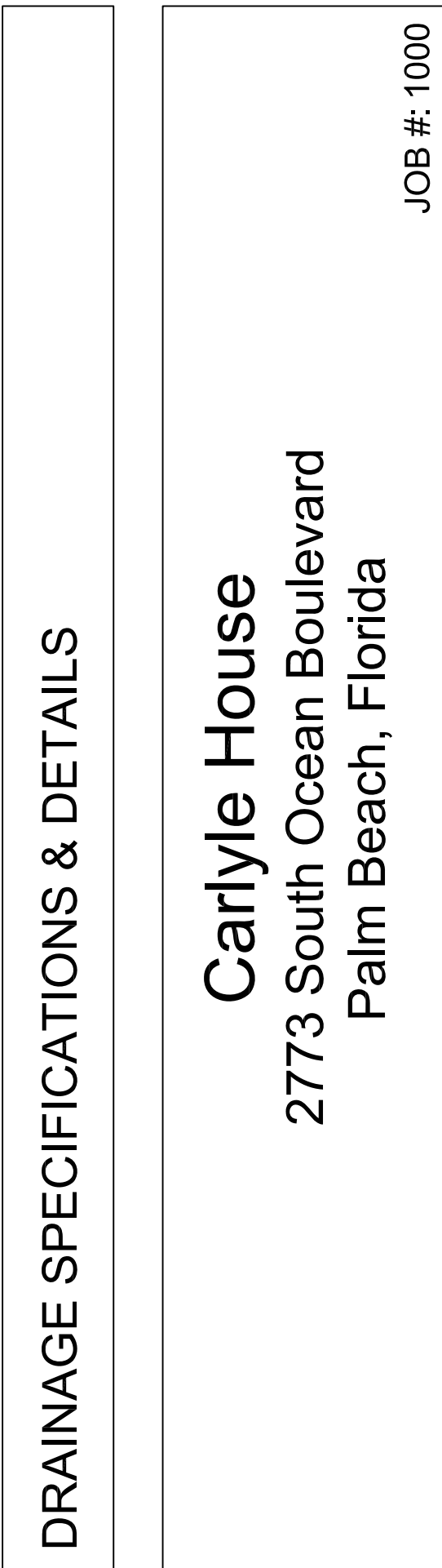
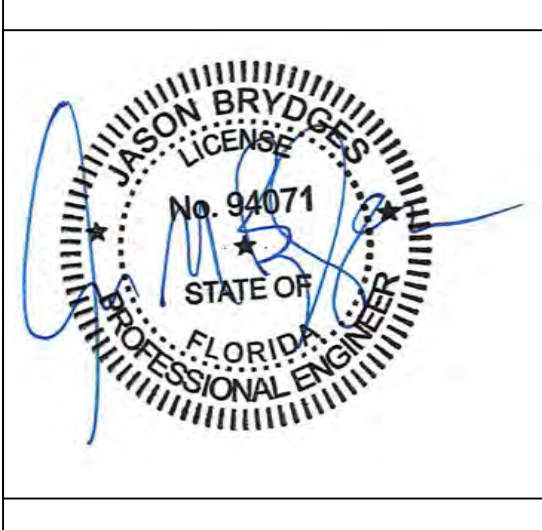
EXFILTRATION TRENCH #1 DETAIL

N.T.S.

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction services.

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023



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512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA666674

1/16" = 1'-0"

CONSTRUCTION SCREENING PLAN

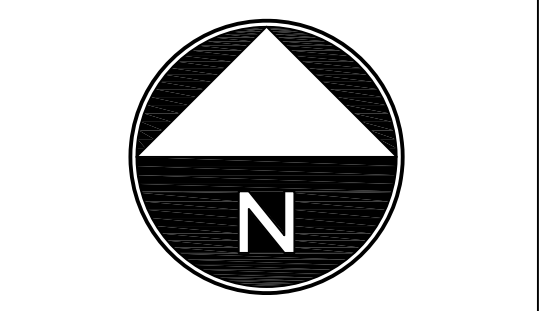
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

- 04-10-23
ARCOM COMMENTS
- ▲
 - ▲
 - ▲
 - ▲
 - ▲
 - ▲

DATE PLOTTED:
April 10, 2023



CS1

Lake
Worth

Carlyle House
Condominium
First Floor Elev. 12.62'
Garage Entrance Elev. 2.67'

Temporary 6' Construction Fence
w/Green Screen Privacy Screen

Gate Screening

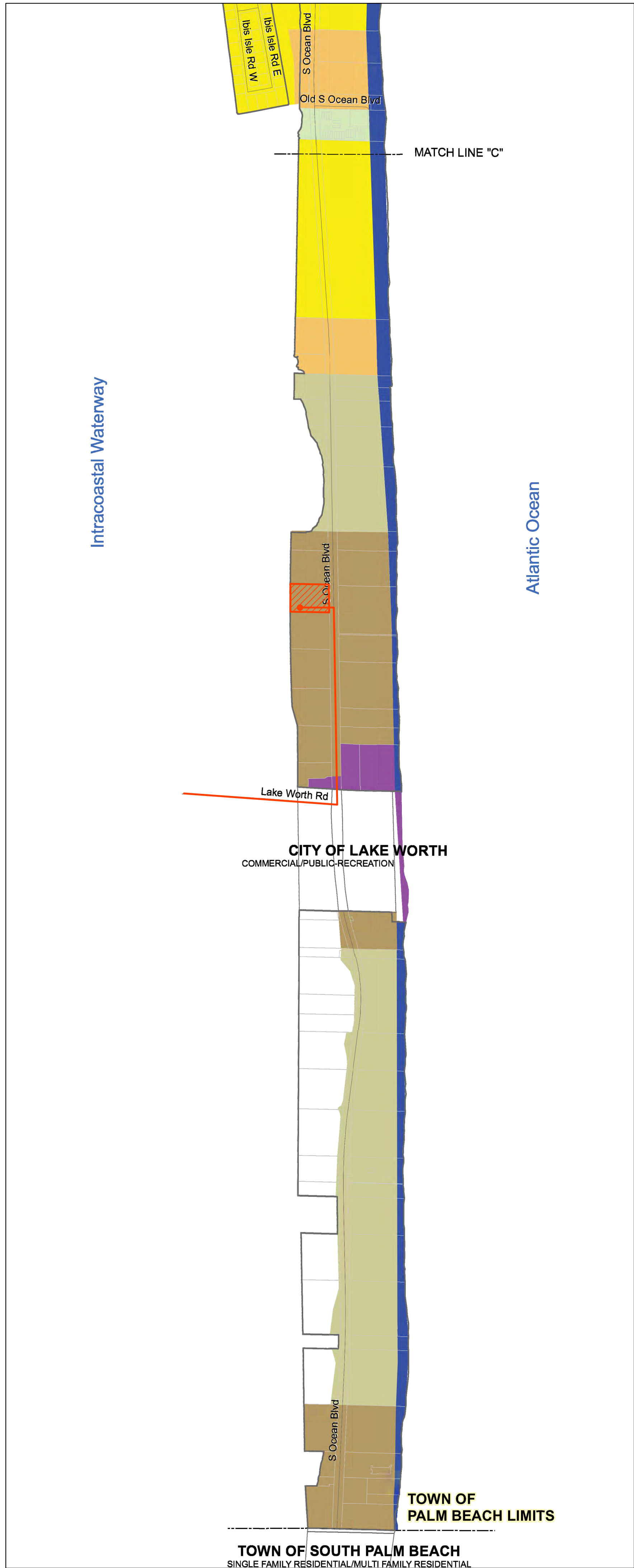
Temporary 6' Construction Fence
w/Green Screen Privacy Screen

Silt Fence (326 LF)

SOUTH OCEAN BOULEVARD

4 10 20 40

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023



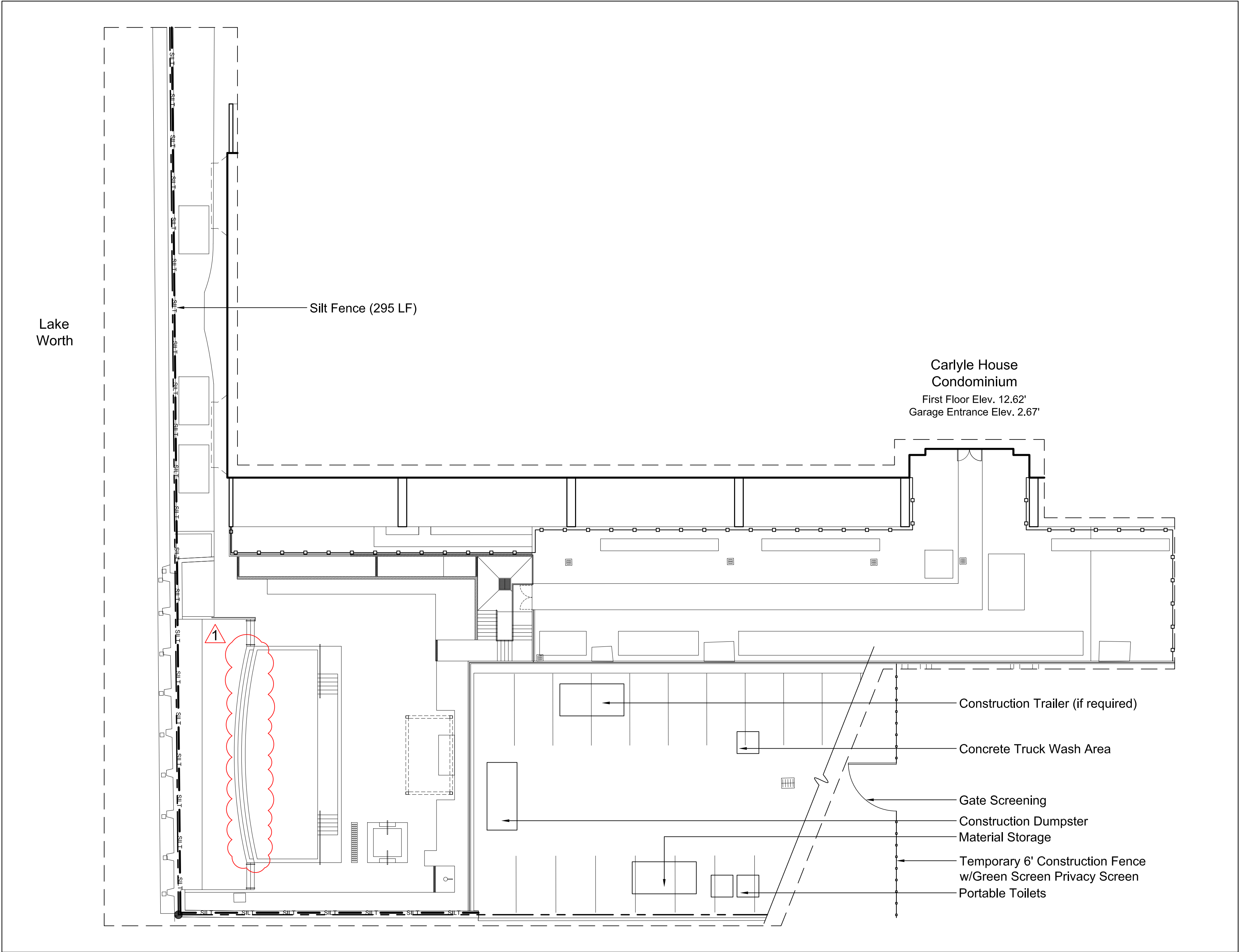
TRUCK LOGISTICS PLAN
N.T.S.

ROUTE TO SUBJECT PROPERTY:
Enter the Town of Palm Beach via Lake Avenue over the Lake Worth bridge. Turn left (north) on A1A. Continue north on A1A for approximately 1/2 mile. Subject property will be on the left (west) side.

MAXIMUM TRUCK LENGTH:
60'

MAXIMUM NUMBER OF TRIPS TO SUBJECT PROPERTY:
50 (estimated)

CONSTRUCTION SCHEDULE (theoretical and to be determined by GC):
Month 1 Site Prep, Relocation, and Demolition
Month 2 Site Utility Work, Grading, and Drainage
Month 3-4 New Pool & Spa and Site Improvements
Month 5-6 Site Grading, Drainage, and Plant Prep
Month 7-8 Landscape and Landscape Lighting
(2 month contingency for unforeseen circumstances)



CONSTRUCTION STAGING PLAN
N.T.S.

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& Engineering

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CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN

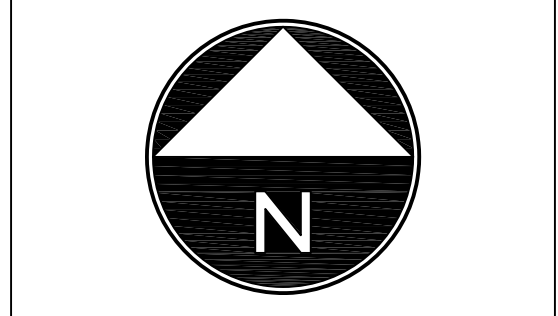
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
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04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023



CS2

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023