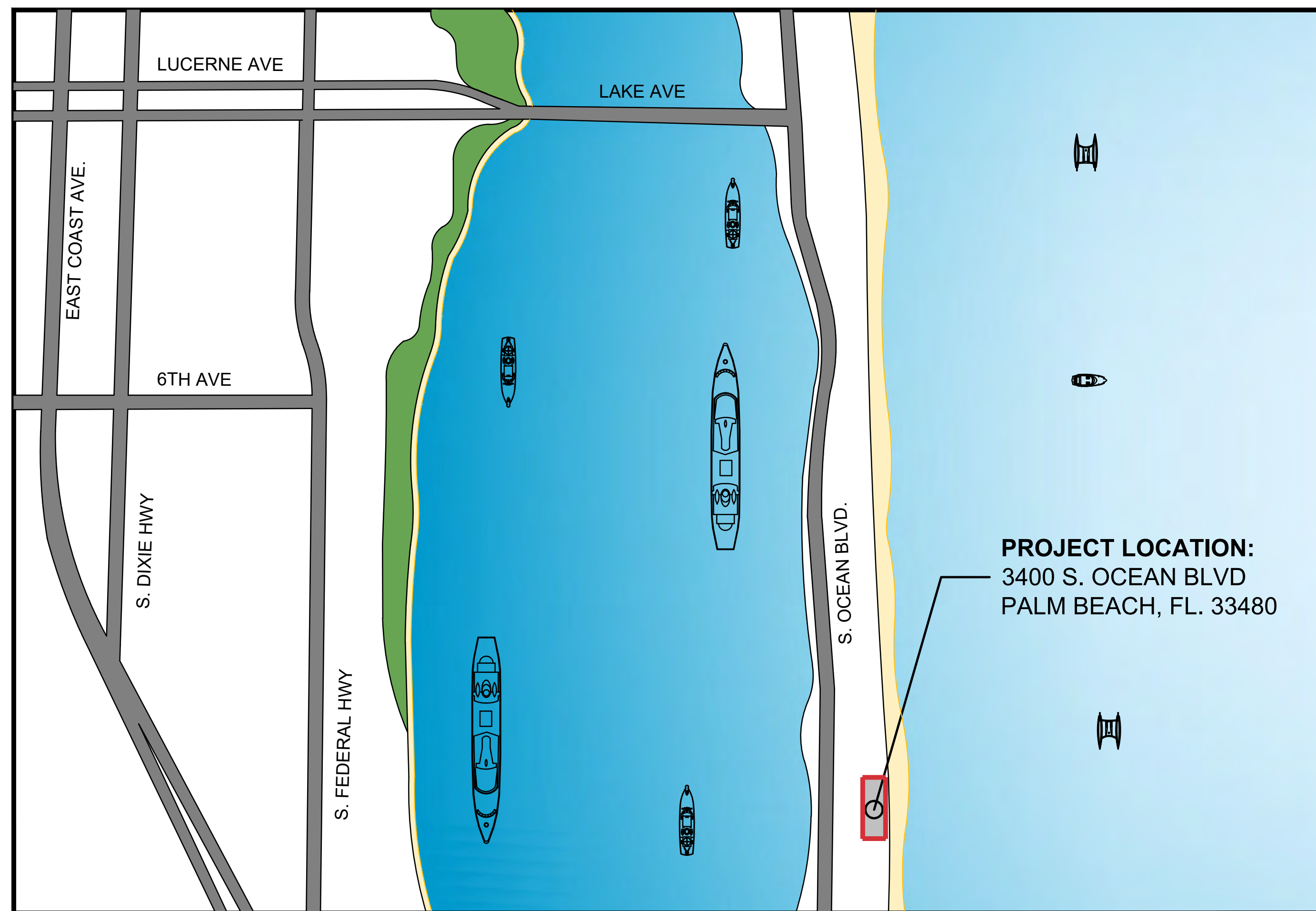


# The Atriums of Palm Beach Garage Roof/Pool Deck Maintenance Repairs

3400 S. Ocean Blvd.  
Palm Beach, FL. 33480



## SITE LOCATION MAP



## DRAWING INDEX

## GENERAL

**G001 COVER SHEET & DRAWING INDEX**

## RESTORATION

PH001	GROUND & PLAZA LEVELS PHASING PLAN
PH002	SITE & PHASING PLAN
SR201	PLAZA LEVEL - DEMOLITION PLAN - AREA A
SR202	PLAZA LEVEL - DEMOLITION PLAN - AREA B
SR302	GROUND LEVEL - FUNCTIONAL LAYOUT PLAN - AREA B
SR303	PLAZA LEVEL - REPAIR/ WATERPROOFING PLAN - AREA A
SR304	PLAZA LEVEL - REPAIR/ WATERPROOFING PLAN - AREA B
SR401	EXISTING CONDITION DETAILS
SR402	DEMOLITION DETAILS
SR501	STRUCTURAL REPAIR DETAILS
SR502	STRUCTURAL REPAIR DETAILS
SR503	NEW PLAZA SLAB DETAILS
SR511	WATERPROOFING DETAILS

## LANDSCAPE

EX	EXISTING CONDITION PLAN
DMO	DEMOLITION PLAN
LO	SITE PLAN RENDERING
EL1	ELEVATION
	PERSPECTIVE VIEW (3)
LO	SITE PLAN
L1	HARDSCAPE PLAN
LP1	LANDSCAPE PLAN
LP2	PLANT LIST AND DETAILS
D1-D3	CONSTRUCTION DETAILS
D4	EXISTING POOL
CSP	CONSTRUCTION SCREENING PLAN
OS1	OPEN SPACE DIAGRAM

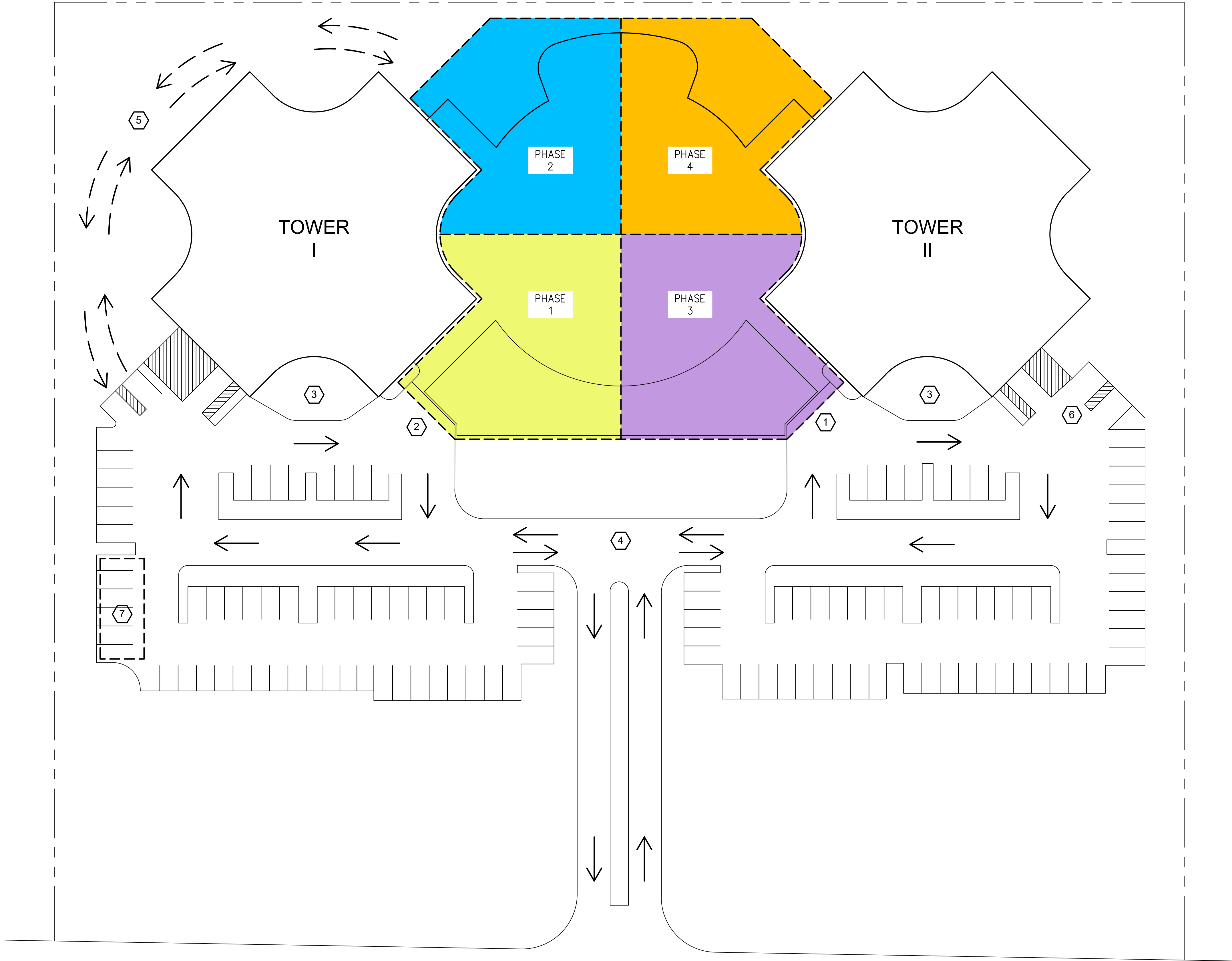
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		2	01/05/2023	ISSUED FOR REVIEW
DRAWN BY	MLL	3	02/13/2023	BID SET
CHECK BY	AK, JDS	-	-	-
DATE	07/12/2021	-	-	-

ENGINEER OF RECORD

GARAGE ROOF/ POOL DECK  
 MAINTENANCE REPAIRS  
 33400 S. OCEAN BLVD., PALM BEACH, FL. 33480  
 COVER SHEET & DRAWING INDEX

SHEET:  
G001





**1 SITE & PHASING PLAN**  
SCALE: 1"=30'-0"



- SITE PLAN NOTES**
1. ACCESS SHALL BE MAINTAINED ALL TIME DURING CONSTRUCTION. DO NOT BLOCK ENTRY.
  2. EXIT SHALL BE MAINTAINED ALL TIMES DURING CONSTRUCTION.
  3. CONTRACTOR PERSONNEL SHALL NOT ACCESS OR BLOCK BUILDING ENTRY/EXIT WITHOUT WRITTEN APPROVAL FROM OWNER.
  4. PROVIDE ADEQUATE CONSTRUCTION WARNING SIGNS.
  5. ACCESS TO AND FROM PROJECT SITE. EXIST GRASS SURFACE SHALL BE PROTECTED FROM VEHICLE DAMAGE. METHOD OF PROTECTION SHALL BE APPROVED BY ENGINEER.
  6. DO NOT ACCESS SITE FROM THIS LOCATION.
  7. PROPOSED STAGING LOCATION.

- PHASING LEGEND**
- = PHASE 1, AREA CLOSED FOR CONSTRUCTION ON PLAZA LEVEL AND GROUND LEVEL BELOW
  - = PHASE 2, AREA CLOSED FOR CONSTRUCTION ON PLAZA LEVEL AND GROUND LEVEL BELOW
  - = PHASE 3, AREA CLOSED FOR CONSTRUCTION ON PLAZA LEVEL AND GROUND LEVEL BELOW
  - = PHASE 4, AREA CLOSED FOR CONSTRUCTION ON PLAZA LEVEL AND GROUND LEVEL BELOW
  - = BARRICADE LIMITS

REVISIONS		ISSUED FOR	REVIEW	NO.	DATE	DESCRIPTION
	1	7061.00	MLL	1	07/12/2021	OWNER REVIEW SET
	2			2	01/05/2023	ISSUED FOR REVIEW
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ENGINEER OF RECORD

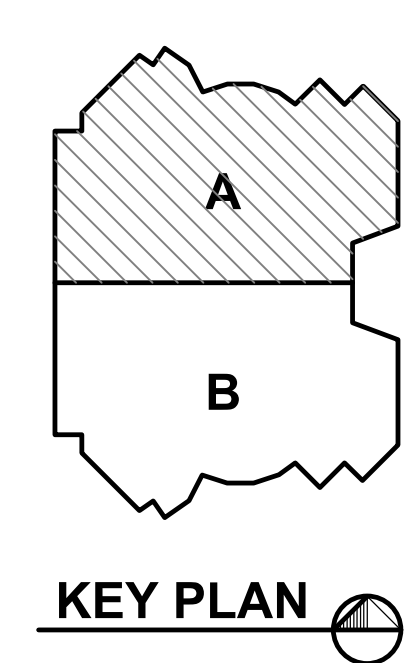
THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/ POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480

SITE & PHASING PLAN

SHEET:  
PH002



14045 Ballantyne Corporate Place, Suite 380, Charlotte, NC 28277  
Phone No. 704.716.8000



14045 Ballantyne Corporate Place, Suite 380, Charlotte, NC 28277  
Phone No. 704.716.8000

ISSUED FOR	REVIEW	REVISIONS NO.	DATE	DESCRIPTION
JOB NO.	7061.00	1	07/12/2021	OWNER REVIEW SET
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CHECK BY	AK, JDS	3	02/13/2023	BID SET
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			-	-
			-	-
DATE	07/12/2021		-	-

ENGINEER OF RECORD

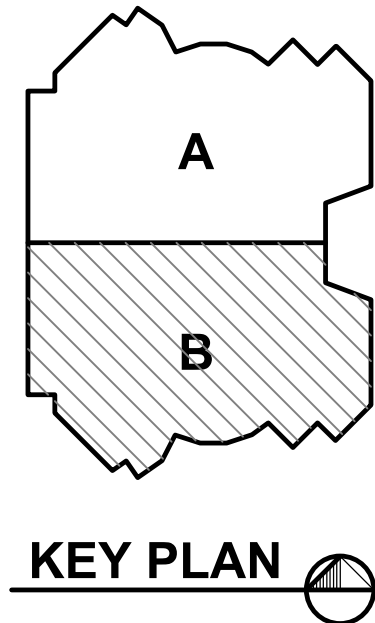
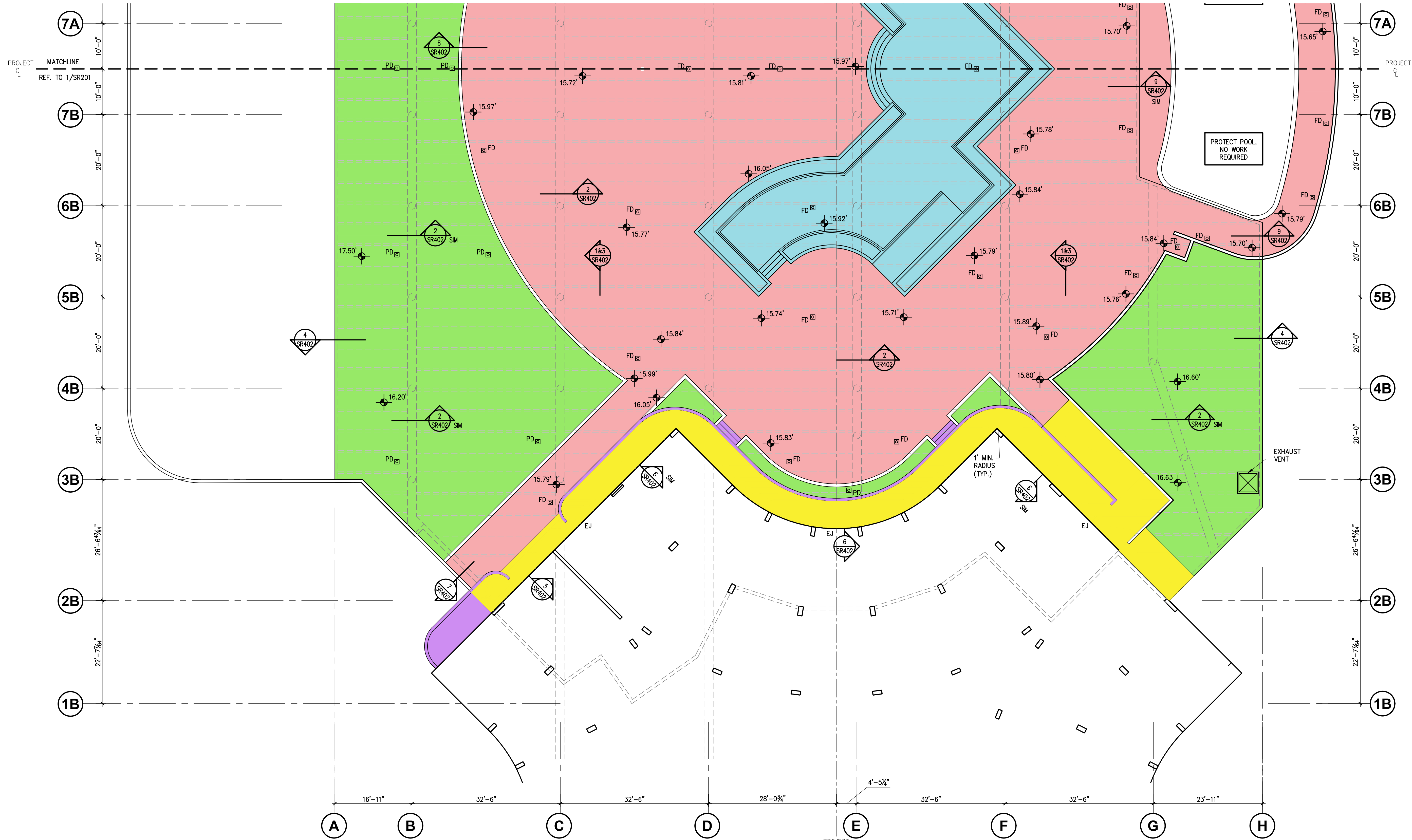
THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/ POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480  
PLAZA LEVEL DEMOLITION PLAN - AREA A

SHEET:  
SR201

SCALE:  $3/32"=1'-0"$



	= REMOVE AND DISCARD EXISTING PAVER SYSTEM AND WATERPROOFING SYSTEM TO EXPOSE CONCRETE SLAB (DO NOT DAMAGE). COORDINATE WITH OWNER AND ENGINEER DISPOSAL METHOD OF EXISTING PAVERS.
	= REMOVE AND DISCARD EXISTING LANDSCAPE (SOIL, GRASS, SHRUBS, ETC.). REFER TO LANDSCAPE DRAWINGS FOR APPROPRIATE REMOVAL OF TREES FOR STORAGE AND RE-USE.
	= REMOVE AND DISCARD EXISTING GAZEBO FRAMING, PAVERS, PLANTER SYSTEMS, CURBS, ETC. TO EXPOSE CONCRETE SLAB (DO NOT DAMAGE). CONTRACTOR TO ADEQUATELY TERMINATE STRUCTURAL AND MEP ELEMENTS FROM OLD GAZEBO FLUSH TO THE CONCRETE SLAB. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
	= REMOVE AND DISCARD EXISTING BALCONY SLABS, WALLS, AND WATERPROOFING SYSTEMS UNDERNEATH FOR 2'-6" STRIP ALONG TOWER PERIMETER TO ACCESS EXPANSION JOINT. DEMO AND SHORE 5 LINEAL FEET AT A TIME, DO NOT BEGIN NEXT 5 FOOT WIDE DEMO SECTION UNTIL SHORING HAS BEEN INSTALLED. TAKE EXTREME CARE NOT TO DAMAGE ARCHING STUD WALLS – CONTRACTOR TO SHORE AS NEEDED PRIOR TO DEMO.
	= MECHANICALLY REMOVE EXIST. DECK COATING SYSTEM TO BARE CONCRETE SLAB. TAKE EXTREME CARE NOT TO DAMAGE RAILINGS, STUCCO, OR ARCHITECTURAL FEATURES.
	= EXISTING CONCRETE CURBS OR WALLS TO REMAIN. TAKE EXTREME CARE NOT TO DAMAGE DURING THE DEMO PROCESS.
	= REMOVE AND DISCARD ALL EXISTING PLAZA FLOOR DRAINS WITHIN THE LIMITS OF DEMOLITION. DRAIN LOCATIONS AND QUANTITIES ARE APPROXIMATE ONLY – CONTRACTOR TO FIELD VERIFY. DO NOT DAMAGE PIPING WHEN REMOVING DRAINS. PROTECT DRAIN PIPES FROM DEBRIS ACCUMULATION.
	= REMOVE AND DISCARD ALL EXISTING PLANTER/LANDSCAPING DRAINS WITHIN THE LIMITS OF DEMOLITION. DRAIN LOCATIONS AND QUANTITIES ARE APPROXIMATE ONLY – CONTRACTOR TO FIELD VERIFY. DO NOT DAMAGE PIPING WHEN REMOVING DRAINS.
	= APPROXIMATE EXIST. ELEVATION AT TOP OF PAVERS OR PLANTERS. CONTRACTOR TO SURVEY AND CONFIRM ELEVATIONS PRIOR TO BEGINNING DEMO WORK. REPORT DISCREPANCIES TO ENGINEER.



**1 PLAZA LEVEL - DEMOLITION PLAN - AREA B**  
SCALE: 3/32"=1'-0"

**DEMOLITION NOTES**

1. PRIOR TO BEGINNING DEMO, THE CONTRACTOR SHALL CONFIRM ALL ELEVATIONS SHOWN ON PLANS FOR RECORD PURPOSES.
2. DO NOT DAMAGE EXISTING CONCRETE STRUCTURAL SLAB DURING THE DEMOLITION PROCESS. IT WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
3. AFTER REMOVAL OF THE EXISTING WATERPROOFING SYSTEM, REPAIR ANY EXIST. TOPSIDE CONCRETE SPALLS PER DETAILS 8-11 ON SHEET SR502.
4. AFTER REMOVAL OF THE EXISTING WATERPROOFING SYSTEM OR DECK COATING, ROUT AND SEAL ANY CONCRETE CRACK GREATER THAN 1/8" PER DETAIL 13/SR511.
5. AFTER REMOVAL OF EXISTING WATERPROOFING SYSTEM OR DECK COATING, REMOVE AND REPLACE ALL TOOLED AND COVE JOINT SEALANTS PER DETAILS 9-12 ON SHEET SR511 (COST INCIDENTAL).
6. COORDINATION APPROPRIATE TERMINATION OF ELECTRICAL ELEMENTS WITH LANDSCAPE DRAWINGS.
7. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
8. PROTECT POOL AT ALL TIMES FROM DAMAGE OR DEBRIS ACCUMULATION.

**DEMOLITION LEGEND**

- = REMOVE AND DISCARD EXISTING PAVER SYSTEM AND WATERPROOFING SYSTEM TO EXPOSE CONCRETE SLAB (DO NOT DAMAGE). COORDINATE WITH OWNER AND ENGINEER DISPOSAL METHOD OF EXISTING PAVERS.
- = REMOVE AND DISCARD EXISTING LANDSCAPE (SOIL, GRASS, SHRUBS, ETC.). REFER TO LANDSCAPE DRAWINGS FOR APPROPRIATE REMOVAL OF TREES FOR STORAGE AND RE-USE.
- = REMOVE AND DISCARD EXISTING GAZEBO FRAMING, PAVERS, PLANTER SYSTEMS, CURBS, ETC. TO EXPOSE CONCRETE SLAB (DO NOT DAMAGE). CONTRACTOR TO ADEQUATELY TERMINATE STRUCTURAL AND MEP ELEMENTS FROM OLD GAZEBO FLUSH TO THE CONCRETE SLAB. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
- = REMOVE AND DISCARD EXISTING BALCONY SLABS, WALLS, AND WATERPROOFING SYSTEMS UNDERNEATH FOR 2'-6" STRIP ALONG TOWER PERIMETER TO ACCESS EXPANSION JOINT. DEMO AND SHORE 5 LINEAL FEET AT A TIME, DO NOT BEGIN NEXT 5 FOOT WIDE DEMO SECTION UNTIL SHORING HAS BEEN INSTALLED. TAKE EXTREME CARE NOT TO DAMAGE ARCHING STUD WALLS - CONTRACTOR TO SHORE AS NEEDED PRIOR TO DEMO.
- = MECHANICALLY REMOVE EXIST. DECK COATING SYSTEM TO BARE CONCRETE SLAB. TAKE EXTREME CARE NOT TO DAMAGE RAILINGS, STUCCO, OR ARCHITECTURAL FEATURES.
- = EXISTING CONCRETE CURBS OR WALLS TO REMAIN. TAKE EXTREME CARE NOT TO DAMAGE DURING THE DEMO PROCESS.
- FD = REMOVE AND DISCARD ALL EXISTING PLAZA FLOOR DRAINS WITHIN THE LIMITS OF DEMOLITION. DRAIN LOCATIONS AND QUANTITIES ARE APPROXIMATE ONLY - CONTRACTOR TO FIELD VERIFY. DO NOT DAMAGE PIPING WHEN REMOVING DRAINS.
- PD = REMOVE AND DISCARD ALL EXISTING PLANTER/LANDSCAPING DRAINS WITHIN THE LIMITS OF DEMOLITION. DRAIN LOCATIONS AND QUANTITIES ARE APPROXIMATE ONLY - CONTRACTOR TO FIELD VERIFY. DO NOT DAMAGE PIPING WHEN REMOVING DRAINS.
- = APPROXIMATE EXIST. ELEVATION AT TOP OF PAVERS OR PLANTERS. CONTRACTOR TO SURVEY AND CONFIRM ELEVATIONS PRIOR TO BEGINNING DEMO WORK. REPORT DISCREPANCIES TO ENGINEER.

THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480  
PLAZA LEVEL DEMOLITION PLAN - AREA B

SHEET:  
SR202

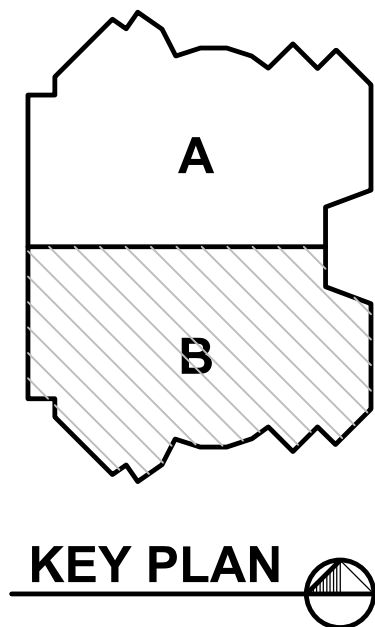
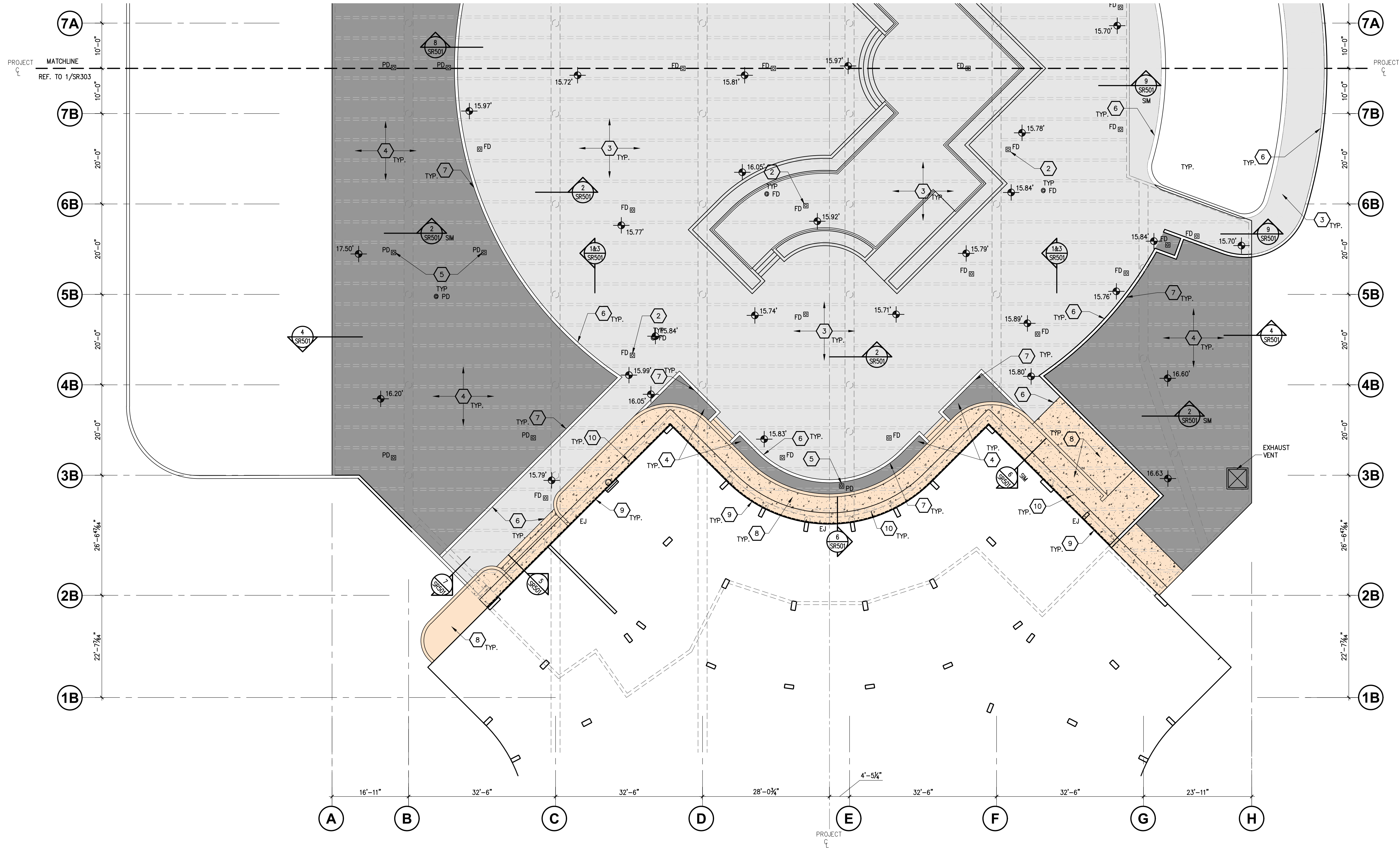


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Phone No. 704.716.8000

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**1 PLAZA LEVEL - REPAIR/ WATERPROOFING PLAN - AREA B**

SCALE: 3/32"=1'-0"

**DRAINAGE NOTES:**

ALL EXISTING FLOOR DRAINS AND PIPING TO REMAIN. NEW BI-LEVEL FLOOR DRAIN BODIES TO BE INSTALLED PER REPAIR PLAN NOTE 2 TO ENHANCE DRAINAGE.

**TYPICAL SHEET NOTES**

- REFER TO SHEET G002 FOR GENERAL NOTES.
- PRIOR TO THE INSTALLATION OF THE NEW WATERPROOFING SYSTEM, REPAIR ANY EXISTING TOPSIDE CONCRETE SPALLS PER DETAILS 6-11 ON SHEET SR502.
- PRIOR TO THE INSTALLATION OF THE NEW WATERPROOFING SYSTEM OR DECK COATING, ROUT AND SEAL ANY CONCRETE CRACK GREATER THAN 1/8" PER DETAIL 13/SR511.
- PRIOR TO THE INSTALLATION OF THE NEW WATERPROOFING SYSTEM OR DECK COATING, REMOVE AND REPLACE ALL TOOLED AND COVE JOINT SEALANTS PER DETAILS 9-12 ON SHEET SR511 (COST INCIDENTAL TO WATERPROOFING SYSTEM AND DECK COATING).

**REPAIR LEGEND**

- [Solid Grey] = NEW PLAZA WATERPROOFING SYSTEM, SEE PLAN NOTE 3.
- [Dark Grey] = NEW PLANTER WATERPROOFING SYSTEM, SEE PLAN NOTE 4.
- [Light Orange] = NEW DECK COATING SYSTEM. SEE PLAN NOTE 8.
- [Patterned Orange] = NEW MASONRY WALL, CONCRETE SLAB, AND DECK COATING SYSTEM. SEE PLAN NOTE 10.
- [Dashed Line] = EXISTING CONCRETE CURBS TO REMAIN, DO NOT DAMAGE.
- [FD Symbol] = NEW BI-LEVEL PLAZA DRAIN, SEE PLAN NOTE 2.
- [PD Symbol] = NEW SUB-SURFACE PLANTER DRAIN, SEE PLAN NOTE 5.
- [Cross-hatch] = OVERHEAD CONCRETE REPAIRS, SEE PLAN NOTE 1.
- [Elevation Symbol] = REQUIRED ELEVATION AT TOP OF NEW PAVER OR PLANTER SYSTEM TO MATCH SURVEYED EXIST. ELEVATIONS. REPORT DISCREPANCIES TO ENGINEER.
- [EJ Symbol] = EXPANSION JOINT SYSTEM REPLACEMENT. SEE PLAN NOTE 9.

**REPAIR PLAN NOTES #**

- 1 = OVERHEAD CONCRETE SLAB SPALL. REPAIR PER DETAIL 10/SR502. SEE PHASING PLAN FOR PHASING.
- 2 = PRESSURE CLEAN DRAIN LINES AND VERIFY FUNCTIONALITY. INSTALL NEW BI-LEVEL PLAZA DRAIN PER DETAIL 6 AND 7 ON SHEET SR502.
- 3 = INSTALL NEW PLAZA WATERPROOFING SYSTEM PER DETAIL 1 ON SHEET SR502. REFER TO DETAILS 1 THROUGH 8 ON SHEET SR511 FOR DETAILING REQUIREMENTS. COORDINATE WITH LANDSCAPE DRAWINGS.
- 4 = INSTALL NEW PLANTER WATERPROOFING SYSTEM PER DETAIL 2 ON SHEET SR502. REFER TO DETAILS 1 THROUGH 6 ON SHEET SR502 FOR DETAILING REQUIREMENTS. COORDINATE WITH LANDSCAPE DRAWINGS.
- 5 = PRESSURE CLEAN DRAIN LINES AND VERIFY FUNCTIONALITY. INSTALL NEW SUB-SURFACE PLANTER DRAIN PER DETAIL 5/SR502.
- 6 = TURN UP WATERPROOFING SYSTEM 3 INCHES MINIMUM PER DETAILS 3 AND 4 ON SHEET SR502.
- 7 = AT THE INTERIOR OF THE PLANTER WALLS, TURN UP WATERPROOFING SYSTEM FULL HEIGHT PER DETAIL 2/SR502.
- 8 = INSTALL NEW DECK COATING SYSTEM. REFER TO DETAILS 15-18/SR511 AND SPEC SECTION 07 1800 FOR MORE INFO. COLOR, FINISH, AND TERMINATIONS OF THE DECK COATING SYSTEM SHALL MATCH EXISTING AREAS.
- 9 = INSTALL NEW JOINT SEALANTS AND FLASHING AT EXPANSION JOINT PER DETAIL 19/SR511.
- 10 = REBUILD WALLS AND BALCONY SLABS UPON INSTALLATION OF NEW EXPANSION JOINT SYSTEM. REFER TO DETAILS 5-6/SR501 FOR MORE INFO. DECK COAT OVER ALL AREAS PER PLAN NOTE 8.

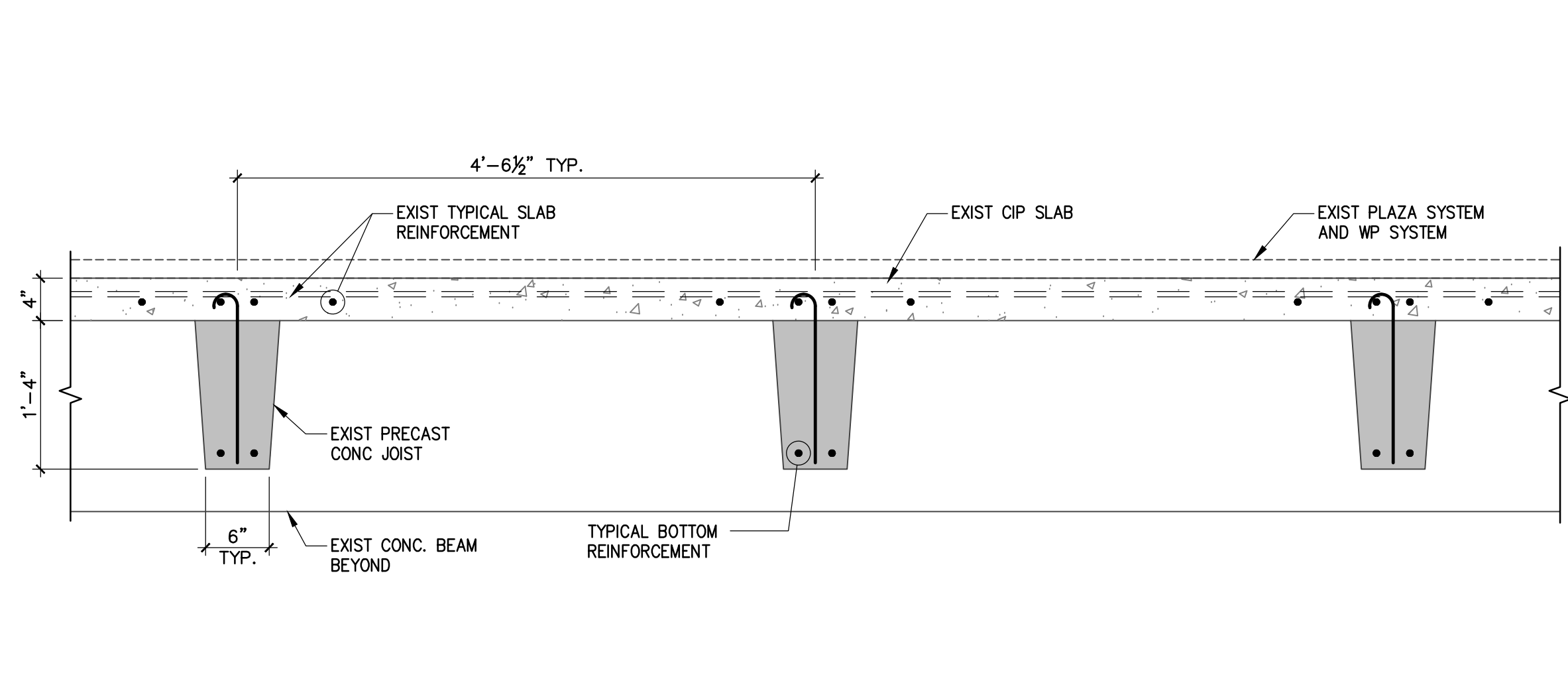
THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/ POOL DECK  
MAINTENANCE REPAIRS

3400 S. OCEAN BLVD., PALM BEACH, FL. 33480

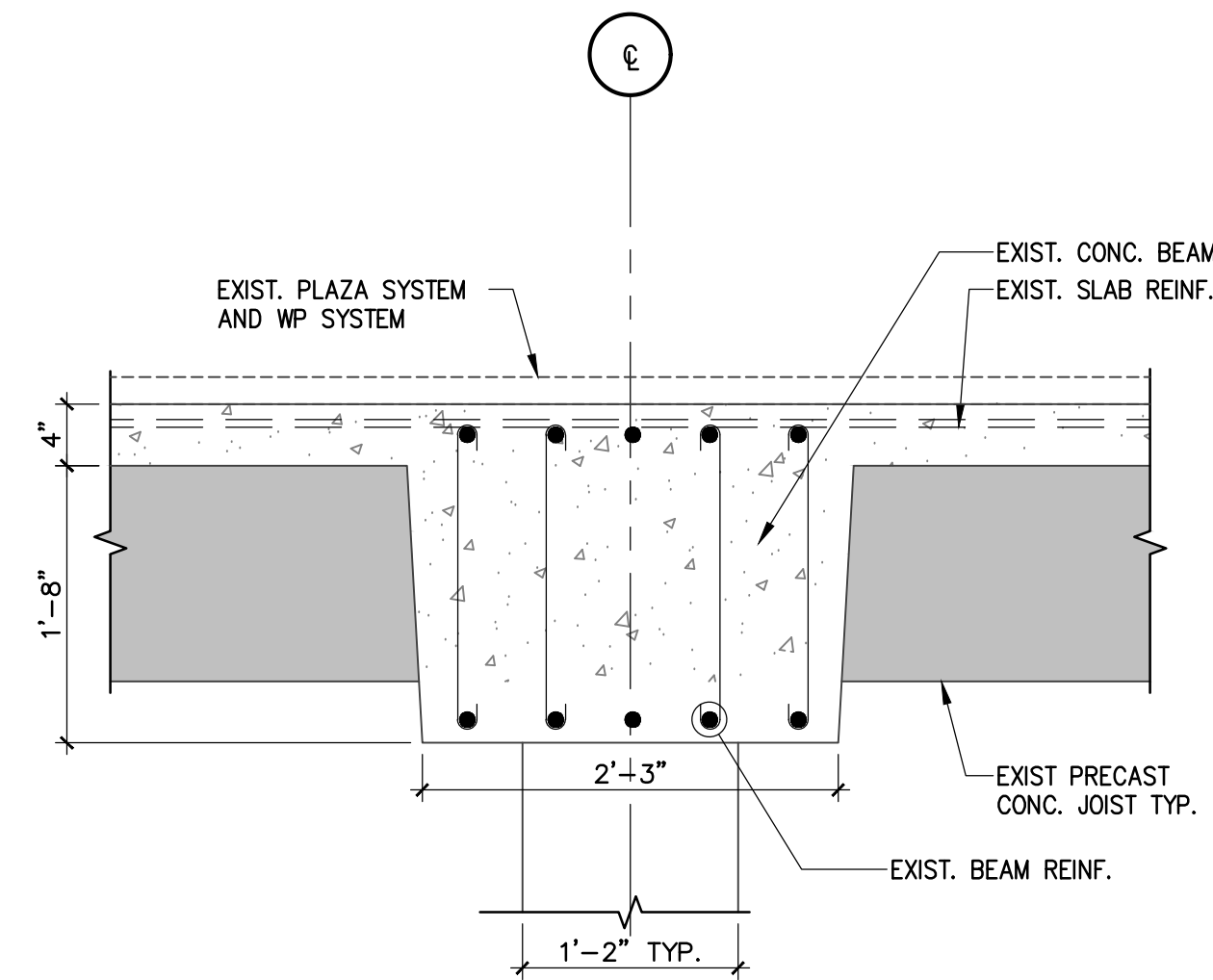
PLAZA LEVEL REPAIR/ WATERPROOFING PLAN - AREA B

SHEET:  
SR304

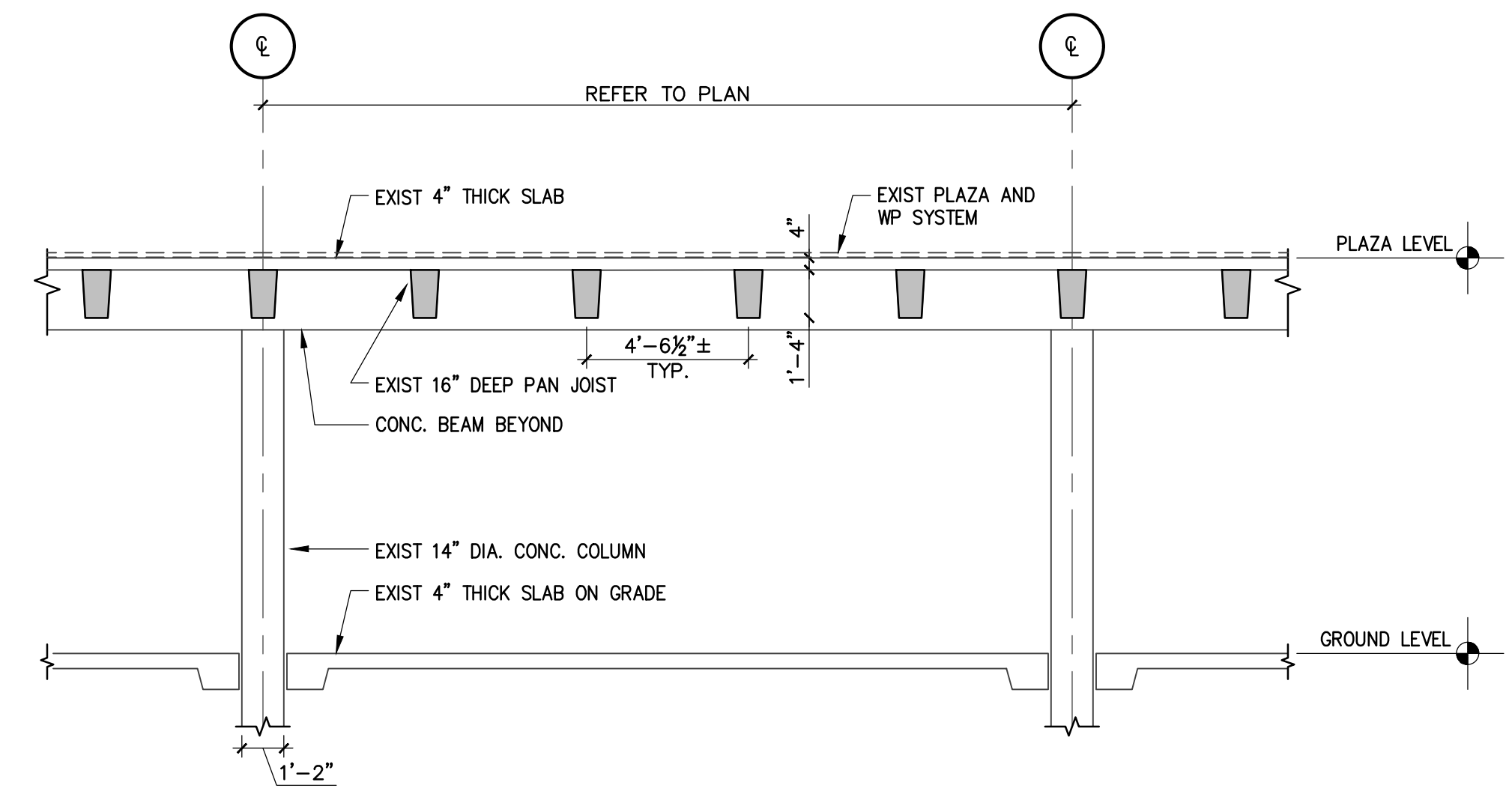
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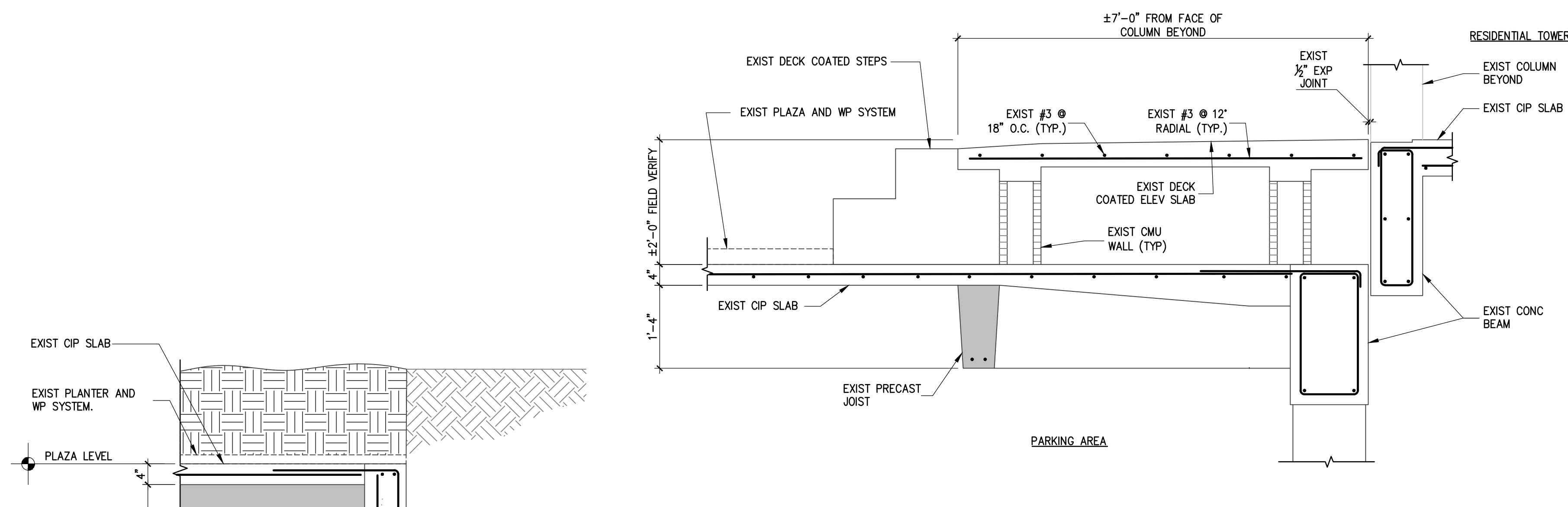
**1** TYPICAL PAN JOIST SYSTEM DETAIL (SECTION)  
SCALE: 1"=1'-0"



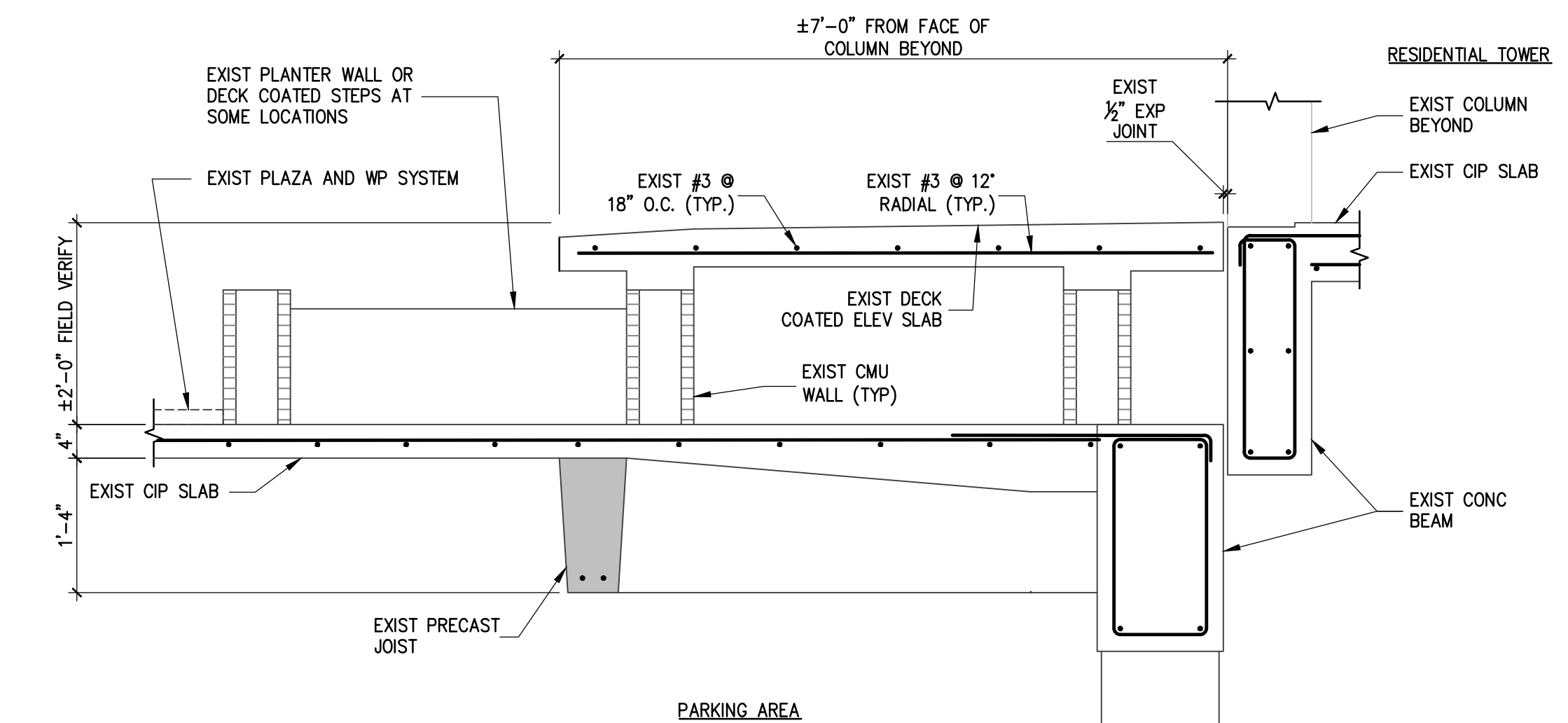
**2** TYPICAL CAST IN PLACE BEAM DETAIL  
SCALE: 1"=1'-0"



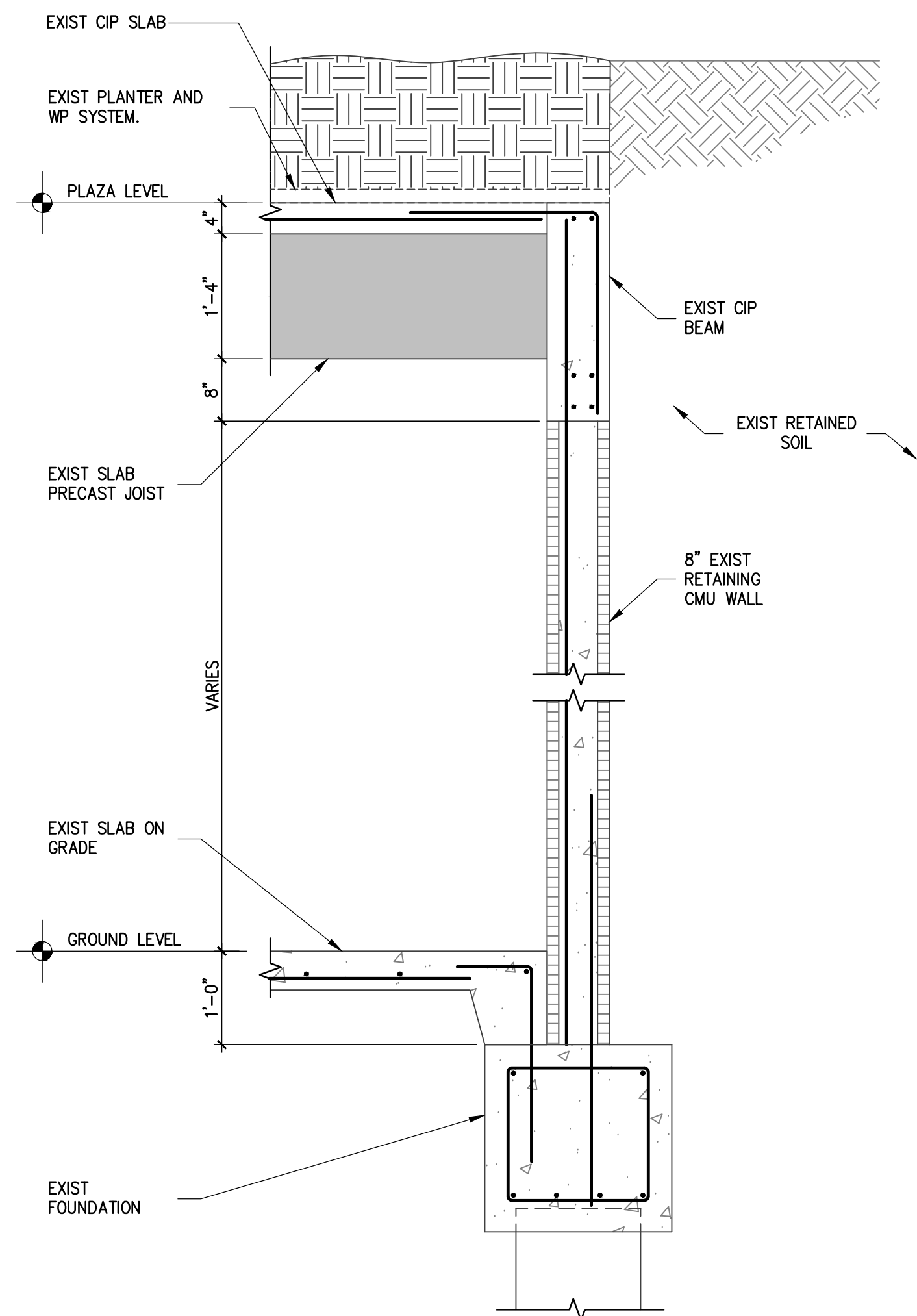
**3** TYPICAL ELEVATION DETAIL  
SCALE: 1/4"=1'-0"



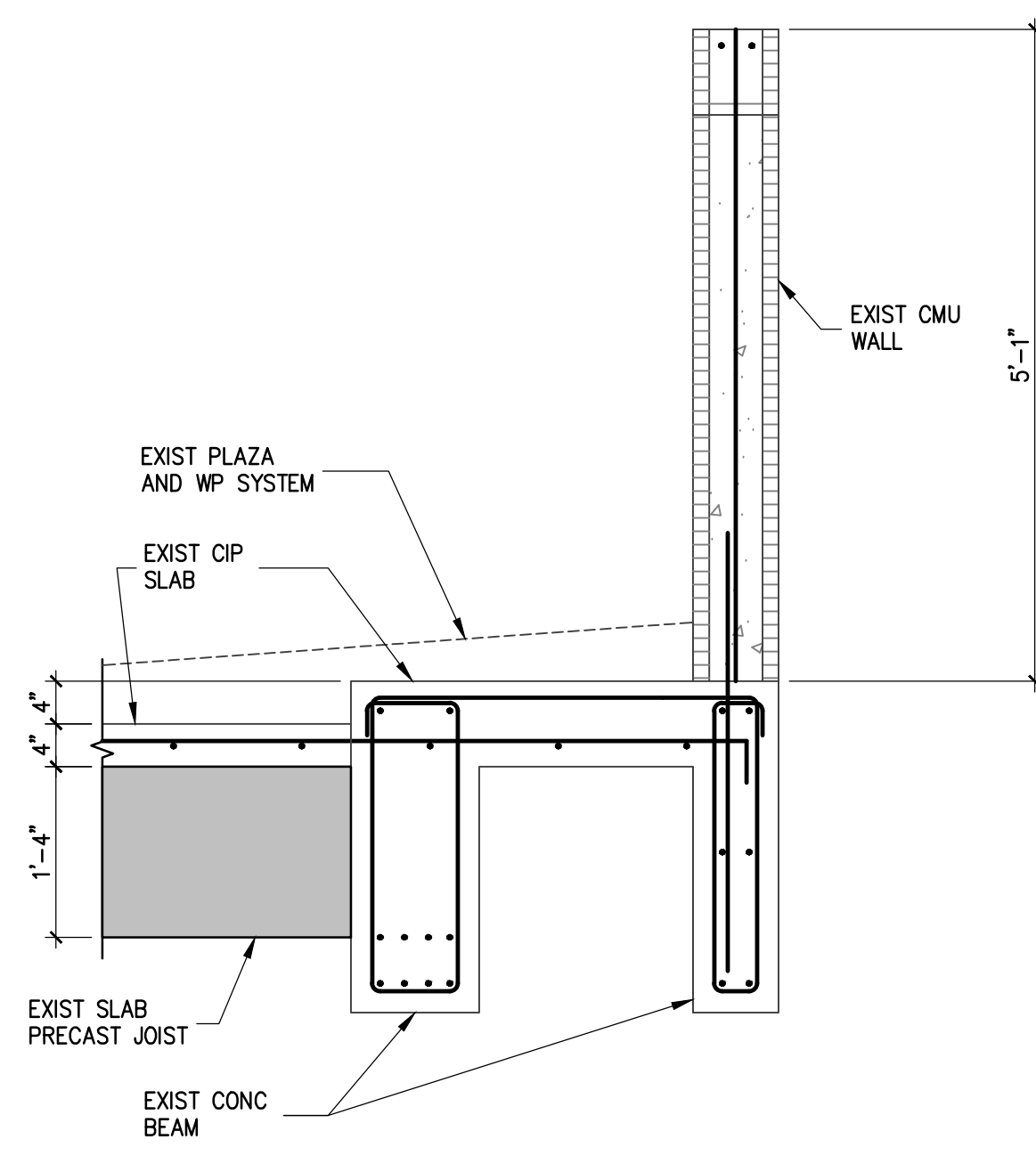
**5** EXISTING STRUCTURAL DETAIL  
SCALE: 3/4"=1'-0"



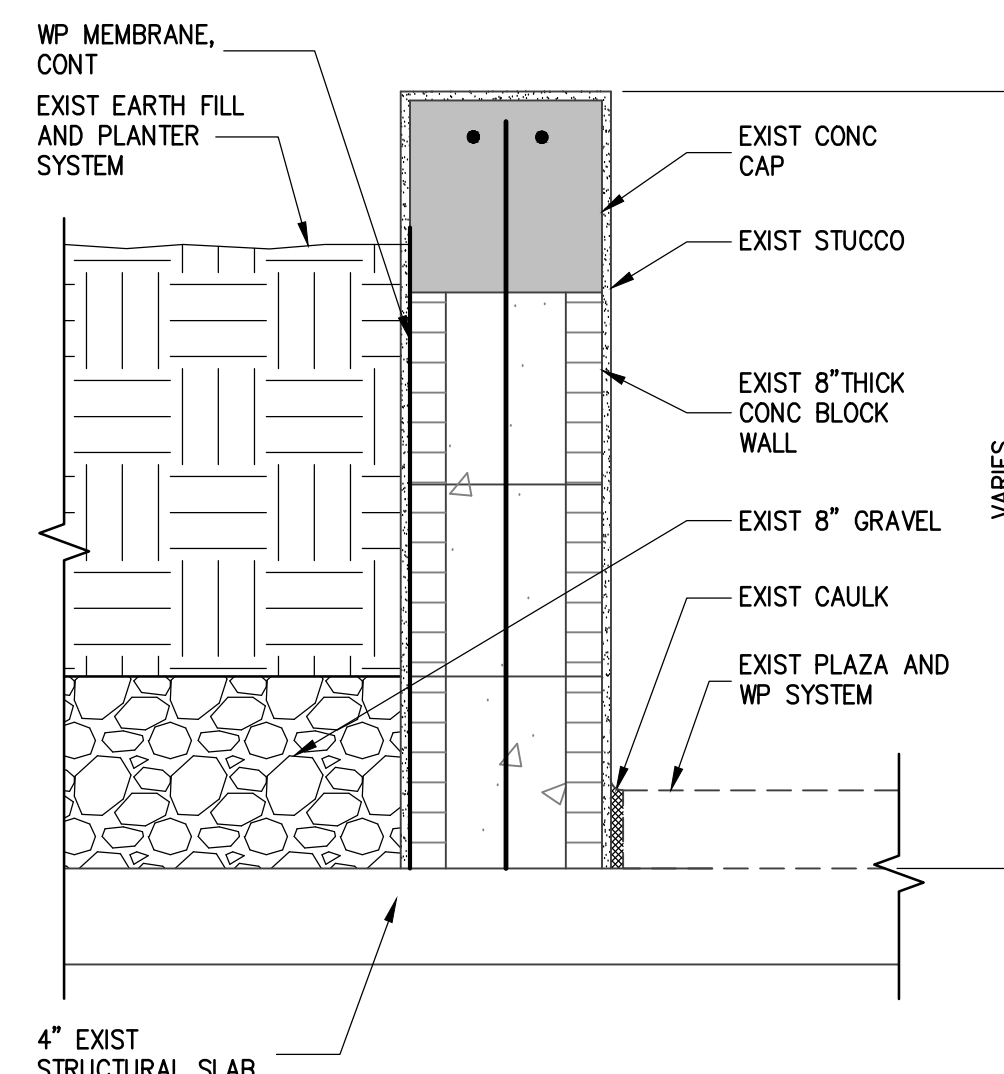
**6** EXISTING STRUCTURAL DETAIL  
SCALE: 3/4"=1'-0"



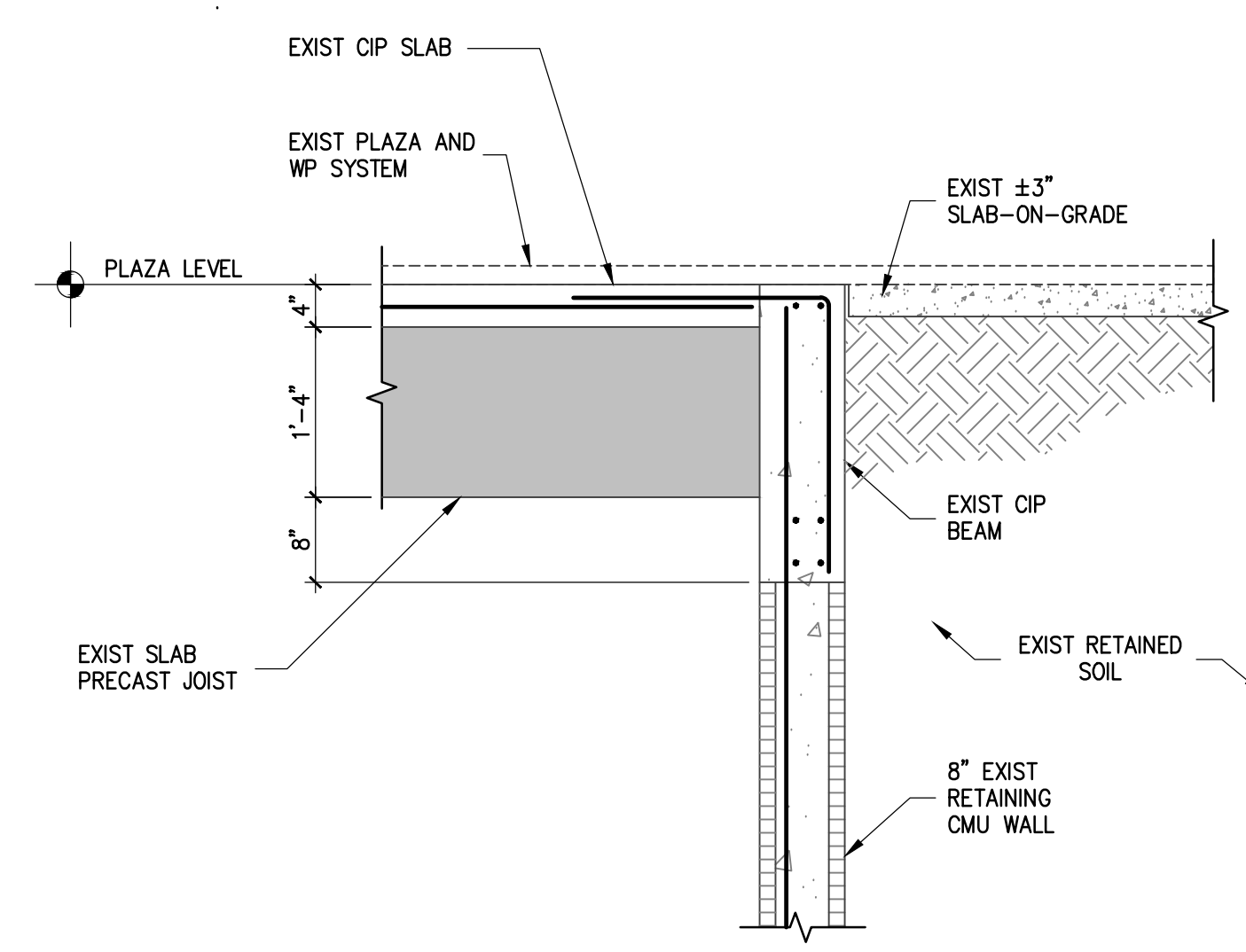
**4** TYPICAL WALL ELEVATION DETAIL  
SCALE: 3/4"=1'-0"



**7** EXISTING STRUCTURAL DETAIL  
SCALE: 3/4"=1'-0"



**8** PLANTER WATERPROOFING  
SCALE: 1-1/2"=1'-0"



**9** TYPICAL SECTION AT ON-GRADE SLAB  
SCALE: 3/4"=1'-0"



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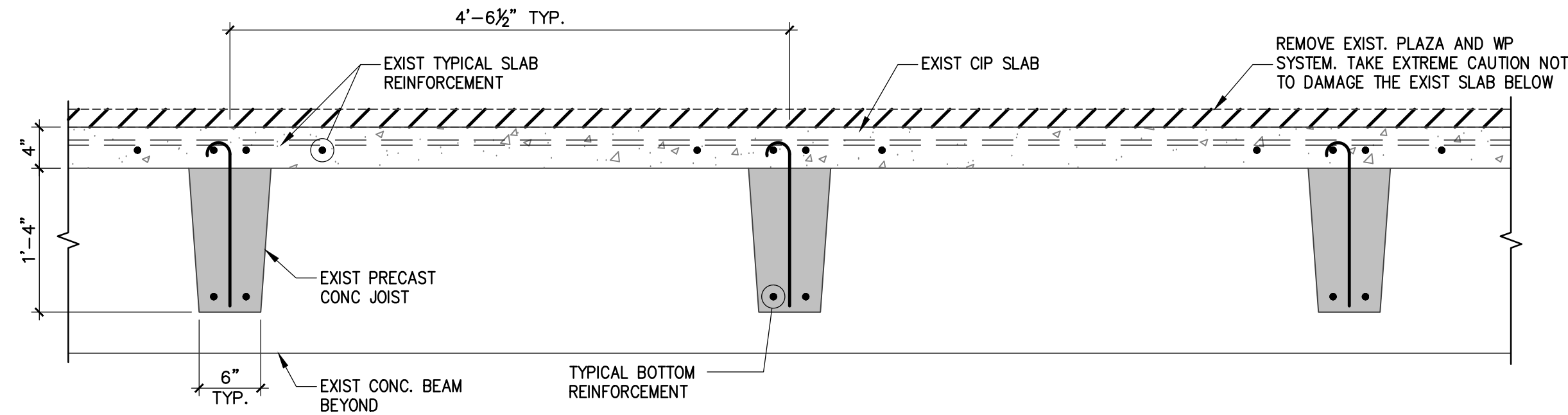
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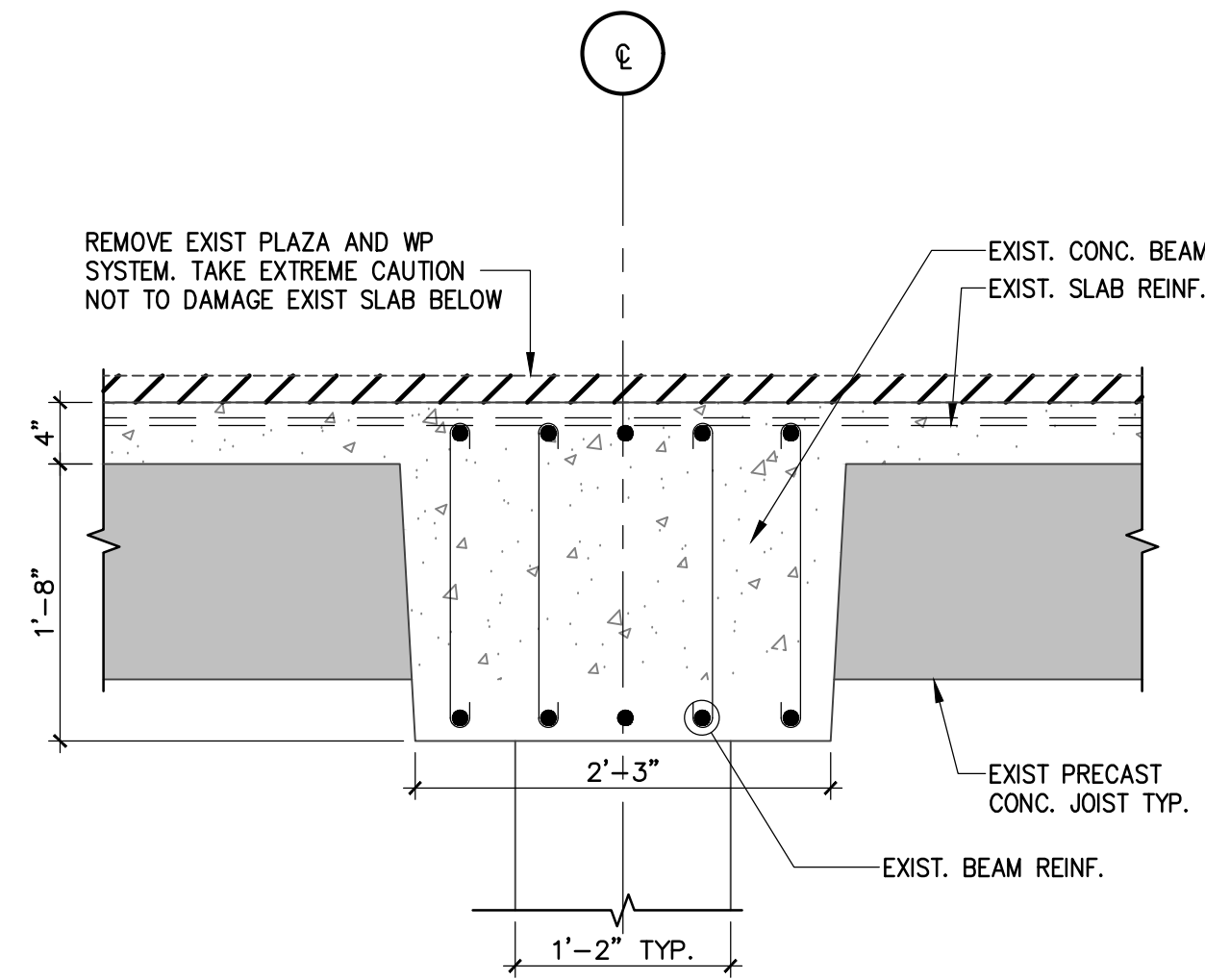
THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480

EXISTING CONDITION DETAILS

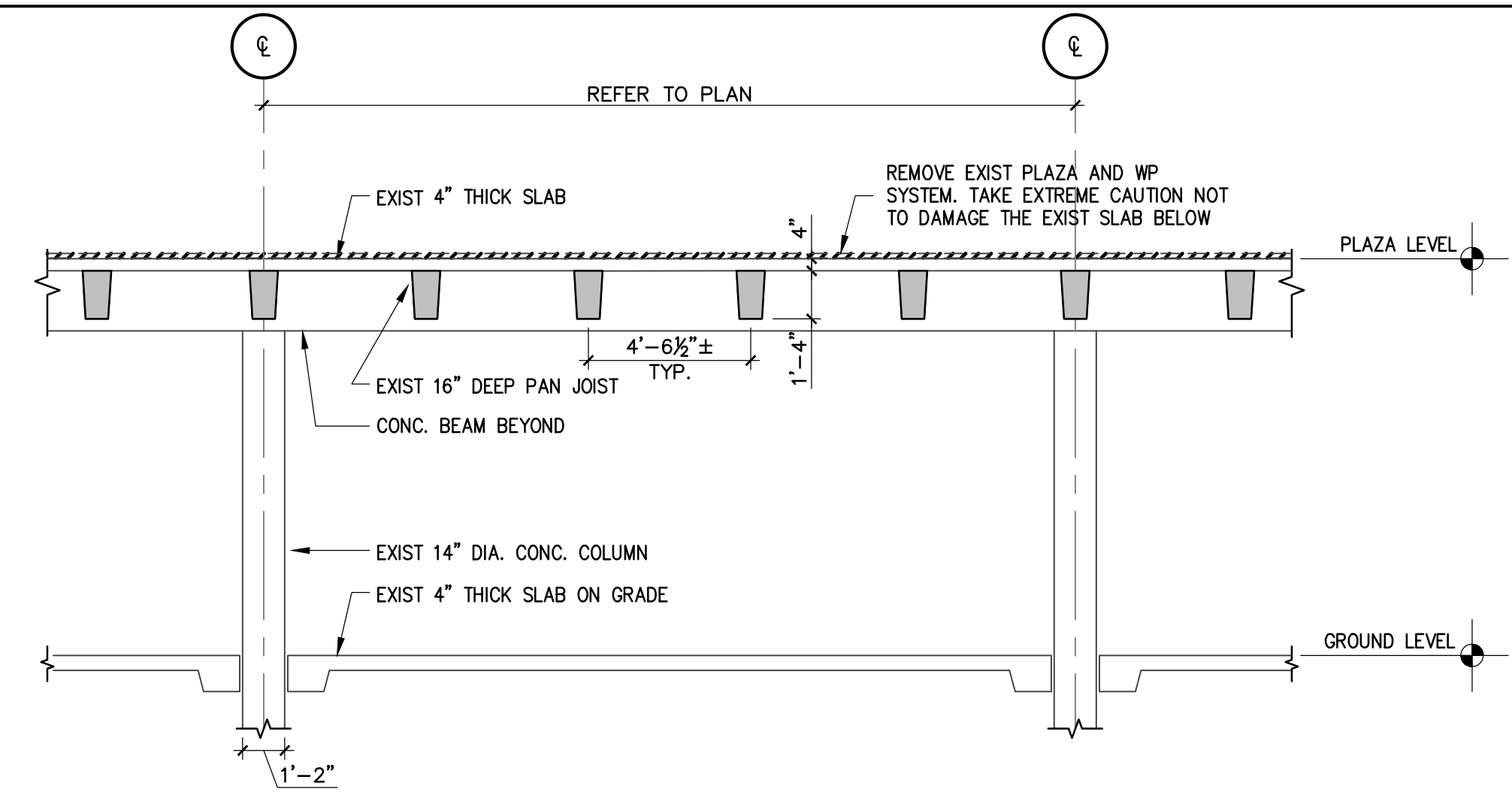
SHEET:  
SR401



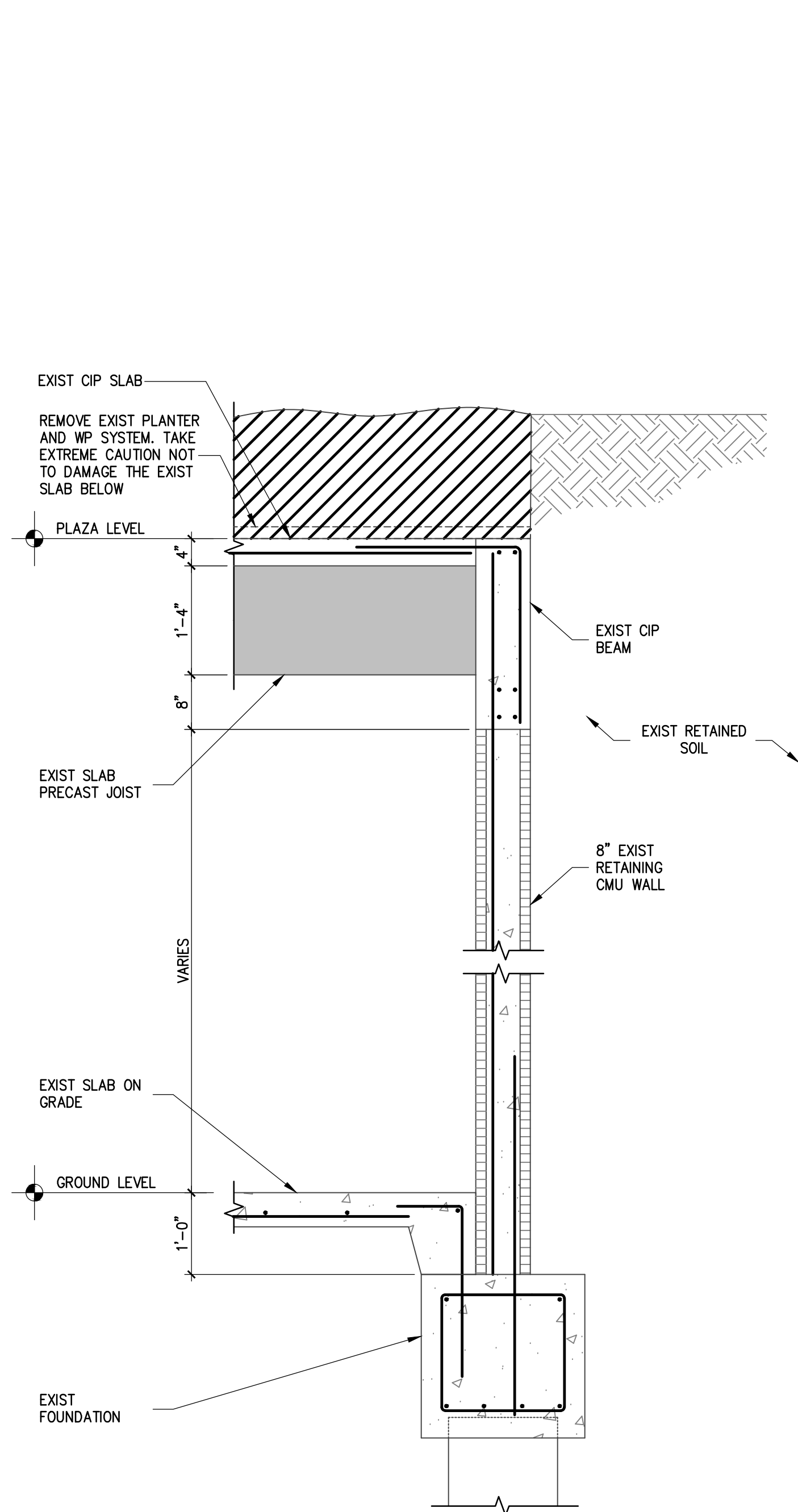
**1 TYPICAL PAN JOIST SYSTEM DETAIL (SECTION)**  
SCALE: 1"=1'-0"



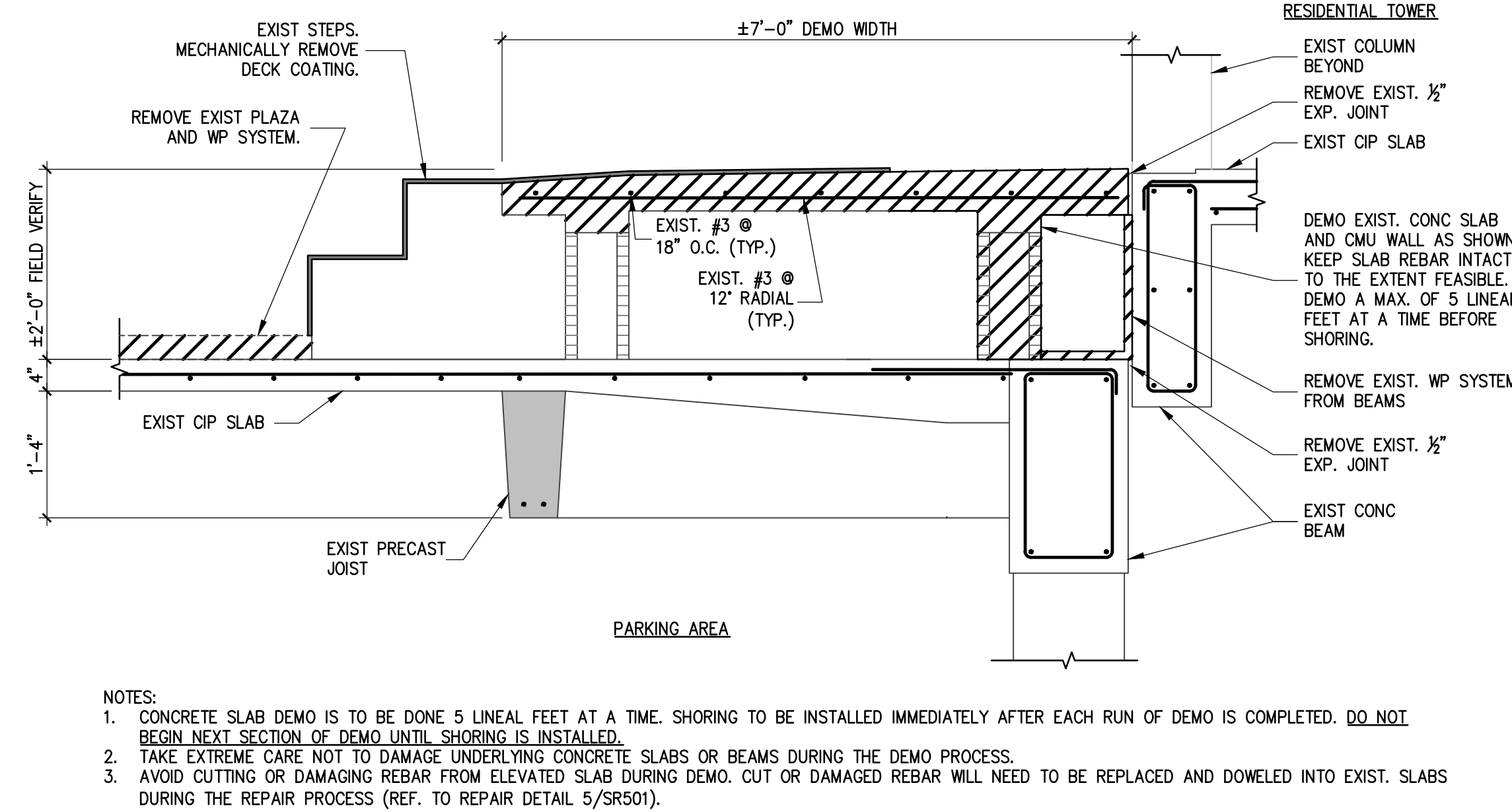
**2 TYPICAL CAST IN PLACE BEAM DETAIL**  
SCALE: 1"=1'-0"



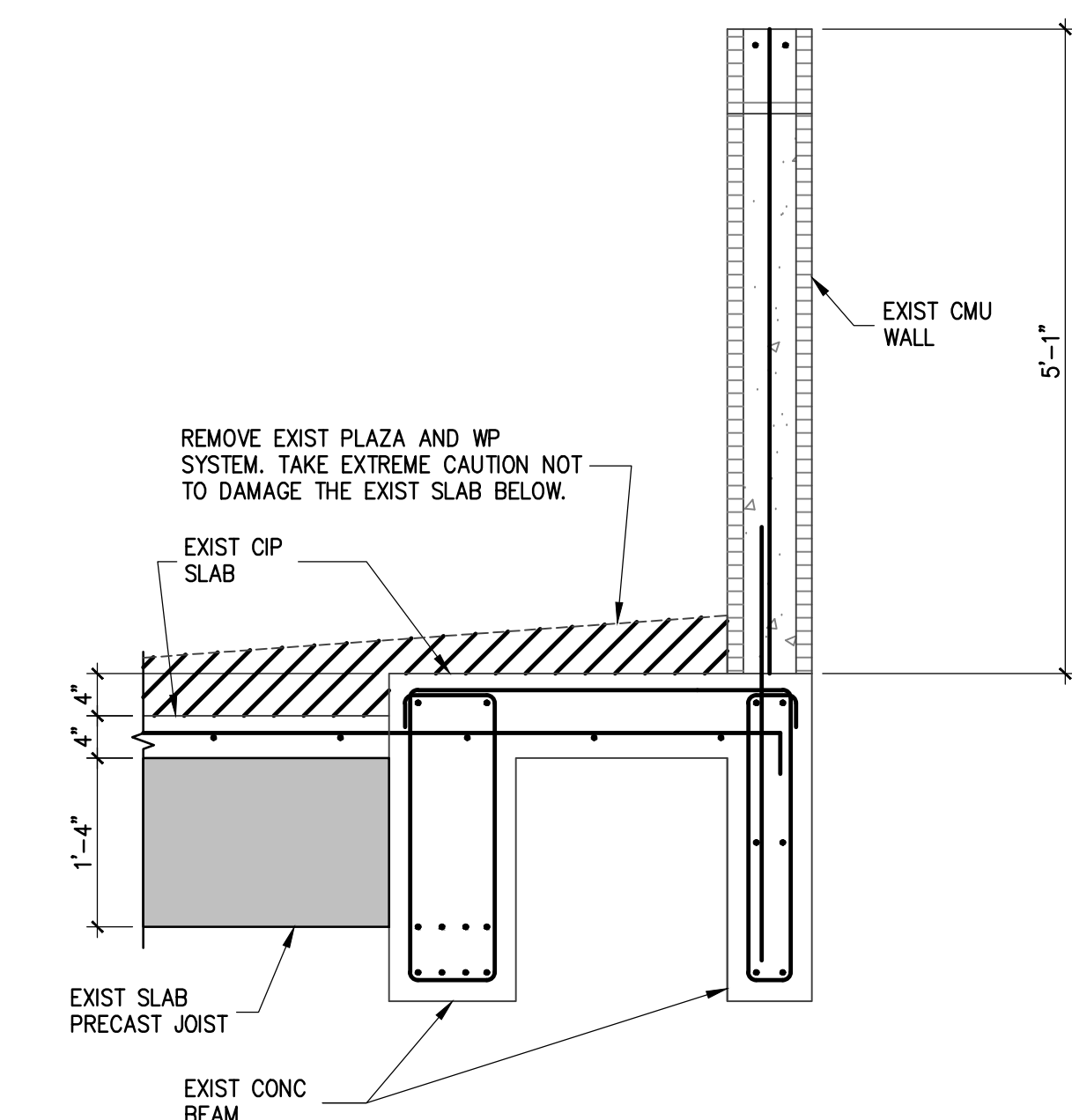
**3 TYPICAL ELEVATION DETAIL**  
SCALE: 1/4"=1'-0"



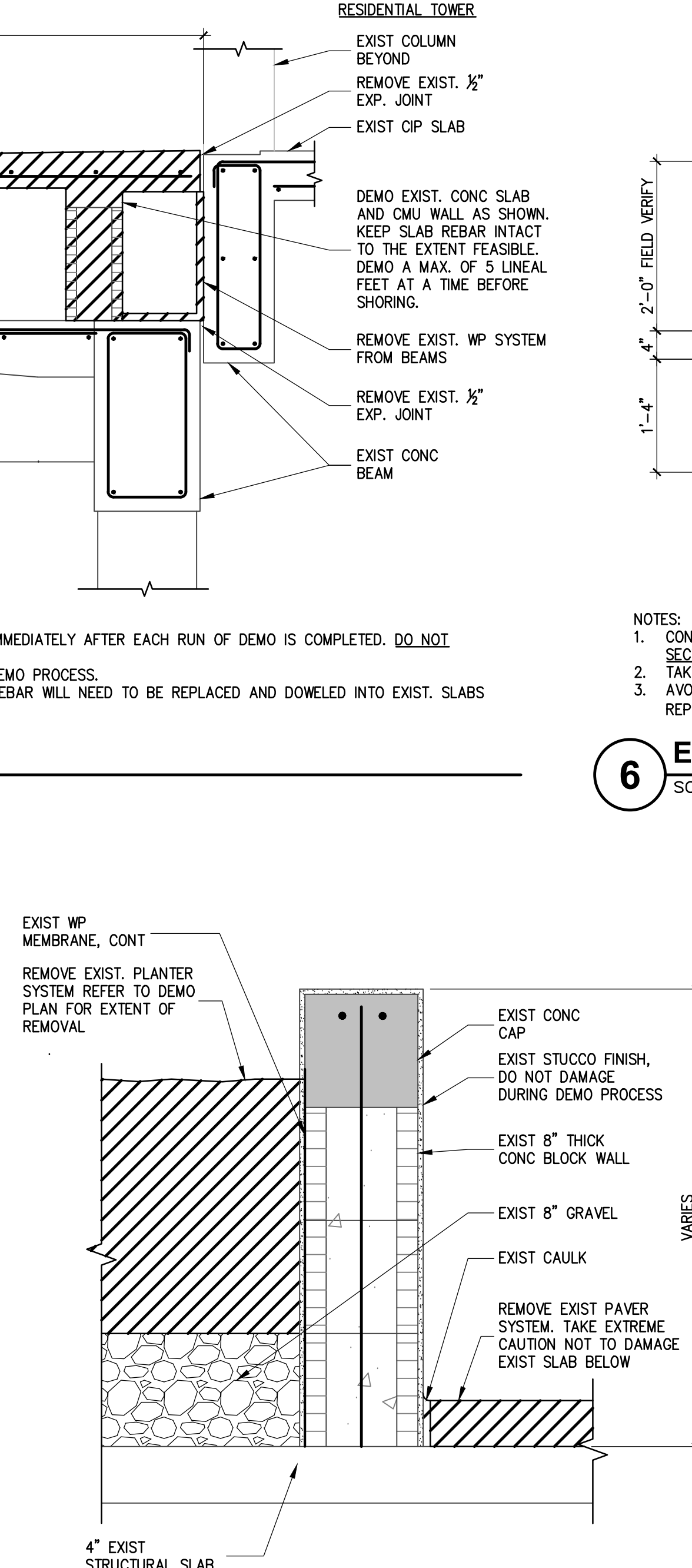
**4 TYPICAL WALL ELEVATION DETAIL**  
SCALE: 3/4"=1'-0"



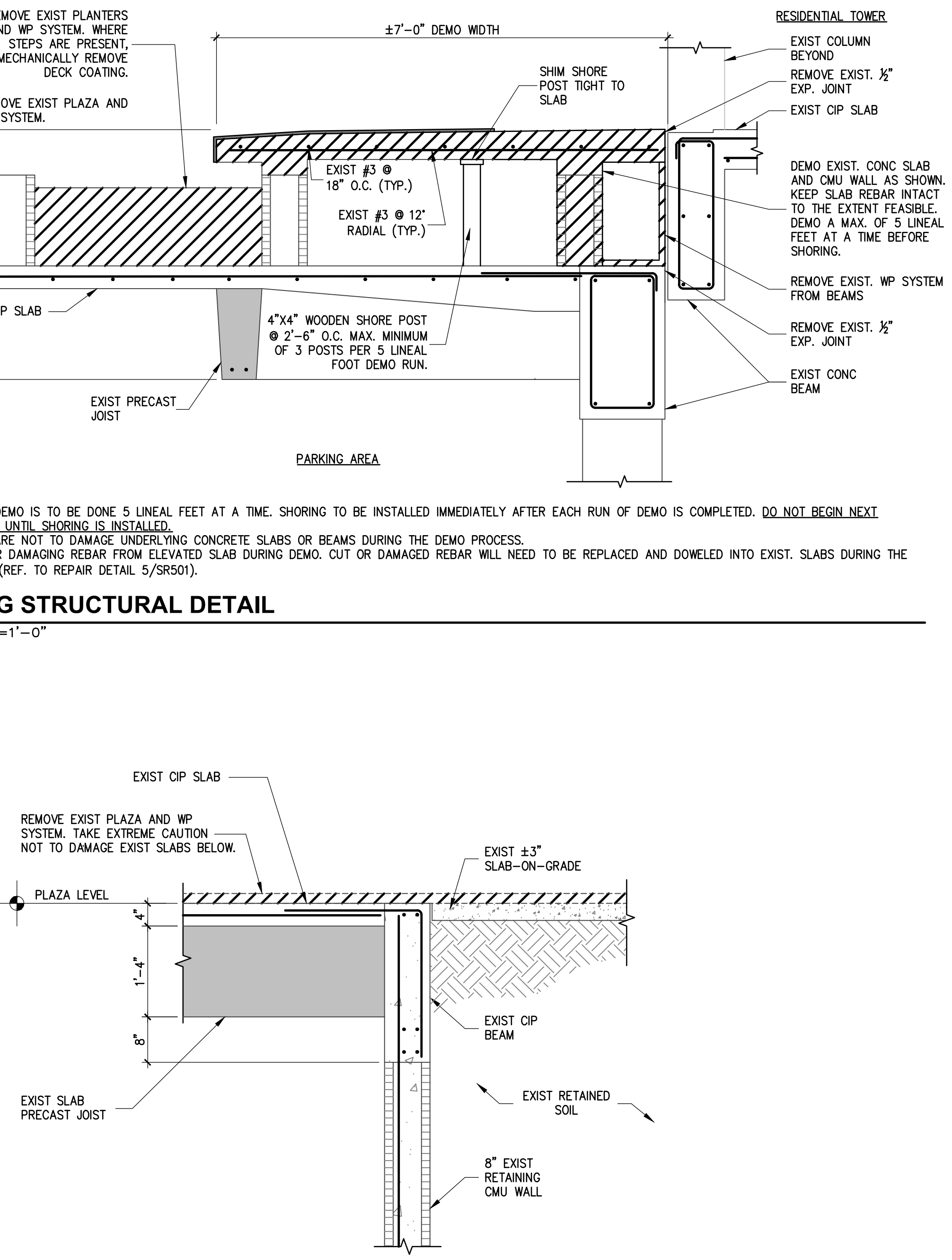
**5 EXISTING STRUCTURAL DETAIL**  
SCALE: 3/4"=1'-0"



**7 EXISTING STRUCTURAL DETAIL**  
SCALE: 3/4"=1'-0"



**8 PLANTER WATERPROOFING**  
SCALE: 1-1/2"=1'-0"



**9 TYPICAL SECTION AT ON-GRADE SLAB**  
SCALE: 3/4"=1'-0"

**DEMOLITION NOTES**  
 = DENOTES EXTENT OF DEMO AND REMOVAL. REFER TO SR201 AND SR202 FOR MORE INFORMATION.

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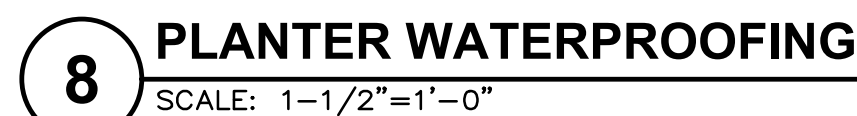
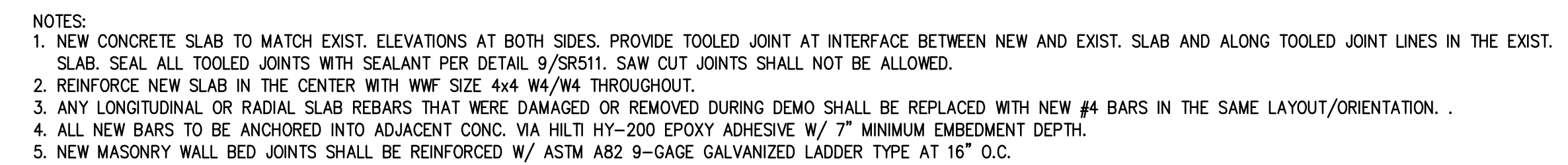
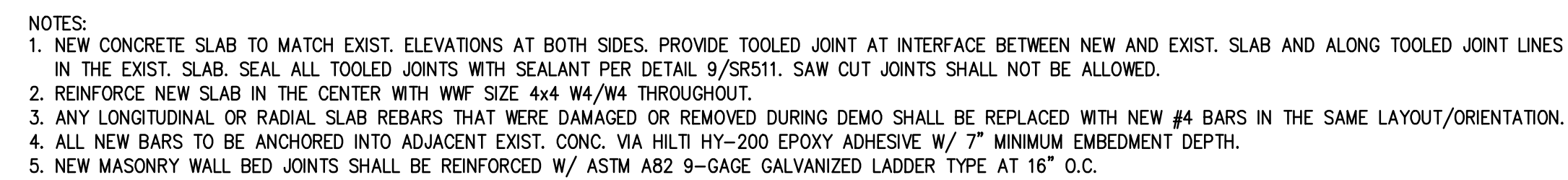
REVISIONS	NO.	DATE	DESCRIPTION
ISSUED FOR REVIEW	1	07/12/2021	OWNER REVIEW SET
FOR REVIEW	2	01/05/2023	ISSUED FOR REVIEW
BID SET	3	02/13/2023	BID SET
CHECK BY	AK, JDS		
DATE	07/12/2021		

ENGINEER OF RECORD

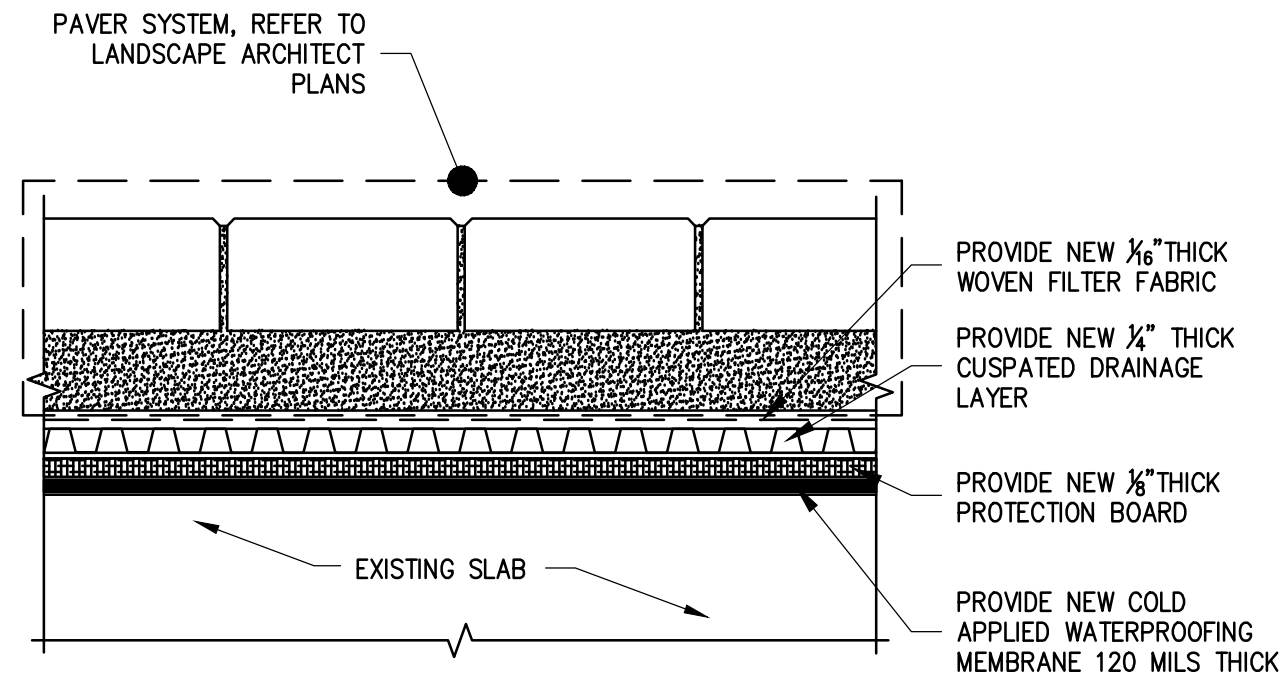
**THE ATRIUMS OF PALM BEACH**  
GARAGE ROOF/ POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480

DEMOLITION DETAILS

**SHEET:**  
**SR402**

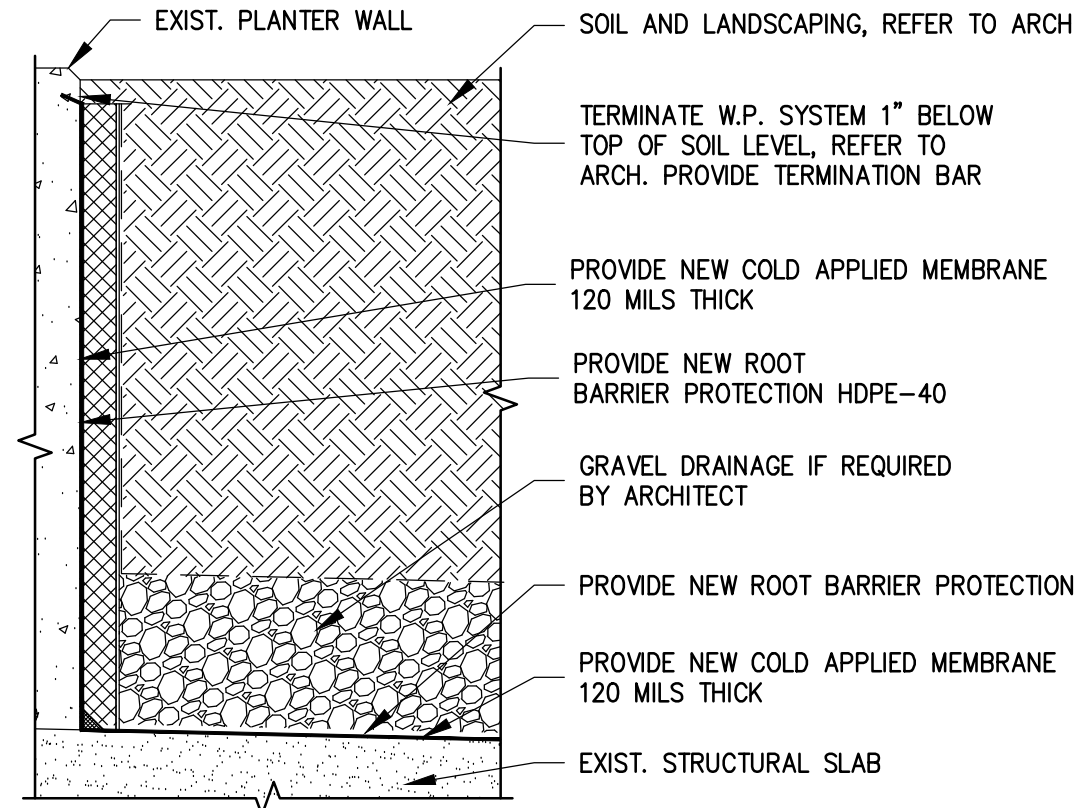
ENGINEER OF RECORD

## STRUCTURAL REPAIR DETAILS

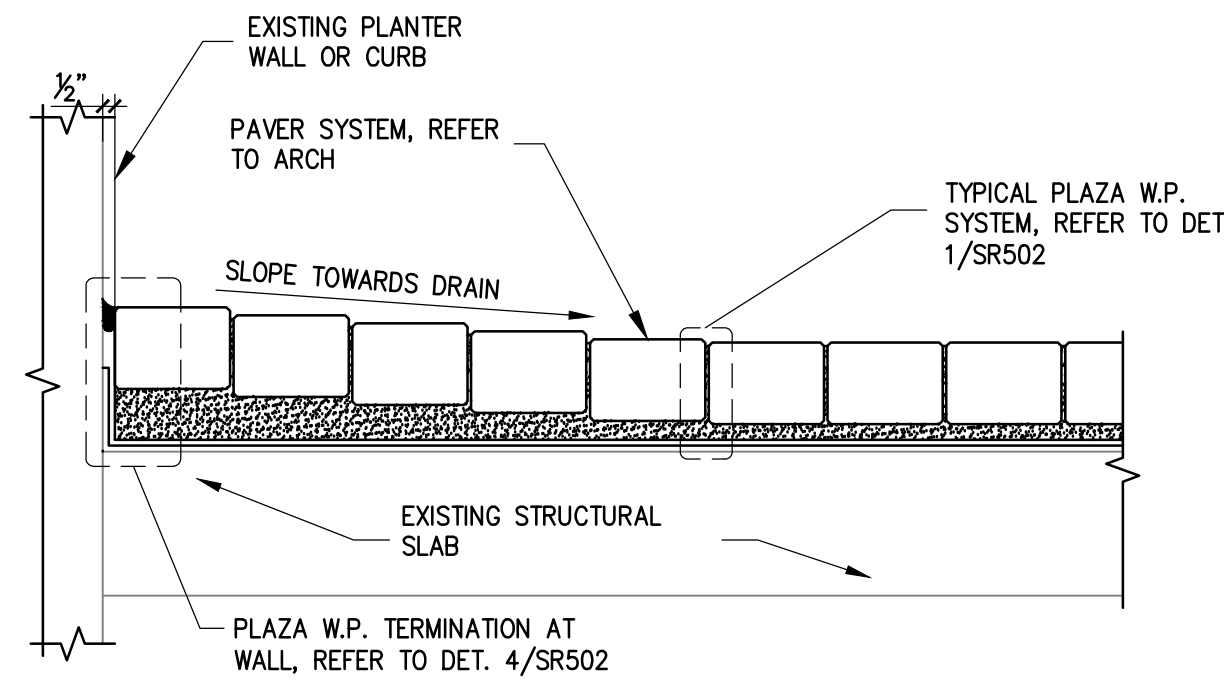


NOTES:  
1. CONTRACTOR TO FIELD VERY ALL EXIST. ELEVATIONS TO AVOID CONFLICT W/ NEW SYSTEM.  
2. PAVERS SLOPE TO FOLLOW NATURAL TRANSITION OF PLAZA.

**1 NEW PLAZA WATERPROOFING SYSTEM**  
SCALE: 3"=1'-0"

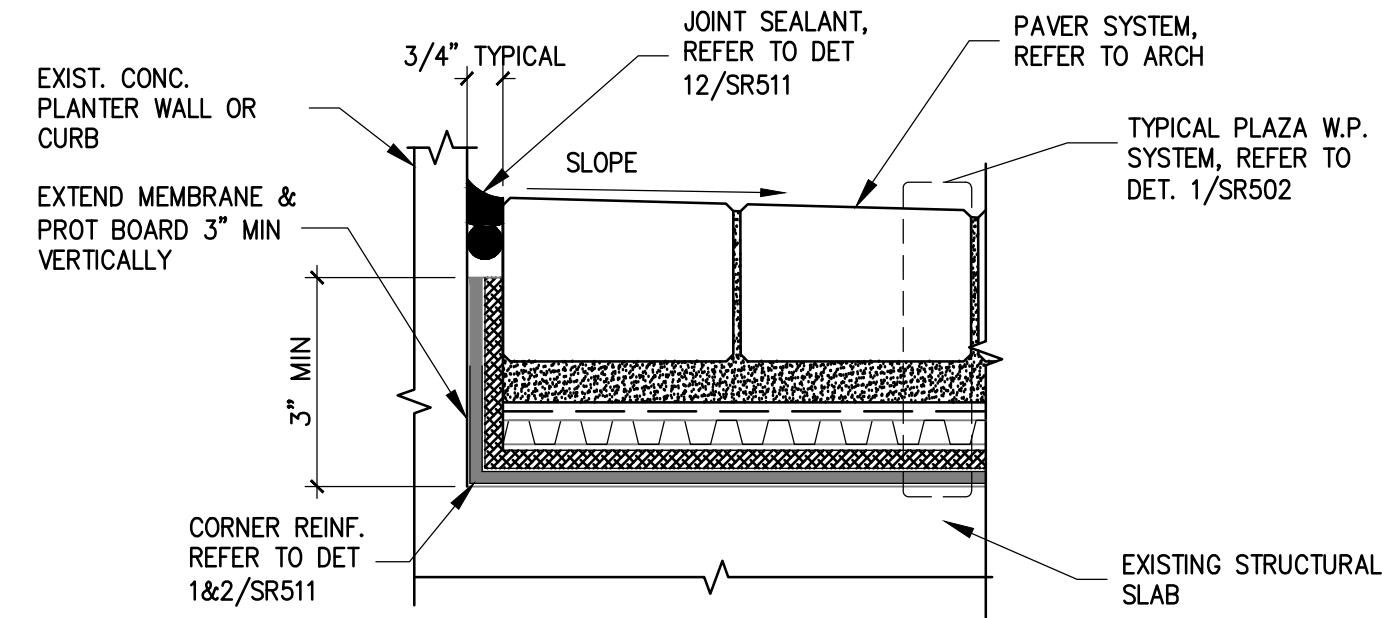


**2 PLANTER WATERPROOFING DETAIL**  
NO SCALE



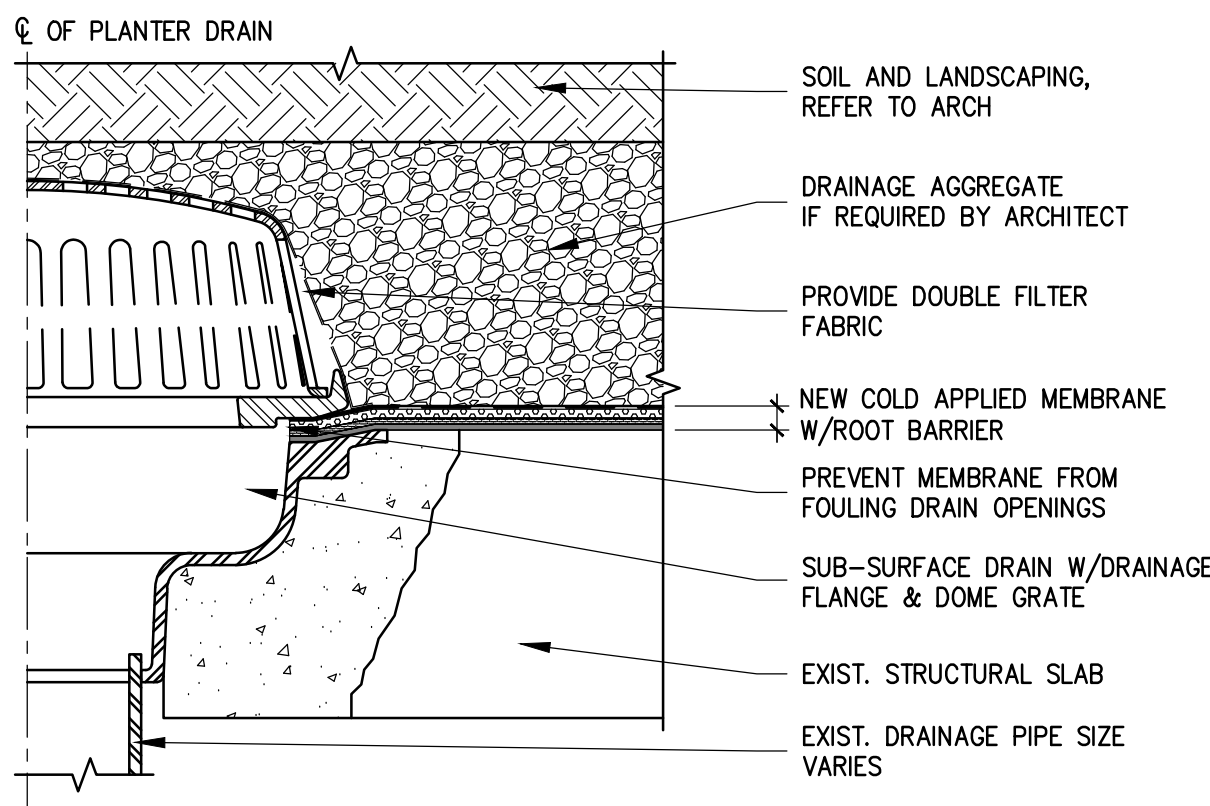
NOTES:  
1. SLOPE TO FOLLOW NATURAL TRANSITION OF PLAZA SURFACE.

**3 PLANTER WALL ISOLATION JT. DETAIL**  
SCALE: 1 1/2"=1'-0"

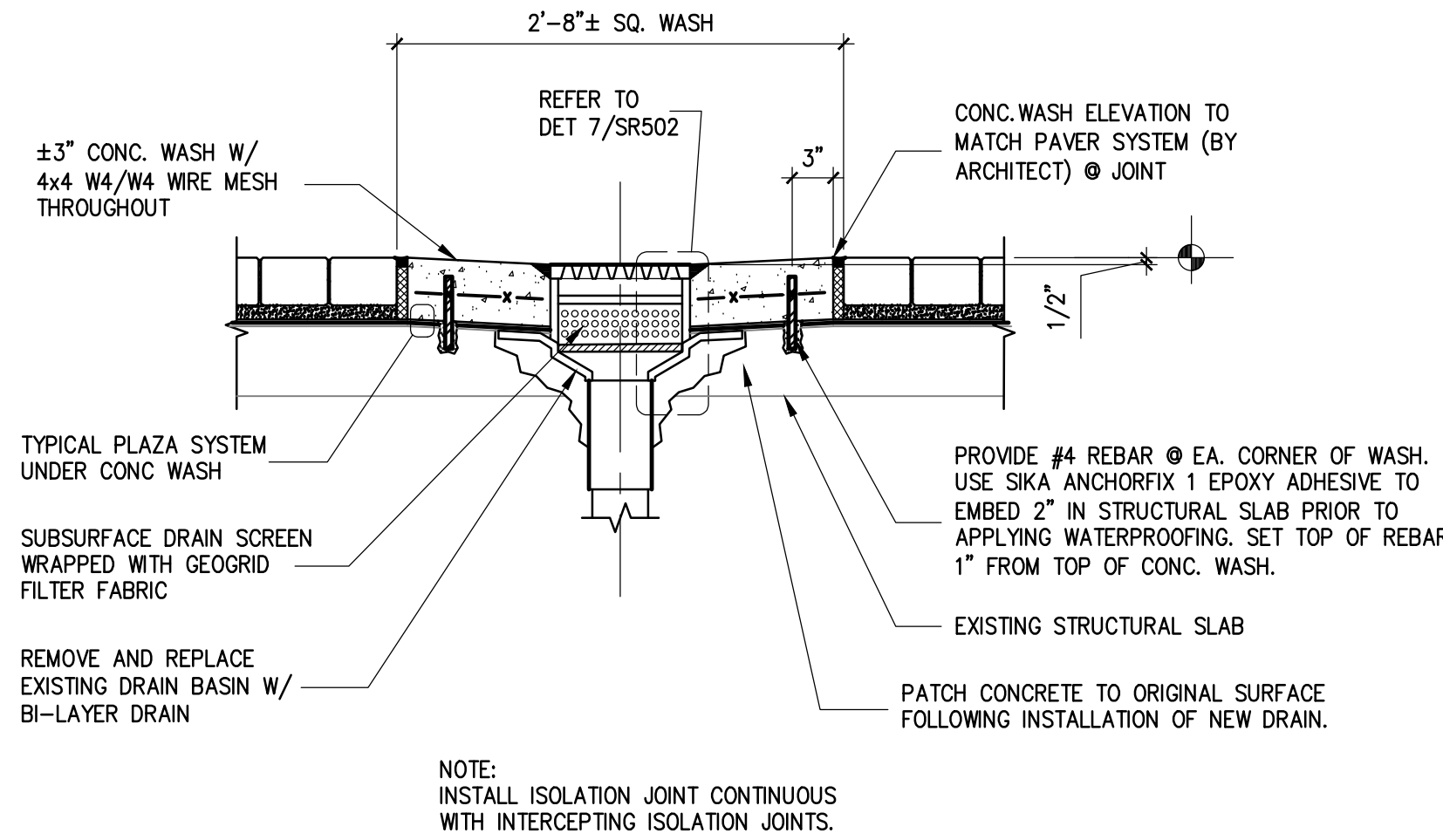


NOTES:  
1. SLOPE TO FOLLOW NATURAL TRANSITION OF PLAZA SURFACE.

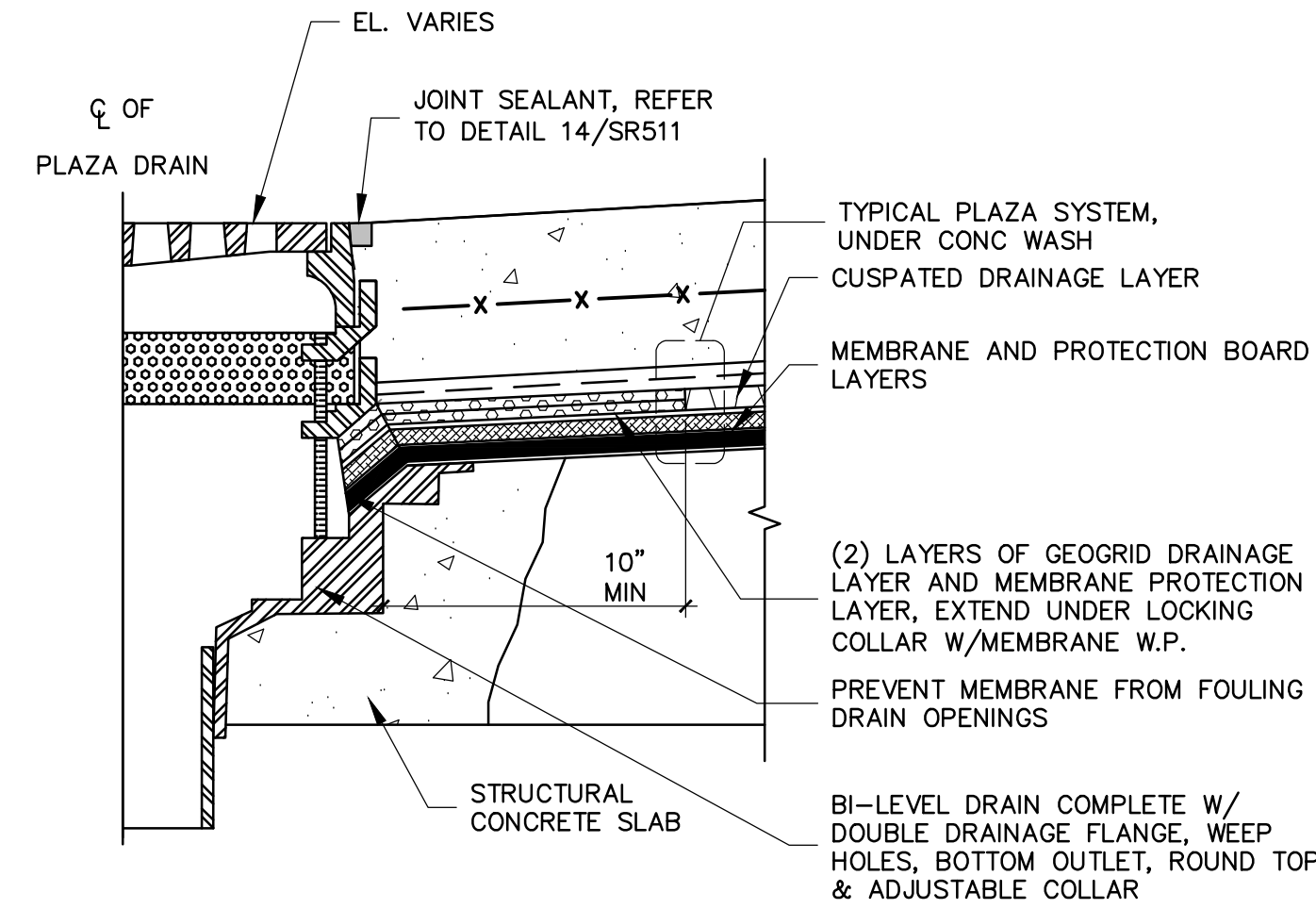
**4 TYP. TERMINATION AT VERT. SURFACE DETAIL**  
SCALE: 3" = 1'-0"



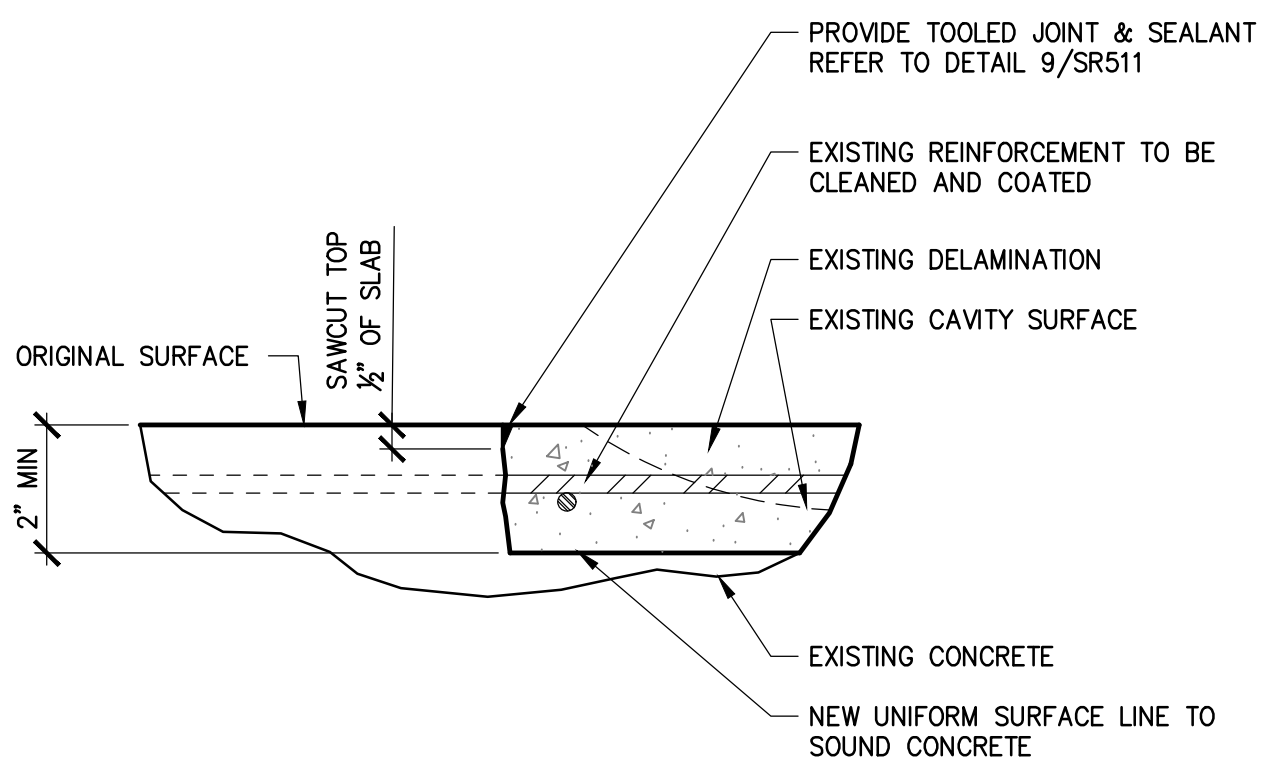
**5 SUB-SURFACE DRAIN IN PLANTER DETAIL**  
SCALE: 3"=1'-0"



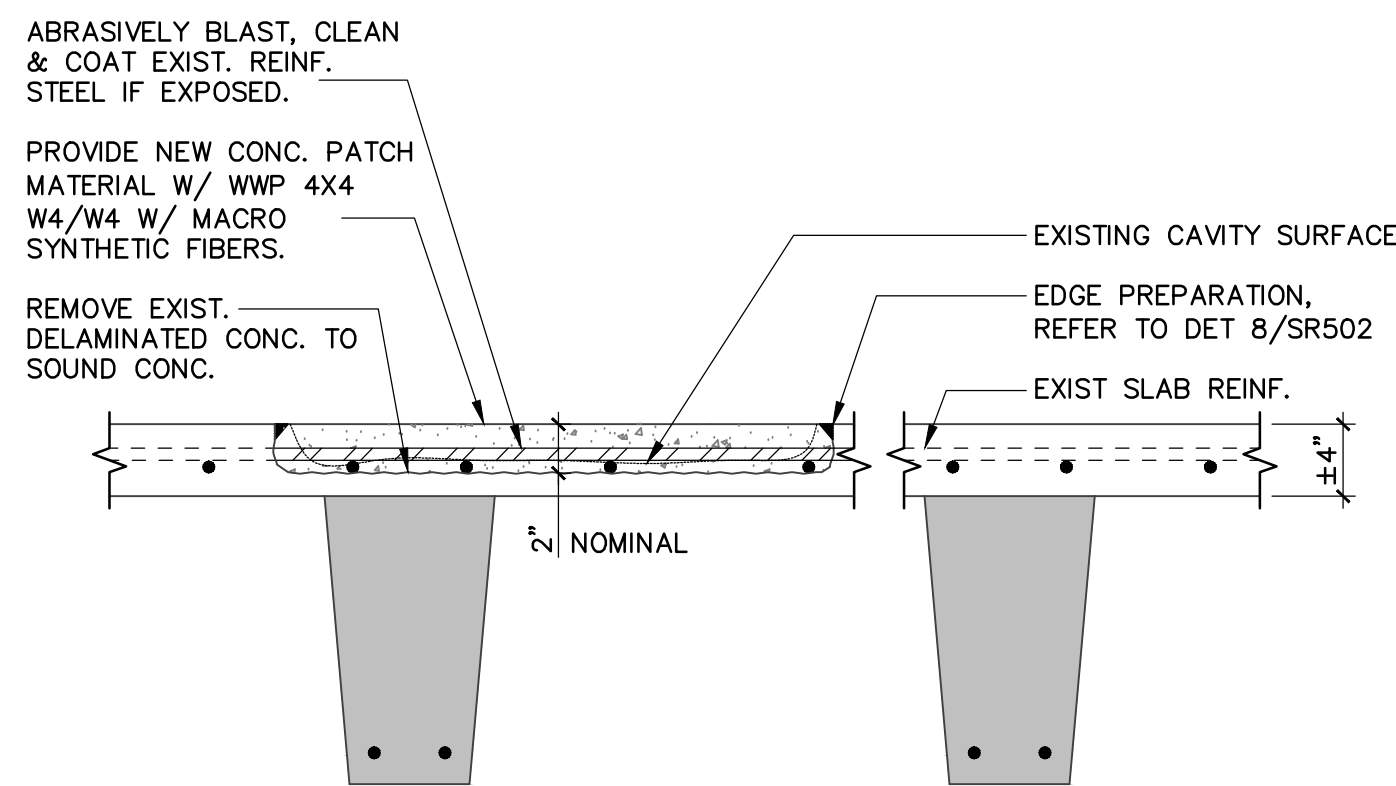
**6 NEW PLAZA DRAIN DETAIL**  
1" = 1'-0"



**7 PLAZA DRAIN DETAIL**  
3"=1'-0"

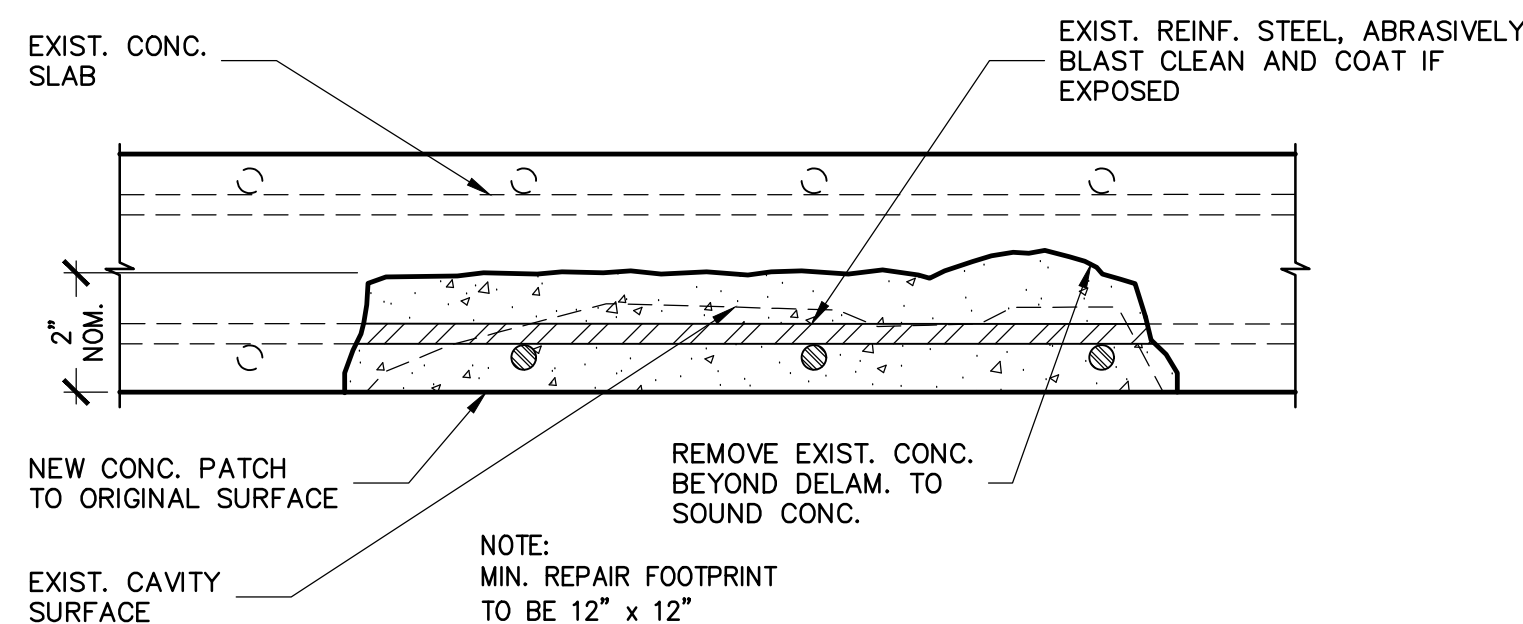


**8 EDGE PREPARATION DETAIL**  
3" = 1'-0"



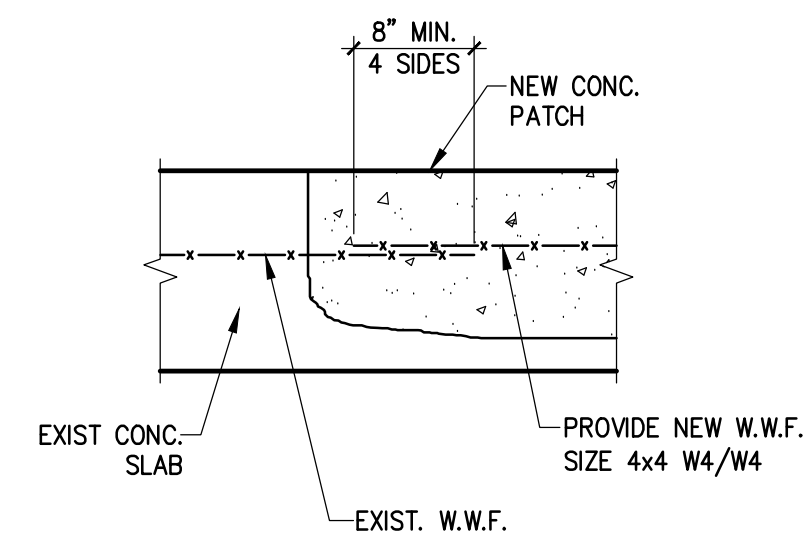
NOTES:  
1. ALL DAMAGED EXISTING REINFORCEMENT (WIRE OR REBAR) SHALL BE REPLACED BY THE CONTRACTOR.  
2. ELECTRICAL CONDUITS ARE EMBEDDED IN THE SLAB. CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE EMBEDDED CONDUITS.  
3. REFER TO DETAIL 11/SR502 FOR WWP SPLICE REQUIREMENTS.  
4. MIN. REPAIR FOOTPRINT TO BE 10" x 10".

**9 TOPSIDE SLAB REPAIR DETAIL**  
SCALE: 1 1/2"=1'-0"

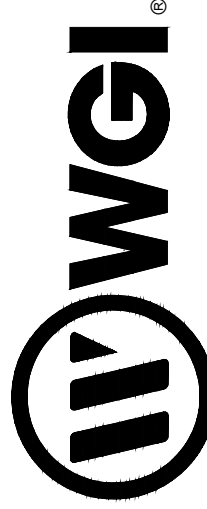


NOTE:  
MIN. REPAIR FOOTPRINT TO BE 12" x 12"

**10 OVERHEAD SLAB REPAIR DETAIL**  
NO SCALE



**11 W.W.F. SPLICE DET.**  
NO SCALE

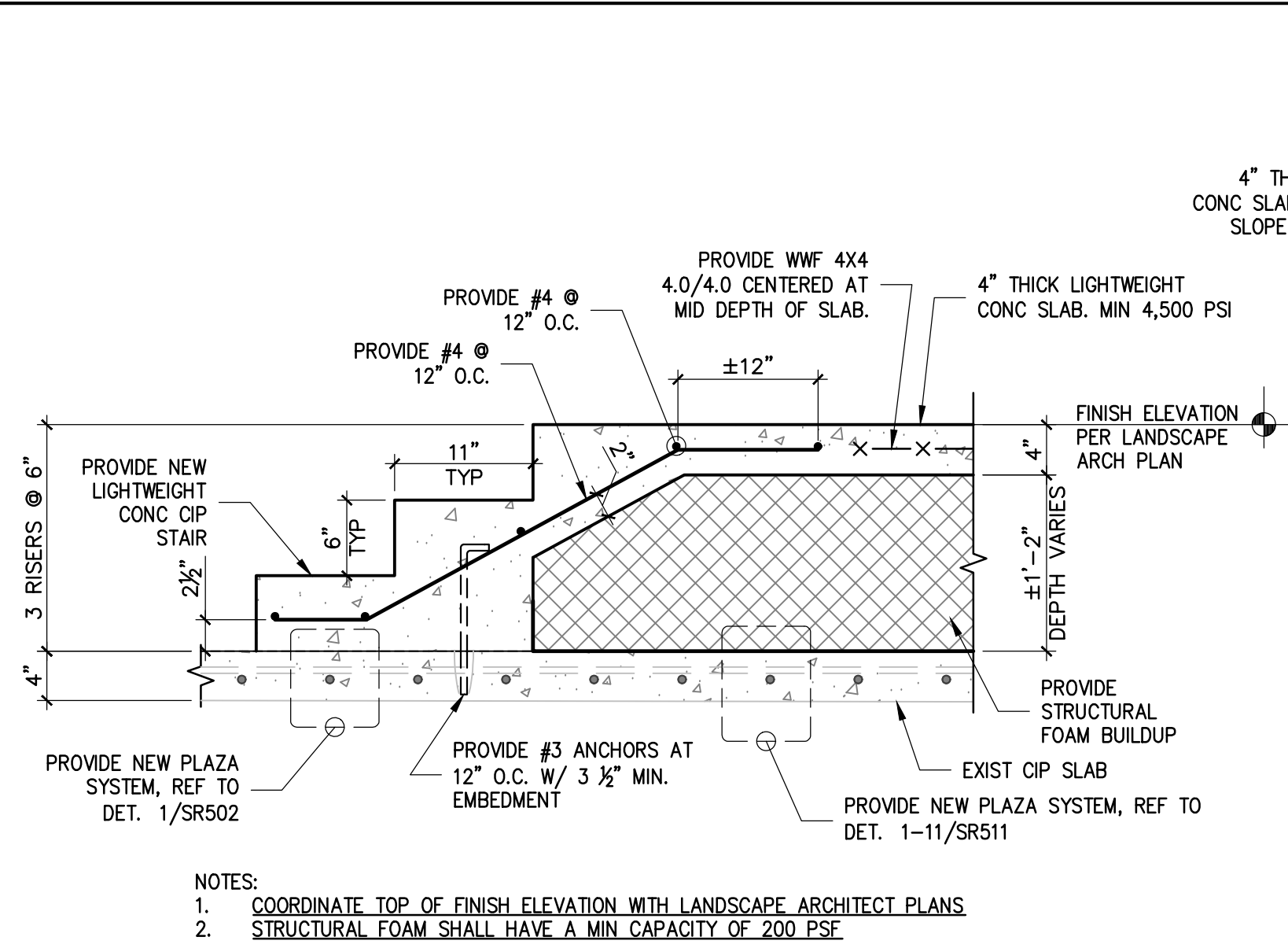


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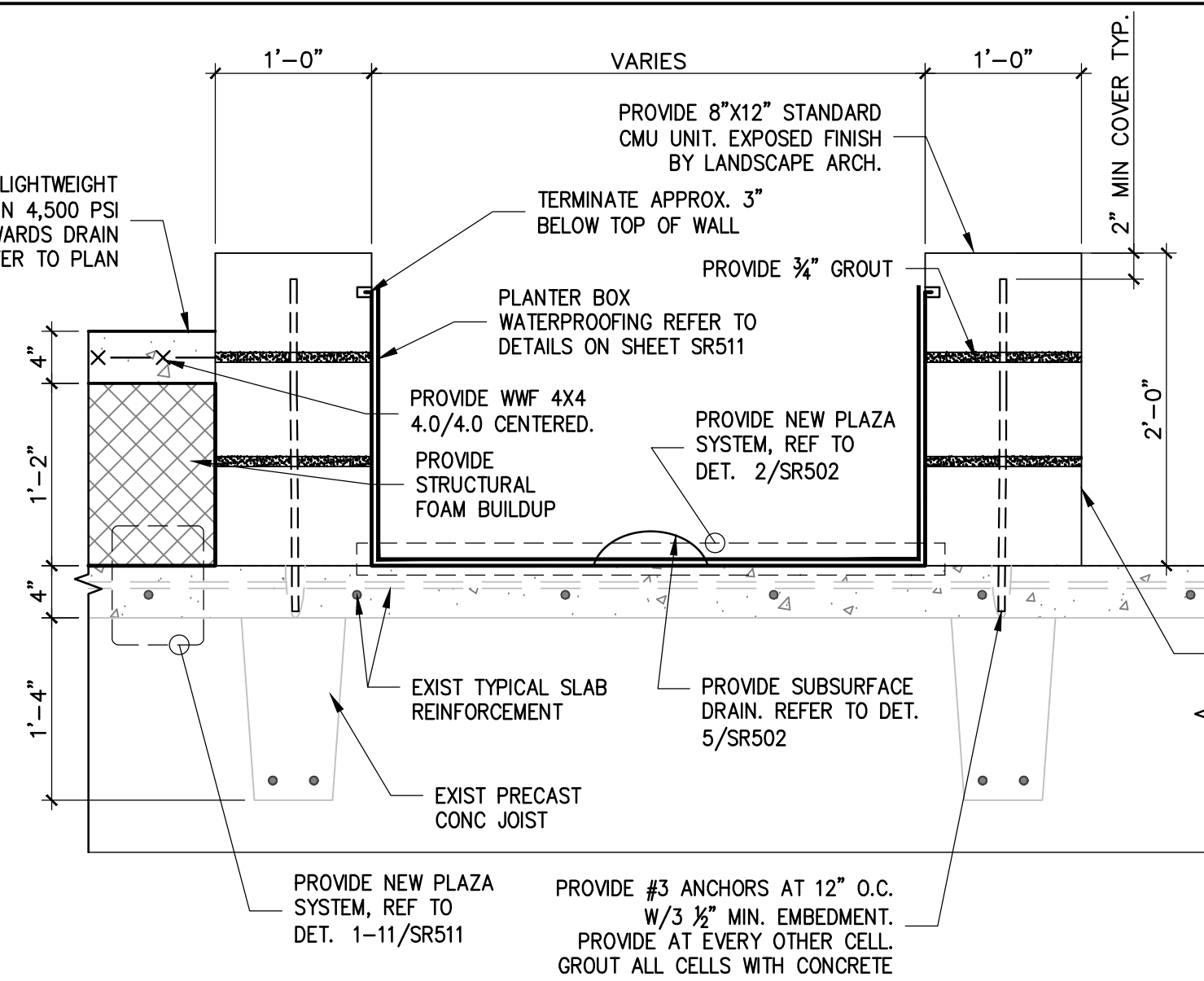
REVISIONS		NO.	DATE	DESCRIPTION
ISSUED FOR	REVIEW	1	07/12/2021	OWNER REVIEW SET
	7061.00	2	01/05/2023	ISSUED FOR REVIEW
	DRAWN BY	3	02/13/2023	BID SET
ENGINEER OF RECORD	CHECK BY	AK, JDS		
	DATE	07/12/2021		

THE ATRIUMS OF PALM BEACH  
GARAGE ROOF/ POOL DECK  
MAINTENANCE REPAIRS  
3400 S. OCEAN BLVD., PALM BEACH, FL. 33480

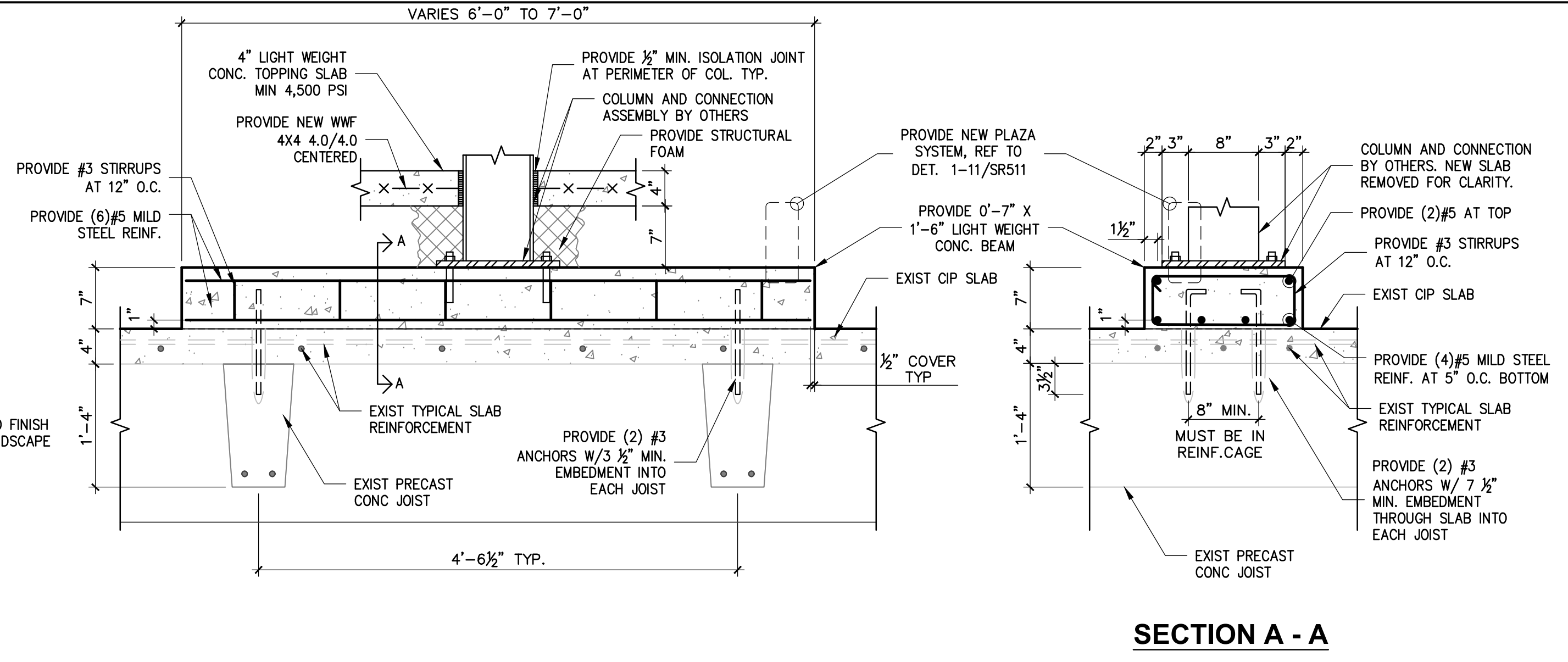
STRUCTURAL REPAIR DETAILS



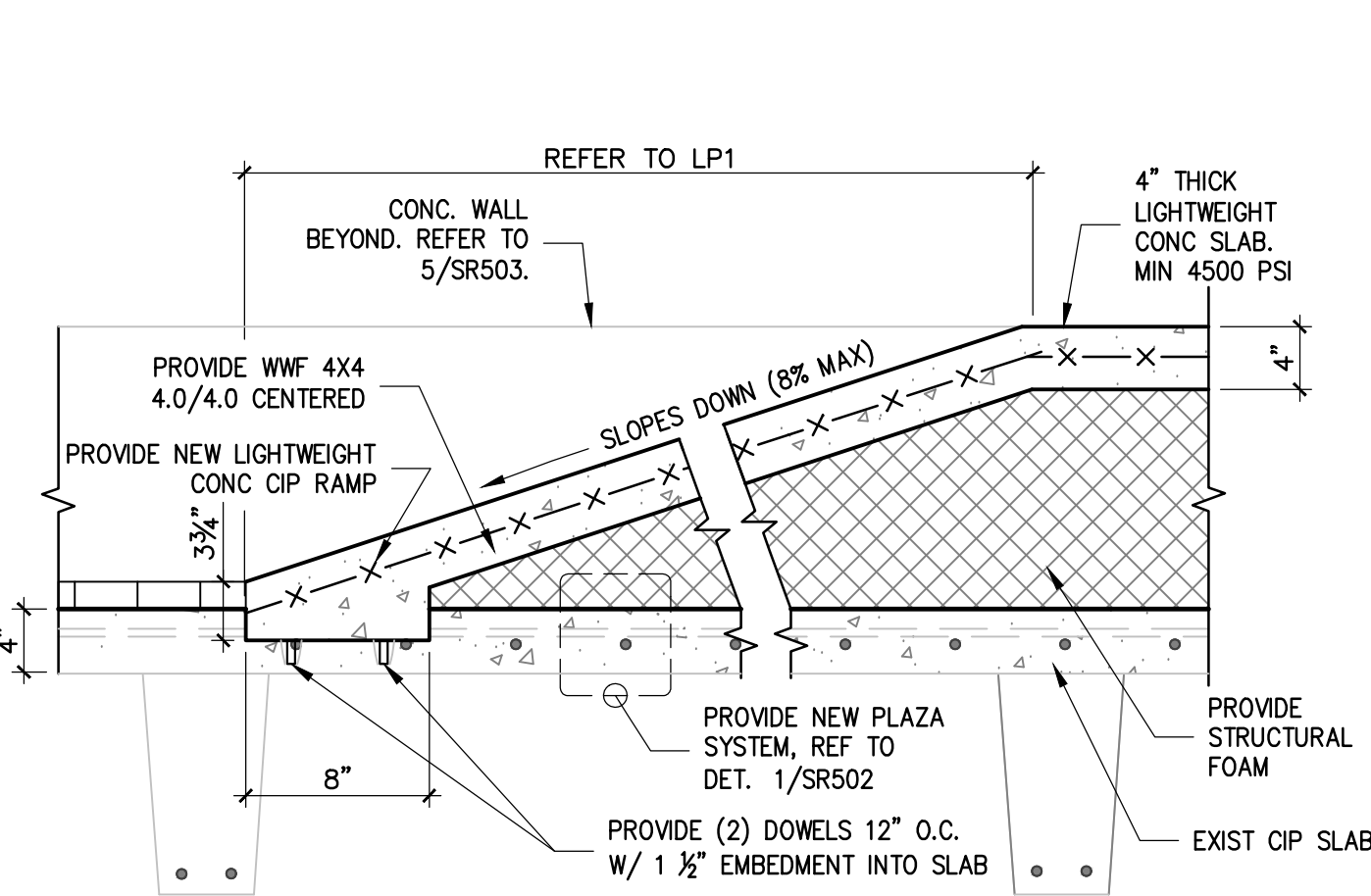
**1 CONC. PLAZA STAIRS**  
SCALE: 1"=1'-0"



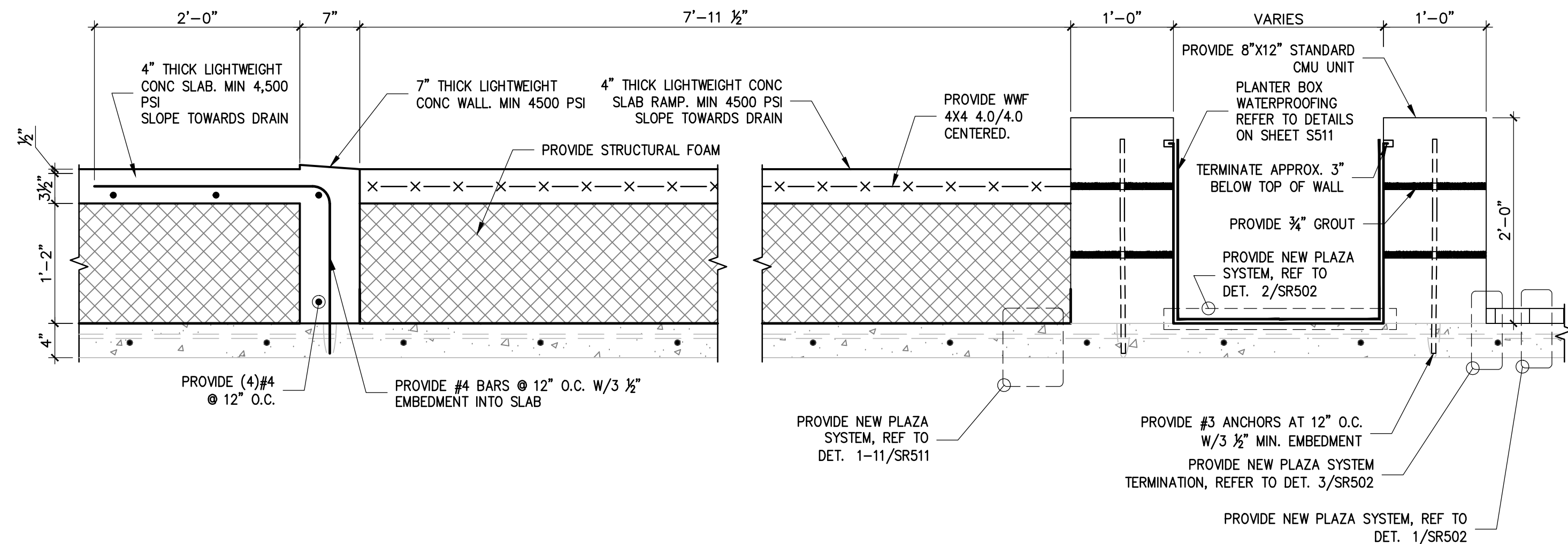
**2 CONC. PLAZA PLANTERS (SOUTH SIDE)**  
SCALE: 1"=1'-0"



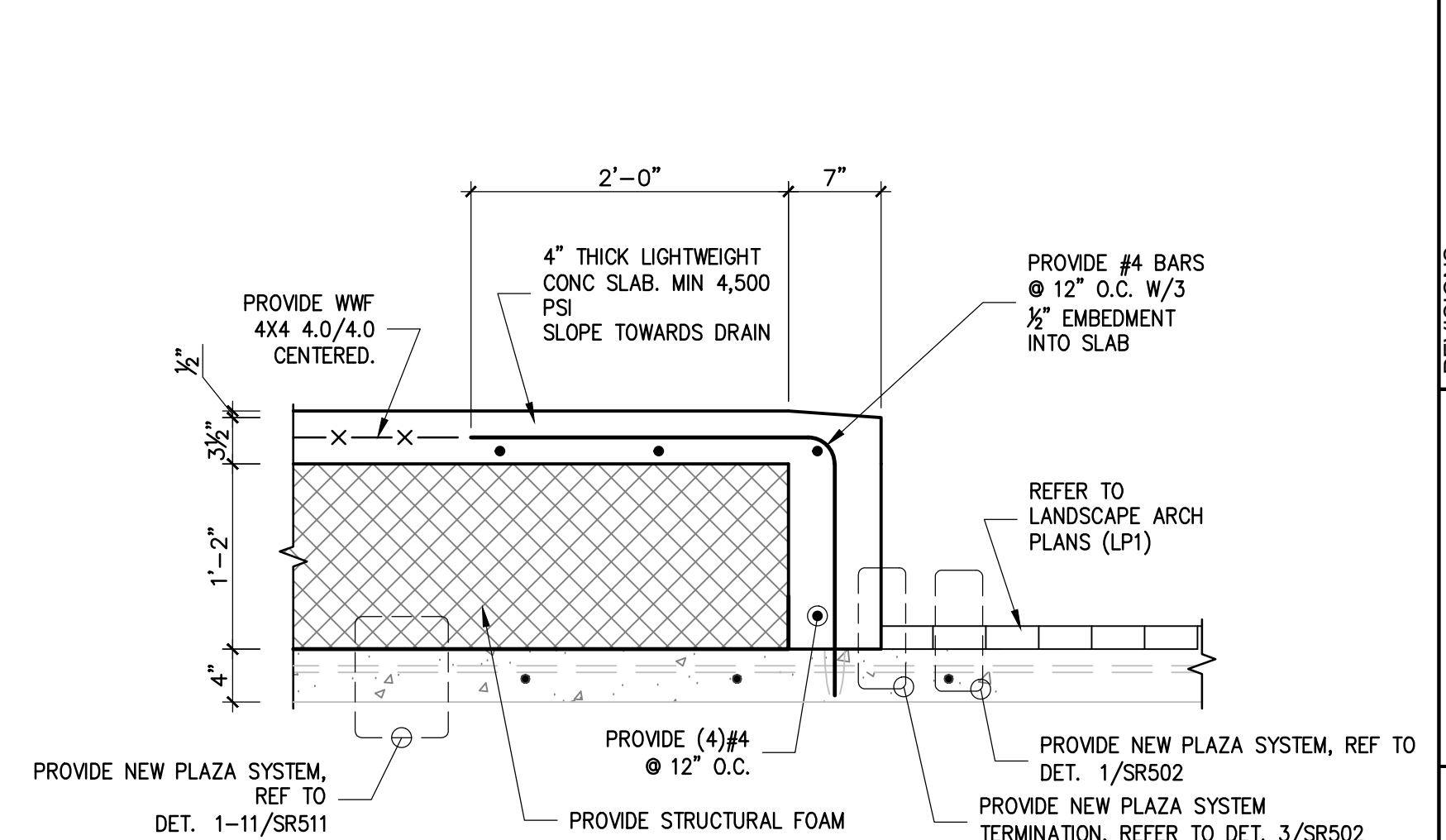
**3 TYPICAL CONC. SUPPORT BEAM**  
SCALE: 1"=1'-0"



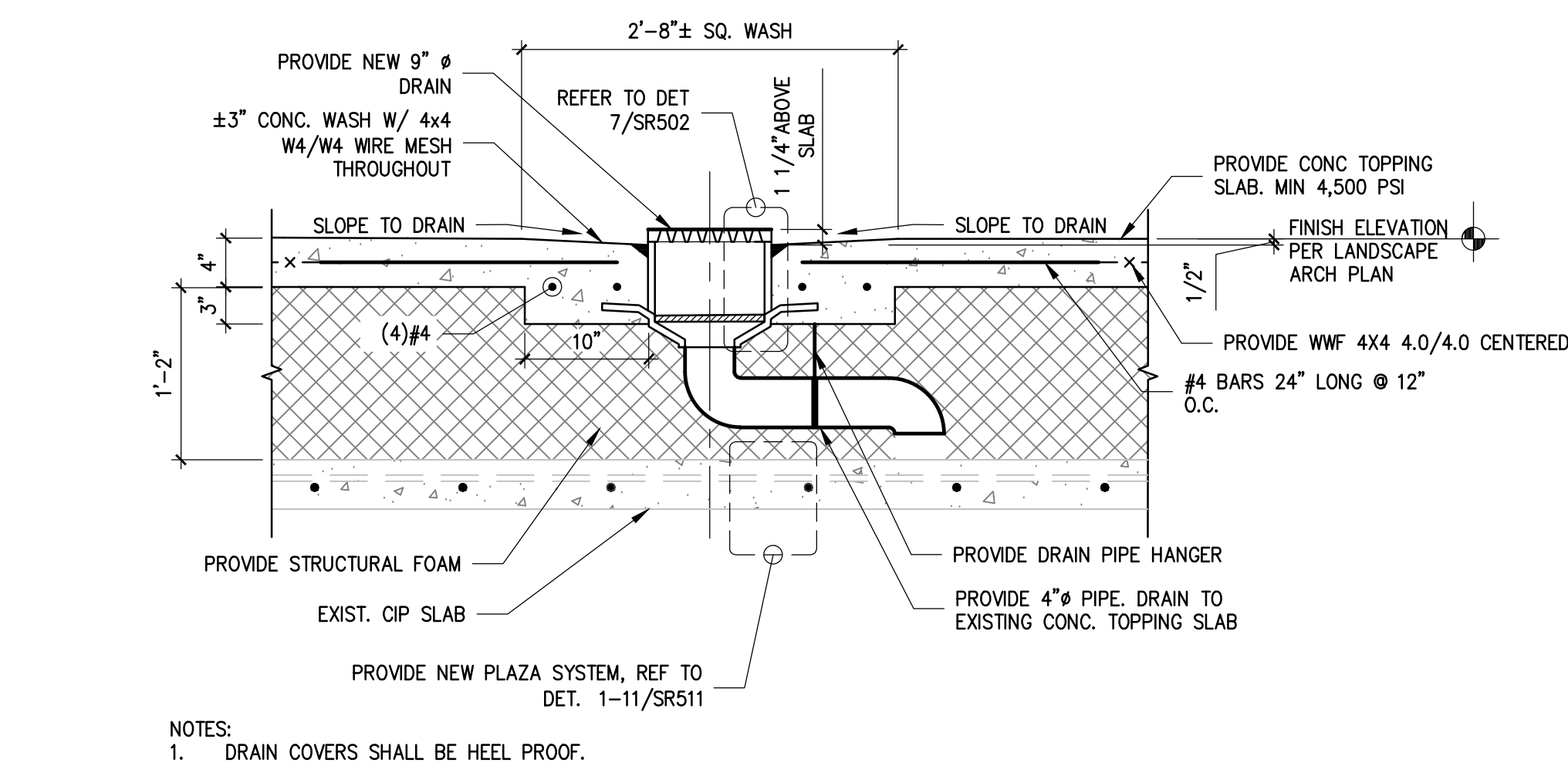
**4 CONC. PLAZA RAMP**  
SCALE: 1"=1'-0"



**5 CONC. PLAZA RAMP SECTION**  
SCALE: 1"=1'-0"



**6 NEW PLAZA CONC WALL AT STAIRS**  
SCALE: 1"=1'-0"



**7 NEW PLAZA DRAIN DETAIL**  
SCALE: 1"=1'-0"



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ISSUED FOR REVIEW	5	07/12/2021	DATE

THE ATRIUMS OF PALM BEACH GARAGE ROOF/POOL DECK MAINTENANCE REPAIRS 3400 S. OCEAN BLVD., PALM BEACH, FL. 33480	NEW PLAZA SLAB DETAILS
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SHEET:  
SR503