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By yfigueroa at 1:47 pm, Apr 10, 2023



LANDSCAPE, HARDSCAPE, & POOL

2773 SOUTH OCEAN BOULEVARD PALM BEACH, FLORIDA

1

SHEET INDEX:

- S1 Boundary, Topographic, & Tree Survey
- V1 Vicinity Location Map & Location Plan
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- L2 Proposed Landscape & Hardscape Plan (1/8")
- L2R Currently Proposed Landscape & Hardscape Plan (rendered)
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- L2.1b Currently Proposed Pool Area Landscape & Hardscape Plan (1/4")
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- L4 Details
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- Z3 Pool Deck Open Space Diagram & Calculations
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- M1 Materials & Finishes
- C1 Site Grading & Drainage Plan
- C2 Drainage Specifications & Details
- CS1 Construction Screening Plan
- CS2 Construction Staging & Truck Logistics Plan

ARC-22-162
APRIL 26, 2023 MEETING

ZON-22-110
MAY 10, 2023 MEETING

CONSULTANTS:

Survey
Perimeter Surveying & Mapping
947 Clint Moore Road
Boca Raton, FL 33487
(561) 241-9988

SCOPE OF WORK:

- Demolish Existing Pool and Terrace
- New Pool, Pool Terrace, and Sunset Promenade
- New Landscaping at Proposed Terraces and Promenade
- Landscape Lighting
- No Changes to Parking or Zoning

JOB #: 1002

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

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DATE PLOTTED:
April 10, 2023

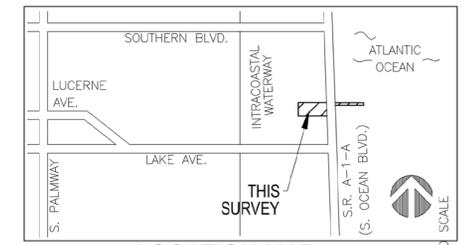
FINAL SUBMITTAL REV 1
APRIL 10, 2023

LEGAL DESCRIPTION

PARCEL A:
 A PARCEL OF LAND IN SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43, IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA; DESCRIBED AS FOLLOWS:
 BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A, AS SHOWN ON ROAD PLAT BOOK 1, PAGE 90, AND A LINE PARALLEL TO AND 3200 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, RUN WEST, ALONG SAID PARALLEL LINE 415.1 FEET, MORE OR LESS, TO A POINT IN A CONCRETE BULKHEAD; THENCE, RUN SOUTH (MAKING AN ANGLE OF 89°26'30" WITH THE PRECEDING COURSE, MEASURED FROM EAST TO SOUTH), ALONG SAID CONCRETE BULKHEAD A DISTANCE OF 280.0 FEET, MORE OR LESS, TO A POINT IN A LINE PARALLEL TO AND 3480 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, EAST ALONG SAID PARALLEL LINE 423.55 FEET, MORE OR LESS, TO A POINT IN THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A; THENCE, NORTH ALONG SAID RIGHT OF WAY LINE 280.30 FEET, MORE OR LESS, TO A POINT OF BEGINNING;
 AND RIGHT OF WAY AND EASEMENT AS SET FORTH IN DEED BOOK 1107, PAGE 253, PALM BEACH COUNTY RECORDS, OVER THE FOLLOWING DESCRIBED PREMISES:
 THE NORTH 10 FEET OF THE SOUTH 300 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING BETWEEN THE EAST RIGHT OF WAY LINE OF STATE ROAD A-1-A AND THE WATERS OF ATLANTIC OCEAN.
 PARCEL B:
 THE SOUTH 20 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING WEST OF STATE ROAD A-1-A RIGHT OF WAY.
 SUBJECT TO EASEMENTS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.
 SAID LANDS SITUATE IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, AND CONTAIN 2.893 ACRES, MORE OR LESS.

NOTES

- THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
- ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE W. R/W LINE OF S.R. A-1-A HAVING A BEARING OF S 00°57'58" E, AS REFERENCED TO THE STATE PLANE COORDINATES SYSTEM, NORTH AMERICAN DATUM OF 1983 (90 ADJ.), FLORIDA EAST ZONE.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM USGS'S BENCHMARK "D-315", ELEVATION: 4.24'.
- PROPERTY ADDRESS: 2773 S. OCEAN BLVD. PALM BEACH, FL.
- FLOOD INFORMATION IS AS FOLLOWS:
 COMMUNITY NUMBER : 120220
 PANEL NUMBER : 0781
 DATE OF FIRM INDEX : 10-05-2018
 ZONE : AE (EL. 6.0)



ABBREVIATIONS

- AC = AIR CONDITIONER
- ALF = ALUMINUM FENCE
- C.B.R. = CONCRETE BLOCK & STUCCO
- CLF = CHAIN LINK FENCE
- CONC. = CONCRETE
- DDCV = DOUBLE DETECTOR CHECK VALVE
- (D) = DEED
- DE = DRAINAGE EASEMENT
- ELEV. = ELEVATION
- FF = FINISHED FLOOR
- GAR. = GARAGE
- G.A. = GRATE ELEVATION
- I.E. = INVERT ELEVATION
- IP. = IRON PIPE
- IR = IRON ROD
- IRC = IRON ROD & CAP
- L.M.E. = LAKE MAINTENANCE EASEMENT
- (M) = MEASURED
- MON. = MONUMENT
- N/D = NAIL AND DISC
- P.B. = PLAT BOOK
- P.O.B. = POINT OF BEGINNING
- P.B.C.R. = PALM BEACH COUNTY RECORDS
- PG. = PAGE
- PROP. = PROPOSED
- R = RADIUS
- R.P.B. = ROAD PLAT BOOK
- R.E. = ROAD ELEVATION
- R/W = RIGHT-OF-WAY
- S.R. = STATE ROAD
- TYP. = TYPICAL
- U.E. = UTILITY EASEMENT

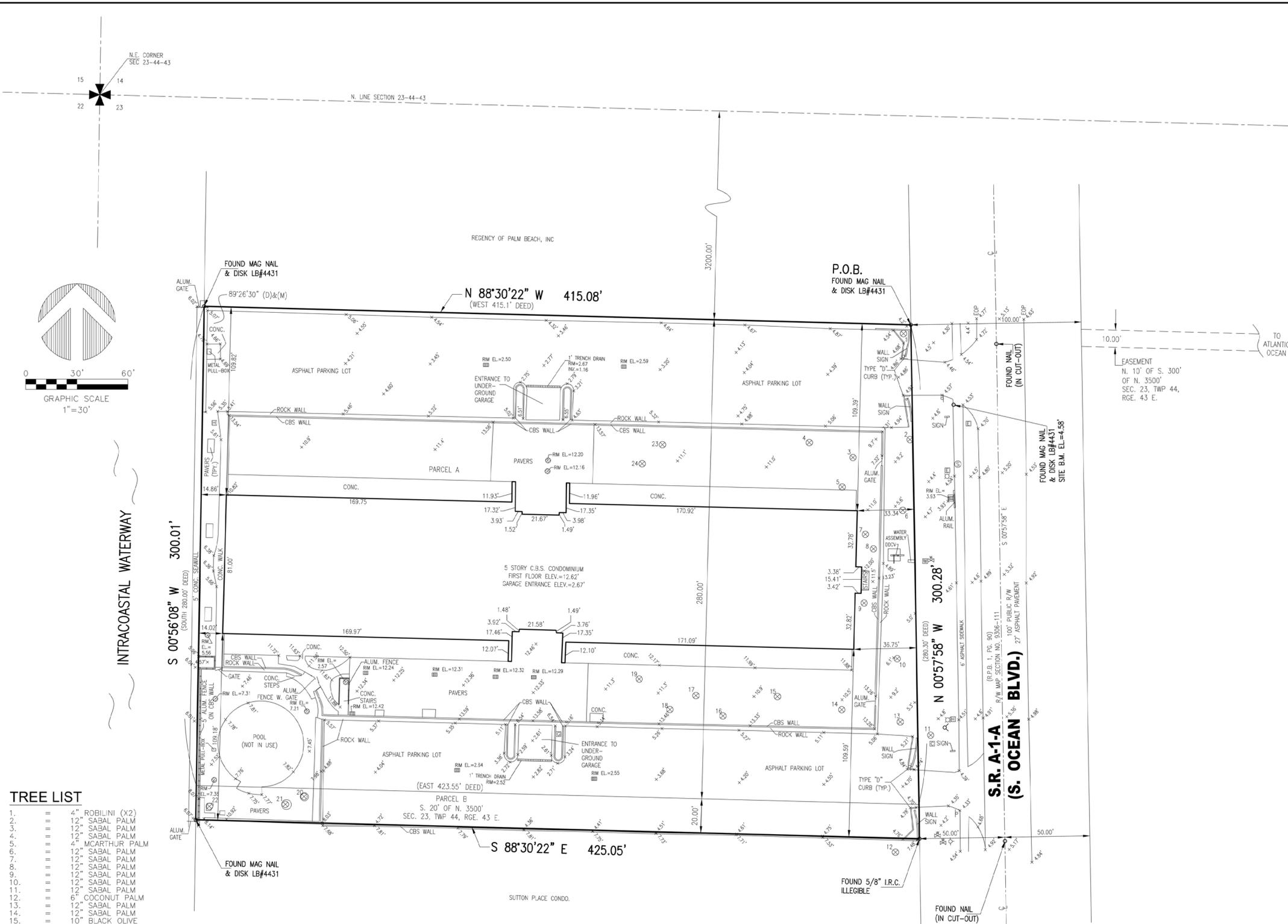
LEGEND

- ⊠ WATER METER
- ⊠ ELECTRIC SERVICE
- ⊠ TELEPHONE BOX
- ⊠ CABLE TV BOX
- ⊠ DRAINAGE MANHOLE
- ⊠ SANITARY MANHOLE
- ⊠ WATER VALVE
- ⊠ SIGN
- ⊠ FIRE HYDRANT
- ⊠ MONUMENT
- ⊠ CATCH BASIN
- ⊠ PLAT BOOK
- ⊠ WOOD UTILITY POLE
- ⊠ CONCRETE UTILITY POLE
- ⊠ CLEAN OUT
- ⊠ CENTERLINE
- ⊠ EXISTING ELEVATION
- ⊠ ELECTRIC PULLBOX

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

JEFF S. HODAPP
 SURVEYOR AND MAPPER
 FLORIDA LICENSE NO. LS5111
 DATE OF LAST FIELD WORK: AUGUST 2, 2022



TREE LIST

1.	ROBINLI (X2)
2.	SABAL PALM
3.	SABAL PALM
4.	SABAL PALM
5.	MCARTHUR PALM
6.	SABAL PALM
7.	SABAL PALM
8.	SABAL PALM
9.	SABAL PALM
10.	SABAL PALM
11.	SABAL PALM
12.	COCONUT PALM
13.	SABAL PALM
14.	SABAL PALM
15.	BLACK OLIVE
16.	COCONUT PALM
17.	BLACK OLIVE
18.	SABAL PALM
19.	SABAL PALM
20.	SABAL PALM
21.	COCONUT PALM
22.	SABAL PALM
23.	SABAL PALM
24.	SABAL PALM

C:\Users\verb_1\Desktop\Don Skowron\Carlyle House\Survey.dwg



BOUNDARY, TOPOGRAPHIC AND TREE SURVEY
CARLYLE HOUSE
 2773 S. OCEAN BLVD. PALM BEACH, FL. 33480

947 Clint Moore Road Boca Raton, FL 33487 Tel: (561) 241-9988 Fax: (561) 241-5182

NO.	DATE	BY	CK'D	REVISION
1				

JOB NO.	22162
SCALE	1"=30'
DRAWN	GY
CHECKED	JSH
SHEET	1 of 1

SEAL

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LA666674

JOB #: 1002

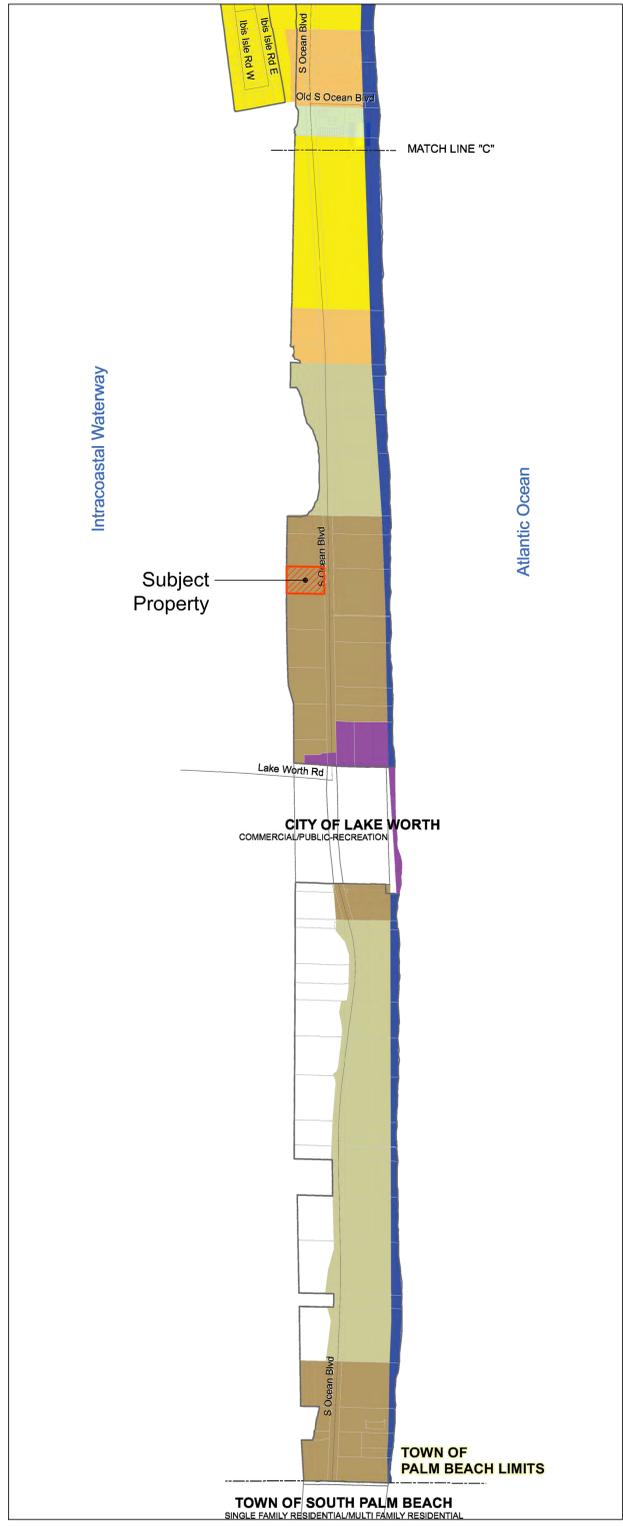
VICINITY LOCATION MAP & LOCATION PLAN

Carlyle House
 2773 South Ocean Boulevard
 Palm Beach, Florida

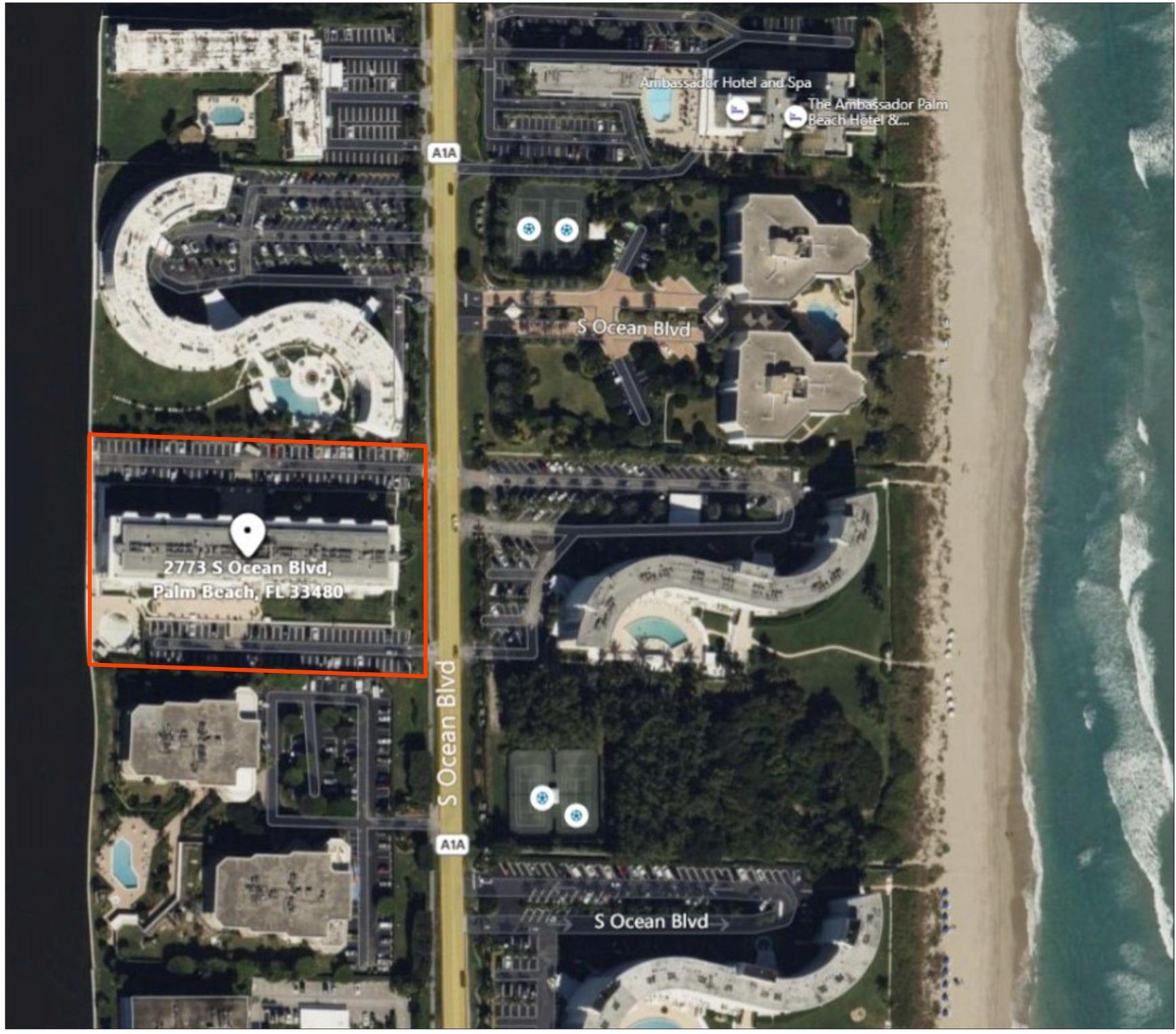
DATE ISSUED:
February 9, 2023
 DATE PLOTTED:
February 9, 2023



V1



VICINITY LOCATION MAP
N.T.S.



LOCATION PLAN
N.T.S.

ARC 22-162
 ZON 22-110
 FINAL SUBMITTAL
 FEBRUARY 9, 2023

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Birds Eye-Looking SE



Birds Eye-Looking NW



Pool Area



Existing Terrace over garage roof- Looking East



Existing Terrace over garage roof- Looking West



Current pool and pool deck condition



New Access point to Pool area from Garage level



Promenade Area-Looking N



Promenade Area- Looking S

CURRENT PHOTOGRAPHS OF SITE

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

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DATE PLOTTED:
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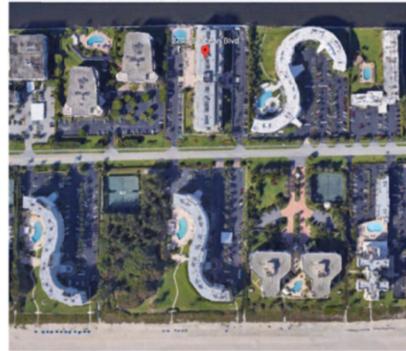
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ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

P1

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Aerial Photo of Surrounding Area



Project Site-South Entrance



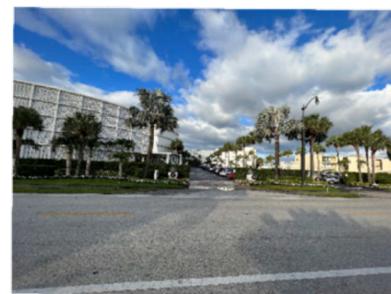
Project Site-2773 South Ocean Blvd



Project Site-North Entrance



2760 South Ocean Blvd



2760 South Ocean Blvd



2760 South Ocean Blvd



2770 South Ocean Blvd



2774 South Ocean Blvd



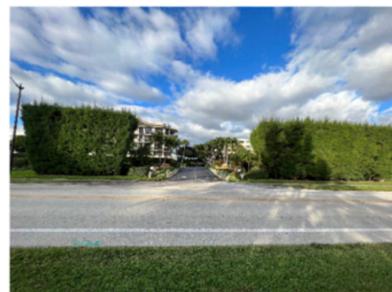
2774 South Ocean Blvd



2780 South Ocean Blvd



2778 South Ocean Blvd



2778 South Ocean Blvd



2778 South Ocean Blvd

PHOTOGRAPHS OF SURROUNDING PROPERTIES

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

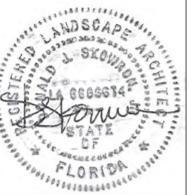


DATE PLOTTED:
February 9, 2023

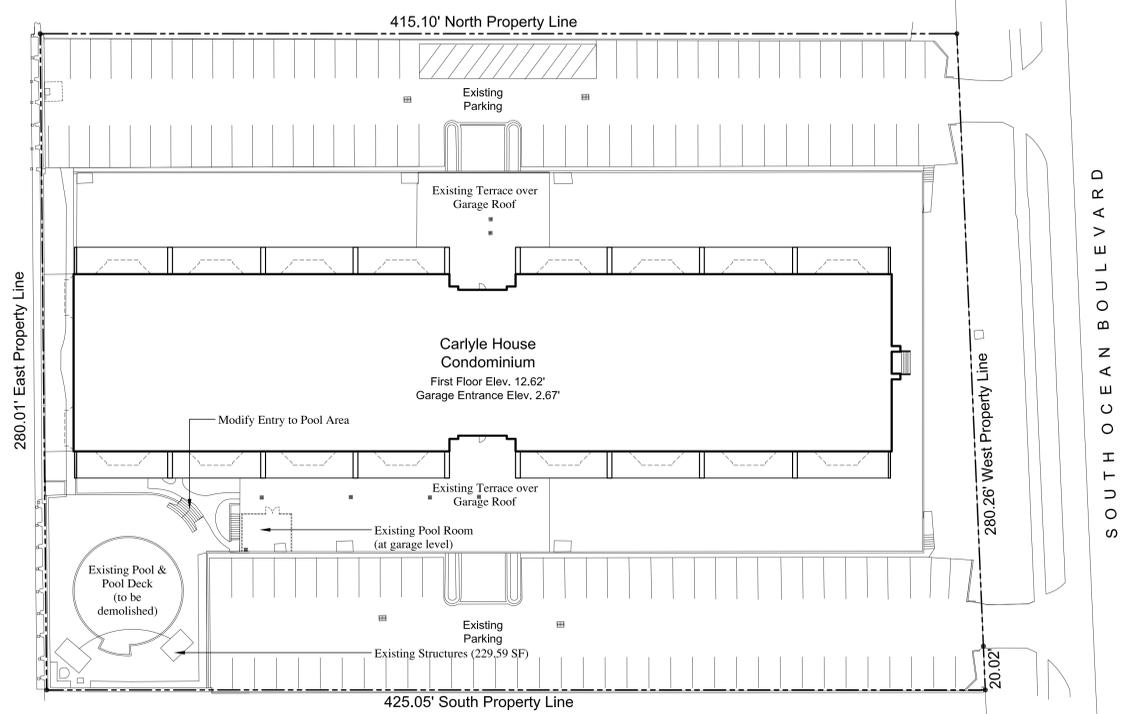
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FINAL SUBMITTAL
FEBRUARY 9, 2023

P2

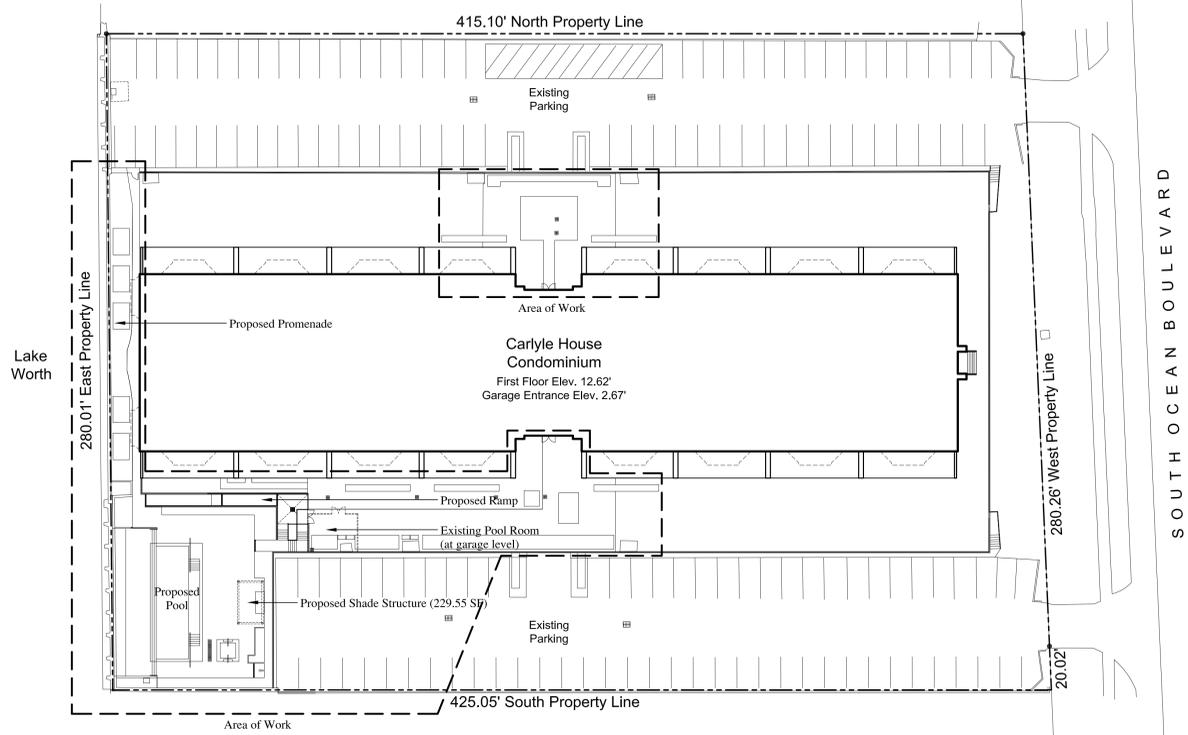
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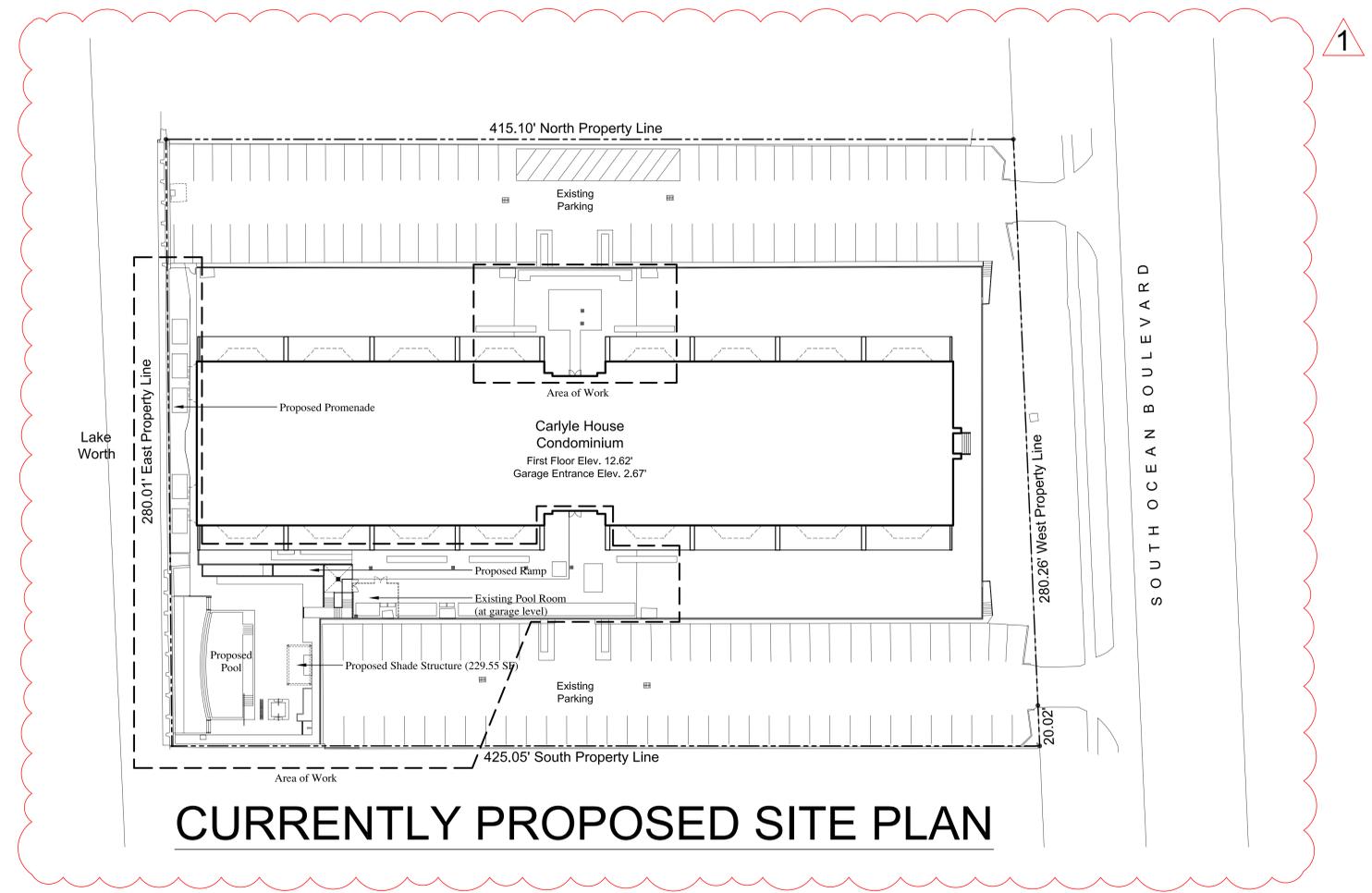
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EXISTING SITE PLAN



PREVIOUSLY PROPOSED SITE PLAN



CURRENTLY PROPOSED SITE PLAN

- NOTES:**
1. All existing perimeter site walls to remain
 2. All existing mechanical equipment located on roof to remain on roof
 3. All existing pool equipment located in pool equipment room to remain in pool equipment room
 4. Parking - No change to count

1



1/32" = 1'-0"

EXISTING & PROPOSED SITE PLANS

Carlyle House
 2773 South Ocean Boulevard
 Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
 February 9, 2023

- 04-10-23
 ARCOM COMMENTS
- ▲
 - ▲
 - ▲
 - ▲
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DATE PLOTTED:
 April 10, 2023



ARC 22-162
 ZON 22-110
 FINAL SUBMITTAL REV 1
 APRIL 10, 2023

SP1

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TOWN OF PALM BEACH ZONING LEGEND

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023

Zoning Legend				
Property Address:		2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480		
Zoning District:		R-D(2) HIGH DENSITY RESIDENTIAL		
Structure Type:		MULTI-FAMILY		
		Required/Allowed	Existing	Previously Proposed
Lot Size (sq ft)		40,000	126,022.55	N/C
Lot Depth		200.00'	425.08'	N/C
Lot Width		150.00'	300.00'	N/C
Lot Coverage (sq ft and %)		27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)
Enclosed Square Footage		N/A	29,628.46 (23.51%)	N/C
Cubic Content Ration (CCR) (R-B ONLY)		N/A	N/A	N/A
* Front Yard Setback (ft.)		25.00' or ht. of bldg.	34.25'	N/C
* Side Yard Setback (ft.)		30.00' or ht. of bldg.	7.67'	30.17'
Rear Yard Setback (ft.)		30.00'	3.83'	54.42'
Angle of Vision (deg.)		N/A	N/A	N/C
Building Height (ft.)		35.00'	58.88'	N/C
Overall Building Height (ft.)		40.00'	72.67'	N/C
Crown of Road (COR) (NAVD)		N/A	5.36'	N/C
Max. Amount of Fill Added to Site (ft.)		3.63'	N/A	N/C
Finished Floor Elev. (FFE) (NAVD)		7.00'	12.62'	N/C
Zero Datum for Point of Meas. (NAVD)		EL -7.0 NAVD	EL 7.0 NAVD	N/C
FEMA Flood Zone Designation		AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)		N/A	7.0'	N/C
Landscape Open Space LOS (sq ft and %)		44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)
Perimeter LOS (sq ft and %)		N/A	N/A	N/A
Front Yard LOS (sq ft and %)		N/A	N/A	N/A
** Native Plant Species %		Please refer to separate landscape legend.		

* Indicate each side yard with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

REV BF 20220304

If value is not changing, enter N/C

1

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

Z1

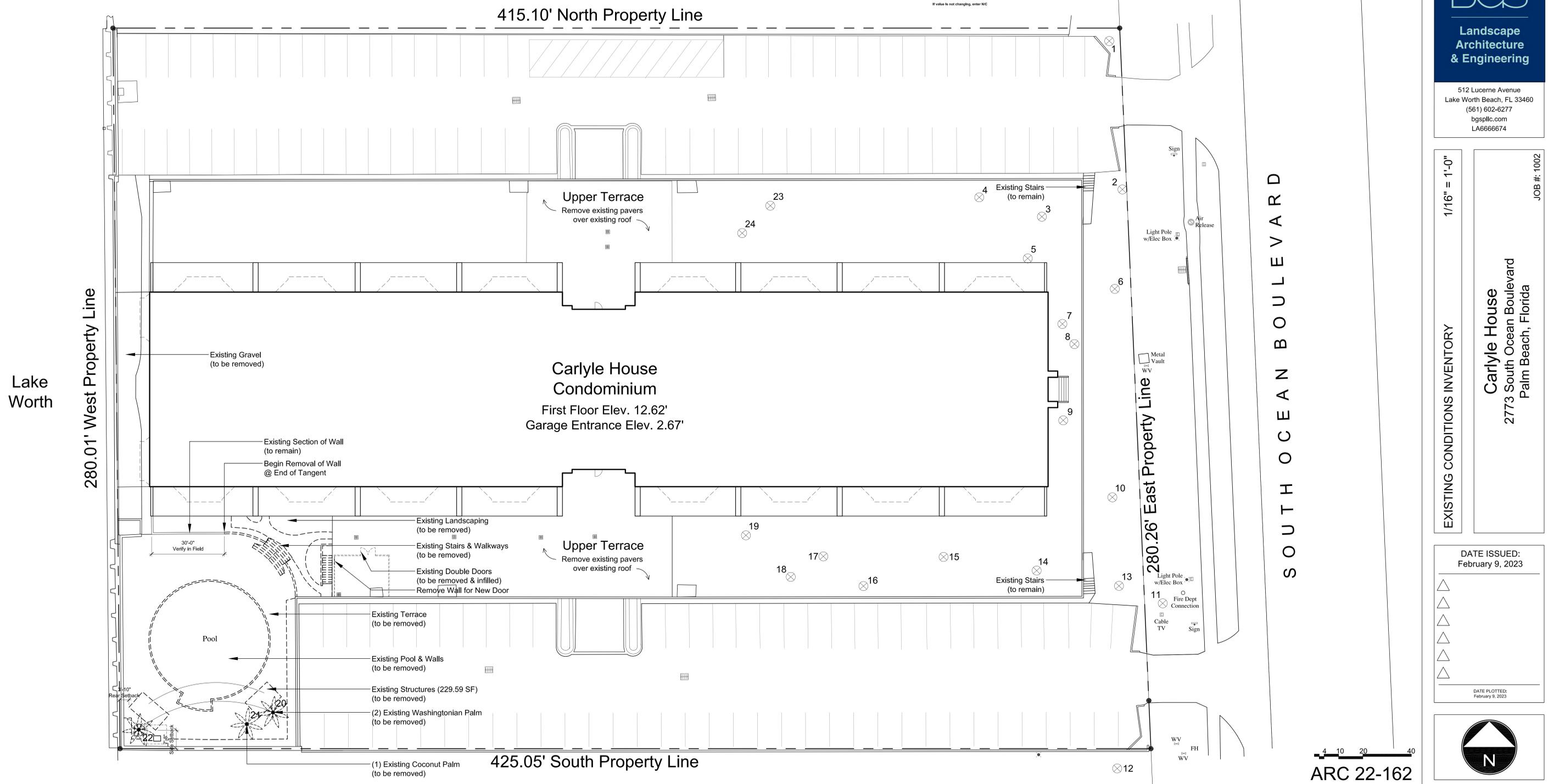
EXISTING TREE LIST				EXISTING TREE LIST			
TREE #	TREE NAME	NATIVE	COMMENT	TREE #	TREE NAME	NATIVE	COMMENT
1	ROBELLINI PALM (DBL.)		REMAIN	13	WASHINGTONIAN PALM		REMAIN
2	WASHINGTONIAN PALM		REMAIN	14	WASHINGTONIAN PALM		REMAIN
3	WASHINGTONIAN PALM		REMAIN	15	OAK	X	REMAIN
4	WASHINGTONIAN PALM		REMAIN	16	COCONUT PALM		REMAIN
5	McARTHUR PALM		REMAIN	17	OAK	X	REMAIN
6	WASHINGTONIAN PALM		REMAIN	18	WASHINGTONIAN PALM		REMAIN
7	WASHINGTONIAN PALM		REMAIN	19	WASHINGTONIAN PALM		REMAIN
8	WASHINGTONIAN PALM		REMAIN	20	WASHINGTONIAN PALM		REMOVE
9	WASHINGTONIAN PALM		REMAIN	21	COCONUT PALM		REMOVE
10	WASHINGTONIAN PALM		REMAIN	22	WASHINGTONIAN PALM		REMOVE
11	WASHINGTONIAN PALM		REMAIN	23	WASHINGTONIAN PALM		REMAIN
12	COCONUT PALM		REMAIN	24	WASHINGTONIAN PALM		REMAIN

Zoning Legend			
Property Address:	2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480		
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL		
Structure Type:	MULTI-FAMILY		
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Lot Size (sq ft)	40,000	126,022.55	N/C
Lot Depth	200.00'	425.06'	N/C
Lot Width	150.00'	300.00'	N/C
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Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C
Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	30.17'
Rear Yard Setback (ft.)	30.00'	3.93'	54.42'
Angle of Vision (deg.)	N/A	N/A	N/C
Building Height (ft.)	35.00'	58.88'	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.62'	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)
Perimeter LOS (sq ft and %)	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A
** Native Plant Species %	Please refer to separate landscape legend.		

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Lake Worth Beach, FL 33460
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LA666674



1/16" = 1'-0"

EXISTING CONDITIONS INVENTORY

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

- ▲
 - ▲
 - ▲
 - ▲
 - ▲
 - ▲
- DATE PLOTTED:
February 9, 2023



EX1

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

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BGS
Landscape Architecture & Engineering

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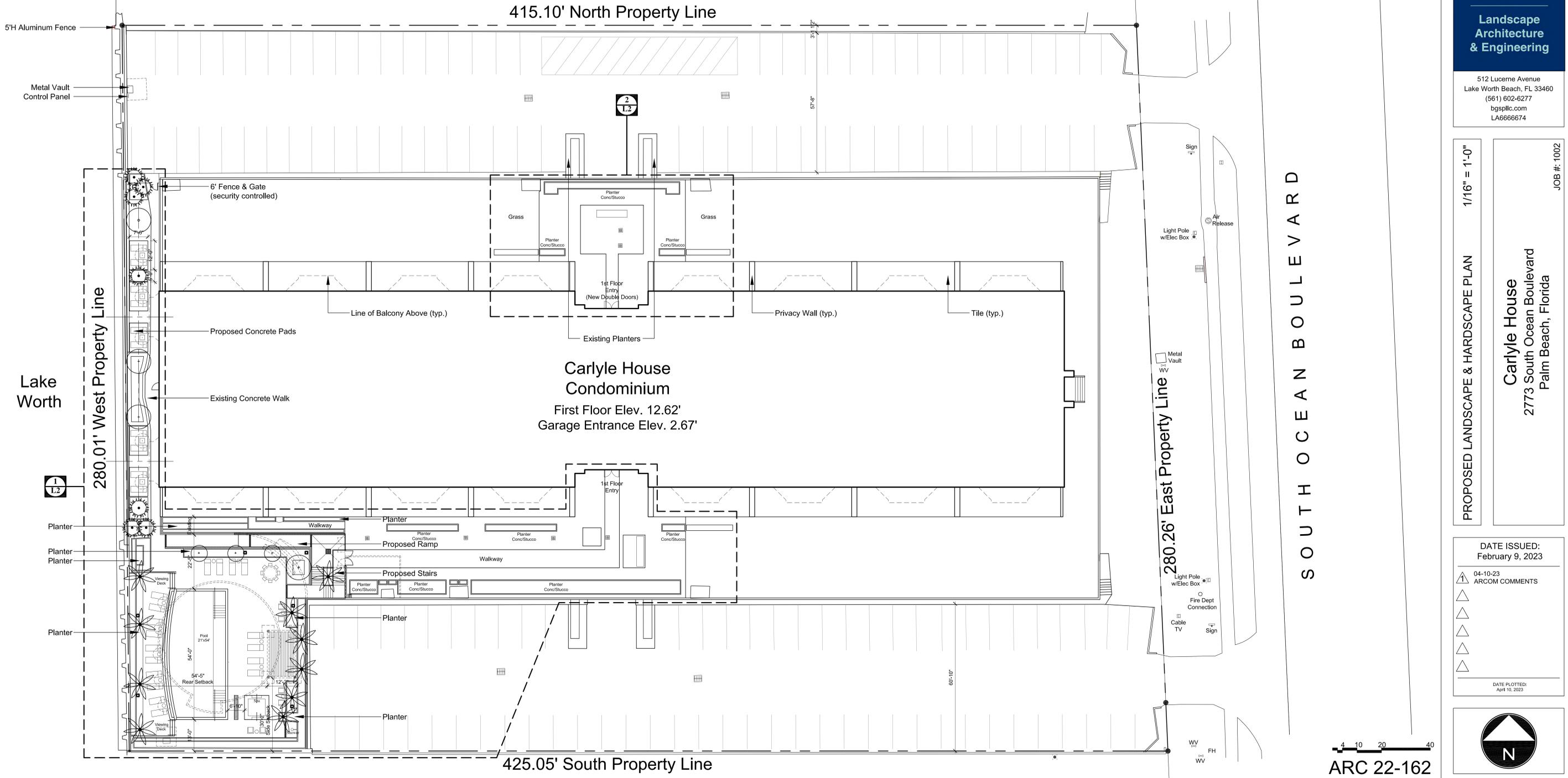
Proposed Plant List						
	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
TREES (17/17)	2	GUMBO LIMBO	BURSERA SIMARUBA	8'-10' O.A.		X
	1	SCREW PINE	PANDANUS VEITCHII			X
	1	SEAGRAPE	COCCOLOBA UVIFERA	10' O.A.		X
PALMS (17/17)	3	SILVER BUTTWOOD	CONOCARPUS ERECTUS	8'-10' O.A.		X
	6	COCONUT PALM	COCOS NUCIFERA	12' C.T.		X
	4	COCONUT PALM	COCOS NUCIFERA	12'-15' C.T.		X
	7	FLORIDA THATCH PALM	THRINAX RADIATA	10'-12' C.T.		X
SHRUBS (1,127/1,627)	68	SWEET BEGONIA	BEGONIA ODORATA 'ALBA'	3 GAL.		
	13	CLUSIA	CLUSIA ROSEA	3' O.A.	FULL TO BASE, FORM HEDGE	
	30	CLUSIA	CLUSIA ROSEA	5' O.A.	FULL TO BASE, FORM HEDGE	
	45	CLUSIA	CLUSIA ROSEA	10' O.A.	FULL TO BASE, FORM HEDGE	
	330	DWARF FAKAHATCHEE	TRIPSA CUM FLORIDANUM	3 GAL.		X
	42	EUGENIA SP.	EUGENIA UNIFLORA	7 GAL.		X
	500	GREEN ISLAND FICUS	FICUS MICROCARPA	3 GAL., 12" O.C.	FULL TO BASE, FORM HEDGE	
	12	GREEN ISLAND FICUS	FICUS MICROCARPA	7 GAL.	FULL TO BASE, FORM HEDGE	
	6	OLEANDER 'PINK ICE'	NERIUM OLEANDER	15 GAL.		
	55	SALT MARSH CORDGRASS	SPARTINA ALTERNIFLORA	3 GAL.		X
	92	FLORIDA PEPEROMIA	PEPEROMIA HUMILIS	1 GAL., 6" O.C.		X
	100	WILD SAGE	LANTANA INVOLUCRATA	1 GAL., 12" O.C.		X
	20	MARINE IVY	CISSUS TRIFOLIATA	3' O.C.	CASCADE DOWN WALL	

Native Landscape Legend			
Property Address: 2773 SOUTH OCEAN BOULEVARD			
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,553.95 (20.28%)	26,012.85 (20.64%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	2.45 (35%)	0 (0%)	6 (86%)
Native* Palms (%)	5.95 (35%)	0 (0%)	7 (41%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation (IRC*) Native* for Your Neighborhood guide shall be used.

Zoning Legend				
Property Address: 2773 SOUTH OCEAN BLVD, PALM BEACH, FL 33480				
Zoning District: R-D(2) HIGH DENSITY RESIDENTIAL				
Structure Type: MULTI-FAMILY				
	Required/Allowed	Existing	Previously Proposed	Currently Proposed
Lot Size (sq ft)	40,000	126,022.55	N/C	N/C
Lot Depth	200.00'	425.08'	N/C	N/C
Lot Width	150.00'	300.00'	N/C	N/C
Lot Coverage (sq ft and %)	27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)	N/C
Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C	N/C
Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	30.17'	N/C
Rear Yard Setback (ft.)	30.00'	3.93'	54.42'	N/C
Angle of Vision (deg.)	N/A	N/A	N/C	N/C
Building Height (ft.)	35.00'	58.88'	N/C	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.82'	N/C	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)	N/C
Perimeter LOS (sq ft and %)	N/A	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A	N/A

** Native Plant Species % Please refer to separate landscape legend.



PROPOSED LANDSCAPE & HARDSCAPE PLAN

1/16" = 1'-0"

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023

ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

JOB #: 1002

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1/8" = 1'-0"

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Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

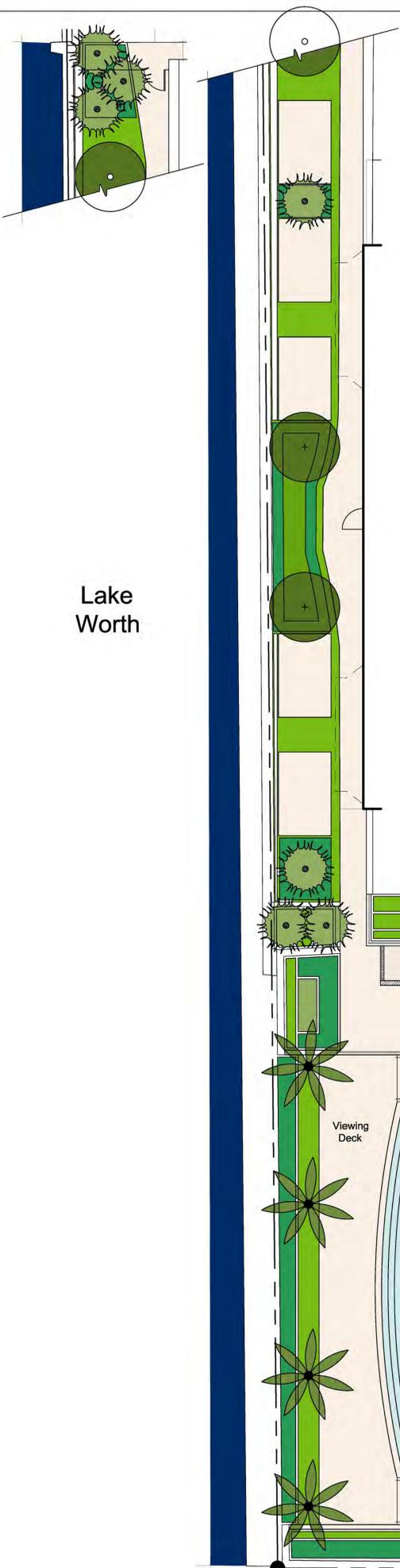
DATE ISSUED:
February 9, 2023

- 04-10-23
- ARCOM COMMENTS
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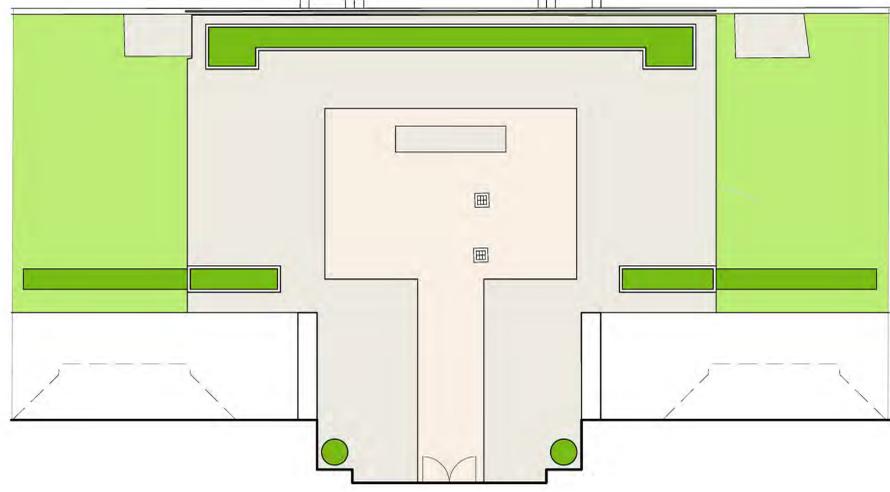
DATE PLOTTED:
April 10, 2023



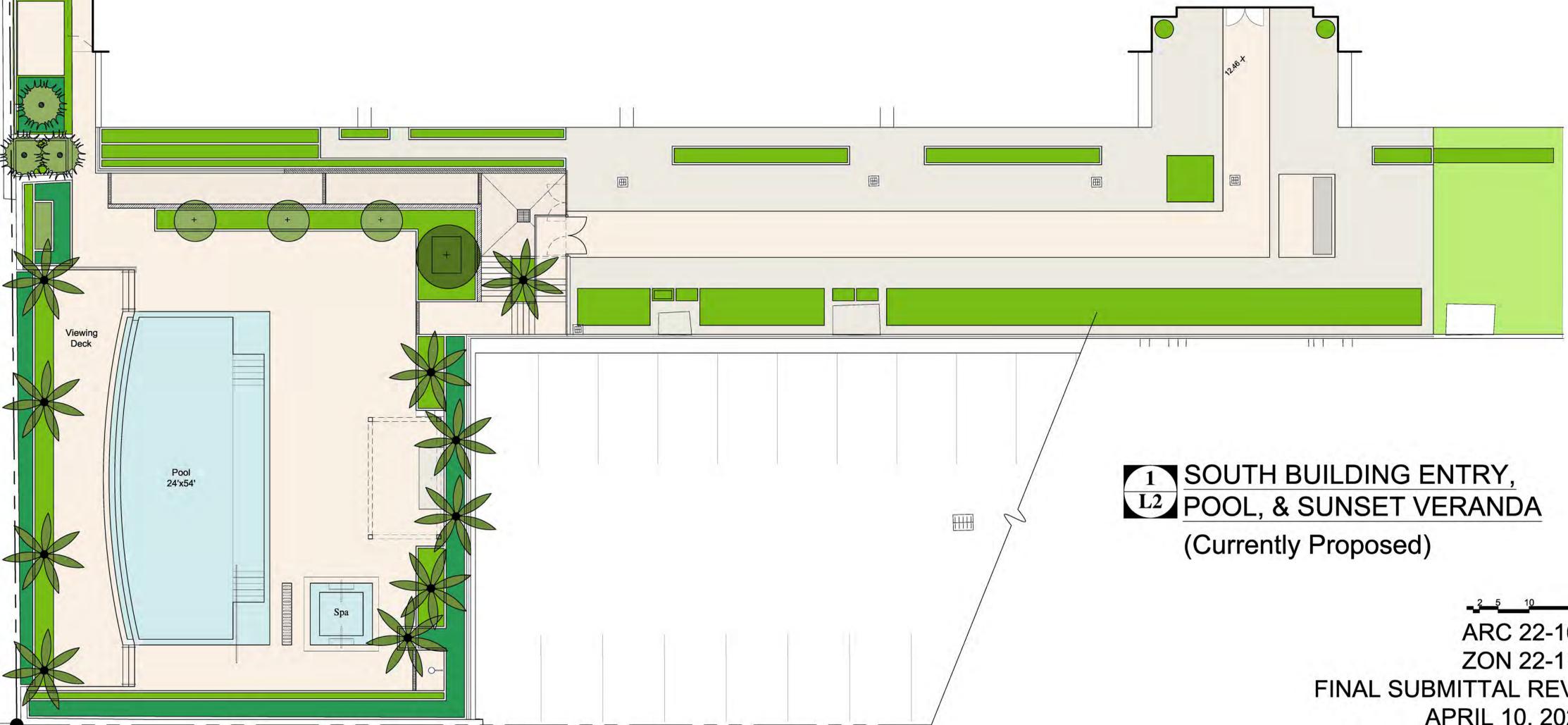
L2R



Lake Worth



NORTH BUILDING ENTRY



1 SOUTH BUILDING ENTRY,
L2 POOL, & SUNSET VERANDA
(Currently Proposed)

2 5 10 20

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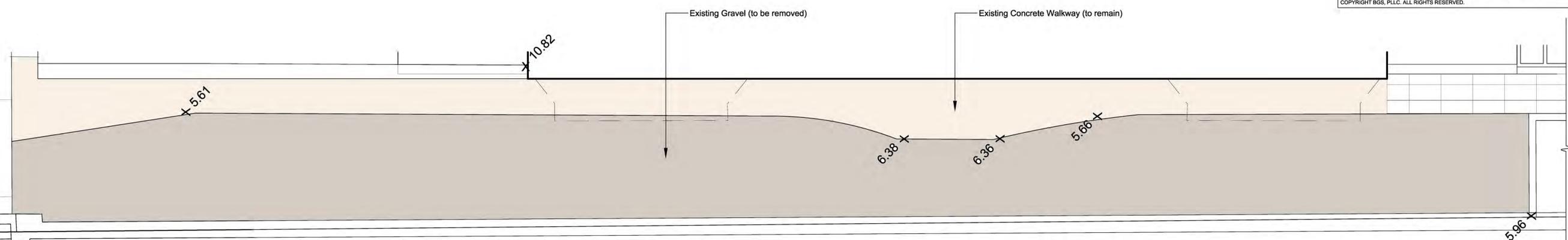
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PE36171

SCALE: 1/4" = 1'-0"

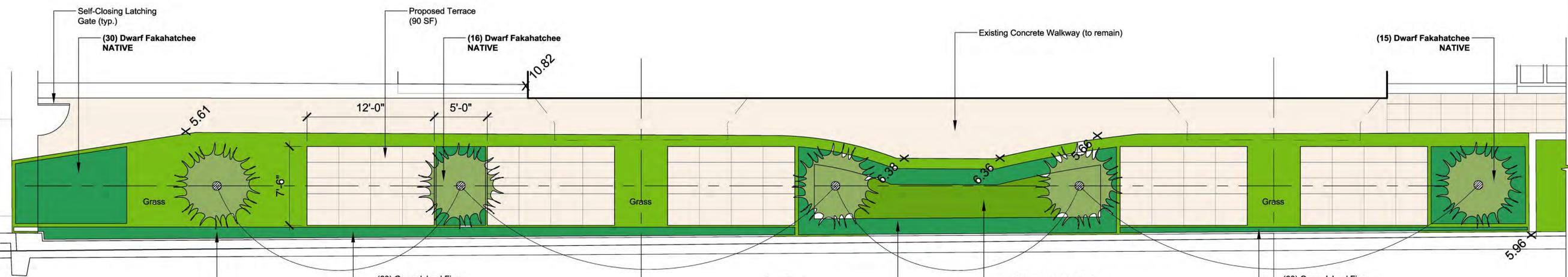
SUNSET PROMENADE

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

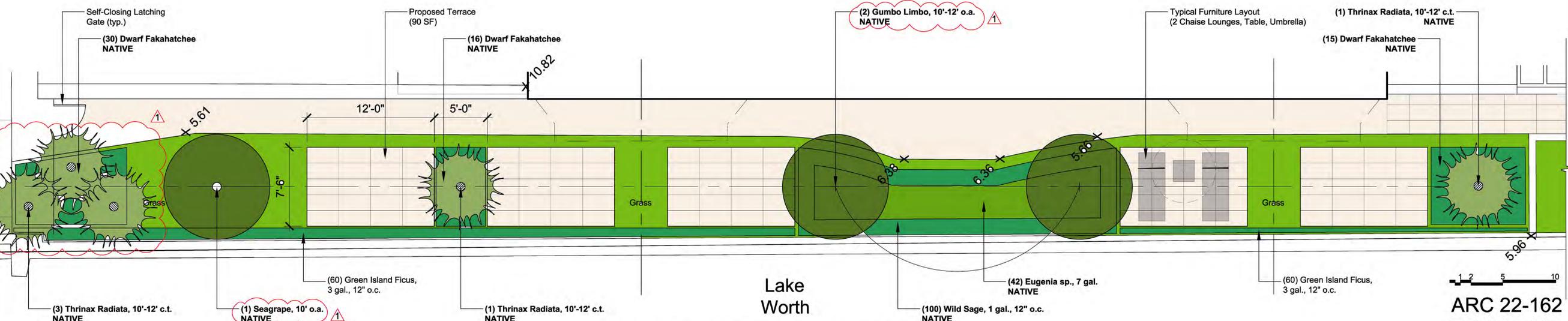
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Lake Worth
EXISTING PROMENADE
1/4" = 1'-0"



Lake Worth
PREVIOUSLY PROPOSED PROMENADE
1/4" = 1'-0" 1/4" = 1'-0"

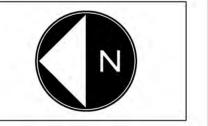


Lake Worth
CURRENTLY PROPOSED PROMENADE
1/4" = 1'-0"

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FINAL SUBMITTAL REV 1
APRIL 10, 2023

DATE ISSUED:
April 10, 2023

DATE PLOTTED:
April 10, 2023

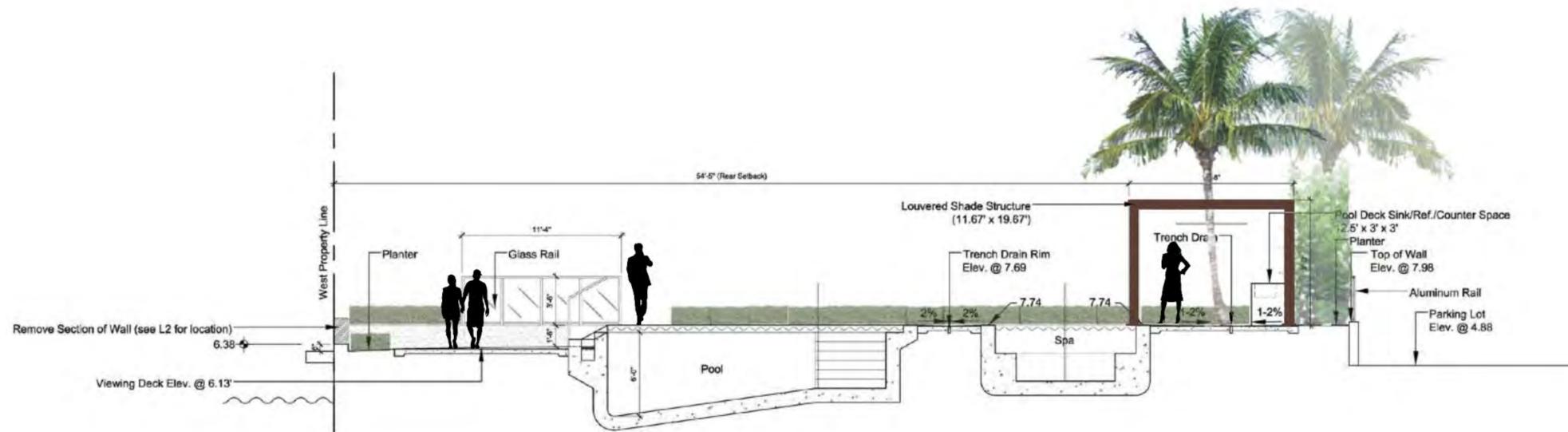


L2.2

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1
L3 WEST/EAST POOL SECTION

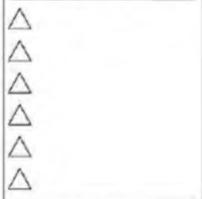
1/4" = 1'-0"

JOB #: 1002

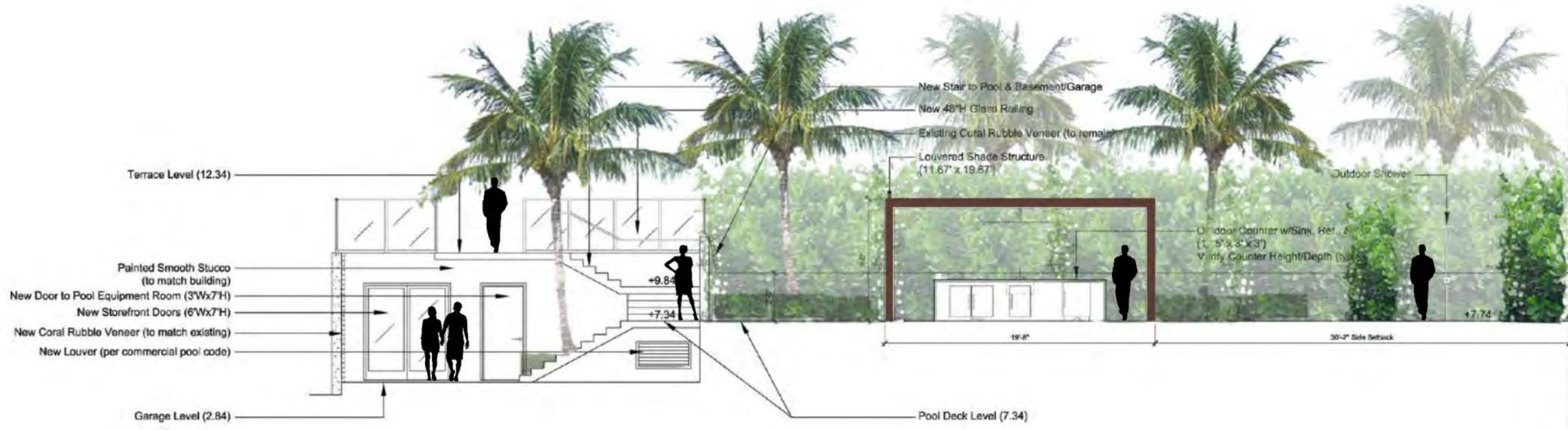
POOL ELEVATIONS/SECTIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
March 9, 2023



DATE PLOTTED:
March 9, 2023



2
L3 NORTH/SOUTH STAIR SECTION/ELEVATION



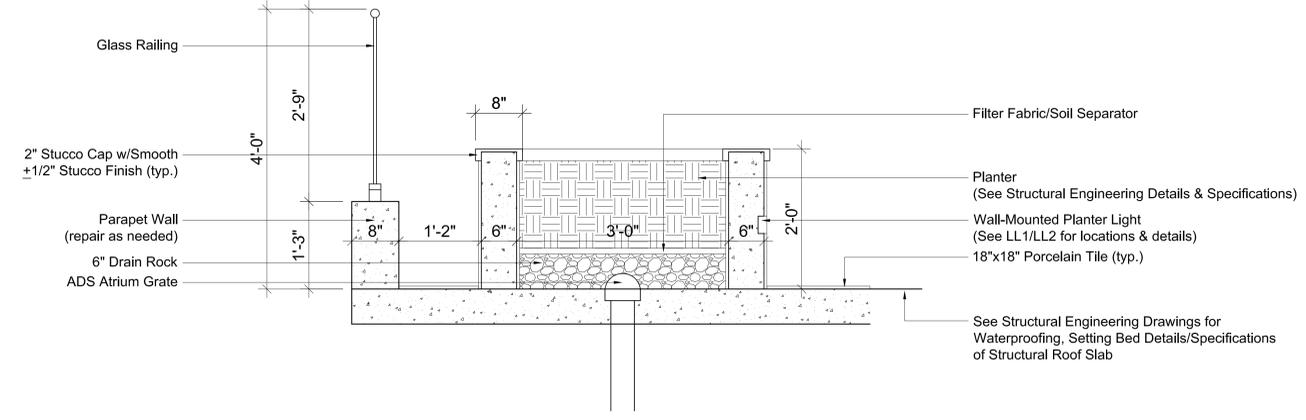
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L3

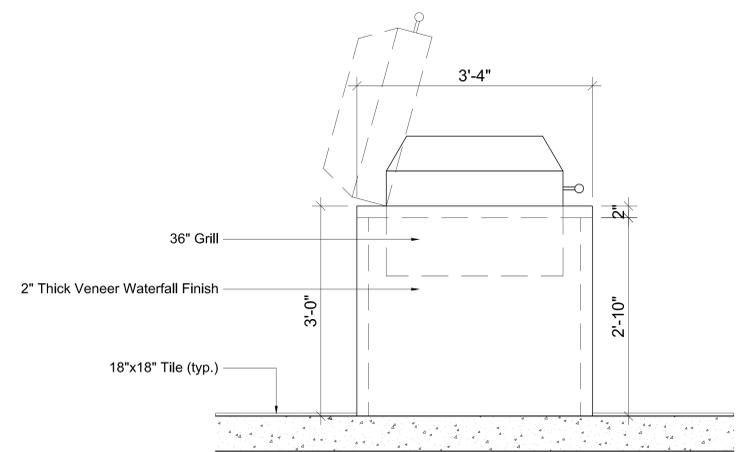
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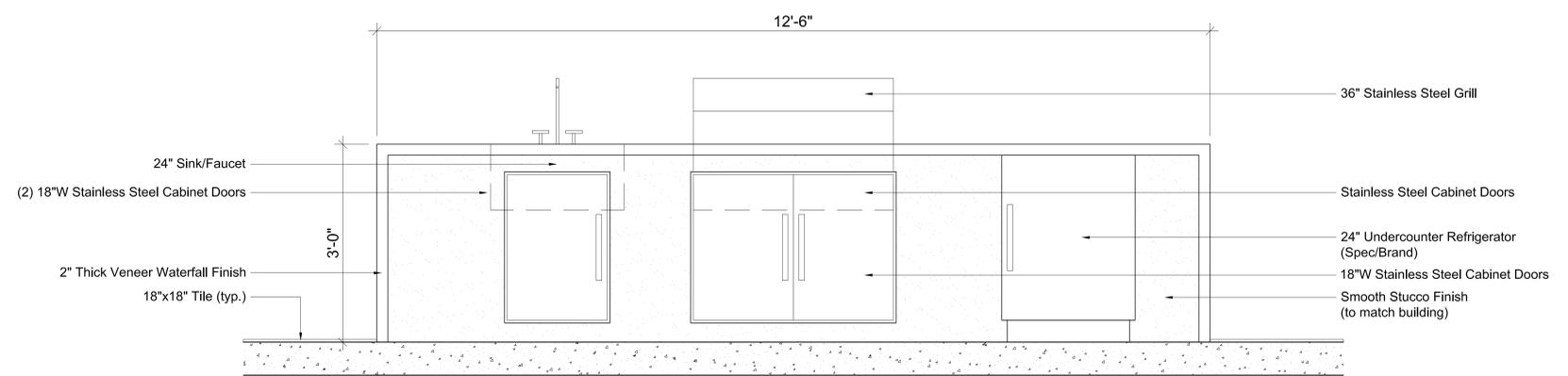
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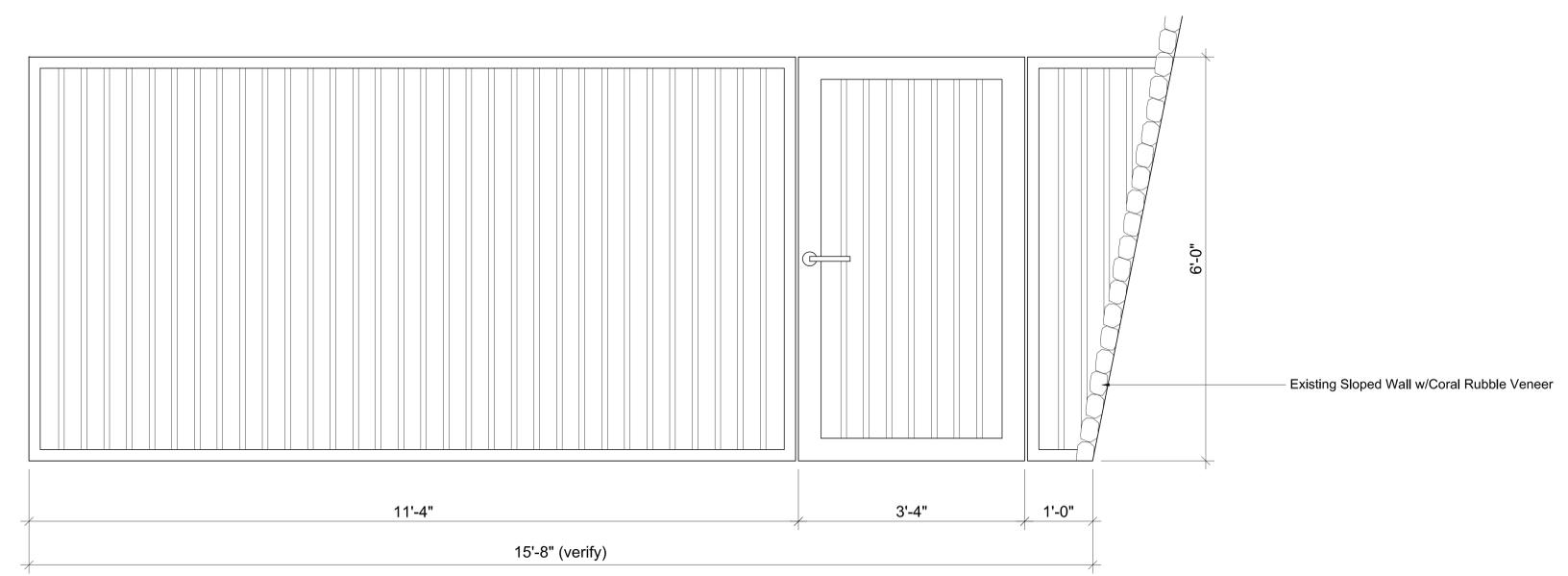
1 North Glass Wall & Planter Section
L4



2 BBQ, Sink, & Refrigerator Section (North & South Terrace)
L4



3 BBQ, Sink, & Refrigerator Elevation (North & South Terrace)
L5



4 North Gate & Fence Elevation
L4

1" = 1'-0"
JOB #: 1002

DETAILS & SECTIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
April 10, 2023



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L4

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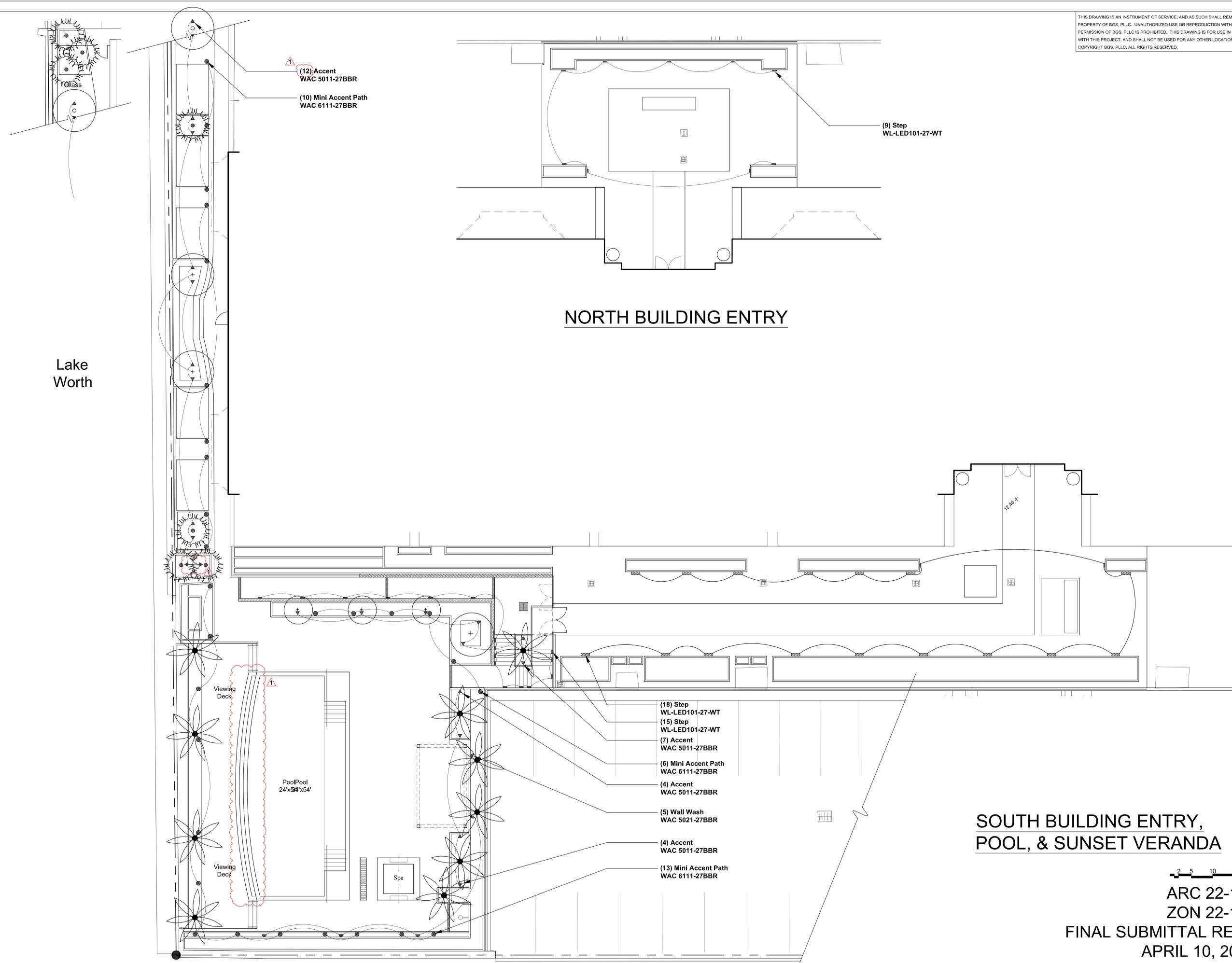
1/8" = 1'-0"
JOB #: 1002

LANDSCAPE LIGHTING PLAN
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023
04-10-23
ARCOM COMMENTS
DATE PLOTTED:
April 10, 2023

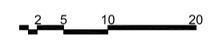


LL1



NORTH BUILDING ENTRY

SOUTH BUILDING ENTRY, POOL, & SUNSET VERANDA



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APRIL 10, 2023

Lake Worth

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LIGHTING LEGEND

Symbol	Qty.	Manufacturer	Model Number	Volts	Type
	23	WAC Lighting	5011-27BBR	12	Accent
	29	WAC Lighting	6111-27BBR	12	Mini Accent Path
	5	WAC Lighting	5021-27BBR	12	Wall Wash
	42	WAC Lighting	WL-LED101-27-WT	120	Step

ACCENT 12V
5011

WAC
LANDSCAPE LIGHTING

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Landscape accent luminaire. One fixture replaces all other halogen landscape accent lights.

FEATURES

- Adjustable and include beam angle
- Integral driver
- IP65 rated, frosted acrylic lens (optional water jet)
- Includes adjustable thermal
- Soft direct beam on pressure resistant aluminum
- Factory sealed water tight fixture
- Weathering cable, 1/2" EMT and direct burial gal. steel wire nuts included
- UL ETL Listed
- UL 98 Listed
- WAC Lighting is a member of the AIA

SPECIFICATIONS

Input: 12VAC (Transformer is required)
Power: 20W to 100W (20W - 200W)
Beam Angle: 10° to 30°
CRI: 90
Retail Life: 70,000 hours

ORDERING NUMBER

Color Temp	Finish		
27	2700K	BB	Black on Back
30	3000K	BB	Black on Back
40	4000K	BB	Black on Back

5011 - Accent 12V
Example: 5011-27BBR

WAC Lighting
Phone: 561.326.2288
Fax: 561.326.2282

Headquarters/Service Distribution Center
44 Kucina Park Drive
Fort Lauderdale, FL 33309

Central Distribution Center
1601 Dillingham Ct
Littleton, CO 80120

Western Distribution Center
1720 Arroyo Avenue
Chico, CA 95926

WAC Lighting reserves the right to modify the design of our products at any time as part of the company's continuous improvement program. APR 13, 2021

MINI ACCENT LED PATH
6111 / 6211

WAC
LANDSCAPE LIGHTING

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Landscape mini accent luminaire. One fixture replaces all other halogen landscape accent lights.

FEATURES

- Continuously Adjustable Beam Angles, Indexed at 10°, 15°, 20°, 30°
- Continuously Adjustable Brightness Control, Indexed at 10%, 20%, 40%, 60%, 70%
- Adjustable beam angle
- IP65 rated, frosted acrylic lens (optional high pressure water jet)
- Includes adjustable thermal
- Soft direct beam on pressure resistant aluminum
- Factory sealed water tight fixture
- Weathering cable, 1/2" EMT and direct burial gal. steel wire nuts included
- UL ETL Listed
- UL 98 Listed
- WAC Lighting is a member of the AIA

SPECIFICATIONS

Input: 12VAC (Transformer is required)
Power: 10W to 20W (20W - 100W)
Beam Angle: 10° to 30°
CRI: 90
Retail Life: 70,000 hours

6211 - Output
Input: 12VAC (Transformer is required)
Power: 10W to 20W - 10.5W to 4.2
Beam Angle: 10° to 30°
CRI: 90
Retail Life: 70,000 hours

ORDERING NUMBER

Color Temp	Finish		
27	2700K Warm White	BB	Black on Back
30	3000K Warm White	BB	Black on Back

6111 - Output
Example: 6111-27BBR

WAC Lighting
Phone: 561.326.2288
Fax: 561.326.2282

Headquarters/Service Distribution Center
44 Kucina Park Drive
Fort Lauderdale, FL 33309

Central Distribution Center
1601 Dillingham Ct
Littleton, CO 80120

Western Distribution Center
1720 Arroyo Avenue
Chico, CA 95926

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WALL WASH 12V
5021

WAC
LANDSCAPE LIGHTING

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Landscape Wall Wash Luminaire

FEATURES

- A uniform wide distribution wall wash from a small form factor
- Integral driver
- Low profile, flush to wall aesthetics with no visible hardware
- 3000K warm white
- Adjustable lighting, 90° of beam with no minimum glare
- Soft direct beam on pressure resistant aluminum
- Factory sealed water tight fixture
- Weathering cable, 1/2" EMT and direct burial gal. steel wire nuts included
- UL ETL Listed
- UL 98 Listed
- WAC Lighting is a member of the AIA

SPECIFICATIONS

Input: 12VAC (Transformer is required)
Power: 20W to 100W (20W - 200W)
Beam Angle: 10° to 30°
CRI: 90
Retail Life: 70,000 hours

ORDERING NUMBER

Color Temp	Finish		
27	2700K	BB	Black on Back
30	3000K	BB	Black on Back
40	4000K	BB	Black on Back

5021 -
Example: 5021-30BB

WAC Lighting
Phone: 561.326.2288
Fax: 561.326.2282

Headquarters/Service Distribution Center
44 Kucina Park Drive
Fort Lauderdale, FL 33309

Central Distribution Center
1601 Dillingham Ct
Littleton, CO 80120

Western Distribution Center
1720 Arroyo Avenue
Chico, CA 95926

WAC Lighting reserves the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB 17, 2022

Model: WL-LED101
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®

Feature Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Responsible Lighting LEDme® Step Light with AIA microchip powder coat paint process to reduce a wide range of bacteria, mold, mildew, fungus, and more. Designed for safety and slip on concrete, granite, tile, lobby areas, restrooms and building entrances.

FEATURES

- Direct lighting, no glare needed
- Low profile, flush to wall aesthetics with no visible hardware
- 3000K warm white
- Adjustable lighting, 90° of beam with no minimum glare
- Soft direct beam on pressure resistant aluminum
- Factory sealed water tight fixture
- Weathering cable, 1/2" EMT and direct burial gal. steel wire nuts included
- UL ETL Listed
- UL 98 Listed
- WAC Lighting is a member of the AIA

SPECIFICATIONS

Input: 120V (Transformer is required)
Power: 20W to 100W (20W - 200W)
Beam Angle: 10° to 30°
CRI: 90
Retail Life: 70,000 hours

ORDERING NUMBER

Light Color	Finish		
27	2700K	BB	Black on Back
30	3000K	BB	Black on Back
40	4000K	BB	Black on Back

WL-LED101 -
Example: WL-LED101-27-WT
For 277V, add "V" before CCT: WL-LED101V-27-WT

WAC Lighting
Phone: 561.326.2288
Fax: 561.326.2282

Headquarters/Service Distribution Center
44 Kucina Park Drive
Fort Lauderdale, FL 33309

Central Distribution Center
1601 Dillingham Ct
Littleton, CO 80120

Western Distribution Center
1720 Arroyo Avenue
Chico, CA 95926

WAC Lighting reserves the right to modify the design of our products at any time as part of the company's continuous improvement program. JAN 2019

1/8" = 1'-0"

LANDSCAPE LIGHTING SPECIFICATIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023



LL2

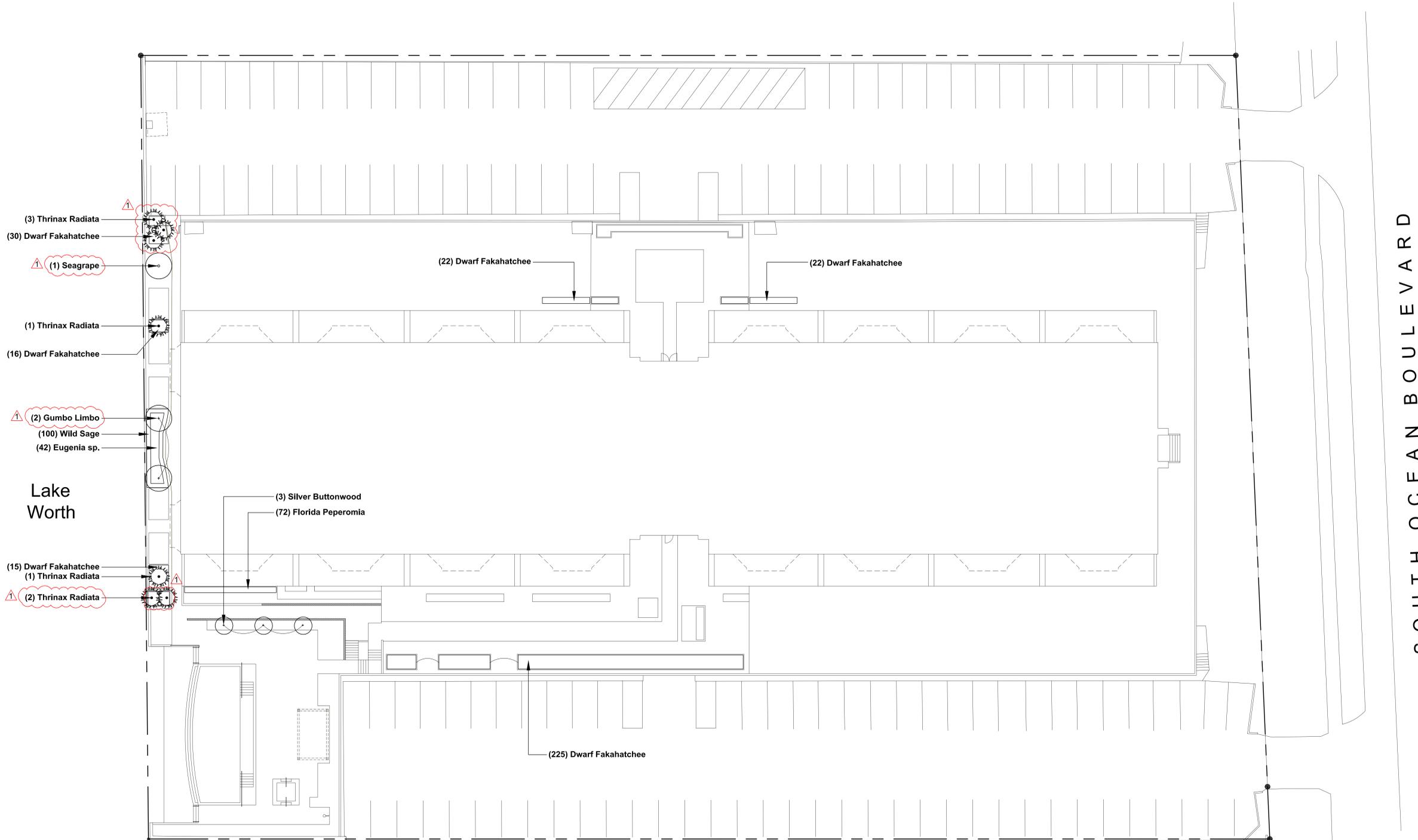
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Native Landscape Legend			
Property Address: 2773 SOUTH OCEAN BOULEVARD			
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,553.95 (20.28%)	26,012.85 (20.64%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	2.45 (35%) 1	0 (0%)	6 (86%) 1
Native* Palms (%)	5.95 (35%)	0 (0%)	7 (41%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.



SOUTH OCEAN BOULEVARD

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Lake Worth Beach, FL 33460
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1/16" = 1'-0"

NATIVE LANDSCAPE DIAGRAM & CALCULATIONS

JOB #: 1002

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

DATE PLOTTED:
April 10, 2023



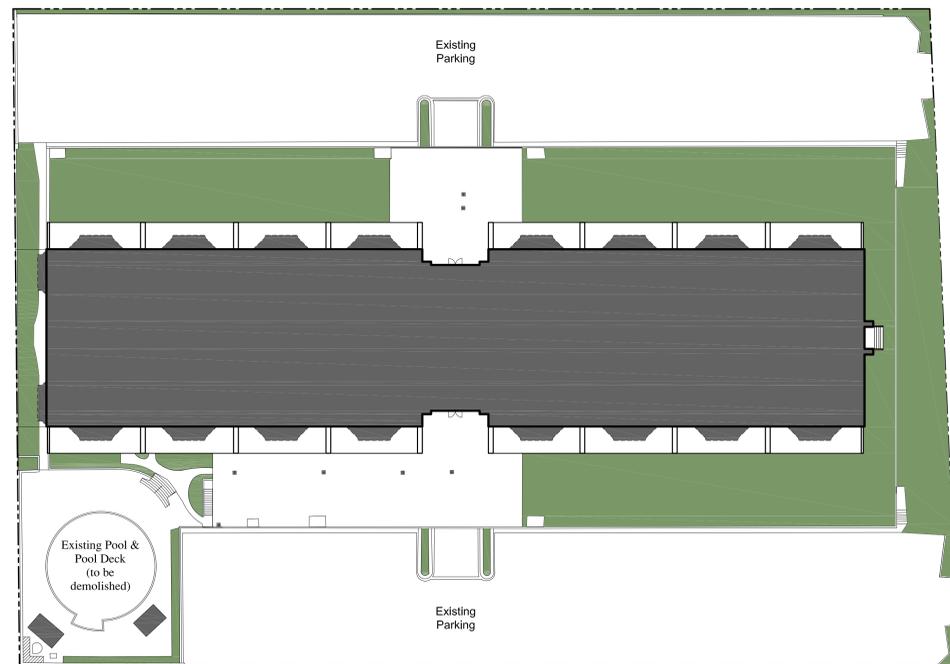
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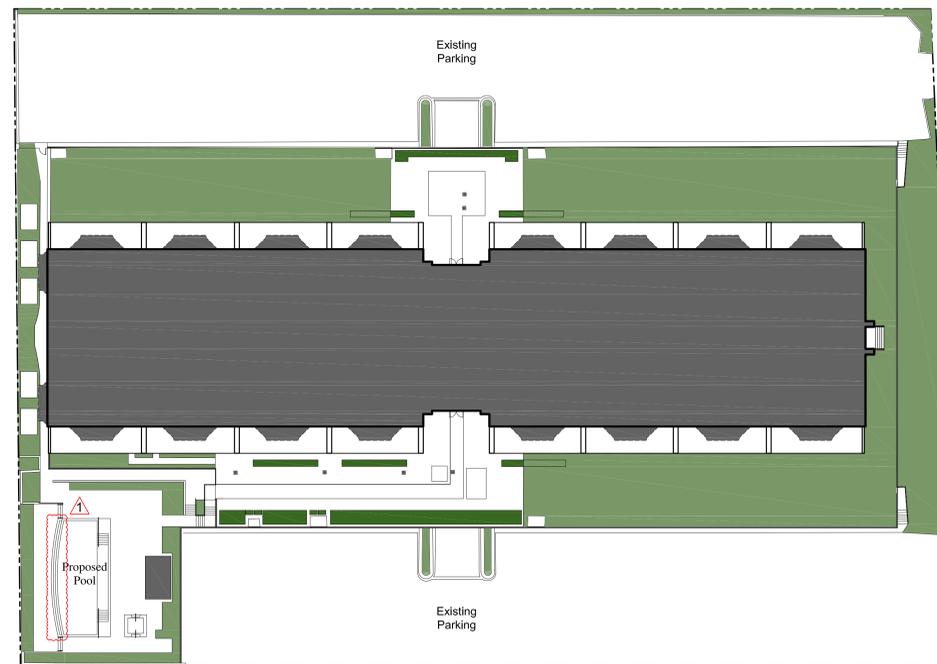


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Lake Worth Beach, FL 33460
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EXISTING LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL		
- Existing	126,022.55 SQ.FT.	100.00%
LANDSCAPE - OVERALL		
- Required	42,107.89 SQ.FT.	35.00%
- Existing	25,596.78 SQ.FT.	20.98%
LOT COVERAGE		
- Max Allowable	27,724.96 SQ.FT.	22.00%
- Existing	31,963.26 SQ.FT.	25.36%
HARDSCAPE		
- Existing	64,462.51 SQ.FT.	52.83%



PROPOSED LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL		
- Existing	126,022.55 SQ.FT.	100.00%
LANDSCAPE - OVERALL		
- Required	42,107.89 SQ.FT.	35.00%
- Proposed	26,079.09 SQ.FT.	21.69%
LOT COVERAGE		
- Max Allowable	27,724.96 SQ.FT.	22.00%
- Proposed	31,963.22 SQ.FT.	25.36%
HARDSCAPE		
- Proposed	63,929.79 SQ.FT.	52.07%

LANDSCAPE OPEN SPACE DIAGRAMS & CALCULATIONS

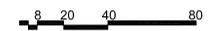
Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

04-10-23
ARCOM COMMENTS

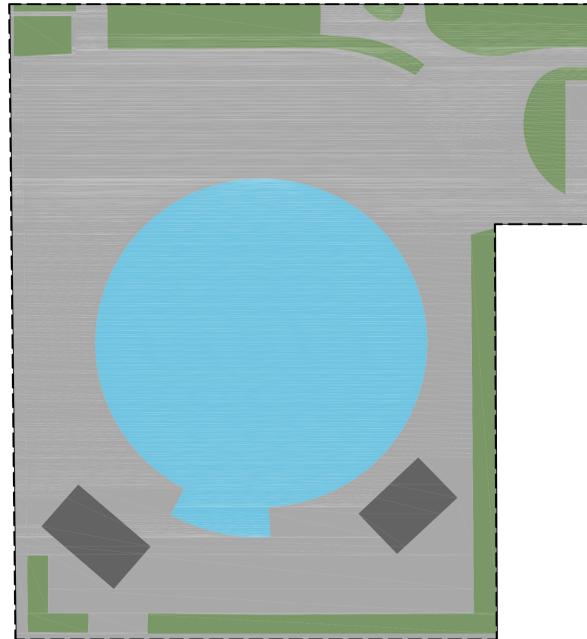
DATE PLOTTED:
April 10, 2023



ARC 22-162
ZON 22-110
FINAL SUBMITTAL REV 1
APRIL 10, 2023

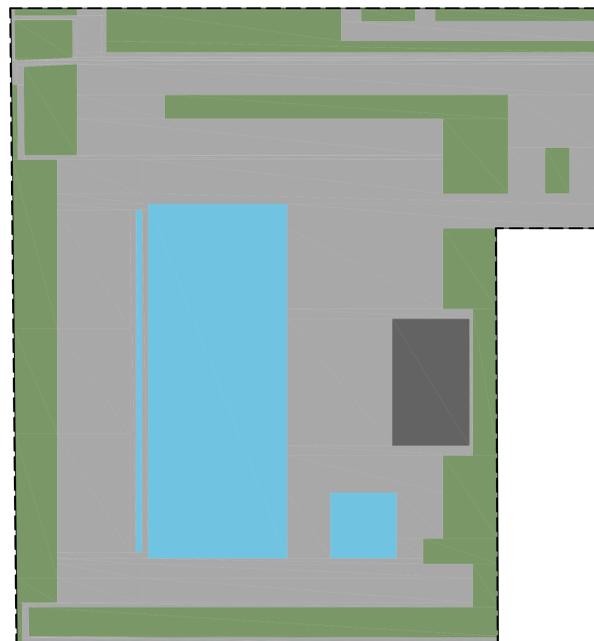
Z2

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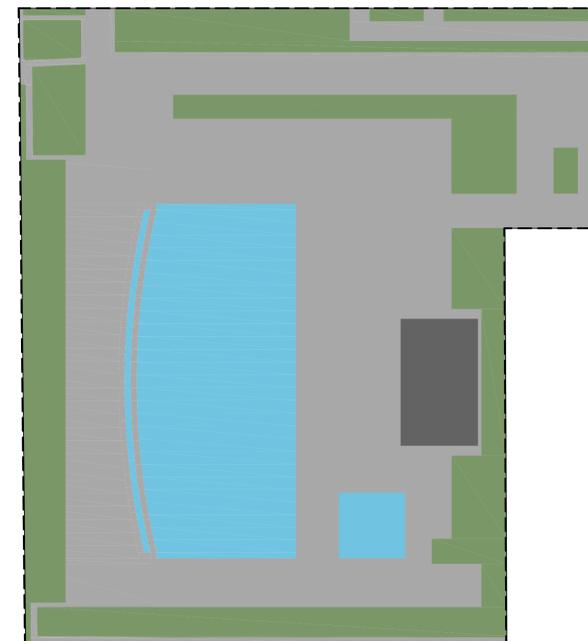
POOL DECK CALCULATIONS (Existing)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Existing Pool	2,037.12 SQ. FT.	26.91%



POOL DECK CALCULATIONS (Previously Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,059.21 SQ. FT.	53.62%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,281.83 SQ. FT.	16.93%



POOL DECK CALCULATIONS (Currently Proposed)

Total Area	7,570.71 SQ. FT.	100.00%
Existing Structures	229.59 SQ. FT.	3.03%
Proposed Structure	229.55 SQ. FT.	3.03%
Existing Hardscape	4,272.06 SQ. FT.	56.43%
Proposed Hardscape	4,354.19 SQ. FT.	52.23%
Existing Landscape	1,031.94 SQ. FT.	13.63%
Proposed Landscape	2,000.12 SQ. FT.	26.42%
Existing Pool	2,037.12 SQ. FT.	26.91%
Proposed Pool & Spa	1,386.85 SQ. FT.	18.32%



BGS
Landscape
Architecture
& Engineering

512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
PE36171

JOB #: 1000

POOL DECK OPEN SPACE DIAGRAMS & CALCULATIONS

Carlyle House
 2773 South Ocean Boulevard
 Palm Beach, Florida

DATE ISSUED:
April 10, 2023

DATE PLOTTED:
April 10, 2023



Z3

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PROPOSED RENDERING

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

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△
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DATE PLOTTED:
February 9, 2023



LR1



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FINAL SUBMITTAL
FEBRUARY 9, 2023

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PROPOSED RENDERING

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Example of Proposed Shade Structure
See L3-Elevations and Dimensions



Shell Stone 18" x 36"



Porcelain Paving 18" x 18"



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MATERIALS & FINISHES

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

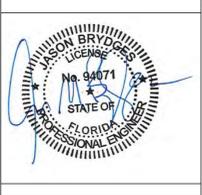


DATE PLOTTED:
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M1

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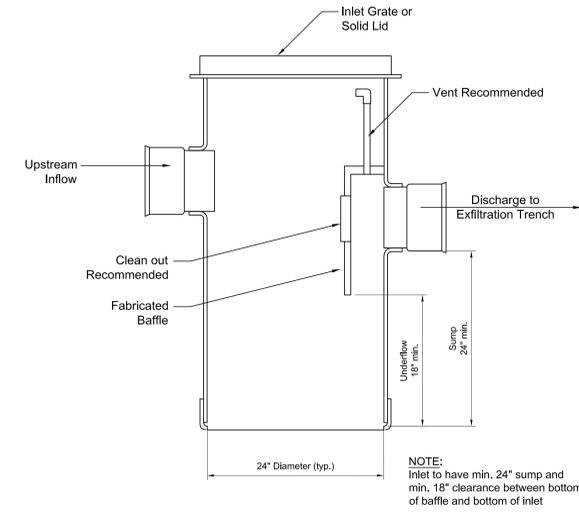
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GENERAL NOTES & SPECIFICATIONS:

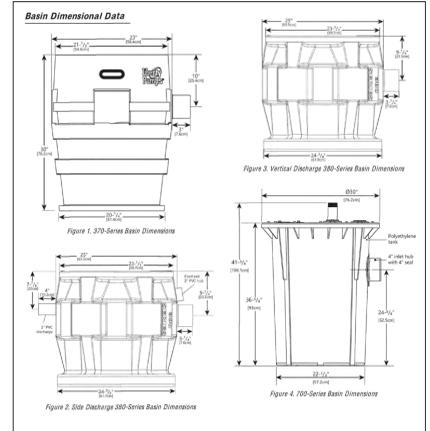
- Contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in specifications or mentioned in the specifications and not shown on the drawings, shall be of the like effect as if shown or mentioned in both.
- Figures marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors, which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, contractor shall adjust such dimensions as conditions may require.
- If contractor, in the course of work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by contractor, it shall be contractor's duty to immediately inform engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at one report to engineer any discrepancies between the executes work and the drawings.
- Engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. Contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing, or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit by any unburned remains are to be disposed of as directed by the owner or his representatives.
- Contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims for damage. Contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalks, lawns, utilities, and other items damaged by this construction activity.
- Contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by engineer. Should any test fail to meet specification as shown herein, contractor shall, at contractor's expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman-like manner and shall conform with all applicable City, County, State, and Federal regulations and/or codes. Contractor shall obtain all permits and licenses required to begin work.
- Contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed, and/or relocated, which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect completed work.
- Contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at contractor's expense.
- All work shall be accomplished in a safe and workman-like manner. Contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury, or property damage.
- Minimum Construction Inspection Checkpoints:
 - Prior to any major deviation from the approved plan
 - Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved
 - Upon completion of sub-grade compacting
 - At the time of delivery of base material
 - Upon completion of the base and prior to priming
 - Immediately prior to and upon the first and second applications of the plant mixed wearing course
 - Upon completion of construction, a final inspections will be made with project representative.
- All unsuitable material such as muck, marl, and debris shall be removed from the limits of construction and legally disposed. At the engineer's directions, much may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design, and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts, or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement(s) and repair(s) within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- Contractor shall complete "as-built" information relative to pipe lengths, materials, and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

NOTES:

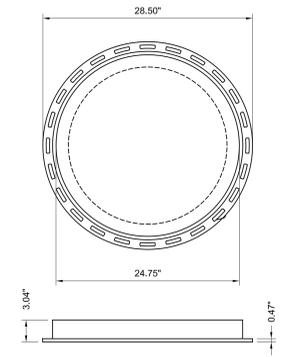
- All pipe systems shall be installed in accordance with ASTM D321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", latest addition.
- Measures should be taken to prevent migration of native fines into backfill material, when required.
- Suitable Subgrade:** Where the trench bottom is unstable, contractor shall excavate to a depth required by engineer and replace with suitable material as specified by engineer. As an alternative, and at the discretion of design engineer, trench bottom may be stabilized using geotextile material.
- Bedding:** Suitable material shall be Class I, II, or III. Contractor shall provide documentation for material specification to engineer. Unless otherwise noted by engineer, minimum bedding thickness shall be 4" for 4"-24" pipe and 6" for 30"-60" pipe.
- Initial Backfill:** Suitable material shall be Class I, II, or III in the pipe zone extending not less than 6" above crown of pipe. Contractor shall provide engineer with documentation for material specification. Material shall be installed as required in ASTM D2321, latest edition.
- Minimal Cover:** Minimum Cover, H in non-traffic applications (grass or landscape areas) is 12" from the top of pipe to ground surface. Additional cover may be required to prevent flotation. For traffic applications, minimum cover, H, is 18" up to 48" diameter pipe and 24" of cover for 54"-60" diameter pipe, measured from top of pipe to bottom of flexible pavement or to top of rigid pavement.



24" NYLOPLAST DRAIN BASIN
N.T.S.



1 SUMP PUMP DETAIL #1
N.T.S.



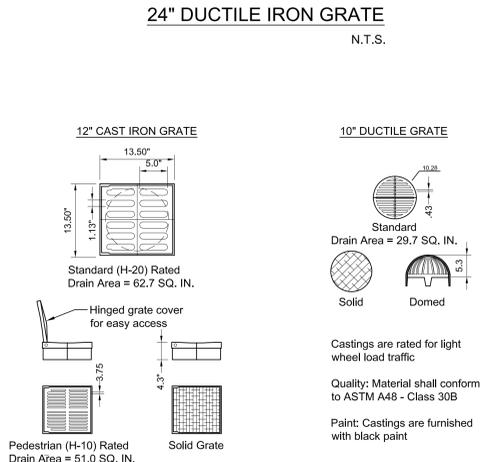
24" DUCTILE IRON GRATE
N.T.S.

STORM WATER CALCULATIONS

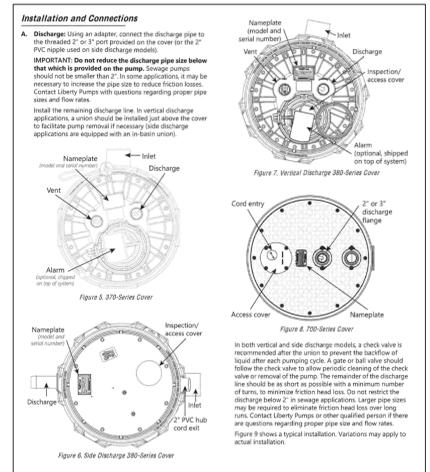
Total Quantity of Runoff Calculation		
Rationale Method, Q = CIA		
Q1 =	0.24 cfs	peak runoff rate in cubic feet per second (impervious)
Q2 =	0.06 cfs	peak runoff rate in cubic feet per second (pervious)
Qt =	0.31 cfs	peak runoff rate in cubic feet per second (total)
Qt =	0.3069 ac-in/hr.	peak runoff rate in acre inches per hour (total)
C1 =	1	runoff coefficient impervious
C2 =	0.2	runoff coefficient pervious
I =	2 in/hr.	rainfall intensity in inches per hour
A1 =	0.121 ac	drainage area in acres (impervious)
A2 =	0.032 ac	drainage area in acres (pervious)
1 foot =	12 inches	conversion
1 acre =	43560 sf	conversion
1 hour =	3600 sec	conversion
1 cfs =	448.8 gpm	conversion
	138.8994444 gpm	Max flow
4" PVC	0.09 SF	area
	3.5 fps	velocity
6" PVC	0.20 SF	area
	1.6 fps	velocity
12" PVC	0.79 SF	area
	0.39 fps	velocity

Trench Size Calculation		
Exfiltration Trenches G-1 from 2020 Permit Manual		
L =	3.16E+01 ft	total length of trench in feet
W =	3 ft	width of trench in feet
FS =	2	factor of safety, 2 minimum for geological uncertainties
%WQ =	50%	percent reduction in WQ treatment volume based on method, 50% for wet/dry retention
Vwq =	0.3069 ac-in/hr	volume of treatment provided by trench in 1 hour; needs to exceed runoff quantity
Vadd =	0 ac-in/hr	volume of treatment provided by trench in 1 hour in addition to Vwq;
K =	3.53E-04 cfs/ft ² -ft	hydraulic conductivity in cubic feet per second per square foot per foot of head; 5x10 ⁻⁵ default value
H2 =	3.66 ft	depth to water table or head on saturated surface; difference between grade and lowest elevation allowing discharge from trench or water table
		unsaturated trench depth; depth from top of trench in unsaturated zone to water table
		saturated trench depth; depth to bottom of trench from water table
Du =	3 ft	
Ds =	0 ft	

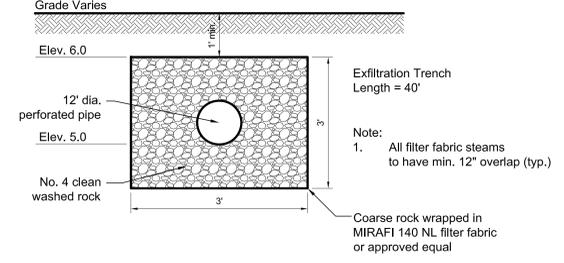
Sump Pump Calculation		
Rationale Method, Q = CIA - for 10.5 in/hour		
Q1 =	0.17 cfs	peak runoff rate in cubic feet per second (impervious)
Q2 =	0.00 cfs	peak runoff rate in cubic feet per second (pervious)
Qt =	0.17 cfs	peak runoff rate in cubic feet per second (total)
Qt =	0.1687 ac-in/hr.	peak runoff rate in acre inches per hour (total)
C1 =	1	runoff coefficient impervious
C2 =	0.2	runoff coefficient pervious
I =	10.5 in/hr.	rainfall intensity in inches per hour
A1 =	0.016 ac	drainage area in acres (impervious)
A2 =	0.000 ac	drainage area in acres (pervious)
1 foot =	12 inches	conversion
1 acre =	43560 sf	conversion
1 hour =	3600 sec	conversion
1 cfs =	448.8 gpm	conversion
	76.35833333 gpm	Max flow
2" PVC	0.02 SF	Area
	7.8 fps	Velocity
4" PVC	0.09 SF	Area
	1.95 fps	Velocity
pipe length	50 ft	
Palm Beach is Zone 10 - Range of 7 to 10.5 inches per hour		
Head-lift	7 ft	
Head-friction	6 ft	
Head-residual	0 ft	
Total Head	13 ft	



AREA DRAIN DETAILS
N.T.S.



SUMP PUMP DETAIL #2
N.T.S.



2 EXFILTRATION TRENCH #1 DETAIL
N.T.S.

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.
Contractor is responsible for obtaining location of existing utilities prior to commencement of construction services.

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

DRAINAGE SPECIFICATIONS & DETAILS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

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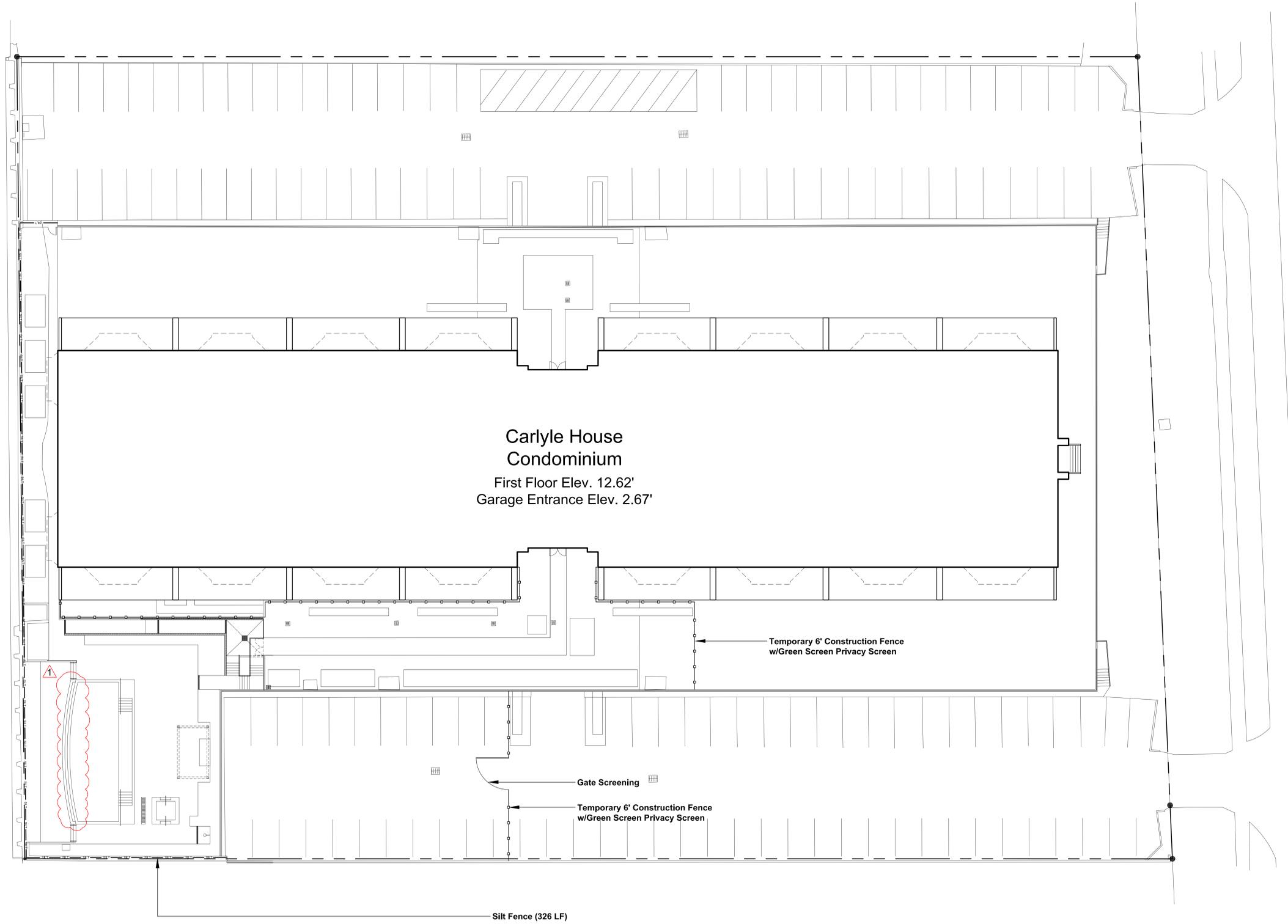


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Lake Worth



SOUTH OCEAN BOULEVARD

1/16" = 1'-0"

CONSTRUCTION SCREENING PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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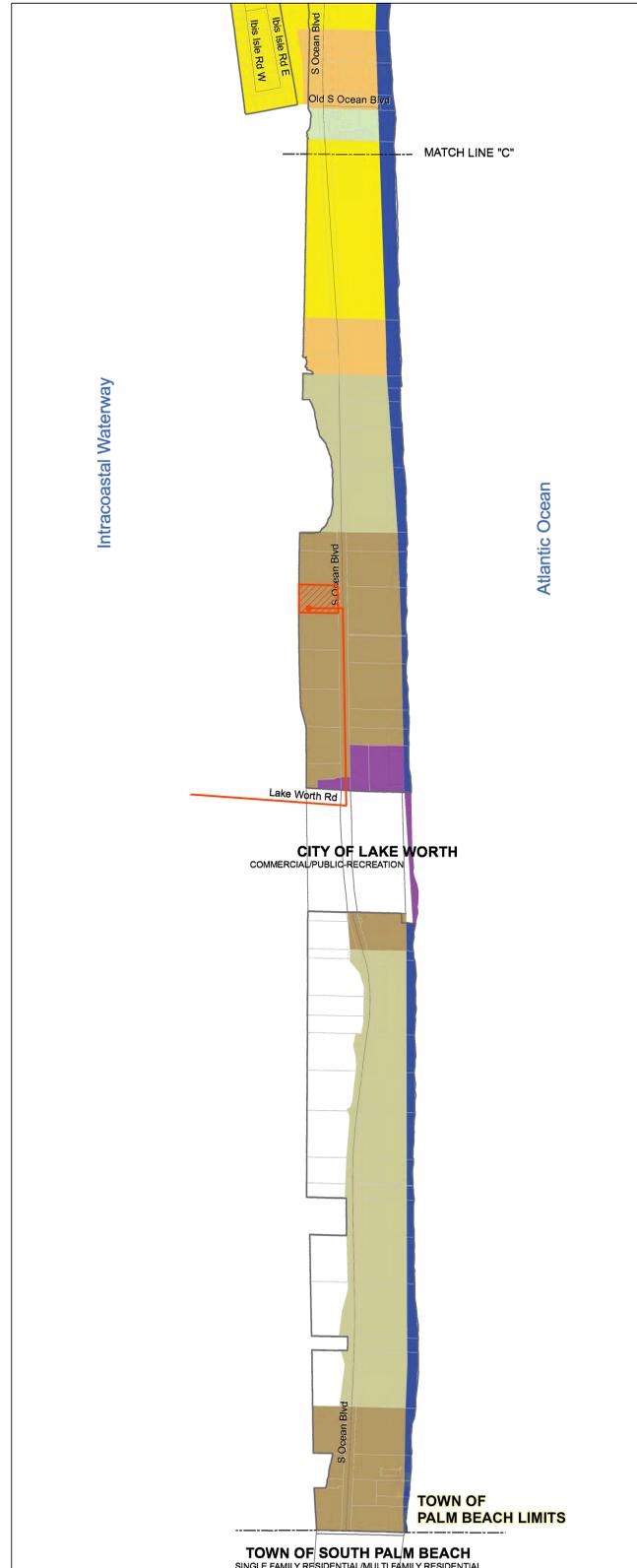
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APRIL 10, 2023

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TRUCK LOGISTICS PLAN

N.T.S.

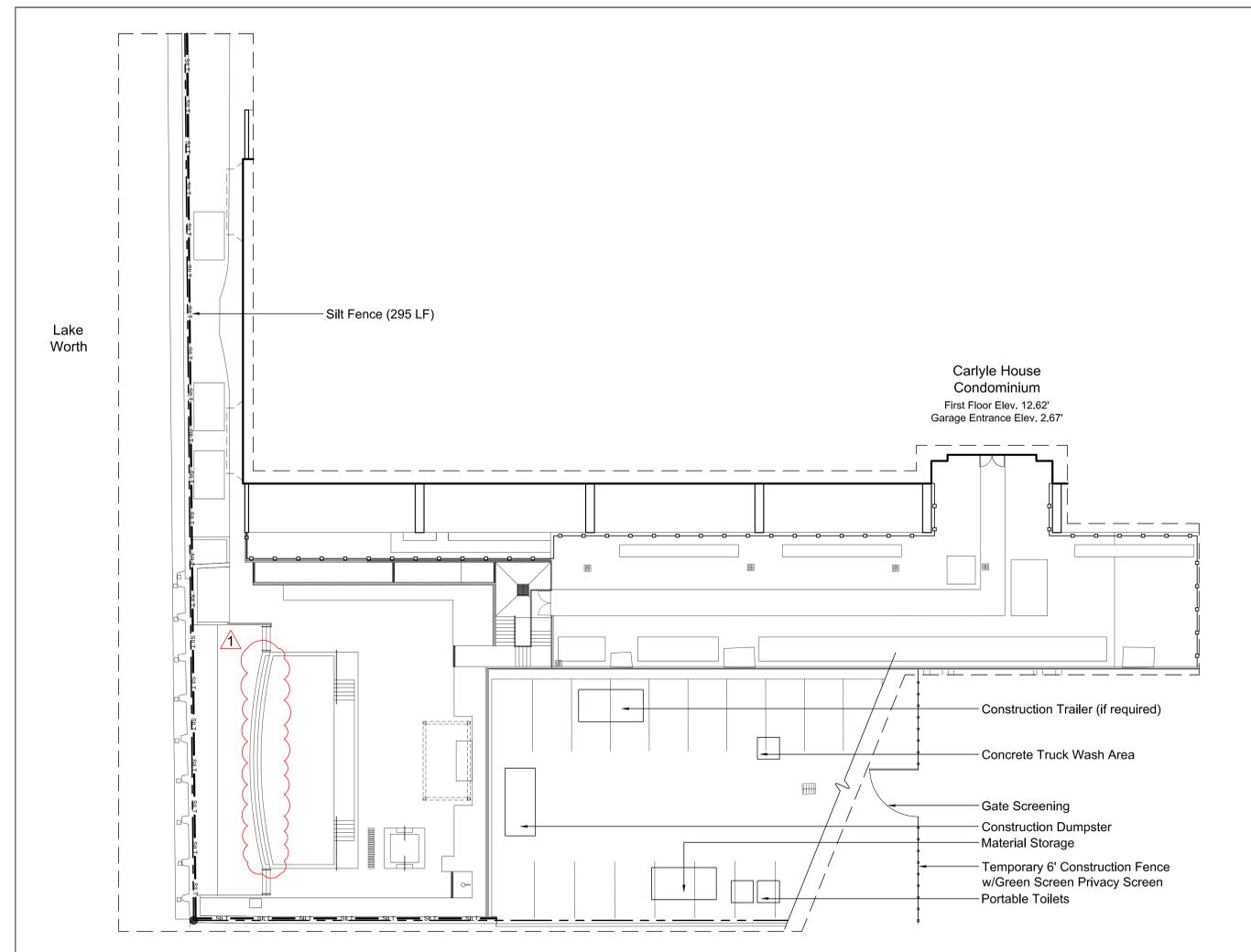
ROUTE TO SUBJECT PROPERTY:
Enter the Town of Palm Beach via Lake Avenue over the Lake Worth bridge. Turn left (north) on A1A. Continue north on A1A for approximately 1/2 mile. Subject property will be on the left (west) side.

MAXIMUM TRUCK LENGTH:
60'

MAXIMUM NUMBER OF TRIPS TO SUBJECT PROPERTY:
50 (estimated)

CONSTRUCTION SCHEDULE (theoretical and to be determined by GC):

- Month 1 Site Prep, Relocation, and Demolition
- Month 2 Site Utility Work, Grading, and Drainage
- Month 3-4 New Pool & Spa and Site Improvements
- Month 5-6 Site Grading, Drainage, and Plant Prep
- Month 7-8 Landscape and Landscape Lighting
(2 month contingency for unforeseen circumstances)



CONSTRUCTION STAGING PLAN

N.T.S.

CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

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