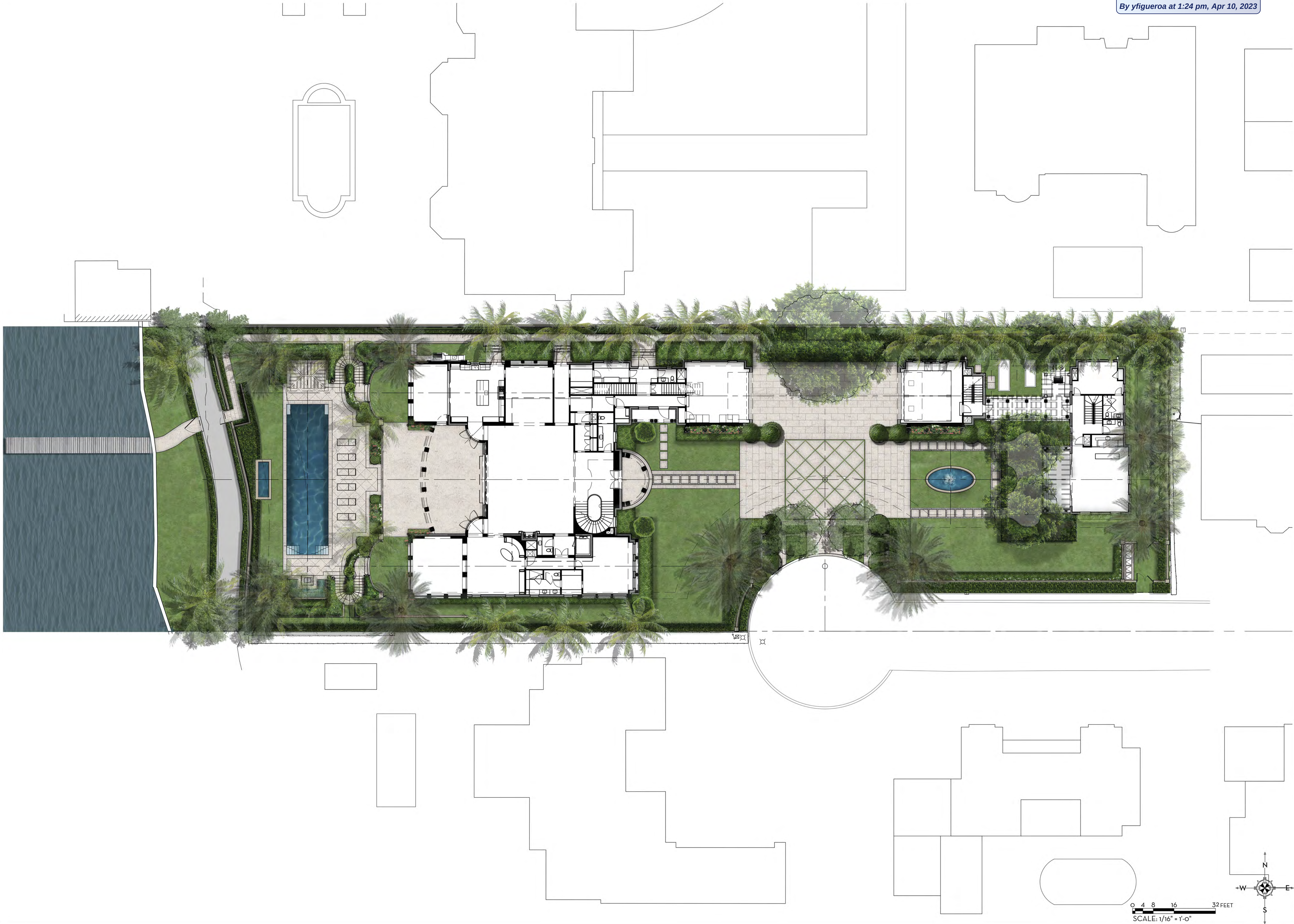


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Landscape Architect
Registration No.
6666856

SITE PLAN
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
12 JANUARY 2023
27 DECEMBER 2022
28 NOVEMBER 2022
07 NOVEMBER 2022
24 OCTOBER 2022



NIEVERA WILLIAMS
DESIGN

625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

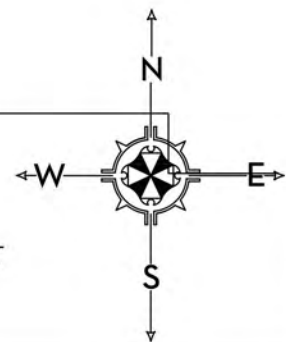
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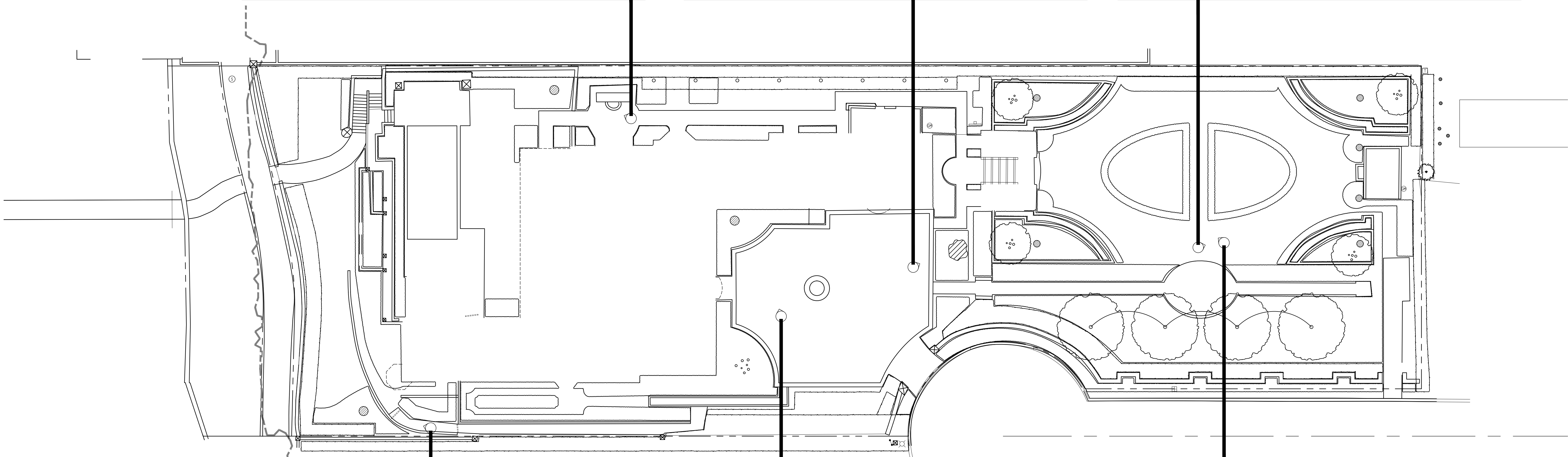
SITE

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ZON-23-029

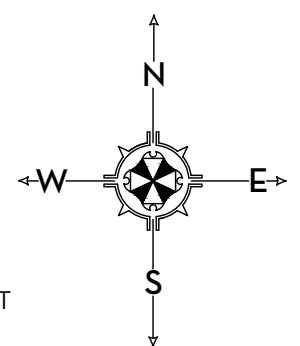
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SCALE: 1/16" = 1'-0"





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SCALE: 1/16" = 1'-0"



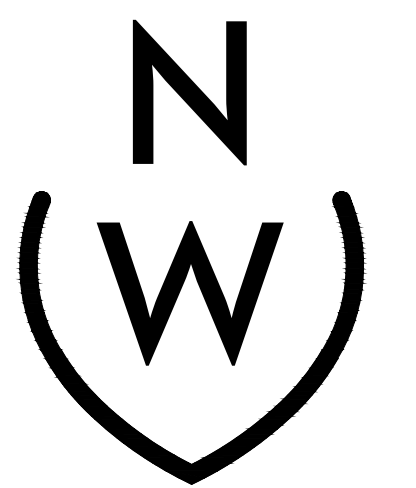
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EXISTING SITE PHOTOS
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
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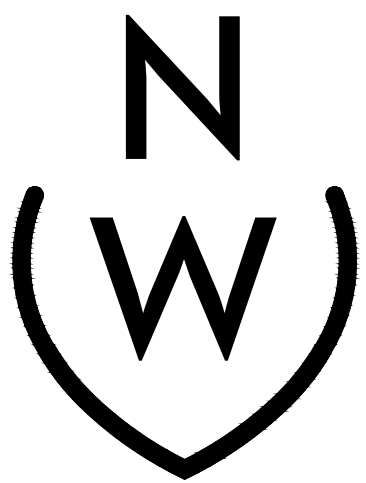
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6666856

EXISTING CONDITIONS / SURVEY PLAN
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

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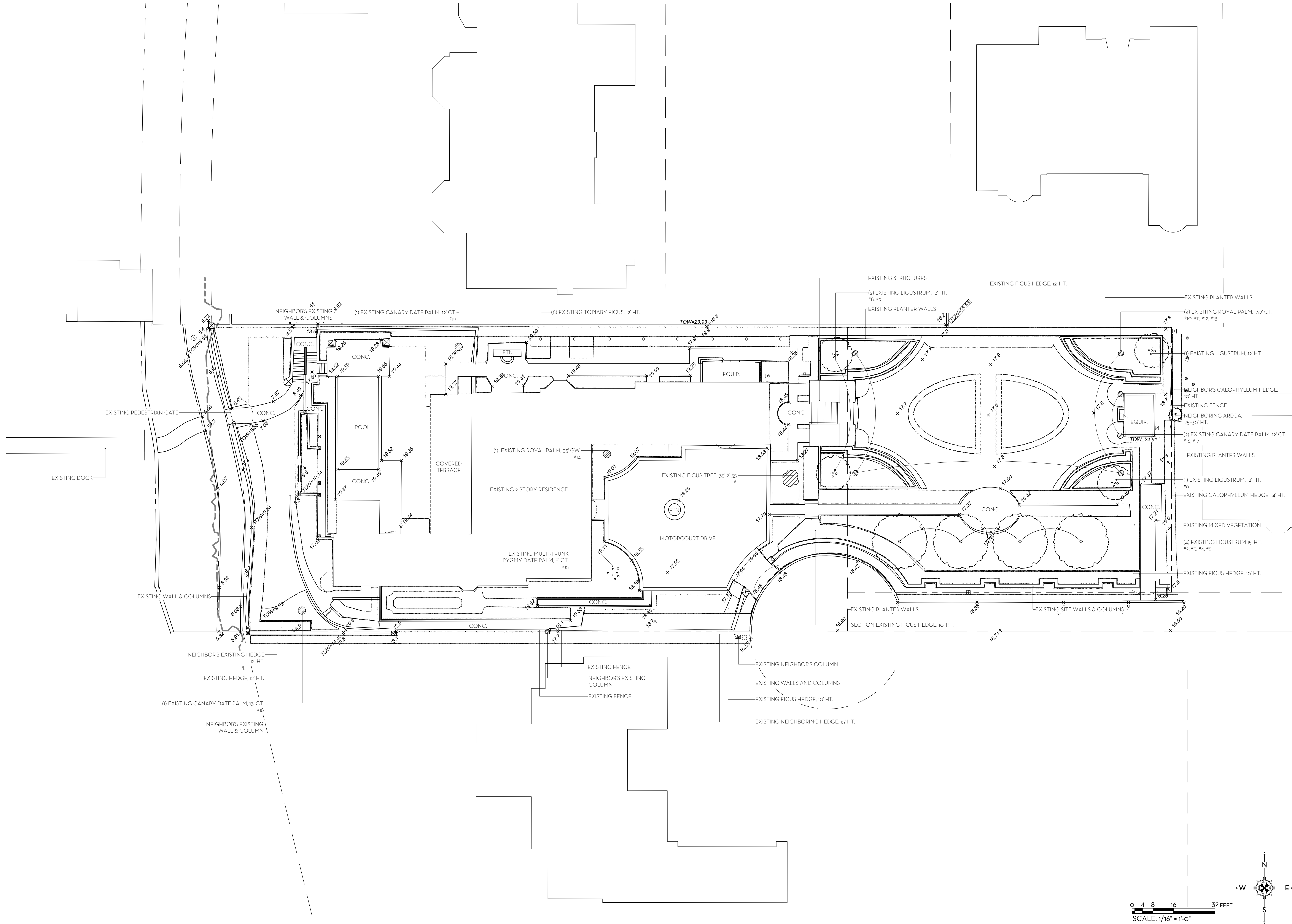
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SCALE: 1/16" = 1'-0"





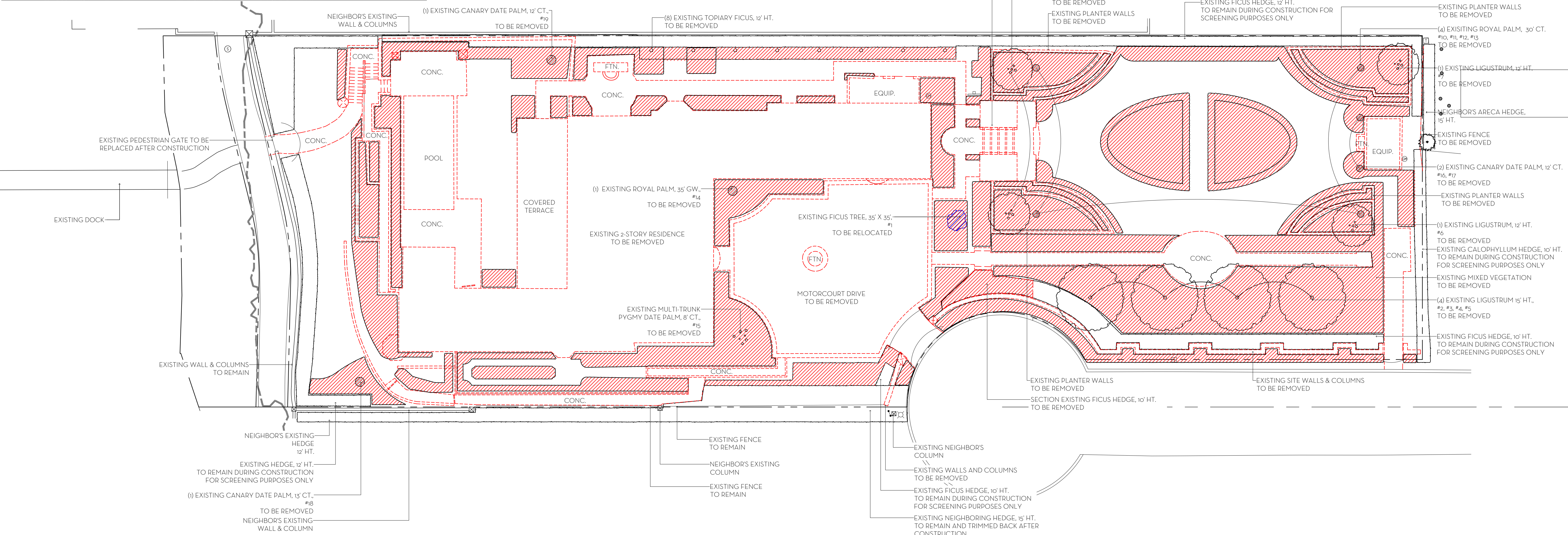
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325 Via Linda, Palm Beach, FL 33480

1/12/2023

TREE DISPOSITION				
ITEM NO.	COMMON NAME	BOTANICAL NAME	HEIGHT	DISPOSITION
1	FICUS TREE	Ficus altissima	35' x 35' HT.	RELOCATE
2	LIGUSTRUM TREE	Ligustrum lucidum	15' HT.	REMOVE
3	LIGUSTRUM TREE	Ligustrum lucidum	15' HT.	REMOVE
4	LIGUSTRUM TREE	Ligustrum lucidum	15' HT.	REMOVE
5	LIGUSTRUM TREE	Ligustrum lucidum	15' HT.	REMOVE
6	LIGUSTRUM TREE	Ligustrum lucidum	12' HT.	REMOVE
7	LIGUSTRUM TREE	Ligustrum lucidum	12' HT.	REMOVE
8	LIGUSTRUM TREE	Ligustrum lucidum	12' HT.	REMOVE
9	LIGUSTRUM TREE	Ligustrum lucidum	12' HT.	REMOVE
10	ROYAL PALM TREE	Roystonea regia	35' HT.	REMOVE
11	ROYAL PALM TREE	Roystonea regia	35' HT.	REMOVE
12	ROYAL PALM TREE	Roystonea regia	35' HT.	REMOVE
13	ROYAL PALM TREE	Roystonea regia	35' HT.	REMOVE
14	ROYAL PALM TREE	Roystonea regia	35' HT.	REMOVE
15	PYGMY DATE PALM	Phoenix robelentii	8' C.T.	REMOVE
16	CANARY DATE PALM	Phoenix canariensis	12' C.T.	REMOVE
17	CANARY DATE PALM	Phoenix canariensis	12' C.T.	REMOVE
18	CANARY DATE PALM	Phoenix canariensis	12' C.T.	REMOVE
19	CANARY DATE PALM	Phoenix canariensis	12' C.T.	REMOVE



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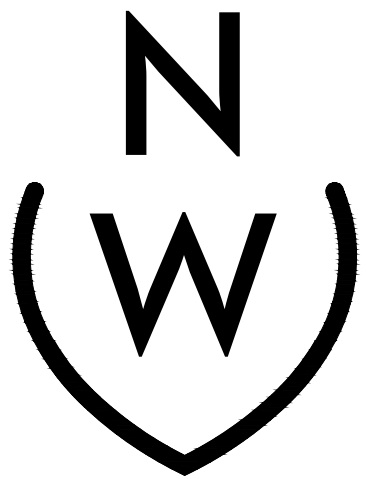
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Registration No.
6666856

DEMOLITION PLAN

KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
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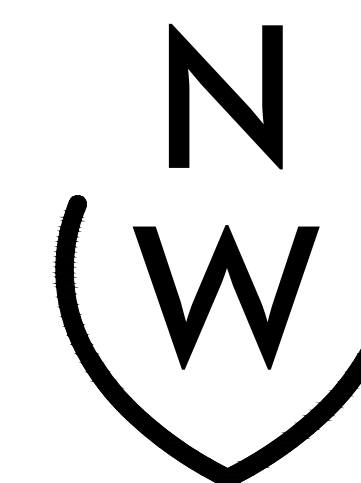
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SITE PLAN

KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
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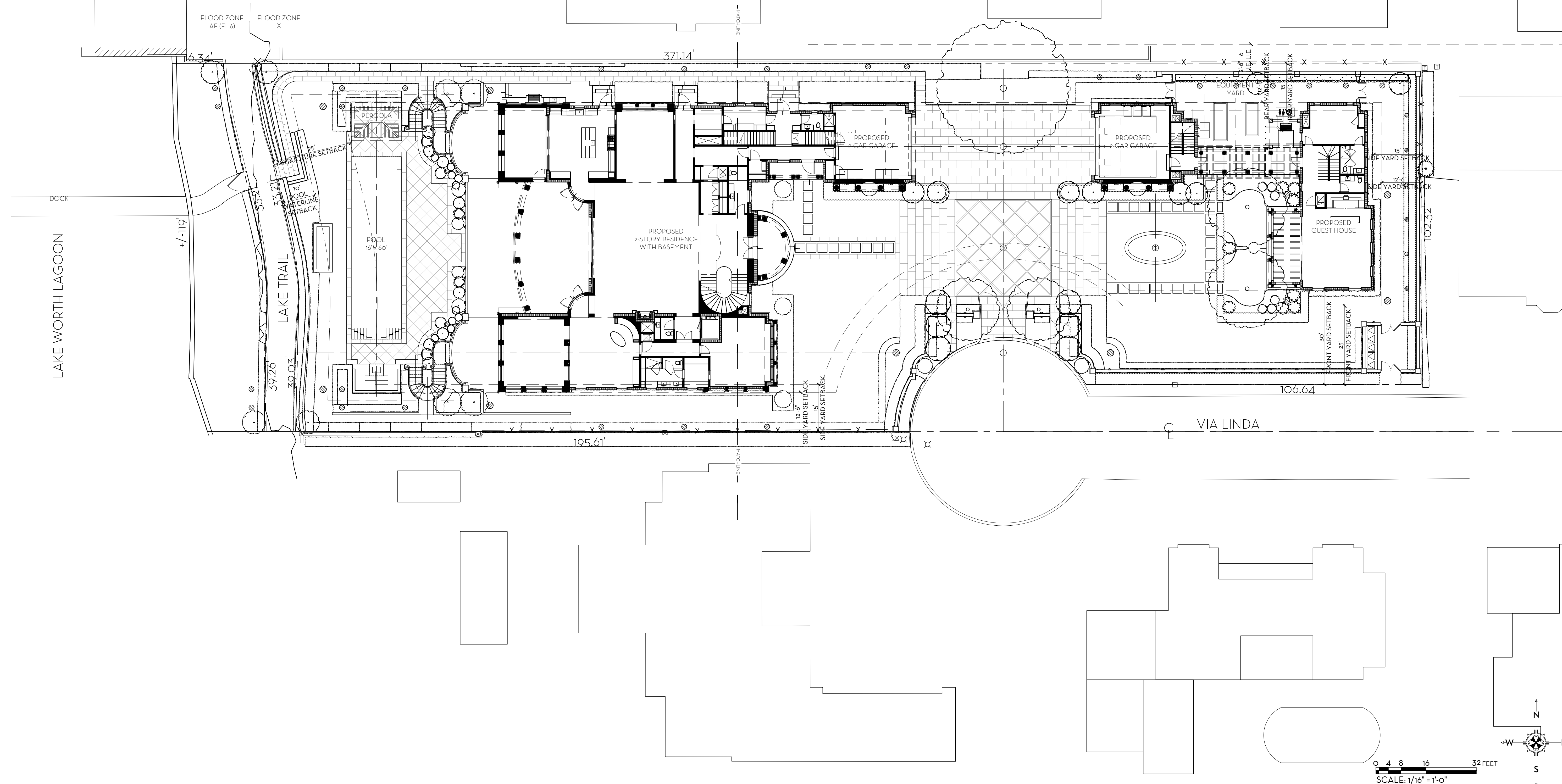
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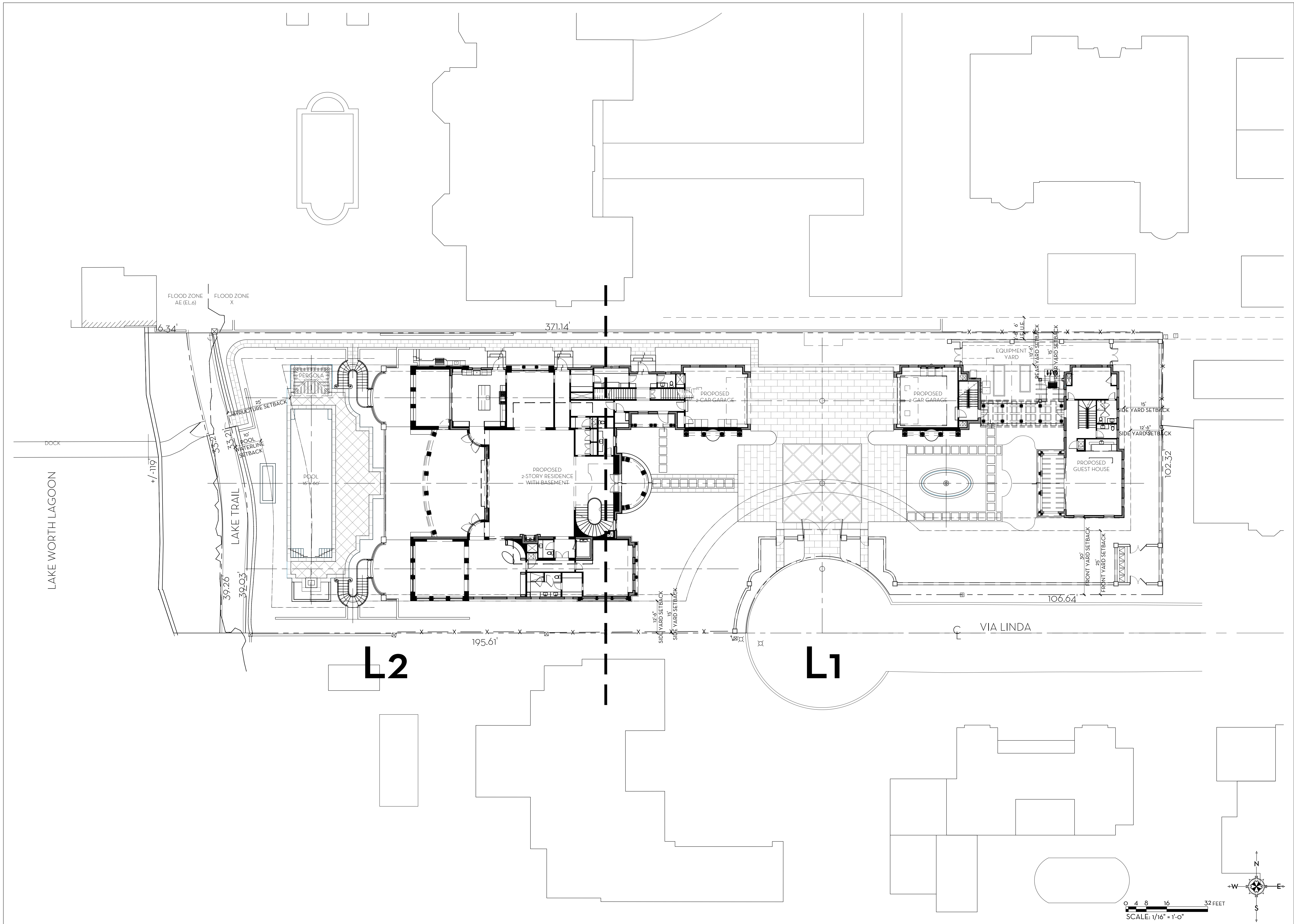
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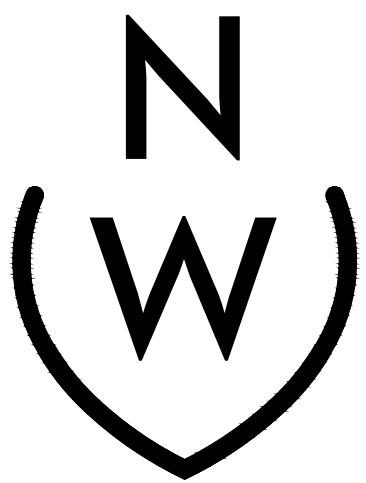
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HARDSCAPE KEY
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL

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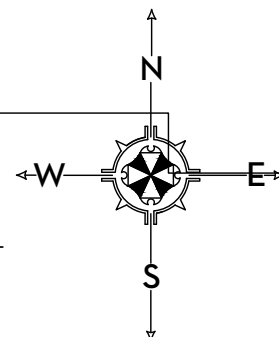
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Lo

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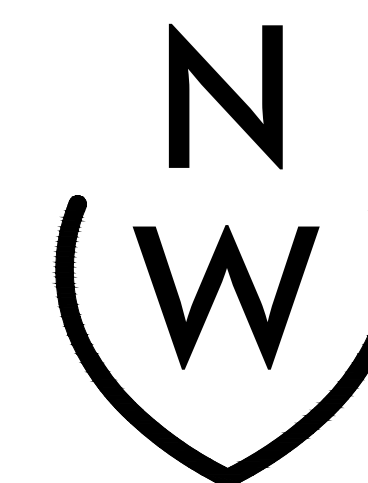
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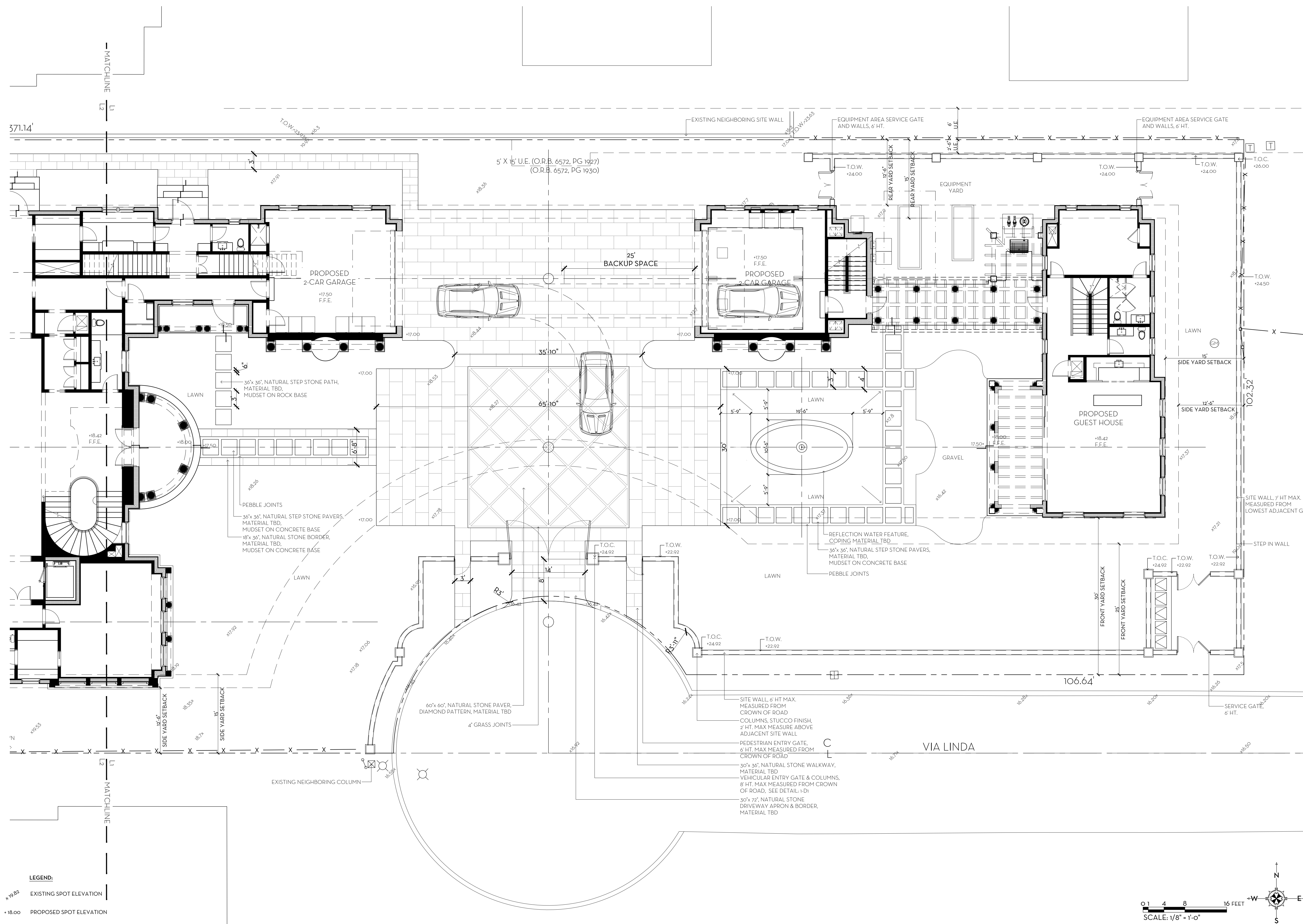
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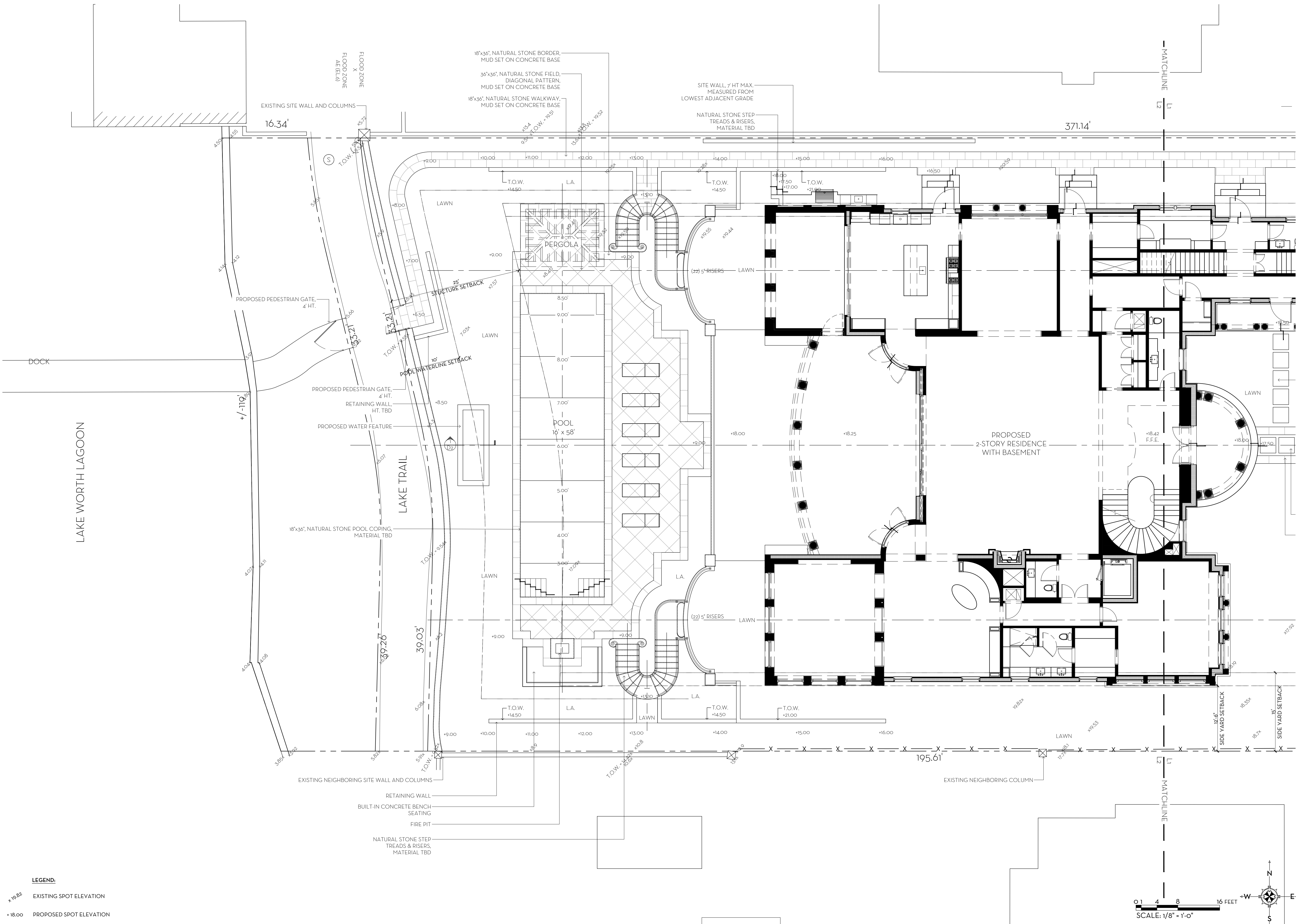
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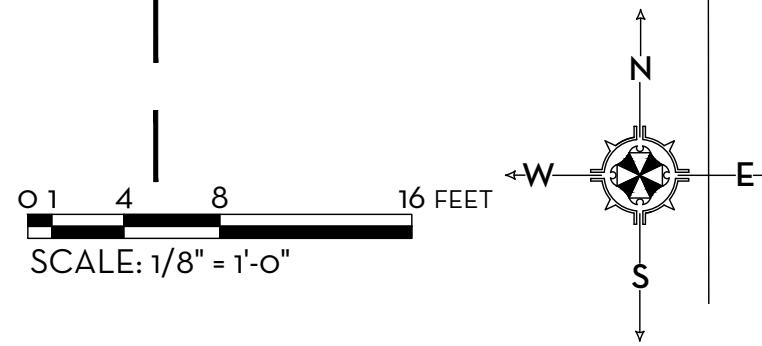
ARC-23-014
ZON-23-029



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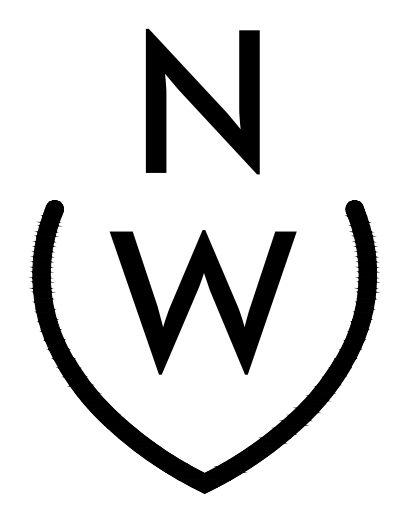
LEGEND:
+19.82 EXISTING SPOT ELEVATION
+18.00 PROPOSED SPOT ELEVATION



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HARDSCAPE PLAN
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325 VIA LINDA, PALM BEACH, FL.

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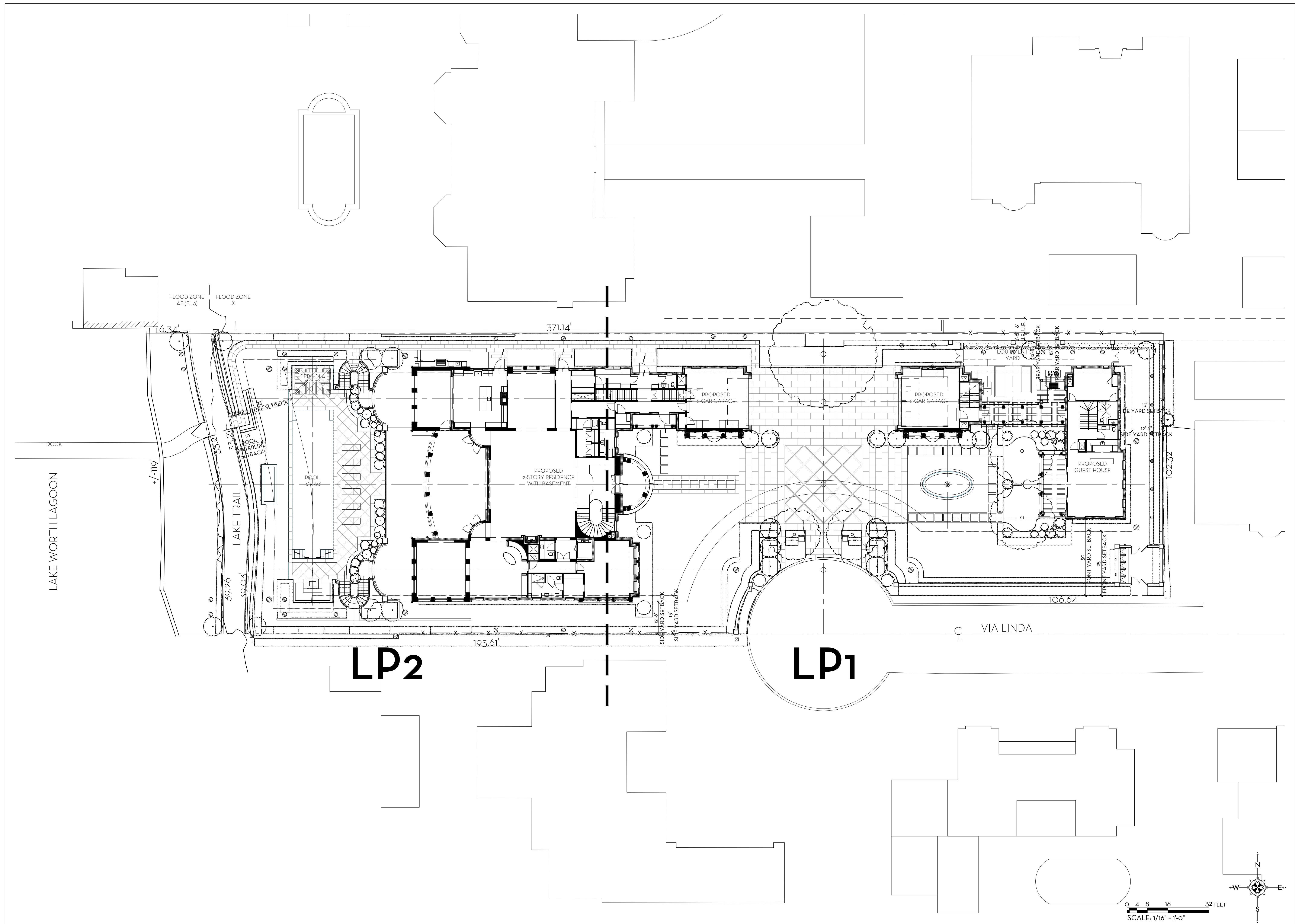
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SCALE: 1/8" = 1'-0"



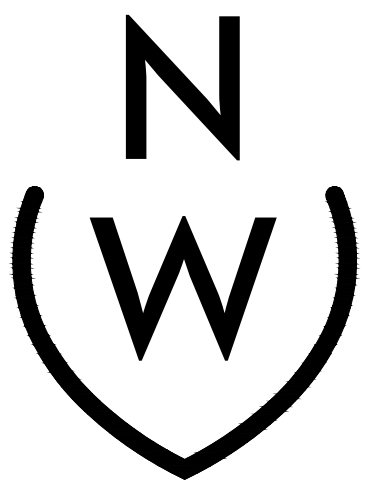
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LANDSCAPE KEY
KANDERS RESIDENCE

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SCALE: 1/16" = 1'-0"

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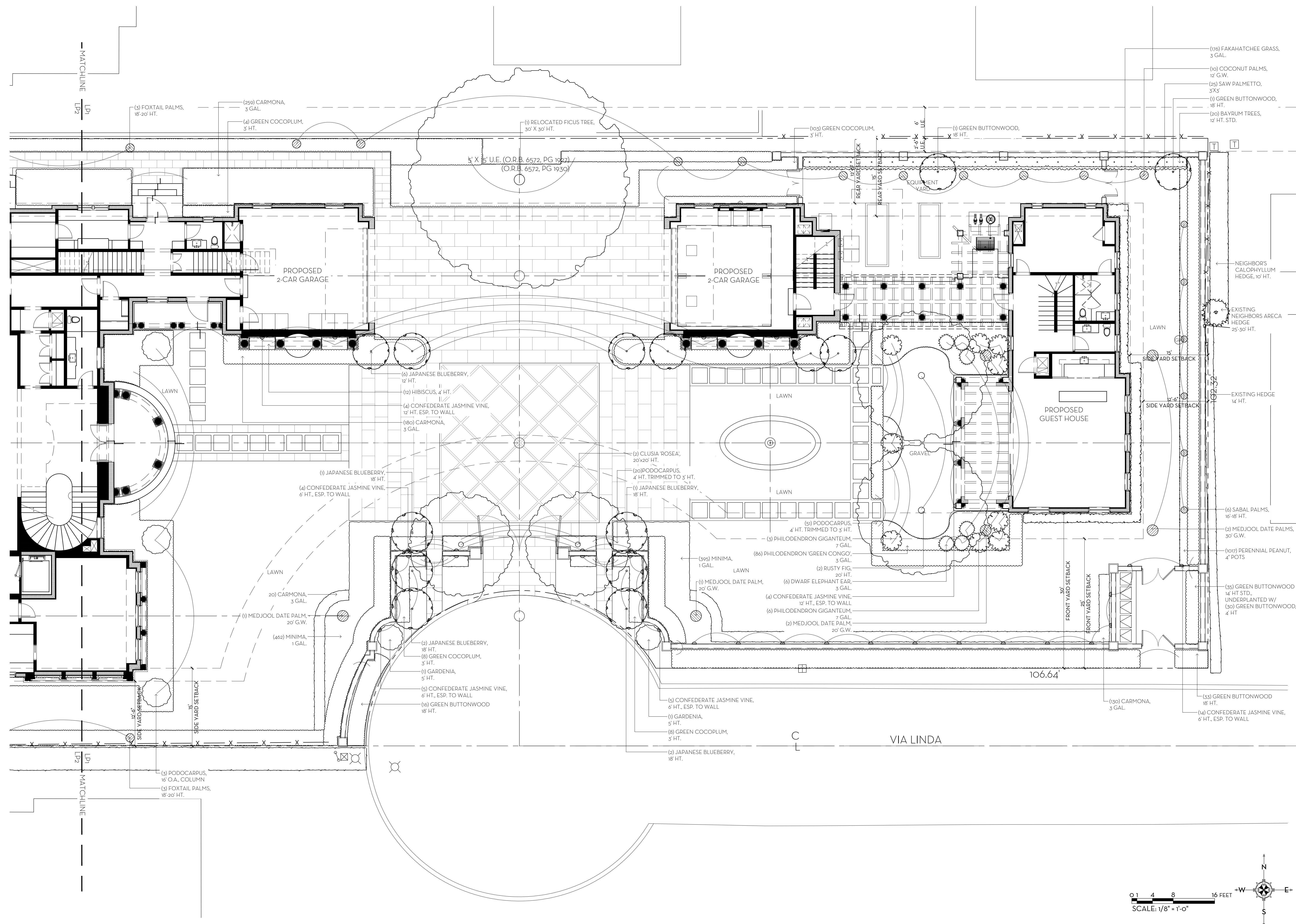
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LP1

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ZON-23-029

SCALE 1/8" = 1' 0"



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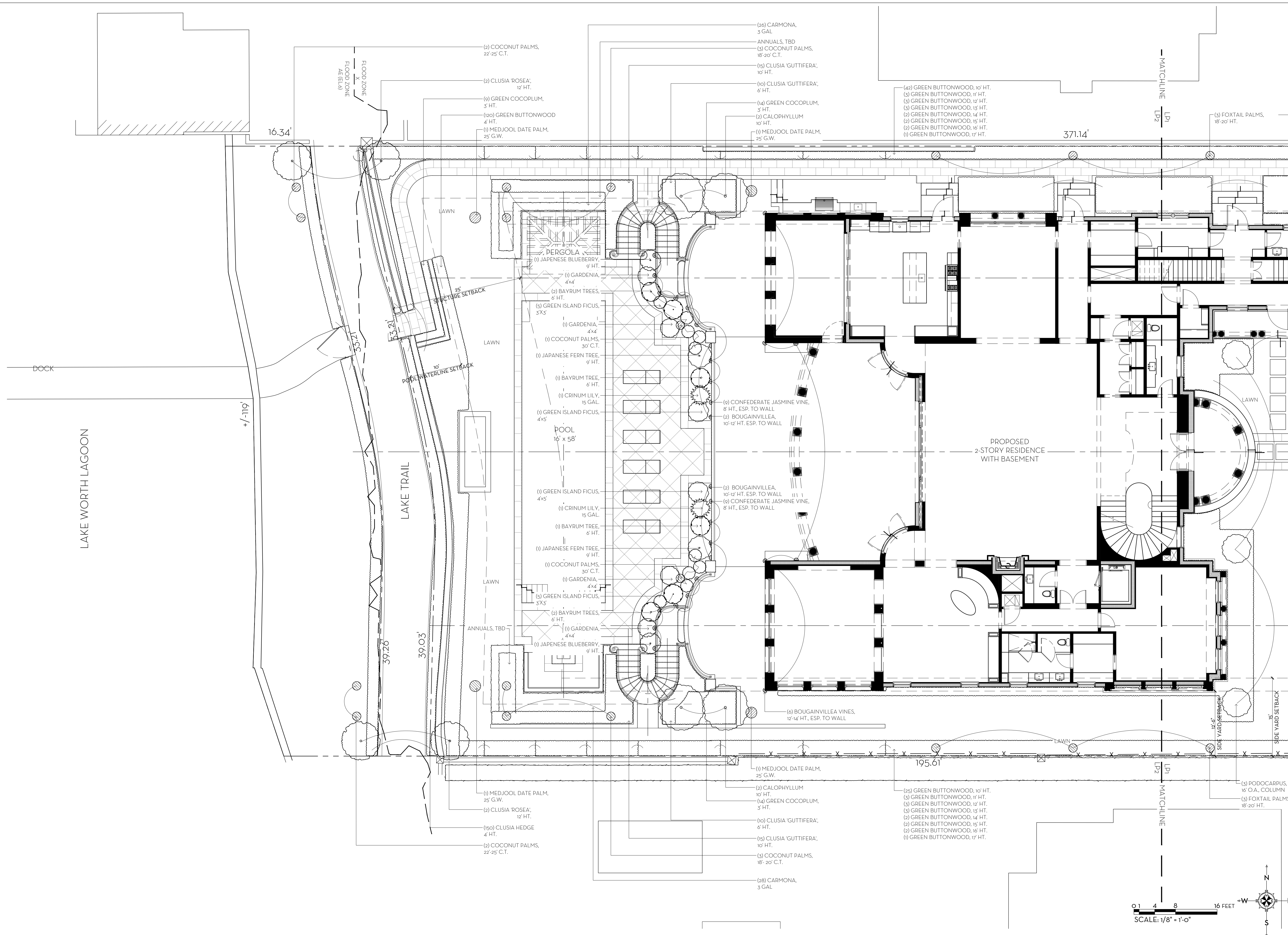


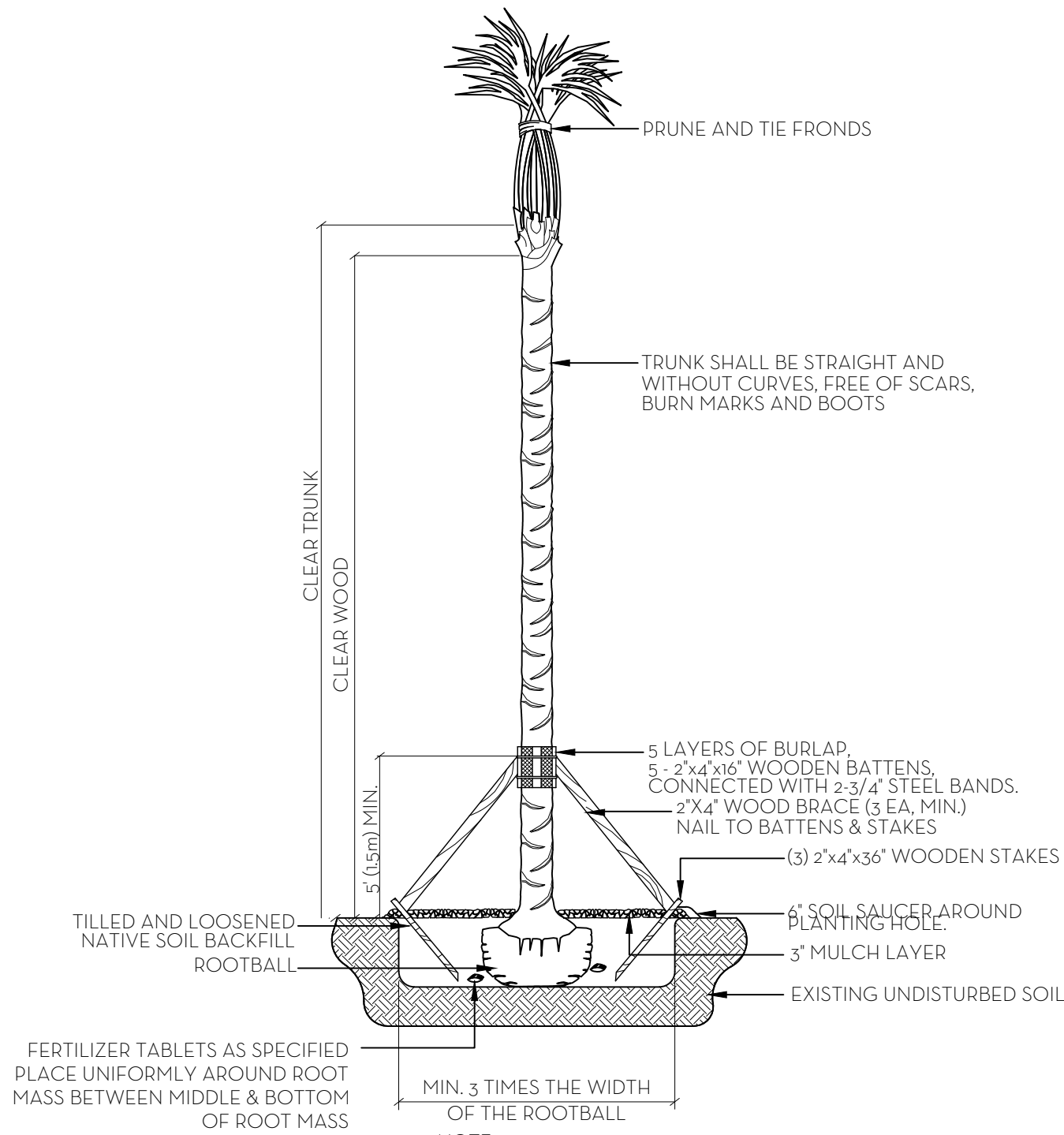
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LP2

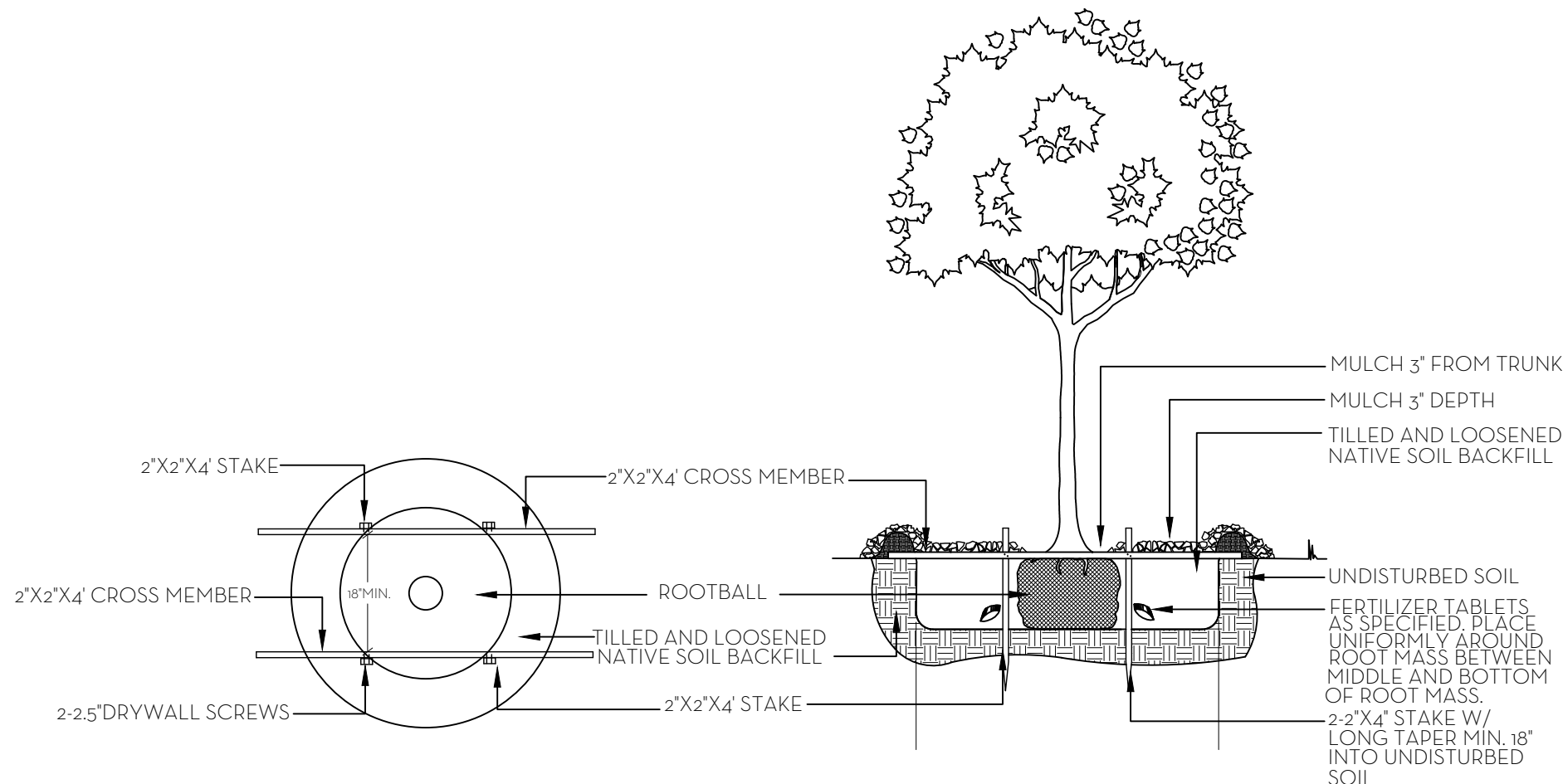
ARC-23-014
ZON-23-029

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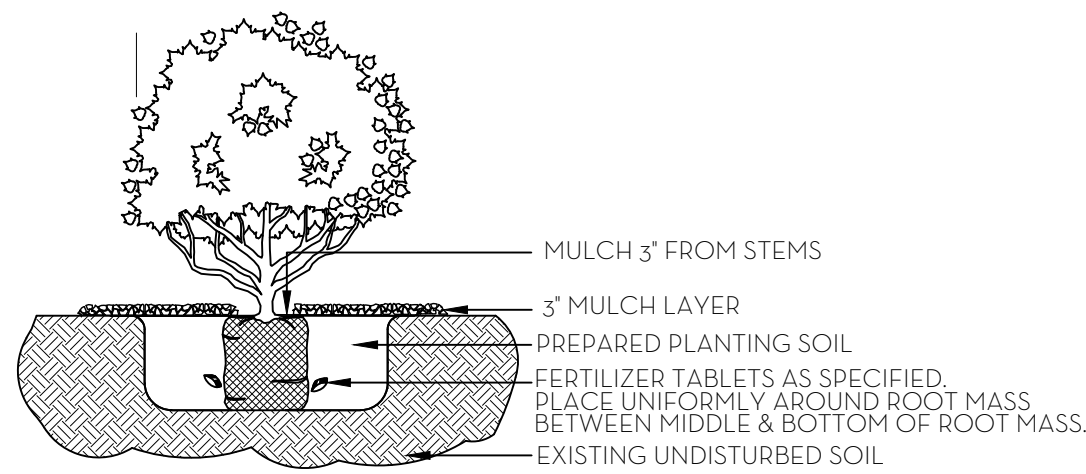




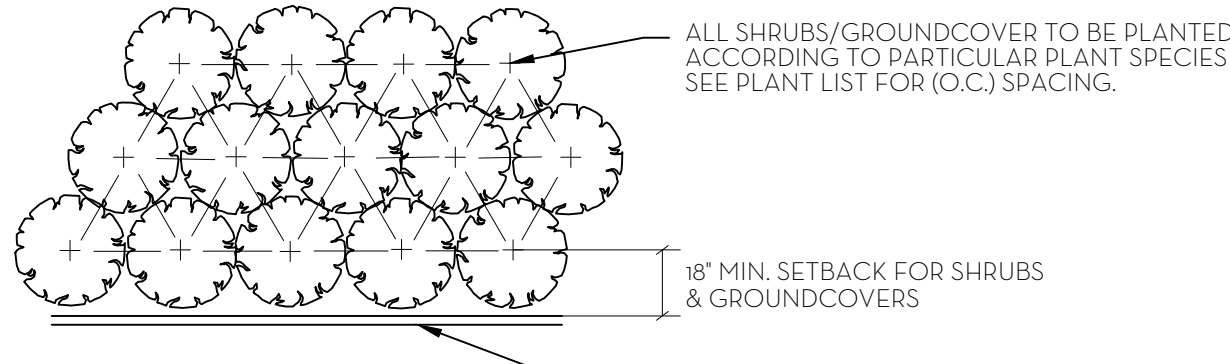
PALM PLANTING DETAIL



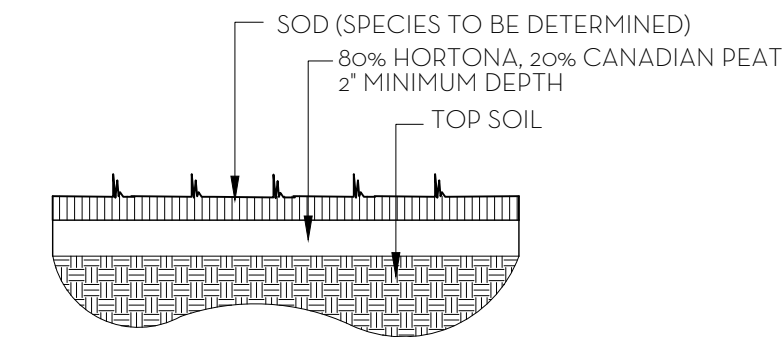
TREE PLANTING DETAIL



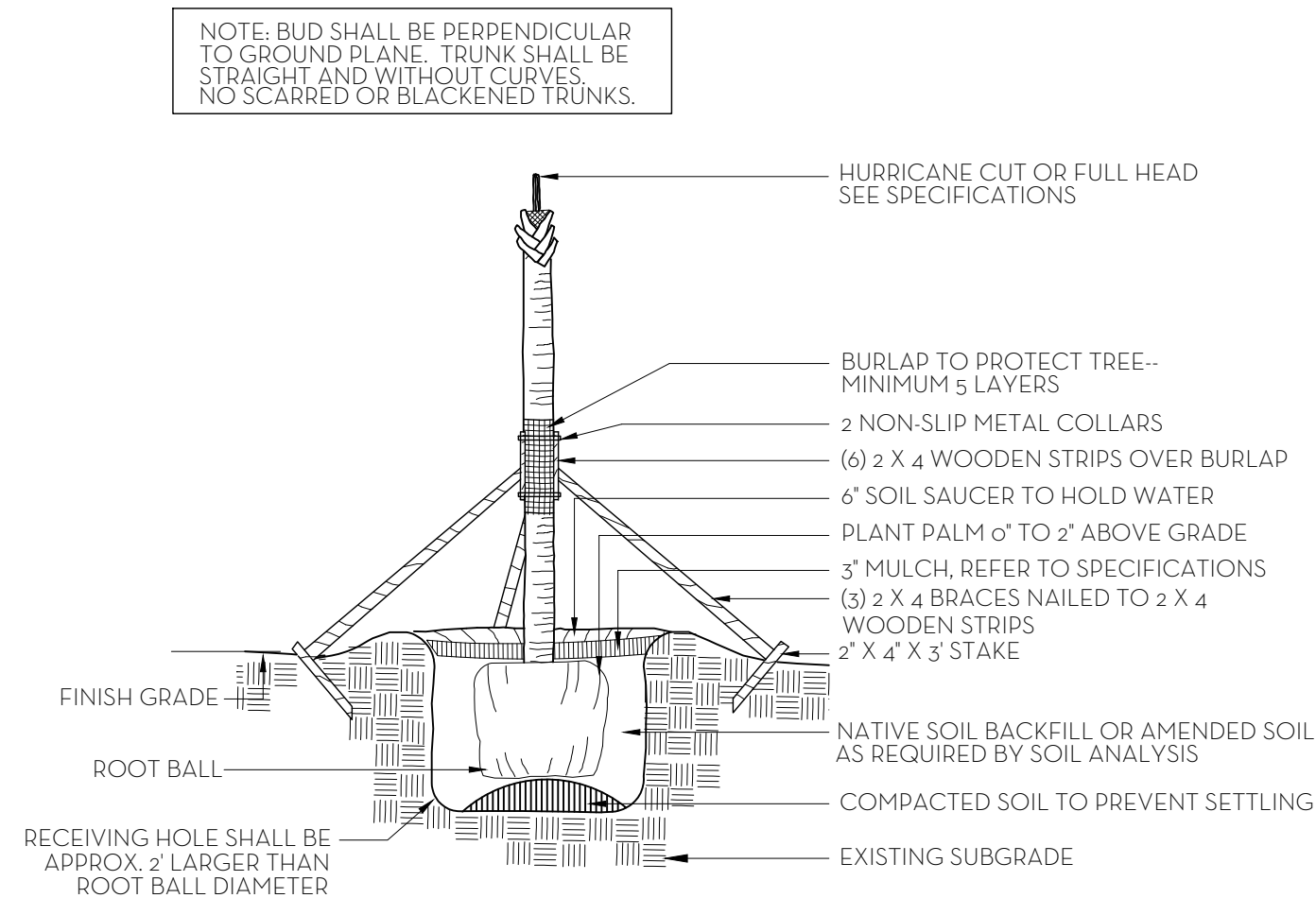
SHRUB & GROUNDCOVER PLANTING DETAIL



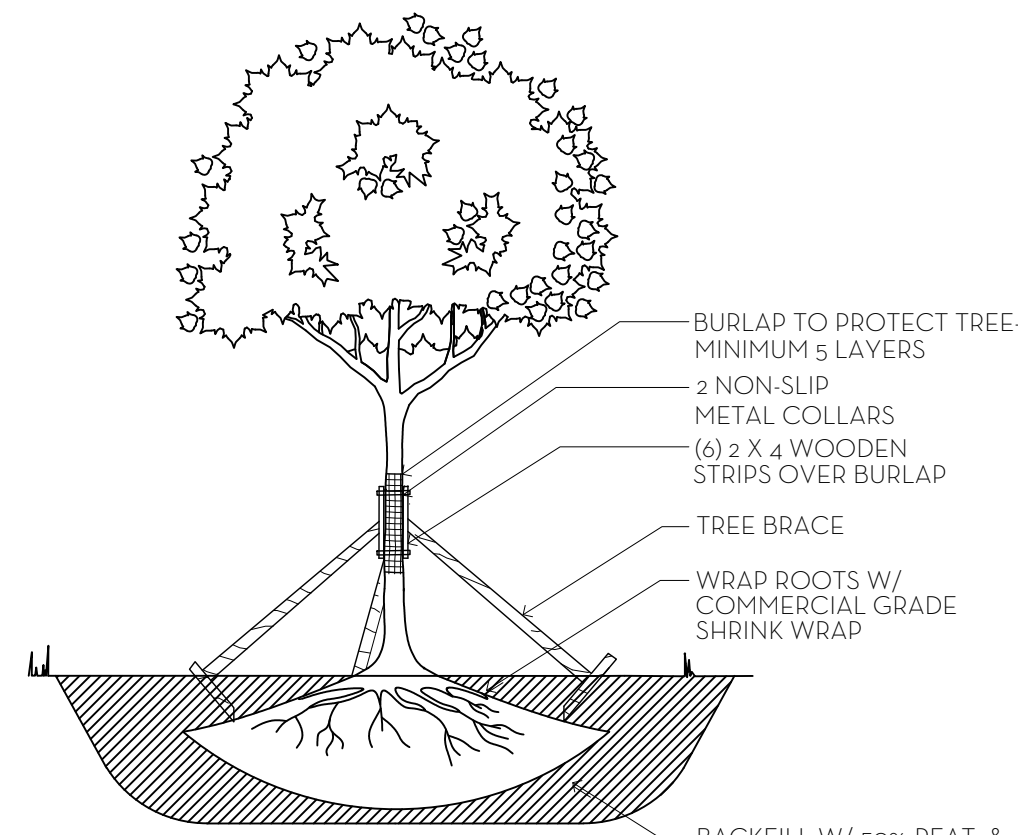
PLANT SPACING DETAIL



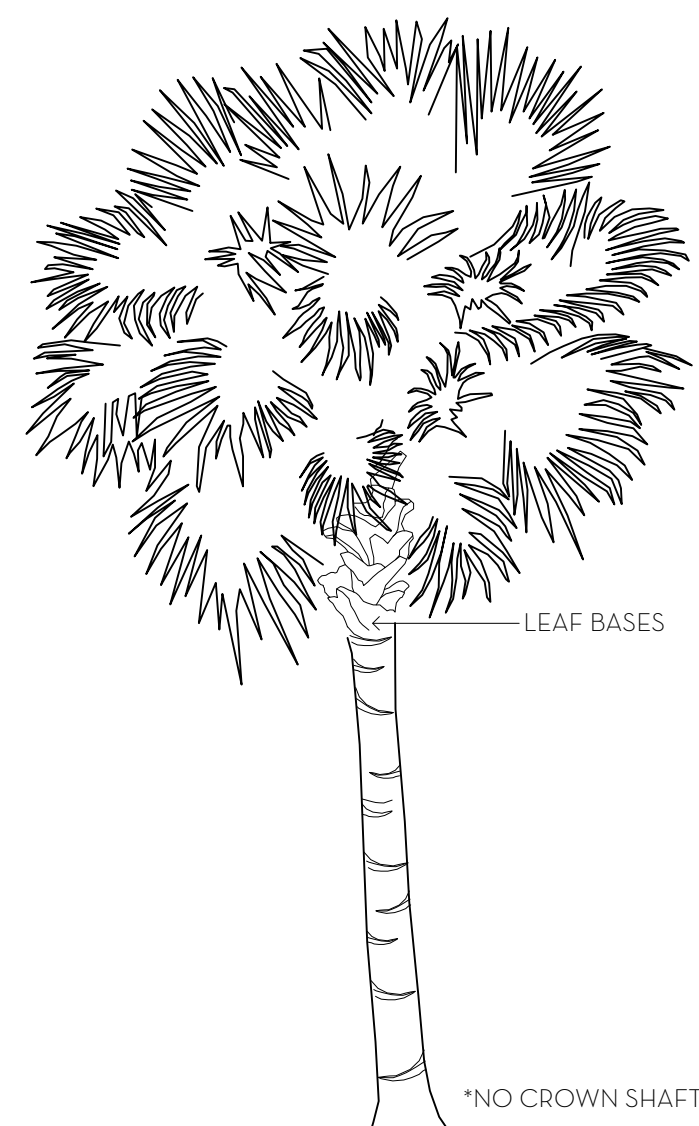
SOD PLANTING DETAIL



PALM TREE PLANTING AND STAKING DETAIL



TREE ROOT PRUNING DETAIL



PALM SPECIFICATION DETAIL

- NOTES:
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
 6. TOP OF ROOTBALL TO BE SET 2\"

NOTE:
ALL PLANT TO BE FLORIDA #1 GRADE OR BETTER

- SOD NOTES:
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5\"
 2. DRAIN AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2\"
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS

- NOTE:
1. ALLOW 4-6 WEEKS BEFORE MOVING TREES.
 2. PROVIDE DRIP IRRIGATION.
 3. ALL PLANT MATERIAL TO BE FLORIDA #1 GRADE OR BETTER

- FERTILIZATION
- SHRUBS AND TREES
- ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH 'AGRIFORM' 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFOMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.
- APPLICATION RATE:
- | | |
|---------------|--------------------------------|
| 1 GALLON CAN: | 1 - 21 GRAM TABLET |
| 3 GALLON CAN: | 2 - 21 GRAM TABLETS |
| 5 GALLON CAN: | 3 - 21 GRAM TABLETS |
| 7 GALLON CAN: | 4 - 21 GRAM TABLETS |
| TREES: | 3 - 21 GRAM TABLETS EACH 1/2\" |
| PALMS: | 7 - 21 GRAM TABLETS |
- GROUND COVER AREAS
- ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH 'OZMOCOTE' TIME RELEASE FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS.

N W NIEVERA WILLIAMS DESIGN		Kanders 325 Via Linda			
		Palm Beach FL			
		ARCOM			
		04/04/2023			
Landscape Material Schedule					
Item No.	Common Name	Botanical Name	Quantity	Native	Specification
TREES					
22	Bayrum Trae	Pimenta racemosa	20		12' HT. STANDARD
1	Bayrum Tree	Pimenta Racemosa	6		6' HT.
2	Calophyllum	Calophyllum inophyllum	4		10' HT.
3	Clusia Tree	Clusia Rosea	2	*	20'x20'
4	Clusia Tree	Clusia Rosea	4	*	12' HT. STANDARD
5	Green Buttonwood	Conocarpus Erectus	2	*	18' HT.
35	Green Buttonwood	Conocarpus Erectus	35	*	14' HT. STD.
6	Japanese Blueberry	Elaeocarpus decipiens	6		18' HT.
7	Japanese Blueberry	Elaeocarpus decipiens	6		12' HT.
8	Japanese Blueberry	Elaeocarpus decipiens	2		9' HT.
9	Japanese Fern Tree	Filicium Decipiens	2		9' HT.
10	Podocarpus	Podocarpus Latifolius	3		16' O.A. HT.
11	Rusty Fig	Ficus Rubiginosa	2		20' HT.
			94	35%	
12	Medjool Date Palm	Phoenix Dactylifera	4		20' HT. G.W.
13	Coconut Palms	Cocos nucifera	10		12' G.W.
14	Coconut Palms	Cocos nucifera	6		18'-20' C.T.
15	Coconut Palms	Cocos nucifera	4		22'-25' C.T.
16	Coconut Palms	Cocos nucifera	2		30' C.T.
17	Medjool Date Palm	Phoenix Dactylifera	4		25' HT. G.W.
18	Foxtail Palms	Wodyetia bifurcata	6		18'-20' HT.
19	Medjool Date Palm	Phoenix Dactylifera	2		30' HT. G.W.
20	Saw Palmetto	Serenoa repens	25	*	3'x3' HT.
21	Sabal Palms	Sabal Palmetto	6	*	16'-18' HT.
			69	46%	
HEDGE/SHRUB					
23	Clusia 'Guttifera'	Clusia guttifera	150		4' HT.
24	Clusia 'Guttifera'	Clusia guttifera	20		6' HT.
25	Clusia 'Guttifera'	Clusia guttifera	30		10' HT.
26	Carmona	Carmona Microphylla	643		18" O.C.
27	Crinum Lily	Crinum Asiaticum	2		15 GAL.
28	Dwarf Elephant Ear	Alocasia Gageana 'California'	6		3 GAL. FULL, 2" O.C.
29	Fakahatchee Grass	Tripsacum dactyloides	176	*	3 GAL.
30	Gardenia	Gardenia Jasminoides	4		4'x4'
31	Gardenia	Gardenia Jasminoides	2		5'x5' SPHERE
32	Green Buttonwood	Conocarpus Erectus	6	*	11' HT. FTB.
33	Green Buttonwood	Conocarpus Erectus	6	*	12' HT. FTB.
34	Green Buttonwood	Conocarpus Erectus	6	*	13' HT. FTB.
35	Green Buttonwood	Conocarpus Erectus	4	*	14' HT. FTB.
36	Green Buttonwood	Conocarpus Erectus	4	*	15' HT. FTB.
37	Green Buttonwood	Conocarpus Erectus	4	*	16' HT. FTB.
38	Green Buttonwood	Conocarpus Erectus	2	*	17' HT. FTB.
39	Green Buttonwood	Conocarpus Erectus	67	*	10' HT. FTB.
40	Green Buttonwood	Conocarpus Erectus	150	*	4' HT. 2" O.C.
41	Green Buttonwood	Conocarpus Erectus	49	*	18' HT. FTB.
42	Green Cocoplum	Chrysobalanus Icaco	160	*	3' HT. 30" O.C.
43	Green Island Ficus	Ficus Microcarpa	10		3'x3'
44	Green Island Ficus	Ficus Microcarpa	2		4'x5'
45	Hibiscus	Hibiscus Rosa-Sinensis	12		4' HT. 2" O.C.
46	Philodendron 'Giganteum'	Philodendron 'Giganteum'	9		7 GAL. 3" O.C.
47	Philodendron 'Green Congo'	Philodendron 'Congo'	86		3 GAL. 2" O.C.
48	Podocarpus	Podocarpus Macrophyllus	71		4' HT. Trimmed to 3'. 2" O.C.
			1681	37%	
GROUND COVER/ VINES					
49	Minima	Trachelospermum asiaticum	857		1 GAL. 9" O.C.
50	Perennial Peanut	Arachis glabrata	1017	*	4" POTS
51	Confederate Jasmine	Trachelospermum Jasminoides	8		12' HT. ESP TO WALL
52	Confederate Jasmine	Trachelospermum Jasminoides	18		8' HT. ESP TO WALL
53	Confederate Jasmine	Trachelospermum Jasminoides	28		6' HT. ESP TO WALL
54	Bougainvillea vine	Bougainvillea SP.	4		10'-12' HT. ESP TO WALL
55	Bougainvillea vine	Bougainvillea SP.	6		12'-14' HT. ESP TO WALL
			1938	52%	

MARIO F. NIEVERA

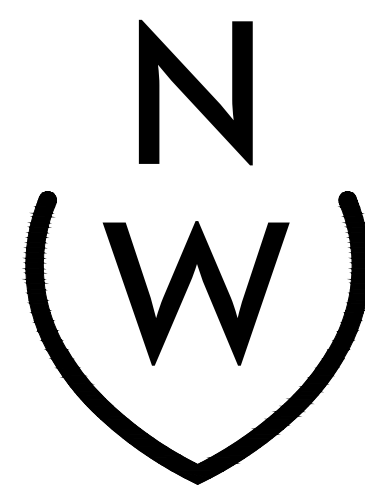
State of Florida
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PLANT LIST AND DETAILS

KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
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LP4

ARC-23-014
ZON-23-029



1 ENTRY GATE ELEVATION
D1 SCALE: 1/2" = 1'-0"

0 .5 1 2 4 FEET
SCALE: 1/2" = 1'-0"

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

DRIVEWAY ENTRY GATE
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL

07 NOVEMBER 2022
24 OCTOBER 2022



NIEVERA WILLIAMS
DESIGN

625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

D1

ARC-23-014
ZON-23-029

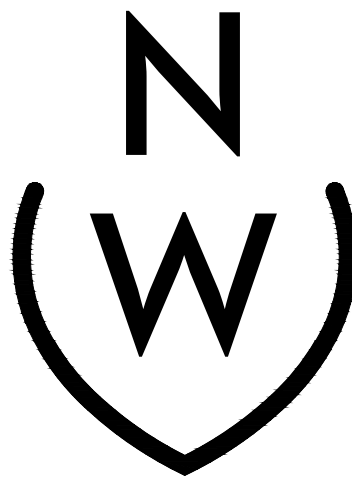
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

DETAILS
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
12 JANUARY 2023
27 DECEMBER 2022
28 NOVEMBER 2022
07 NOVEMBER 2022
24 OCTOBER 2022



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DESIGN

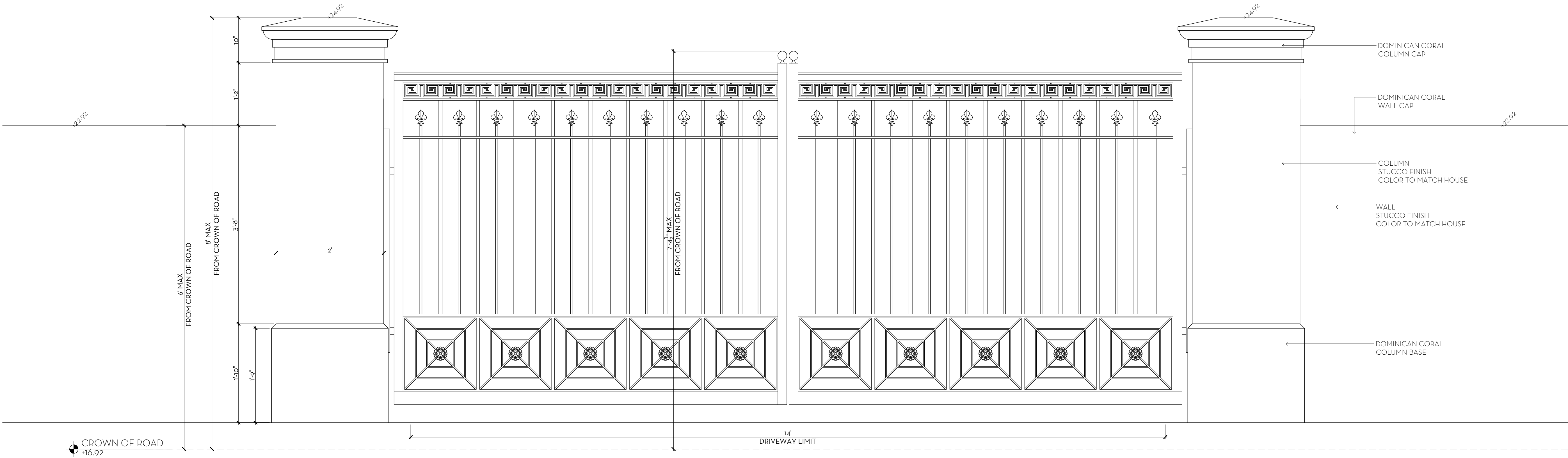
625 N. Flagler Drive
Suite 502
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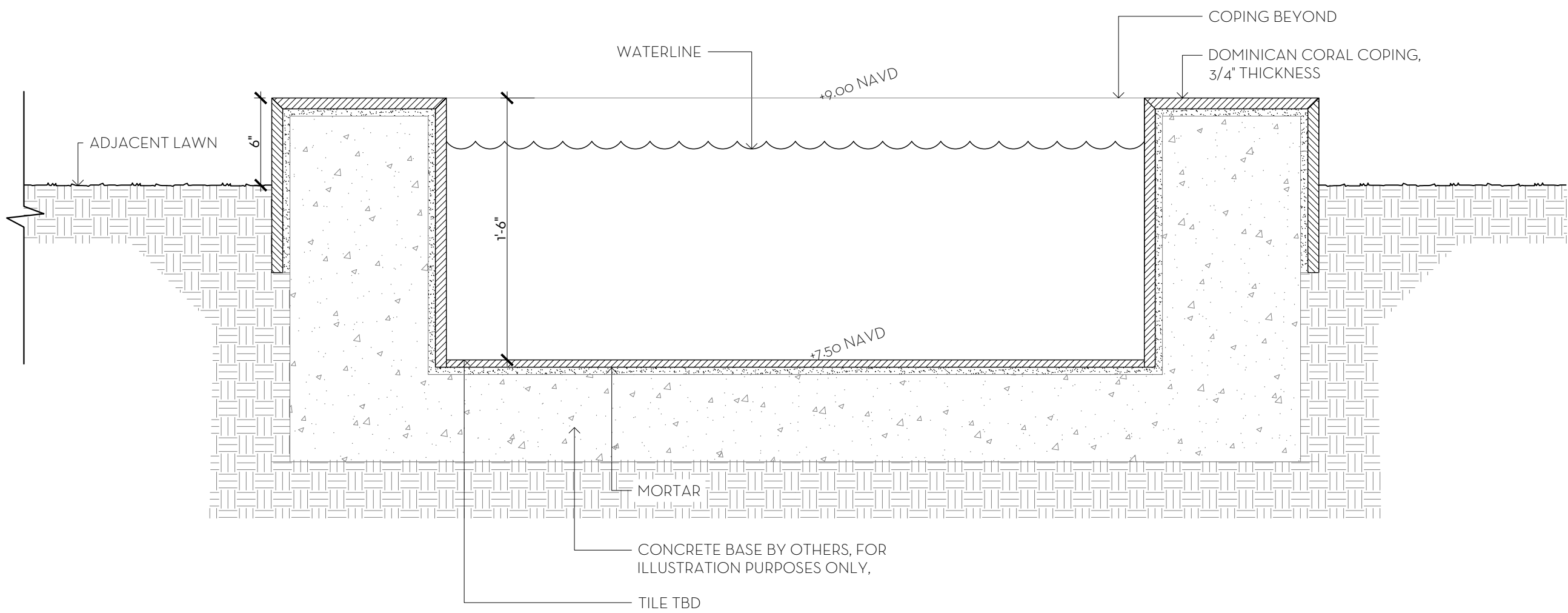
D1

ARC-23-014
ZON-23-029

SCALE: 1" = 1'-0"



1
D1
DRIVEWAY GATE DETAIL - ELEVATION
SCALE: 1"=1'-0"



1 WATER FEATURE
D2 SCALE: 1-1/2"=1'-0"

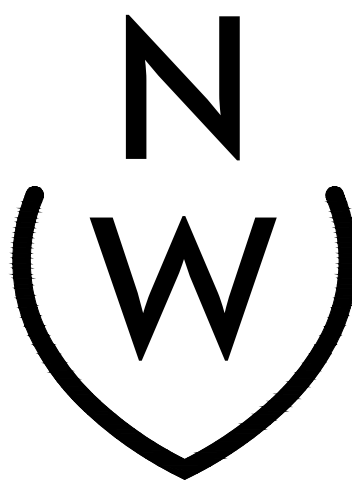
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DETAILS
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
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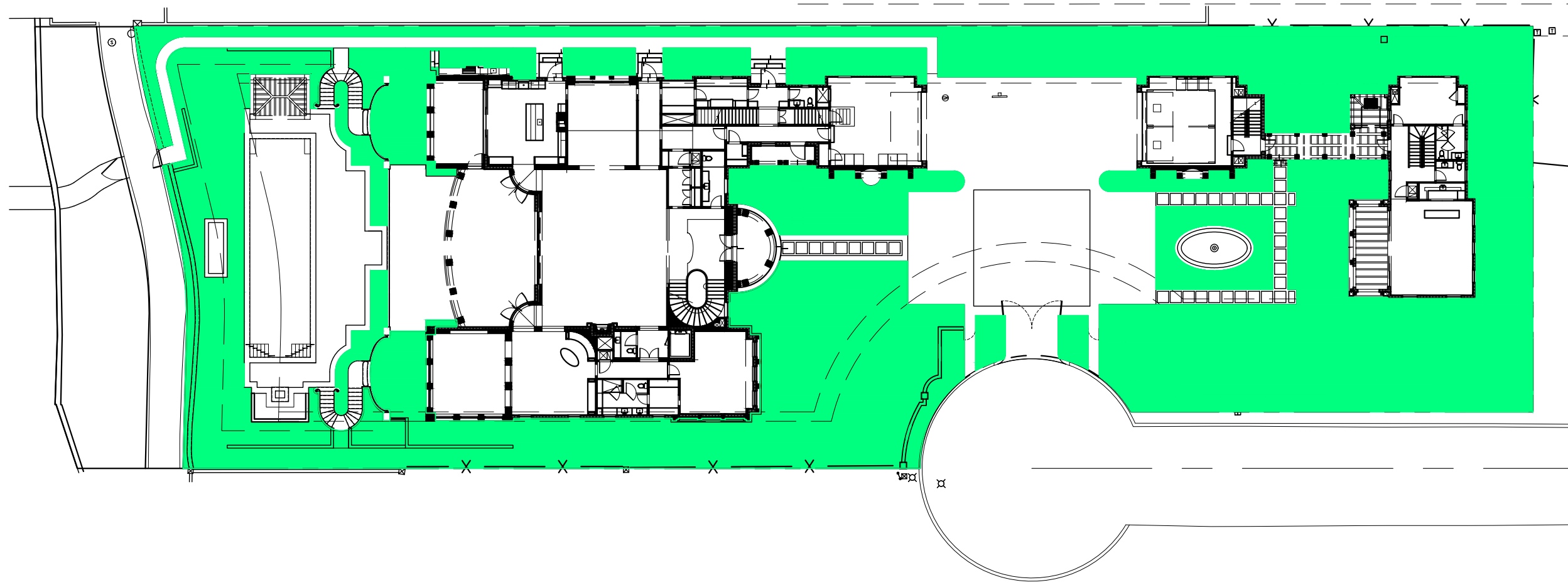
625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
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D2

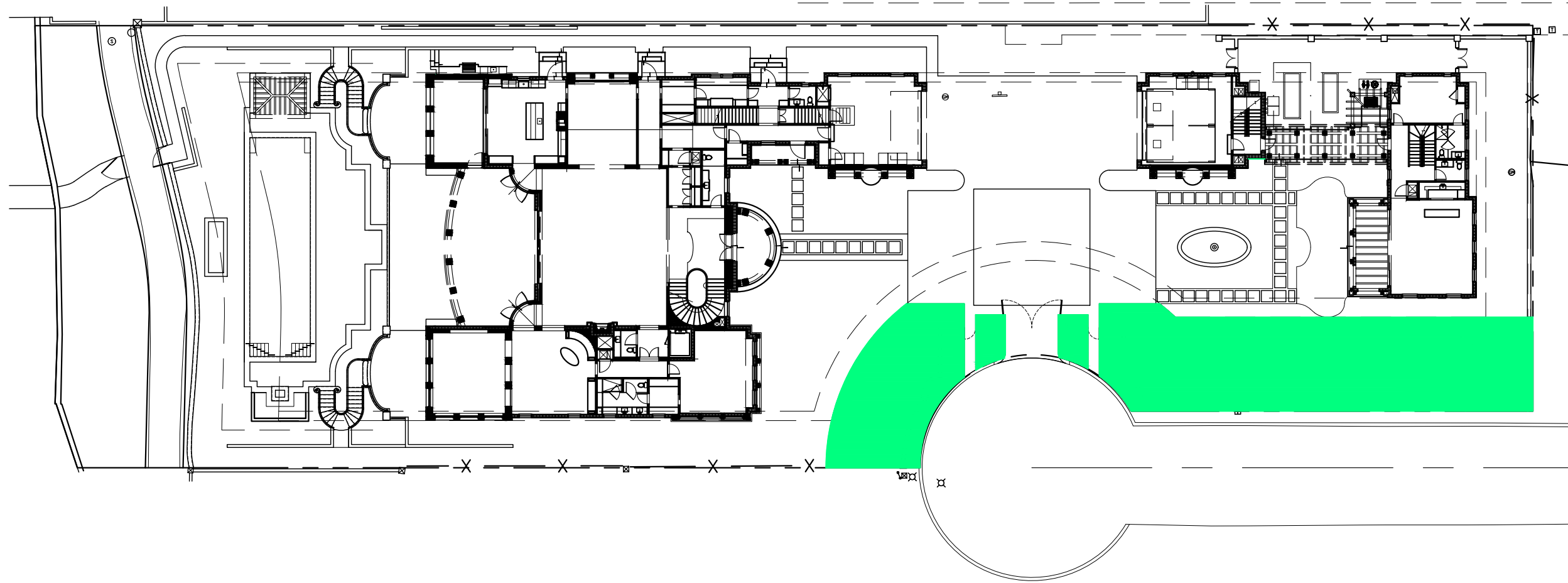
ARC-23-014
ZON-23-029

SCALE: 3/8" = 1'-0"



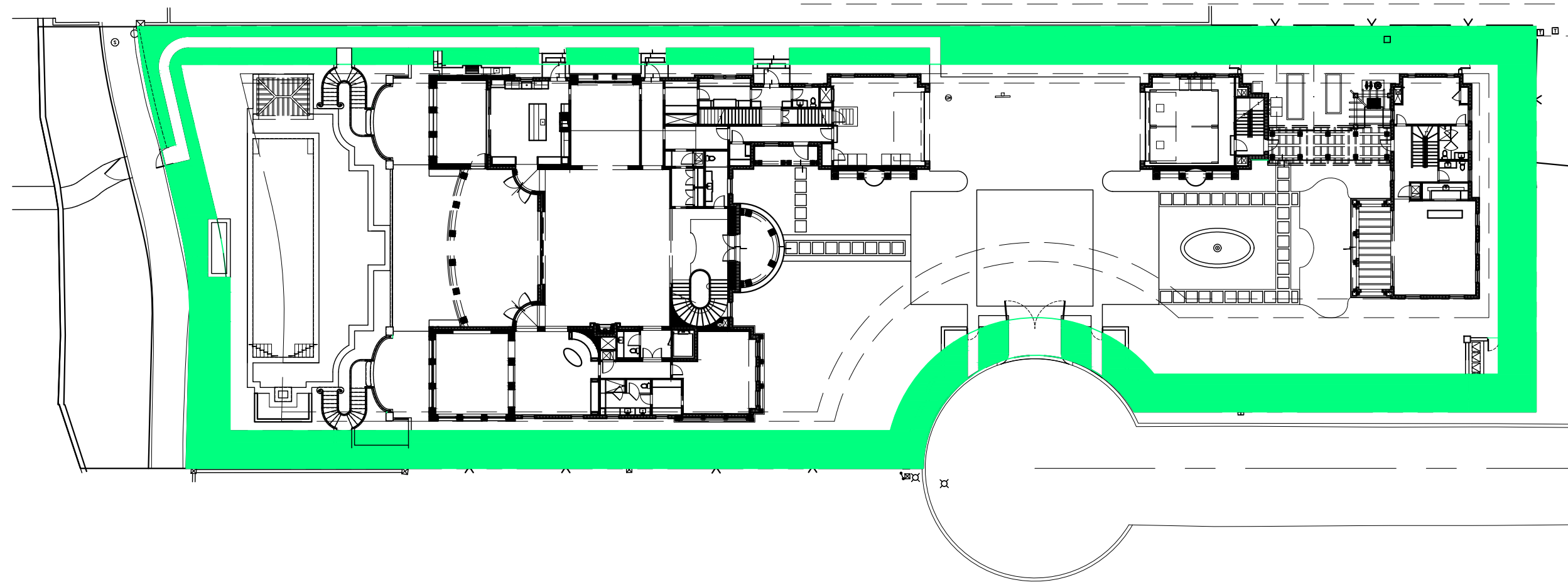
OVERALL R-B SITE CALCULATIONS:

SITE AREA =	39,434	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	17,745	SQ FT	45%
EXISTING =	22,518	SQ FT	57%
PROPOSED =	18,548	SQ FT	46%



FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	5,097	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	2,038	SQ FT	40%
EXISTING =	3,800	SQ FT	74%
PROPOSED =	4,214	SQ FT	82%

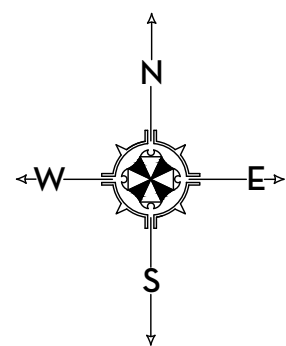


10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	9,299	SQ FT
MINIMUM LANDSCAPE:	N/A	

	Landscape Legend	
1	Property Address:	325 Via Linda
4		Required Proposed
5	Lot Size (sq ft)	39,434 SF 39,434 SF
6	Landscape Open Space (LOS) (Sq Ft and %)	17,745SF/45% MIN 18,452/ 46%
7	Perimeter LOS (Sq Ft and %)	5,097SF / 40% MIN N/A
8	Front Yard LOS (Sq Ft and %)	2,038 SF/ 40% MIN 4,214SF/82%
9	Native* Trees %	35% 35%
10	Native* Palms %	35% 46%
11	Native* Shrubs %	35% 37%
12	Native* Vines / Ground Cover %	35% 52%
	*To determine appropriate native vegetation, the <u>Institute for Regional Conservation ("IRC")</u> , <u>Natives for Your Neighborhood</u> guide shall be used.	

NATIVE VEGETATION REQUIREMENT



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

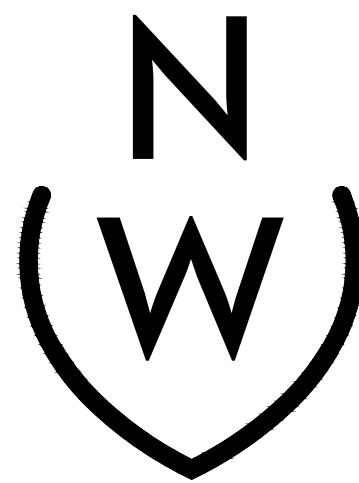
OPEN SPACE & NATIVE LANDSCAPE CALCULATIONS

KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
12 JANUARY 2023
27 DECEMBER 2022
28 NOVEMBER 2022
07 NOVEMBER 2022
24 OCTOBER 2022

SCALE: 1/32" = 1'-0"



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OS1

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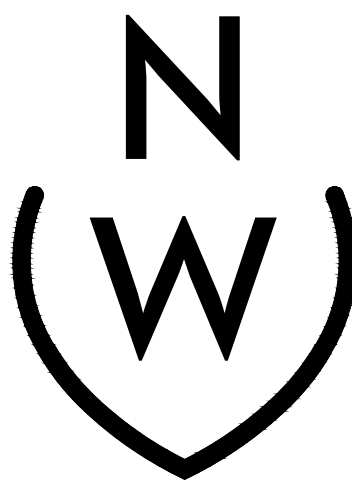
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

CONSTRUCTION SCREENING / STAGING PLAN
KANDERS RESIDENCE

325 VIA LINDA, PALM BEACH, FL.

26 APRIL 2023
06 MARCH 2023
12 JANUARY 2023
27 DECEMBER 2022
28 NOVEMBER 2022
07 NOVEMBER 2022
24 OCTOBER 2022



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CSP

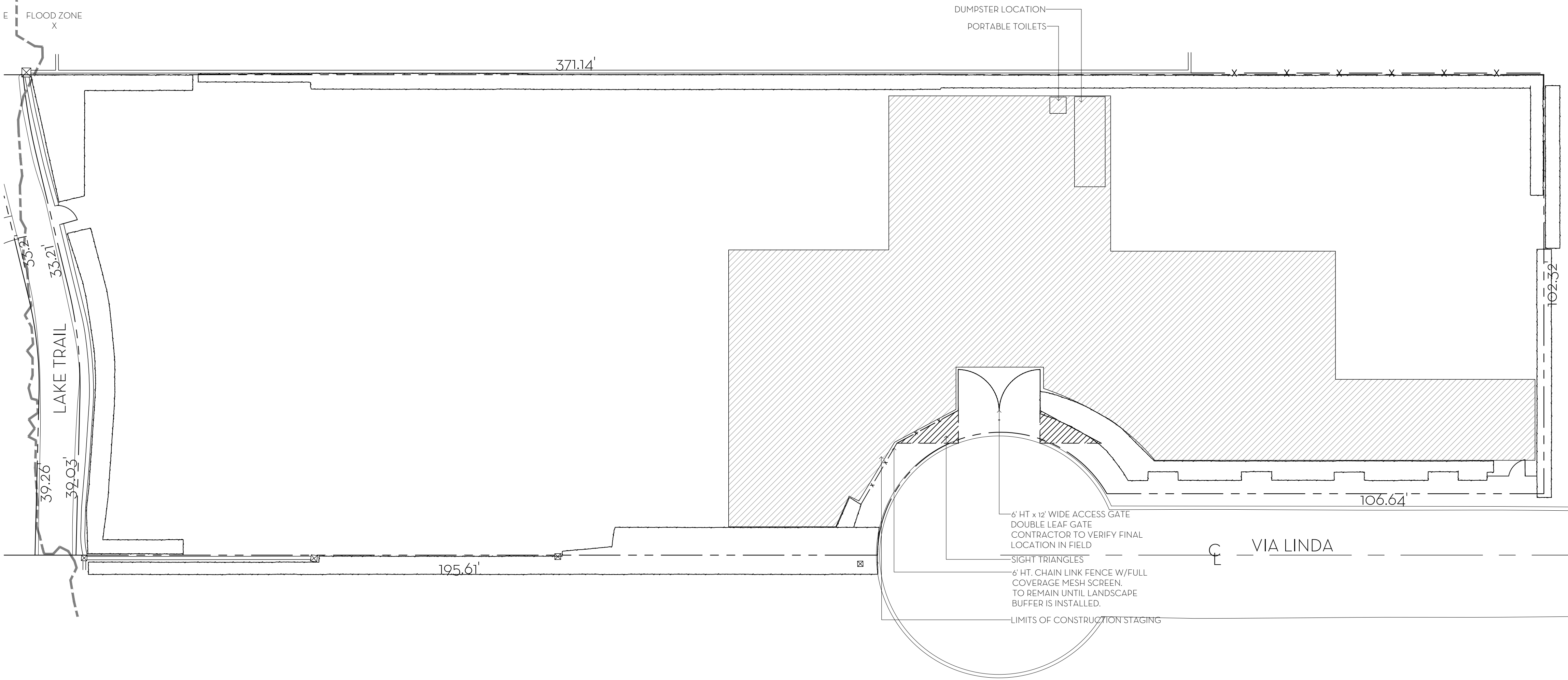
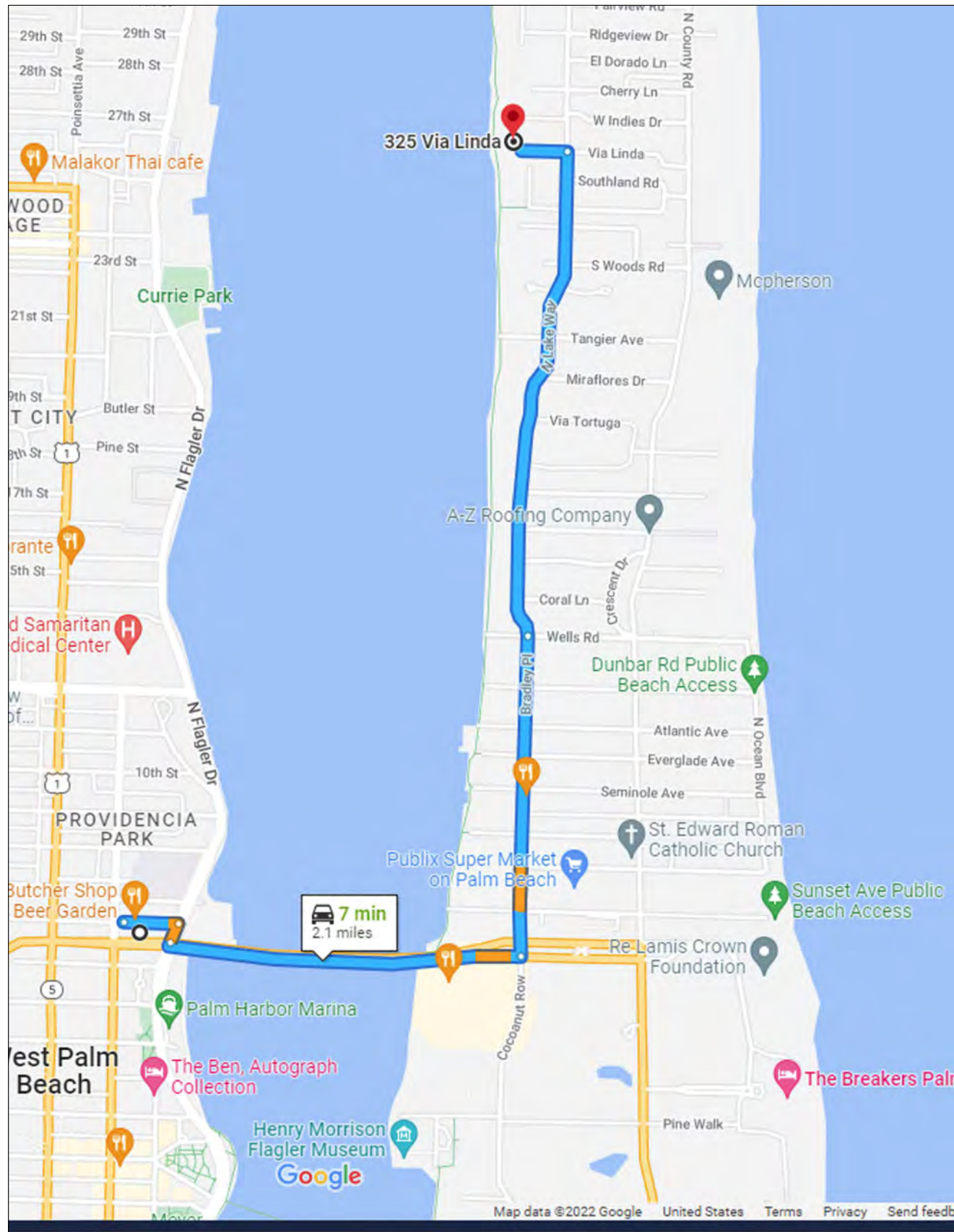
ARC-23-014
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SCALE: 1/16" = 1'-0"

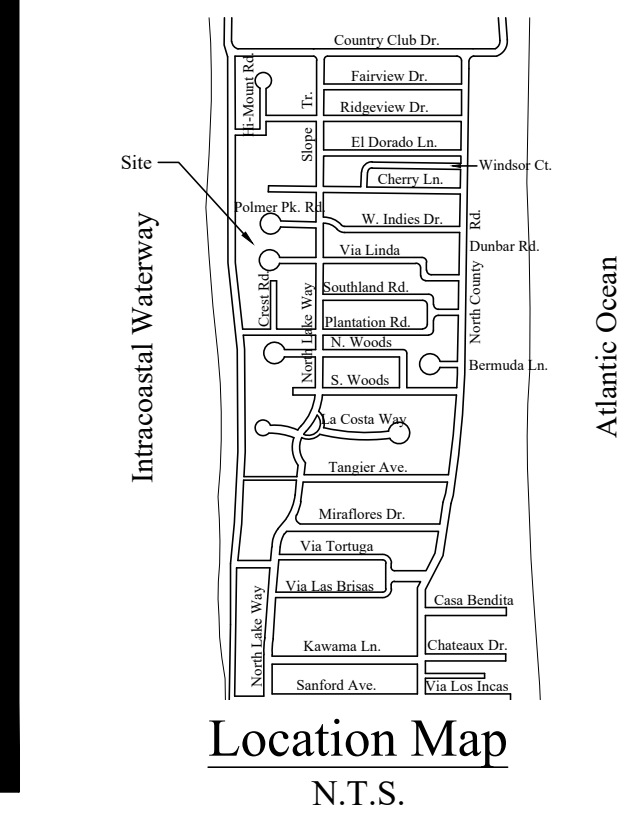
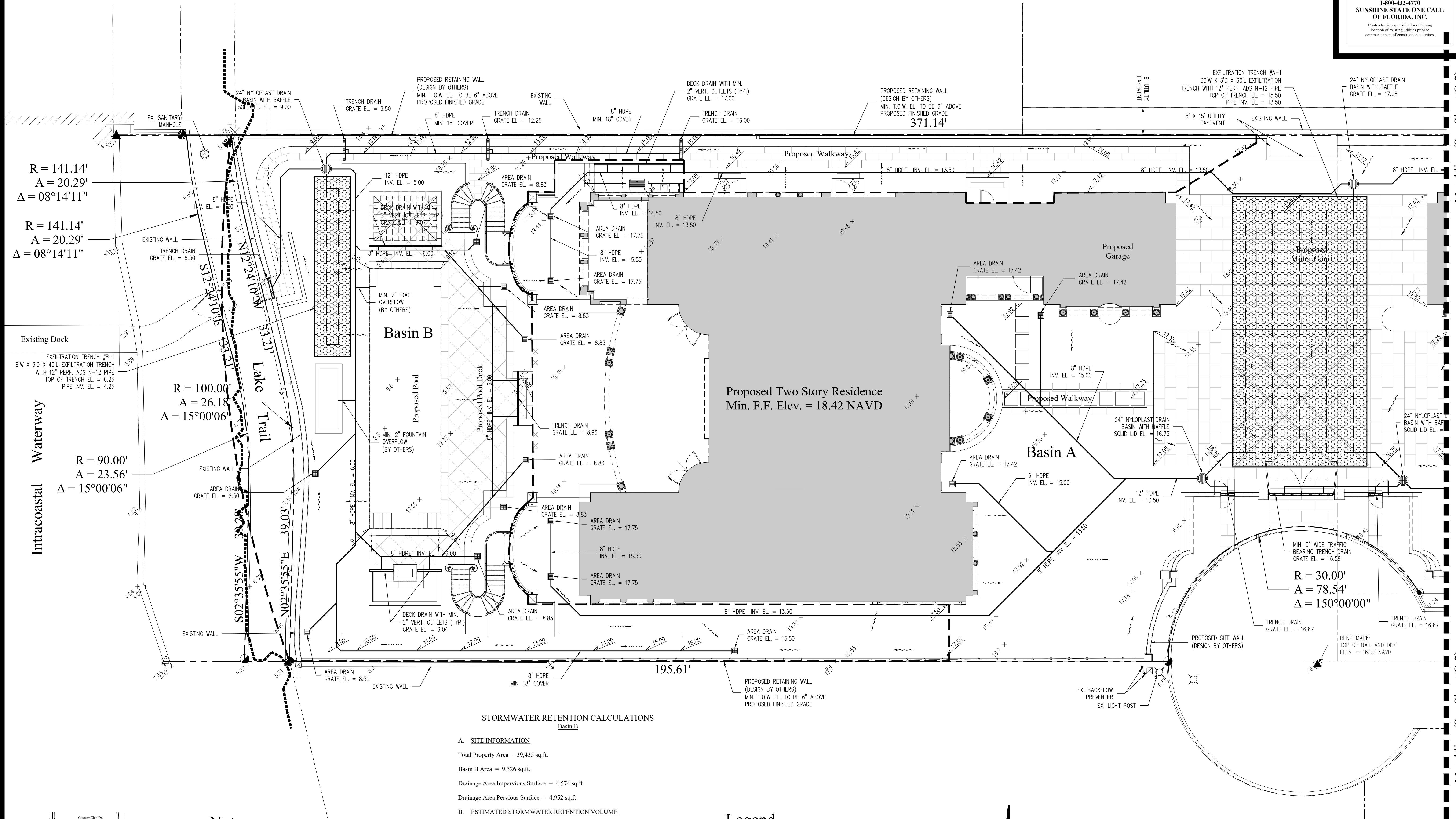
TRUCK ROUTE MAP

MAXIMUM TRUCK SIZE: 30 FEET

BEST ROUTE TO PROPERTY:
ROYAL PARK BRIDGE TO COUNTY ROAD, NORTH
LAKE WAY, LEFT TO VIA LINDA
ESTIMATED NUMBER OF LARGE TRUCK TRIPS: 60



NOTE: CONSTRUCTION FENCING MUST BE INSTALLED
AND INSPECTED/APPROVED PRIOR TO THE DEMOLITION
OF THE BUILDING.



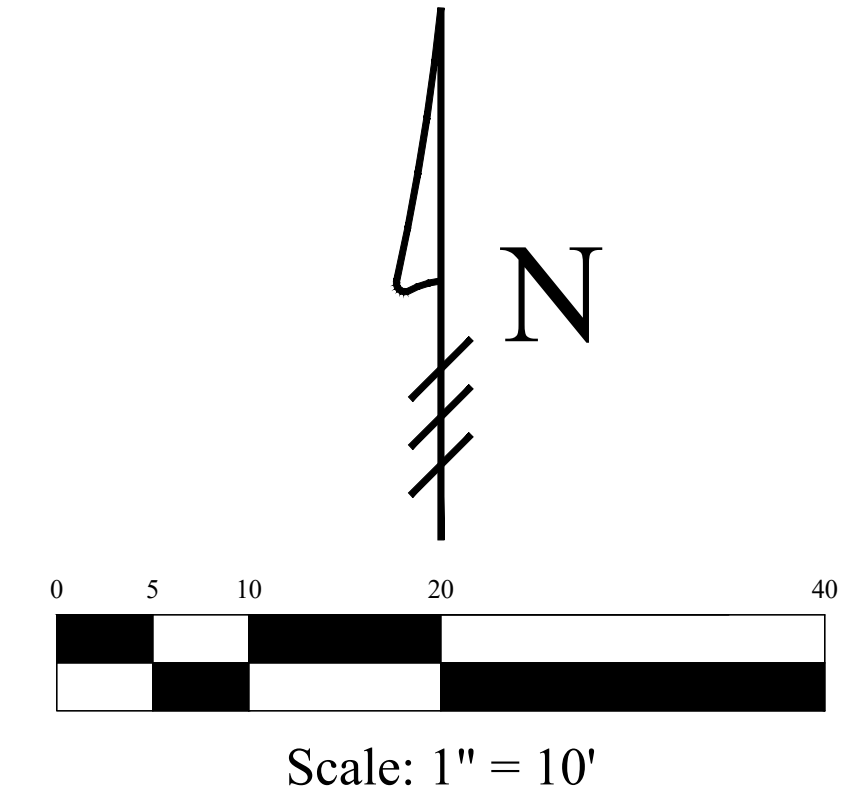
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

STORMWATER RETENTION CALCULATIONS			
Basin B			
A. SITE INFORMATION			
Total Property Area = 39,435 sq.ft.			
Basin B Area = 9,526 sq.ft.			
Drainage Area Impervious Surface = 4,574 sq.ft.			
Drainage Area Pervious Surface = 4,952 sq.ft.			
B. ESTIMATED STORMWATER RETENTION VOLUME			
The retention volume is estimated using the Rational Method (Q-CIA)			
where:			
C = 1.0 (impervious surface)			
C = 0.2 (pervious surface)			
i = 2 in/hr			
Impervious Surface Runoff Volume:			
1.0 x 2 in/hr x 4,574 sq.ft. x 1 ft/12 in. = 763 cu.ft.			
Pervious Runoff Volume:			
0.2 x 2 in/hr x 4,952 sq.ft. x 1 ft/12 in. = 166 cu.ft.			
Total Volume to be Retained = 929 cu.ft.			
C. PROPOSED EXFILTRATION TRENCH SIZING			
L	=	Total Length of Trench Provided	= 40 ft
W	=	Trench Width	= 8 ft
K	=	Hydraulic Conductivity	= 0.00005 cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	= 5.00 ft
DU	=	Un-Saturated Trench Depth	= 3.00 ft
DS	=	Saturated Trench Depth	= 0.00 ft
V	=	Volume Treated	= 1,028 cu.ft.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
574 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 863.312.2841
office@gruberengineers.com

Project Information				
Project No.	2023-0127	Issue Date	07/12/2023	1" = 10'
Scale		Drawn By	KM	CG
Checked By				

Conceptual Site Grading & Drainage Plan For:
Proposed Residence

325 Via Linda
Palm Beach, Florida

Revisions	
1	
2	
3	
4	
5	
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Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1

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Plan Background from Hardscape Plan by
Nievera Williams Design Received 1/10/23
ARC-23-014
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575 AMBER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 863.312.2841
office@gruberengineers.com

Project Information				
Project No.	2023-0127	Issue Date	07/12/2023	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
			CG	

Conceptual Site Grading & Drainage Plan (East Portion) For:

Proposed Residence

Palm Beach, Florida

325 Via Linda

Revisions

1	2	3	4	5	6	7	8	9	10

Chad M. Gruber

FL P.E. No. 57466

Sheet No.

C-2

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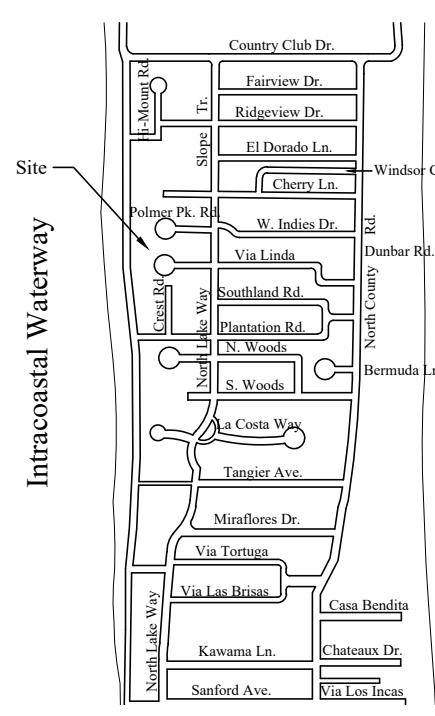
Plan Background from Hardscape Plan by
Nievera Williams Design Received 1/10/23

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ZON-23-029

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Matchline (See Sheet C-1)

Matchline (See Sheet C-1)



Location Map
N.T.S.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

A. SITE INFORMATION

Total Property Area = 39,435 sq.ft.

Basin A Area = 29,909 sq.ft.

Drainage Area Impervious Surface = 18,862 sq.ft.

Drainage Area Pervious Surface = 11,047 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$) where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 18,862 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 3,144 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 11,047 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 369 \text{ cu.ft.}$

Total Volume to be Retained = 3,513 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	60	ft
W	=	Trench Width	=	30	ft
K	=	Hydraulic Conductivity	=	0.00005	cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	3.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	4,978	cu.ft.

Legend

EXISTING ELEVATION PER
WALLACE SURVEYING CORP. (NAVD-88)

PROPOSED ELEVATION (NAVD-88)

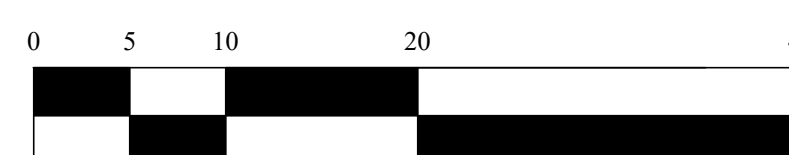
PROPOSED ELEVATION CONTOUR (NAVD-88)

FLOW DIRECTION

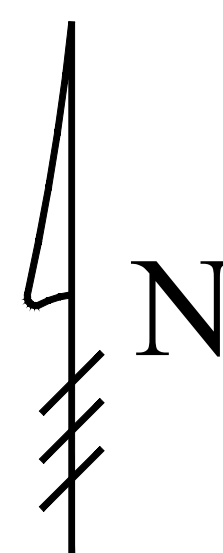
EXFILTRATION TRENCH

AREA DRAIN

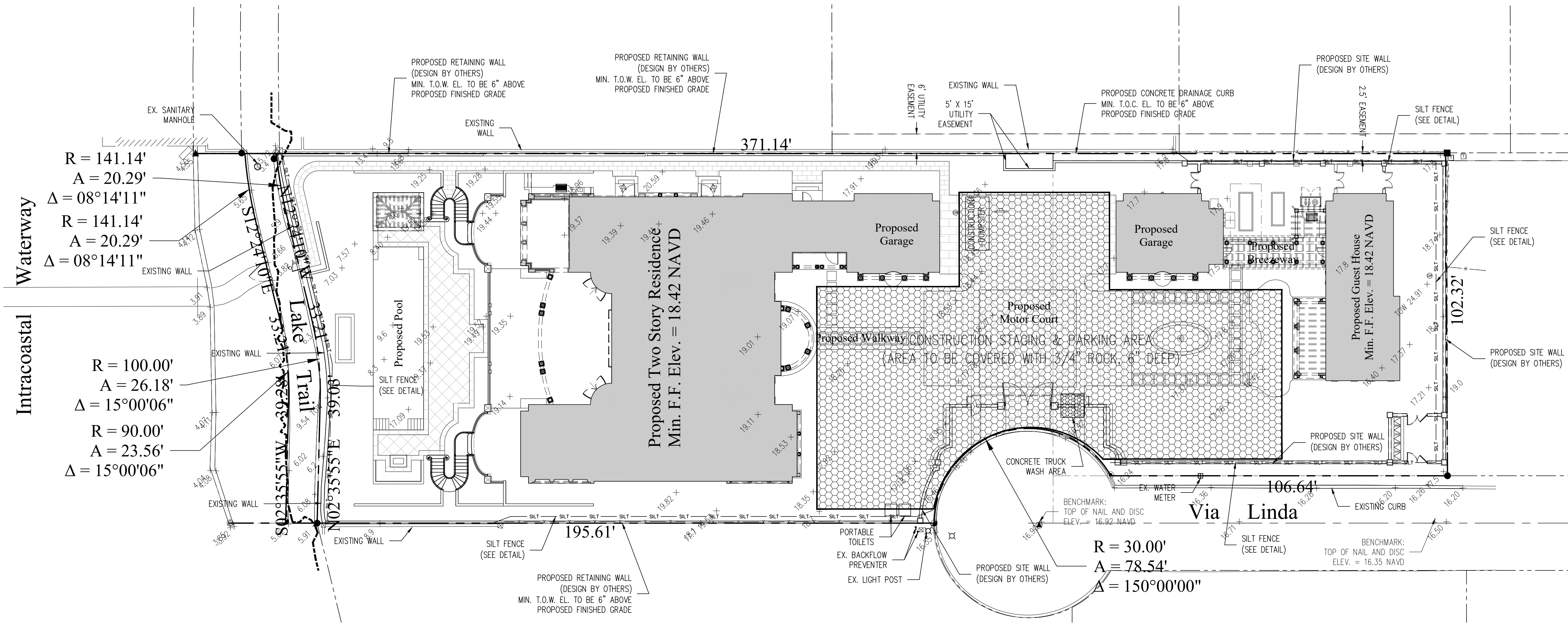
24" NYLOPLAST DRAIN BASIN
WITH BAFFLE



Scale: 1" = 10'

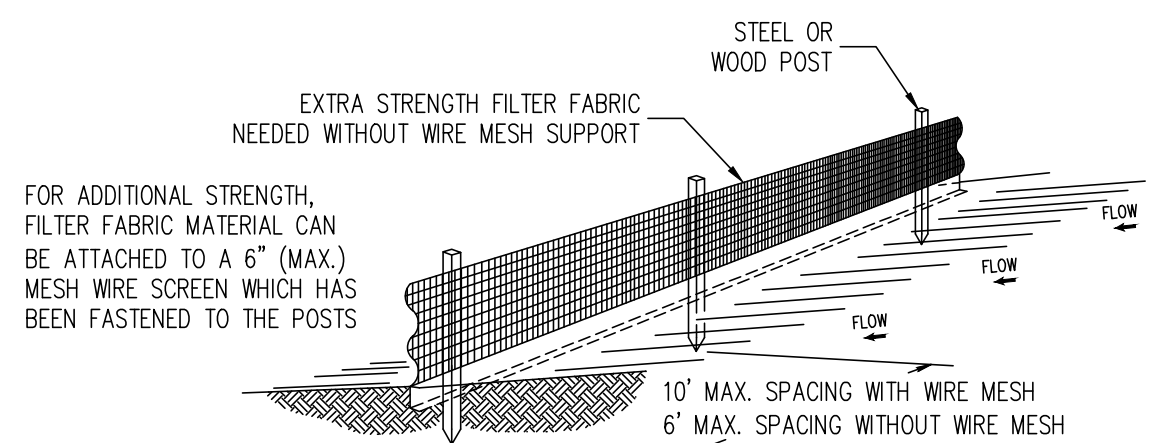


STORMWATER RETENTION CALCULATIONS Basin A



Notes:

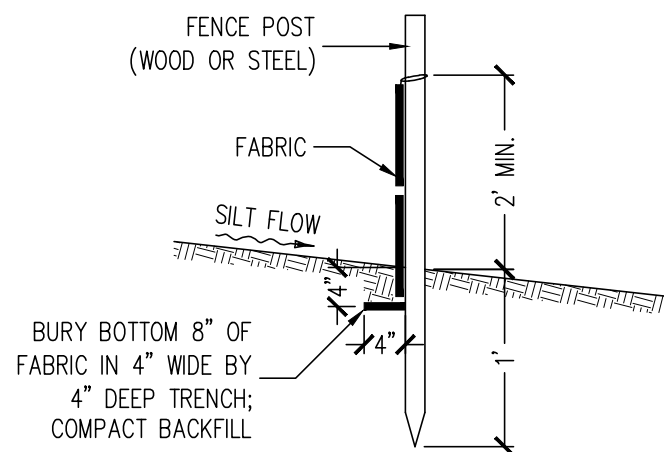
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Contractor to investigate condition of existing sewer service prior to building permit submittal. If existing service is cast iron, or in poor condition, service will be replaced to main per Town of Palm Beach standards.



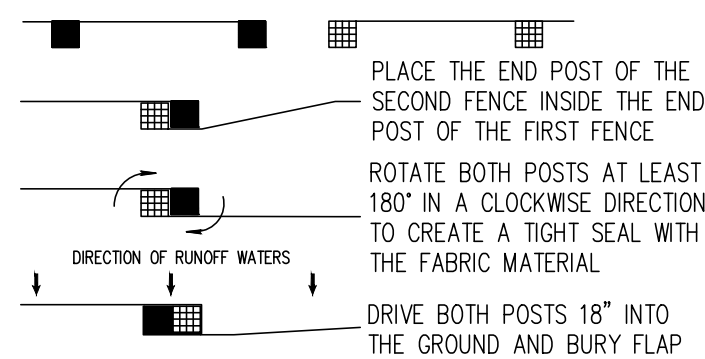
Notes:

- The height of a silt fence shall not exceed 36".
- Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- The trench shall be backfilled and the soil compacted over the filter fabric.

SILT FENCE DETAIL
N.T.S.

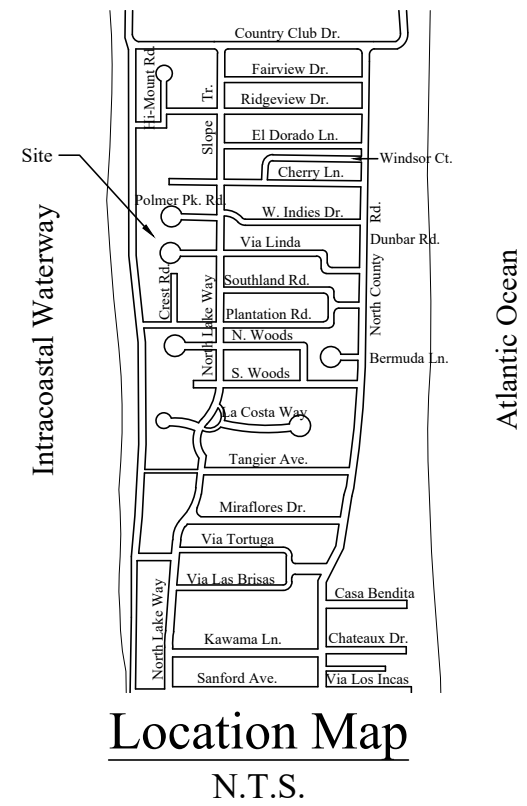
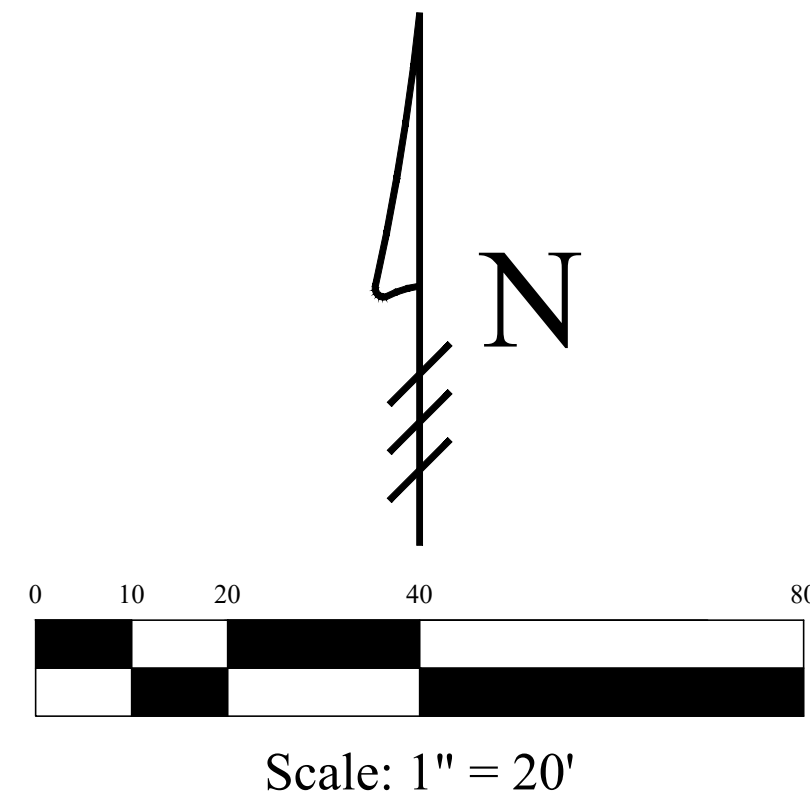
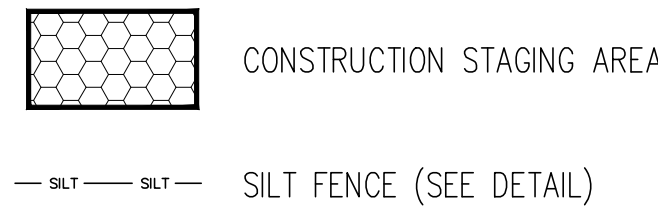


SILT FENCE SECTION
N.T.S.



ATTACHING TWO SILT FENCES
N.T.S.

Legend



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WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

Project Information
Project No. 2023-0127
Issue Date 07/12/2023
Scale 1" = 20'
Drawn By KM
Checked By CG

Conceptual Construction Staging & Parking and Erosion Control Plan For:
Proposed Residence
325 Via Linda
Palm Beach, Florida

Revisions
1
2
3
4
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10

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Sheet No.
EC-1

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Nievera Williams Design Received 1/10/23

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