



Pierce Residence

274 Monterey Road Palm Beach, FL 33480



ARCHITECTURE

MP DESIGN & ARCHITECTURE

LANDSCAPE ARCHITECTURE

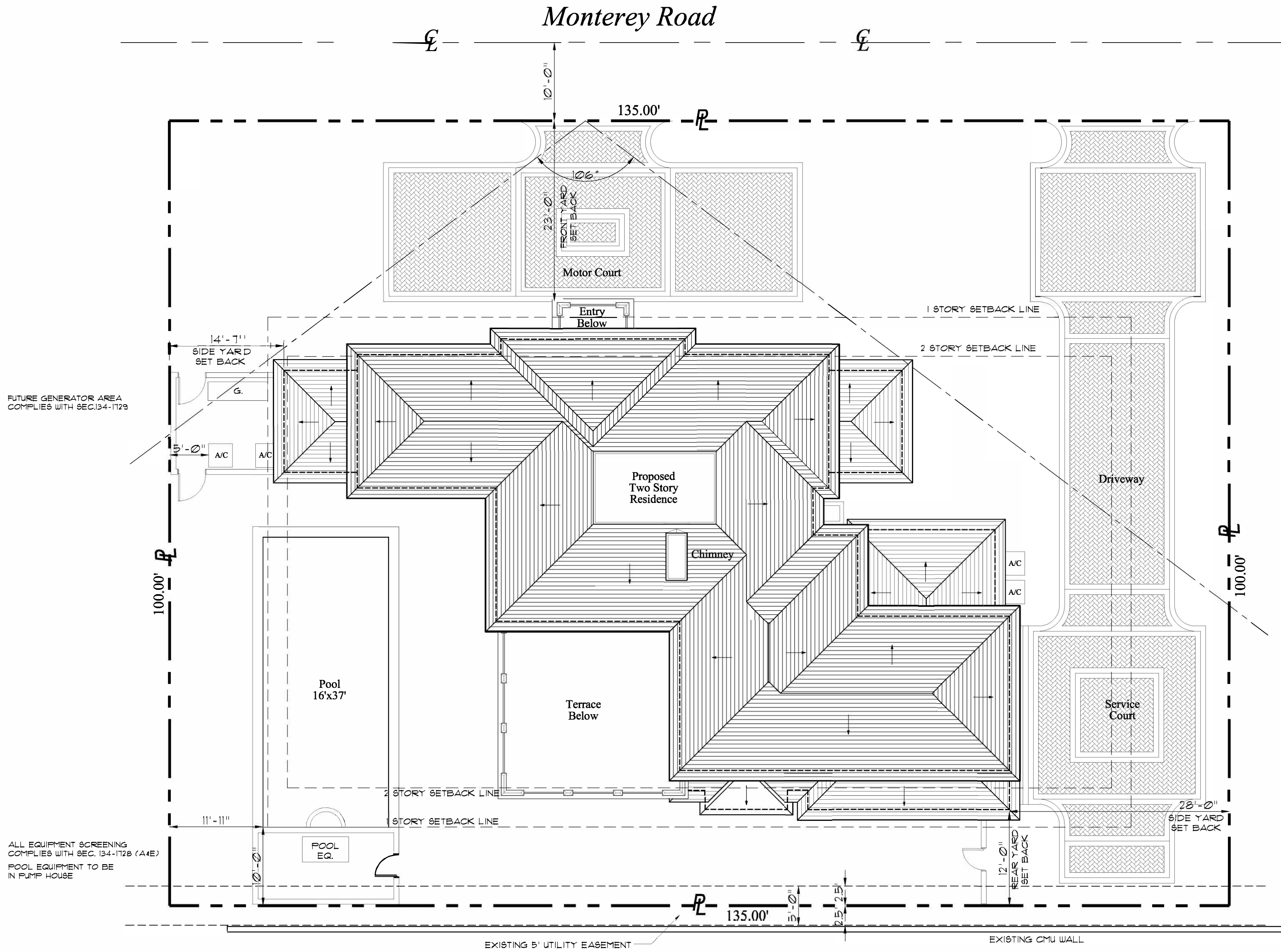
ENVIRONMENTAL DESIGN GROUP

Scope of Work

- * Proposed new Two-Story Residence with side loading Garage.
- * New Hardscape, Landscape and Pool.

ARC-23-025

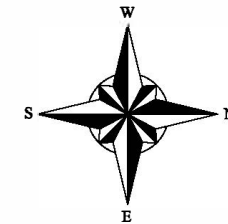
First Submittal 12/08/2022
Second Submittal 12/27/2022
Final Submittal 04/10/2023
Presentation File 04/21/2023
ARCOM Meeting 04/26/2023



Previously Proposed Site Plan

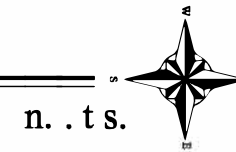
Scale

1/8" = 1'-0"



Location Map

Scale



ZONING & SITE CALCULATIONS

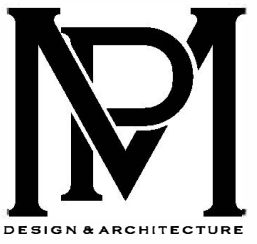
Zoning Item	Required/Allowed	Proposed
Zoning District	RB	RB
Lot Area	10,000 SF	13,500 SF
Lot Width	100'	135'
Lot Depth	100'	100'
Front Yard Setback	25' 1-Story	23'-0"
Side Yard Setback - West	15'-0" 2-Story	28'-0"
Side Yard Set Back - East	12.5' 1-Story	14'-7"
Rear Yard Setback	10' 1-Story	12'-0"
Maximum Building Height	14' 1-Story 22' 2-Story	10'-0" 21'-0"
Maximum Overall Height	30'	28'-0"
Lot Coverage	30% 2-Story (4,050 SF)	28.2% (3,818 SF)
Landscape Open Space	45% (6,075 SF)	45.01% (6,077 SF)
Required Front Yard	40% (1,350 SF)	48.9% (1,650 SF)
Cubic Content Ratio	3.97 (53,593 CF)	3.96 (53,177 CF)
Angle of Vision	100 °	106 °

AREAS SF CALCULATIONS

First Floor AC	2,503 SF
Second Floor AC	2,628 SF
Total AC	5,131 SF
Garage	633 SF
Loggia	681.74 SF
Total AC	6,445.74 SF

LEGAL DESCRIPTION

Lot 21 and the East 55" of Lot 23, Gregory Addition, Florida, According to the plat there of on line in the office of the Clerk of the circuit court in and for Palm Beach County, Florida, as recorded in plat book 16, page 71, said lands situate, lying and being in Palm Beach County, Florida.



COMM NO.

2229

DATE
04-10-23

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A New Residence for

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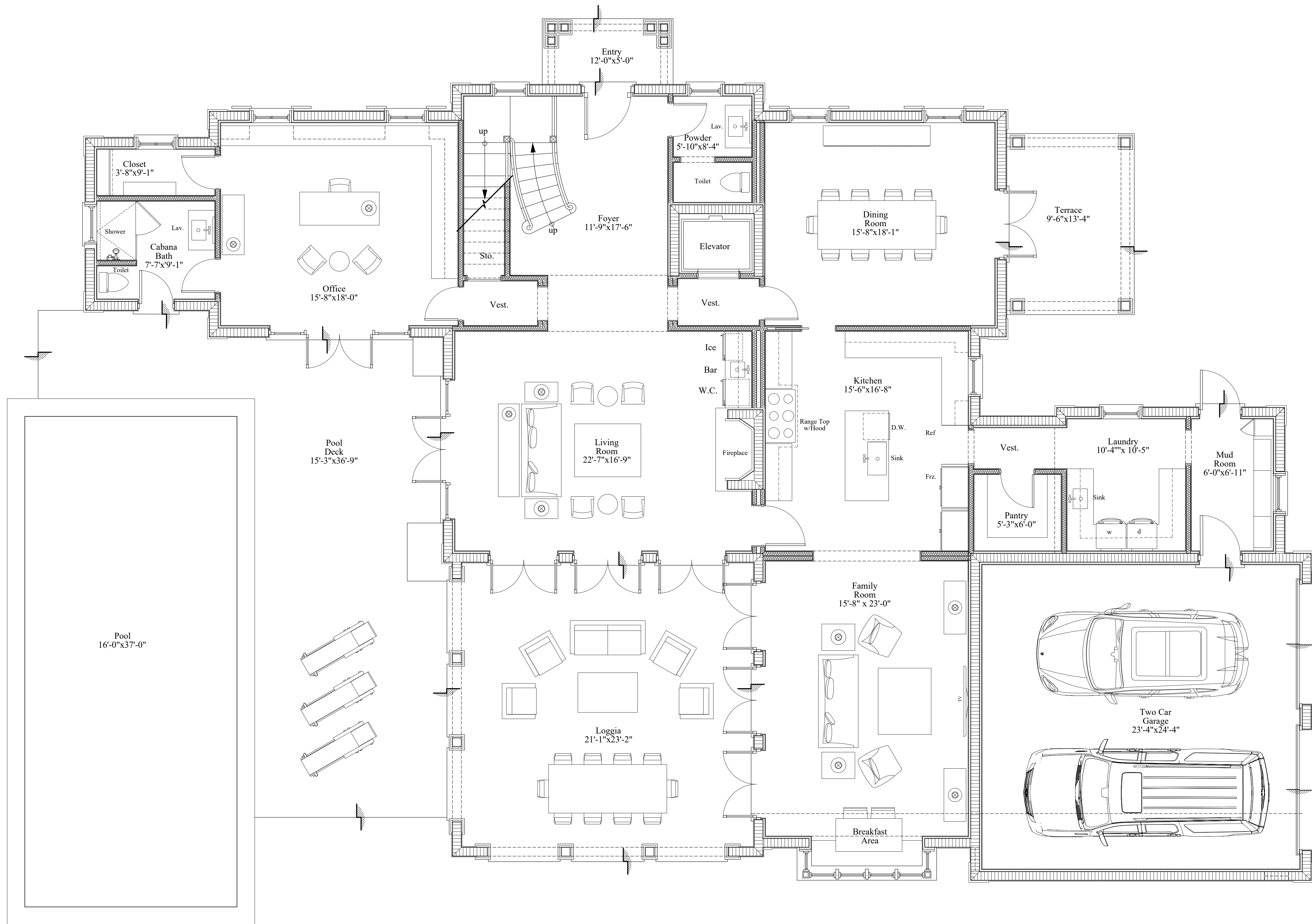


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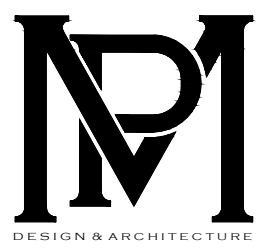
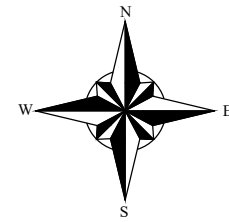
A000

ARC-23-025



Previously Proposed First Floor Plan

1/4" = 1'-0"



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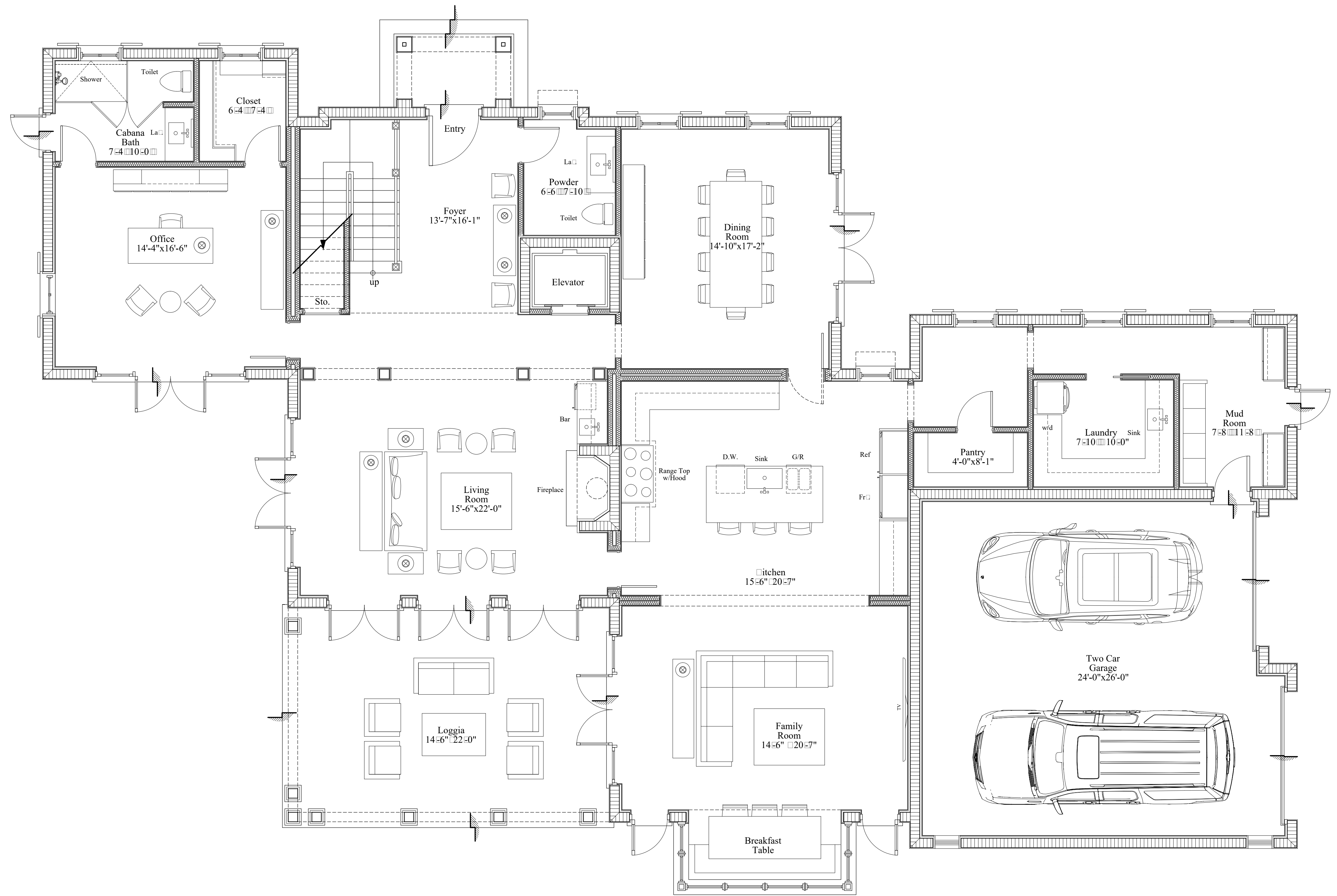


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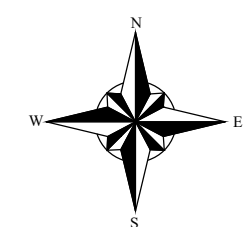
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A100



Proposed First Floor Plan

1/4" = 1'-0"



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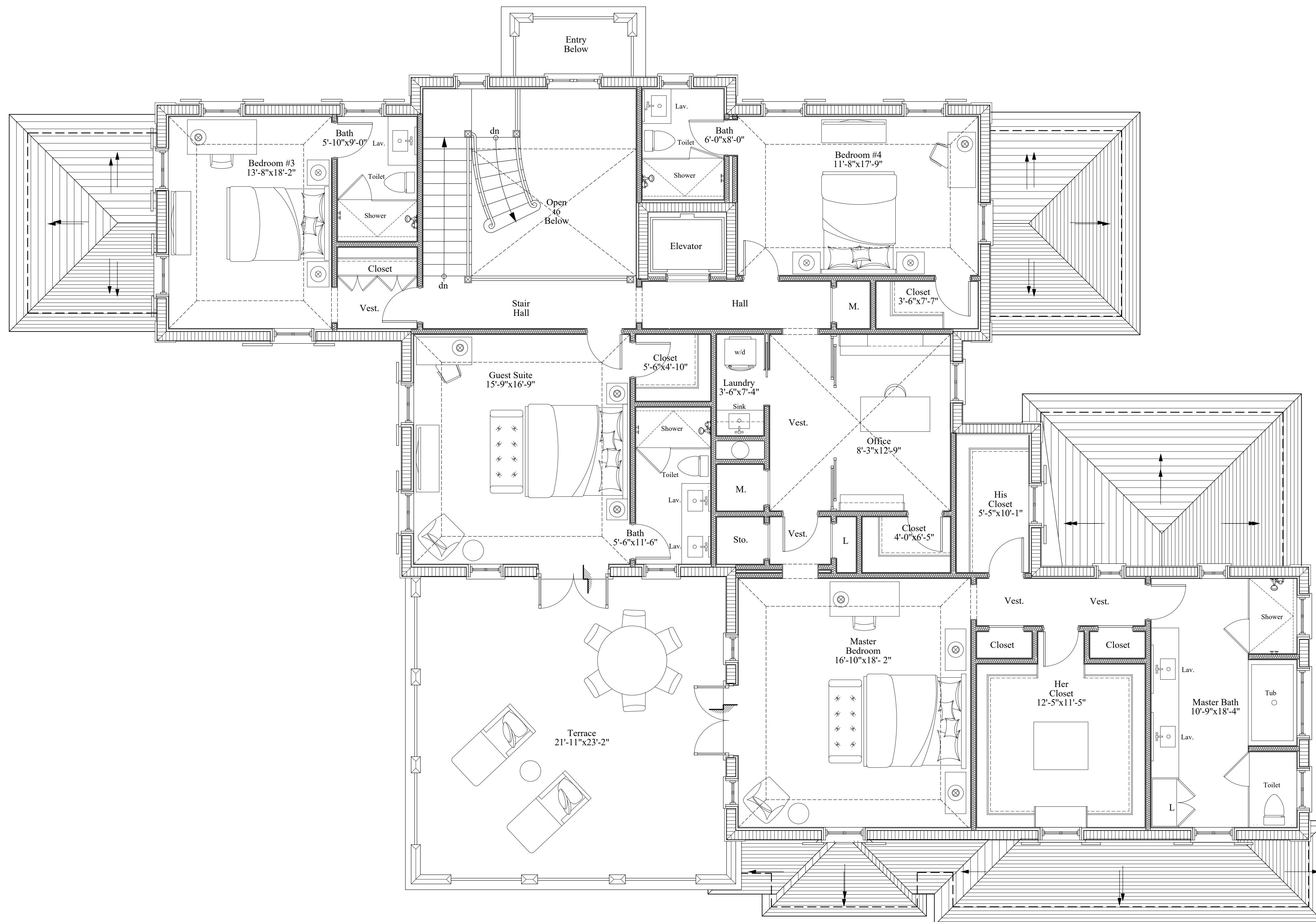
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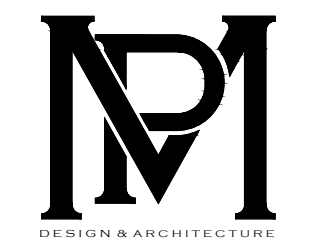
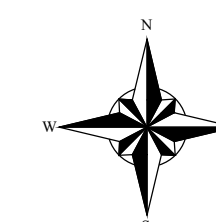
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A101



Previously Proposed Second Floor Plan

1/4" = 1'-0"



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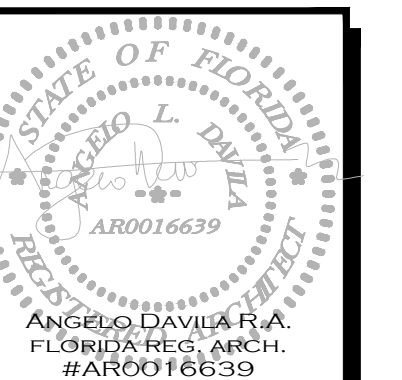
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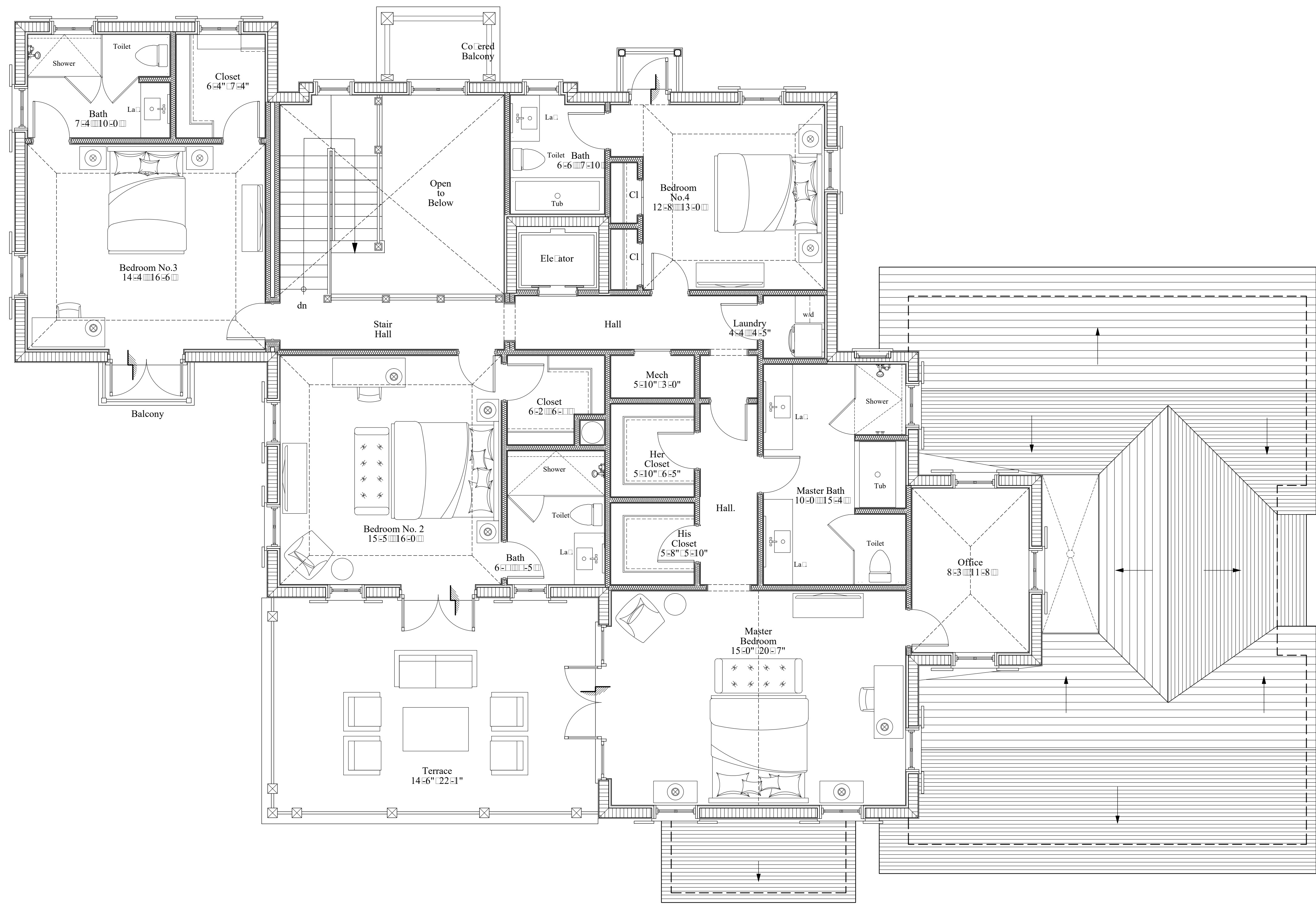


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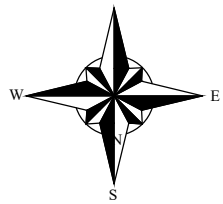
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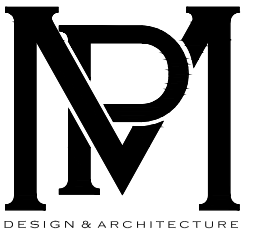
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Proposed Second Floor Plan

1/4" = 1'-0"





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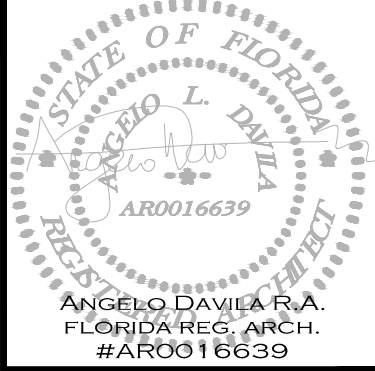
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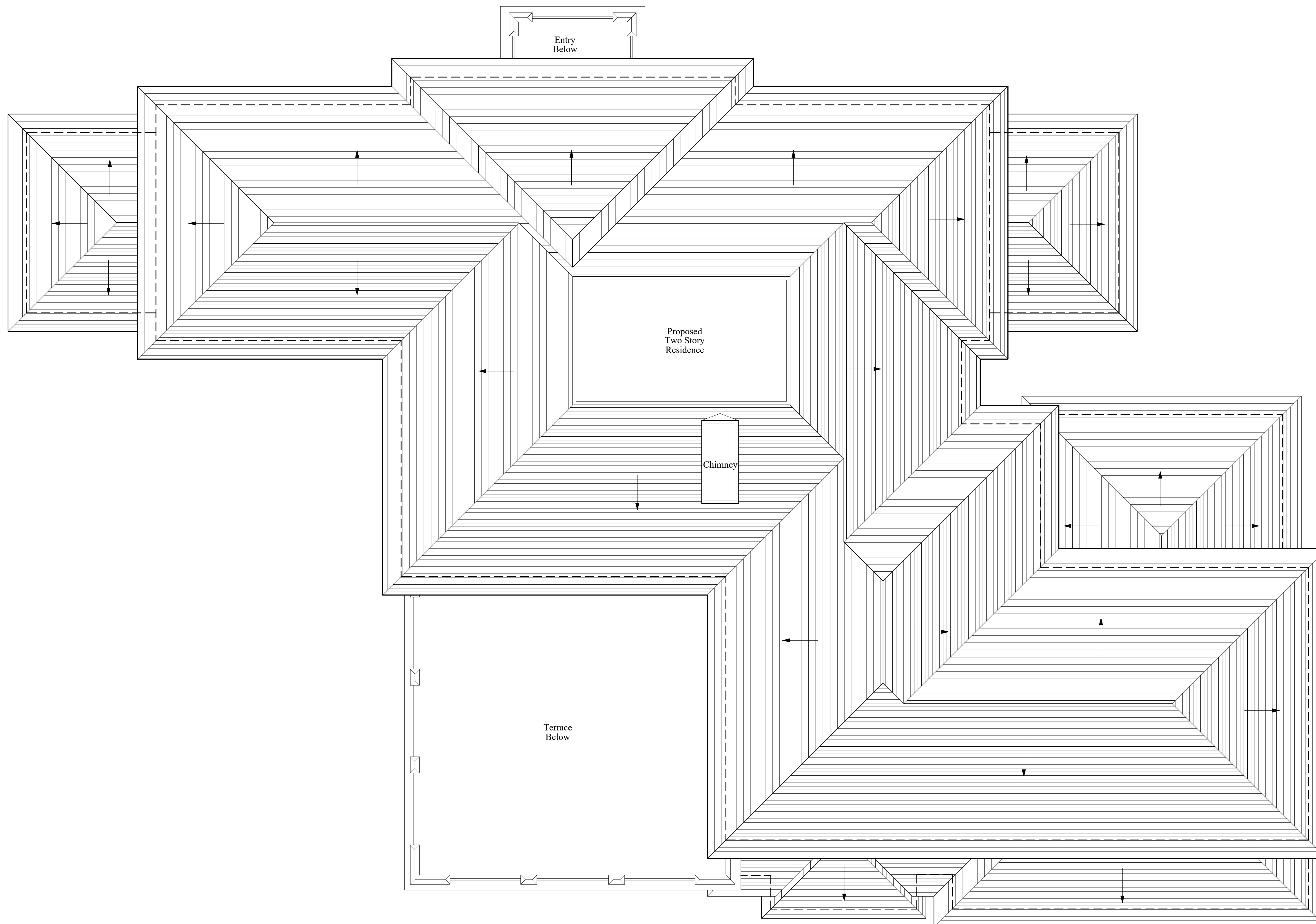


ANGELLO L. DAVILA, P.E.
FLORIDA REG. ARCH.
#AR0016639

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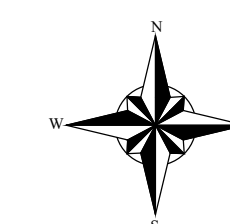
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A103



Previously Proposed Roof Plan

1/4" = 1'-0"



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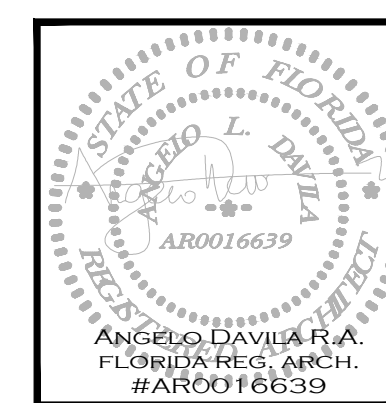
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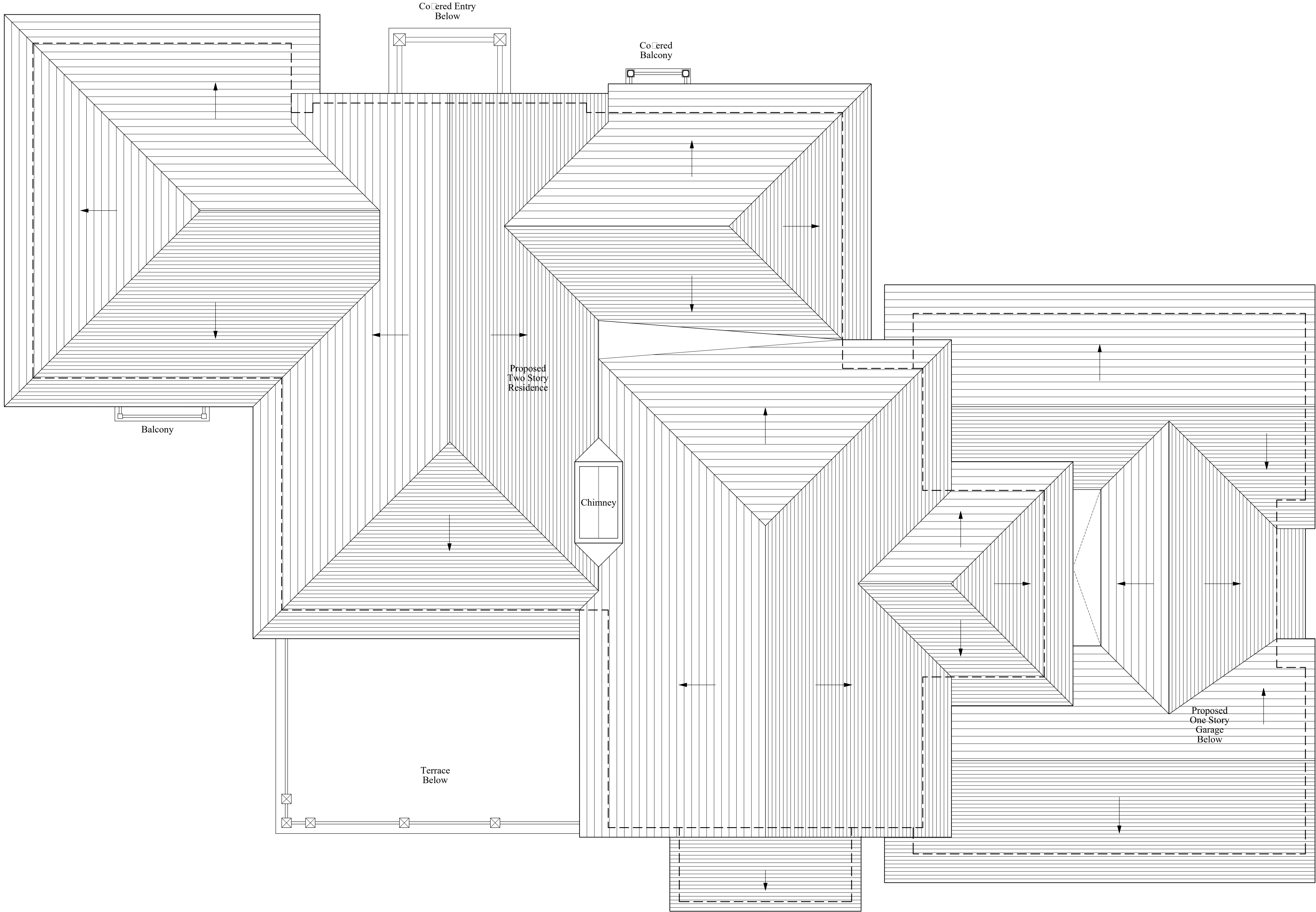


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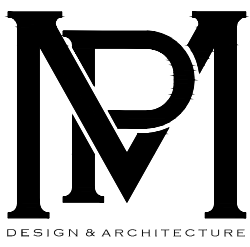
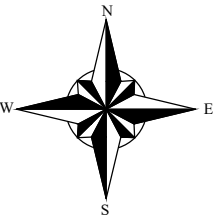
A104

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Proposed Roof Plan

1/4" = 1'-0"



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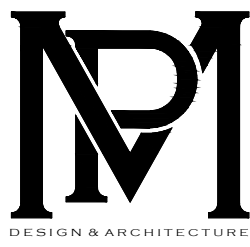
A105



Previously Proposed North Elevation



Proposed North Elevation



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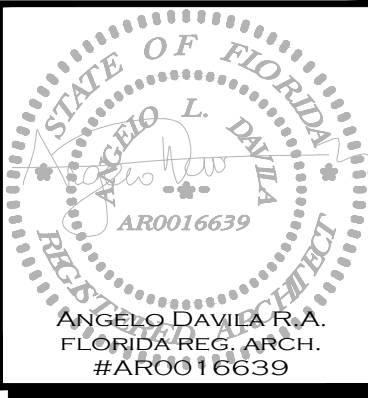
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A200



Previously Proposed South Elevation

Scale

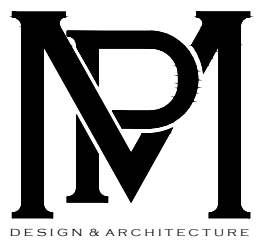
1/4" = 1'-0"



Proposed South Elevation

Scale

1/4" = 1'-0"



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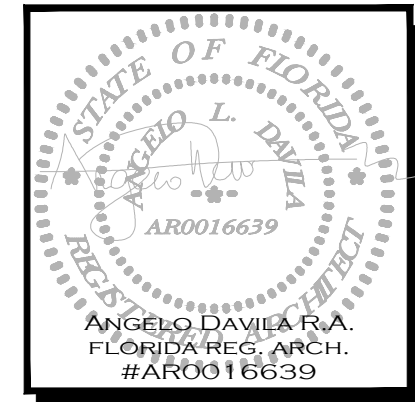
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A201



Previously Proposed West Elevation

Scale

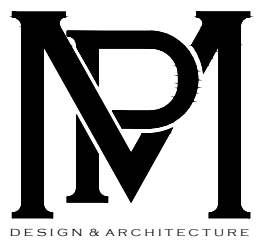
1/4" = 1'-0"



Proposed West Elevation

Scale

1/4" = 1'-0"



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A202



Previously Proposed East Elevation

Scale

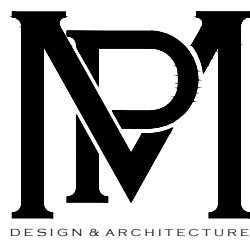
1/4" = 1'-0"



Proposed East Elevation

Scale

1/4" = 1'-0"



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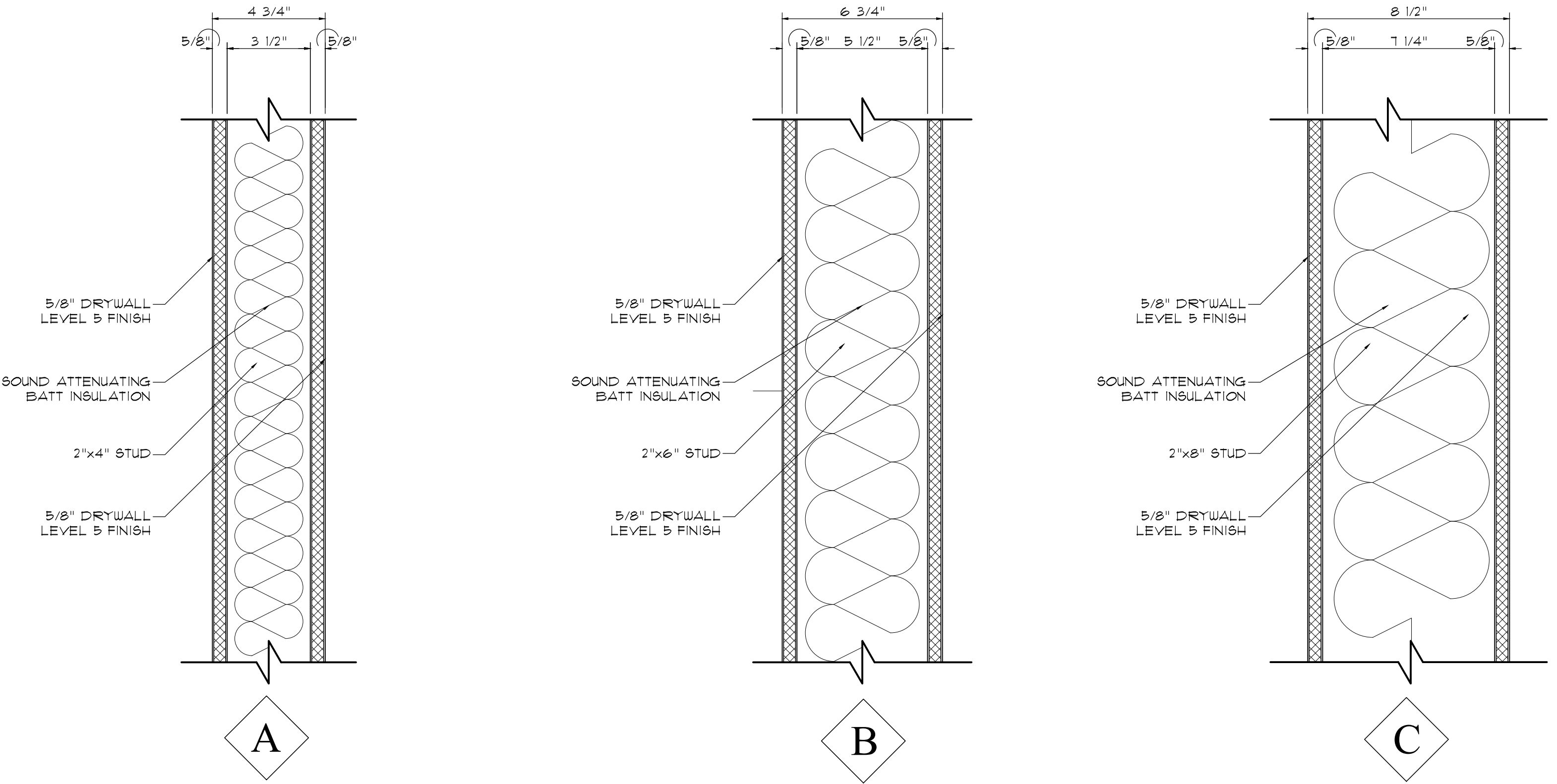
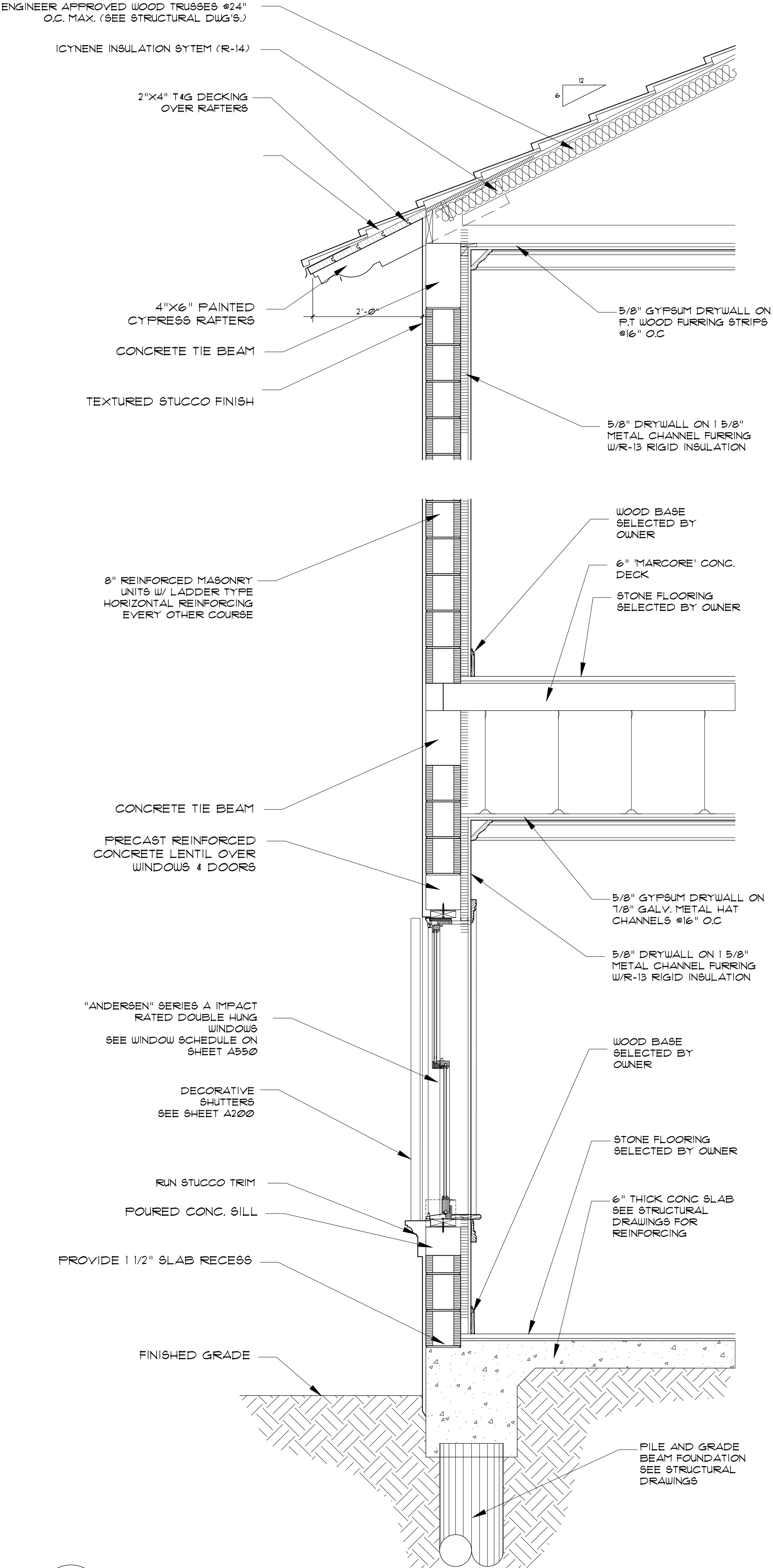
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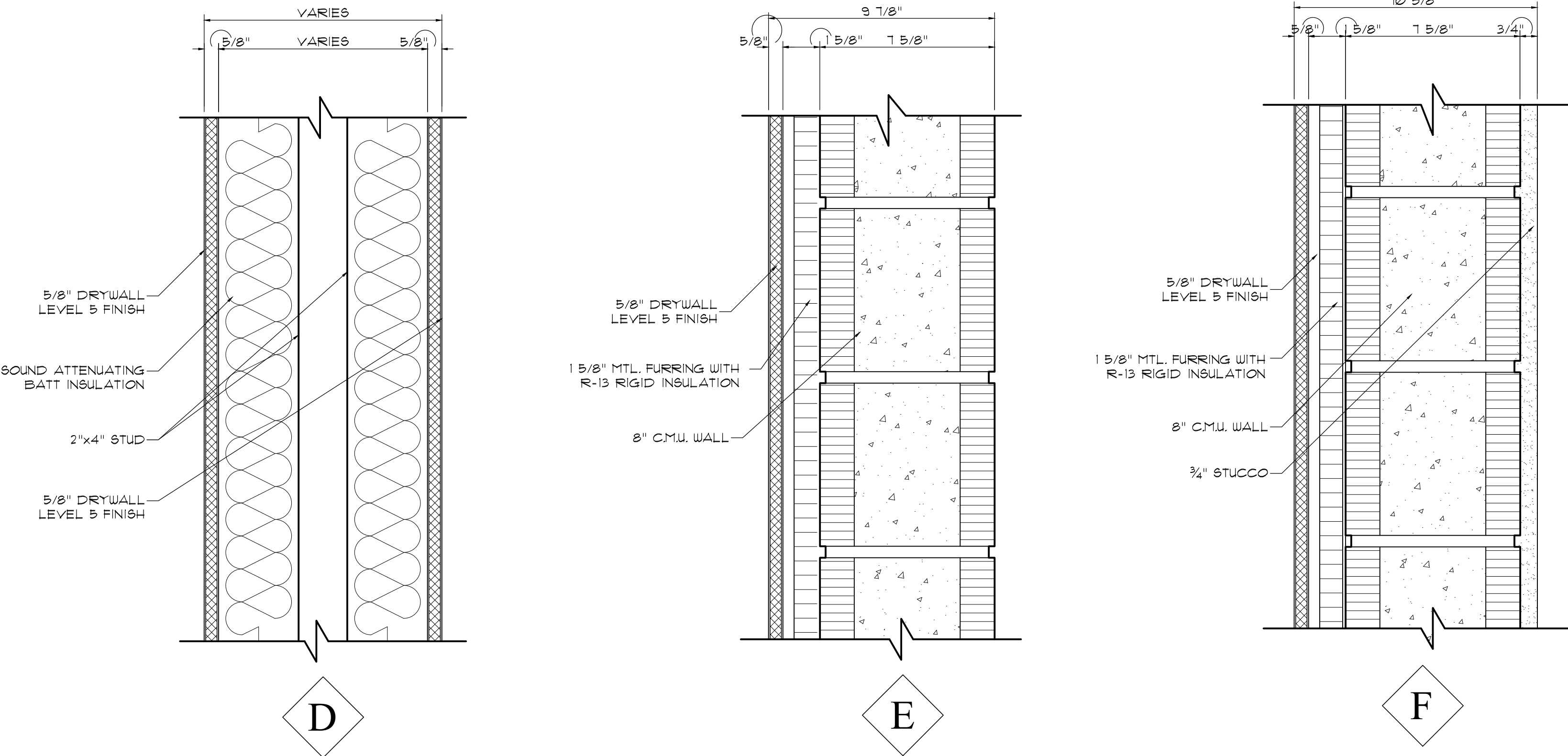
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A203



Wall Types

Scale 3" = 1'-0"

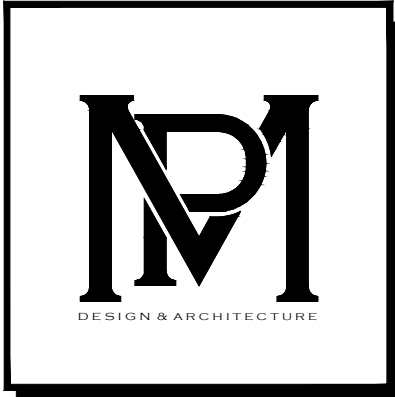


Wall Types

Scale 3" = 1'-0"

5-1 Typical Wall Section

Scale 3/4" = 1'-0"



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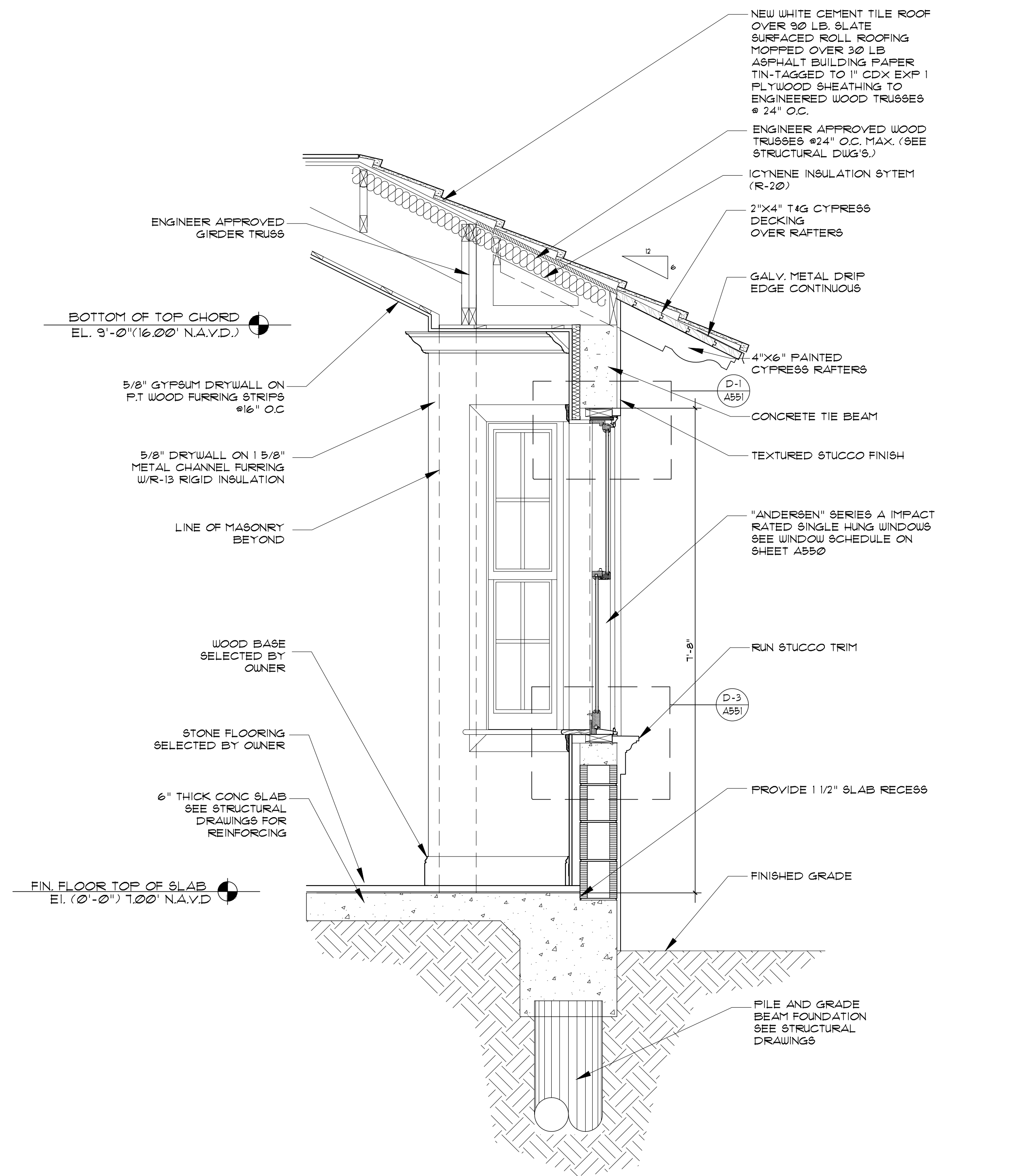
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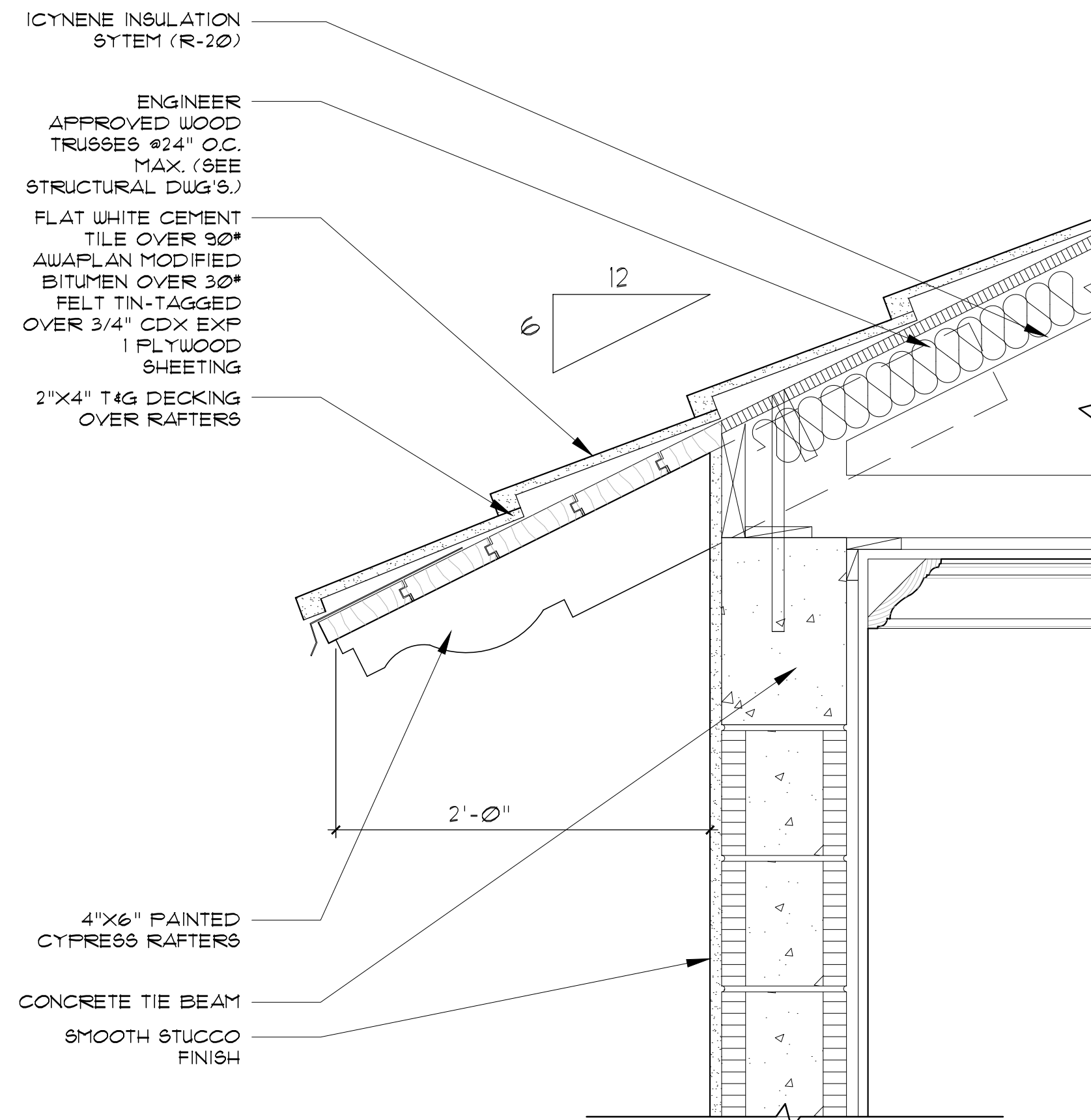
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A300



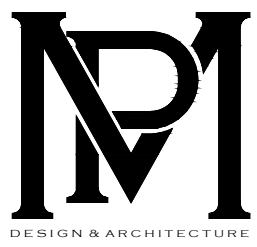
S-1
A303
Wall Section bay Window
 Scale

3/4" = 1'-0"



S-1
A303
Gable End Detail
 Scale

1-1/2" = 1'-0"



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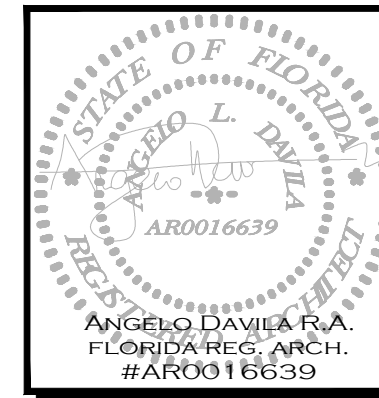
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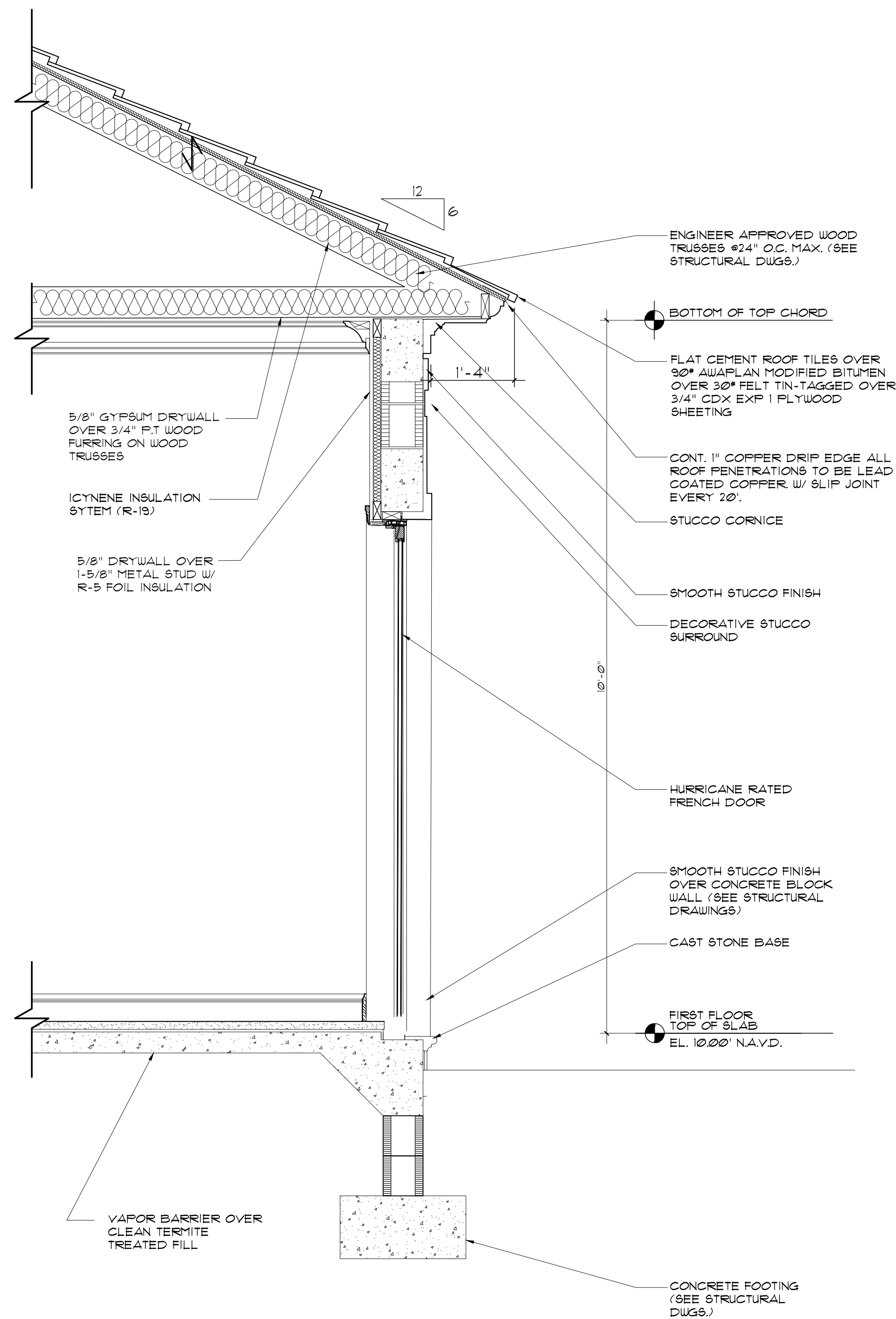


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A301

SECTION SEE STRUCTURAL DWG.

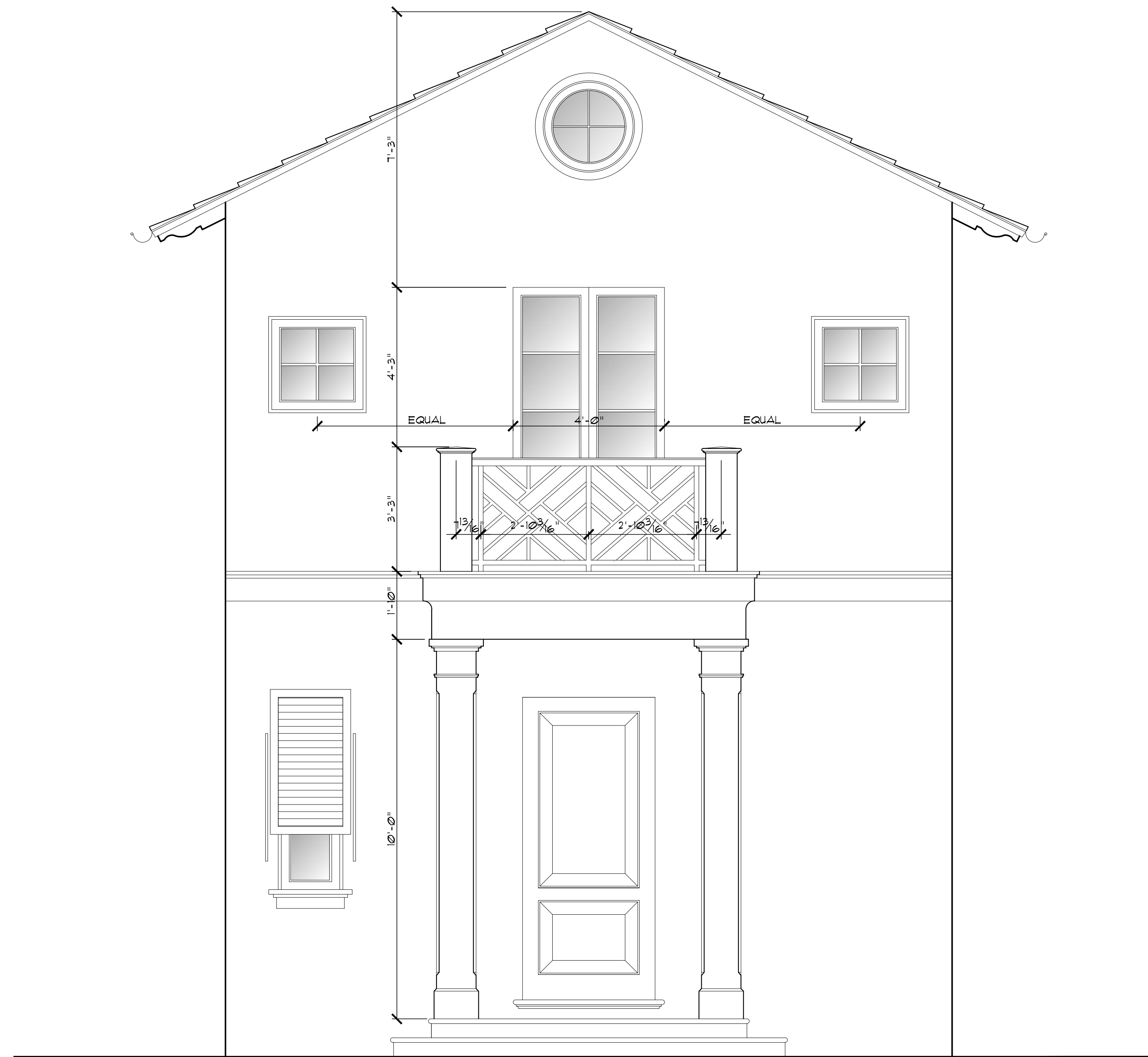


S-4
A304

Typical One Story Wall Section

Scale

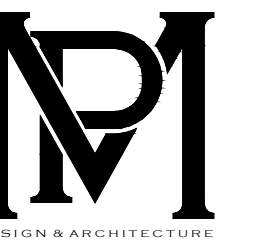
3/4" = 1'-0"



Proposed Entry Detail

Scale

1/2" = 1'-0"



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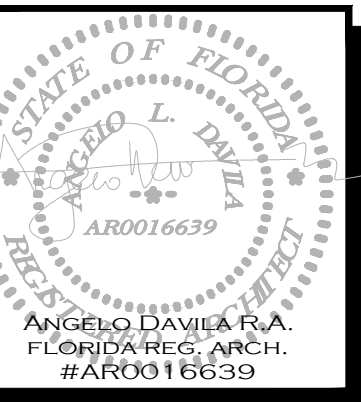
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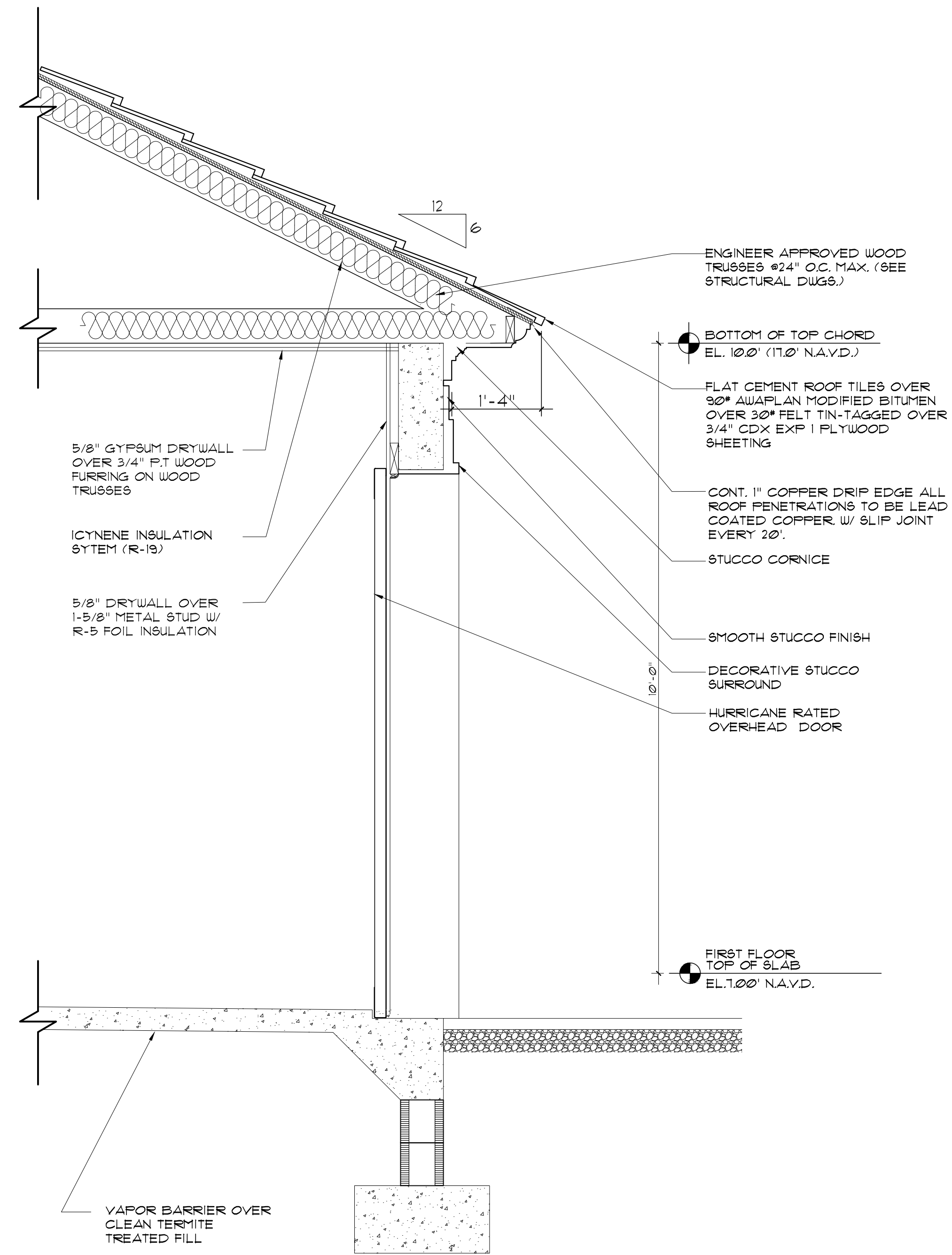
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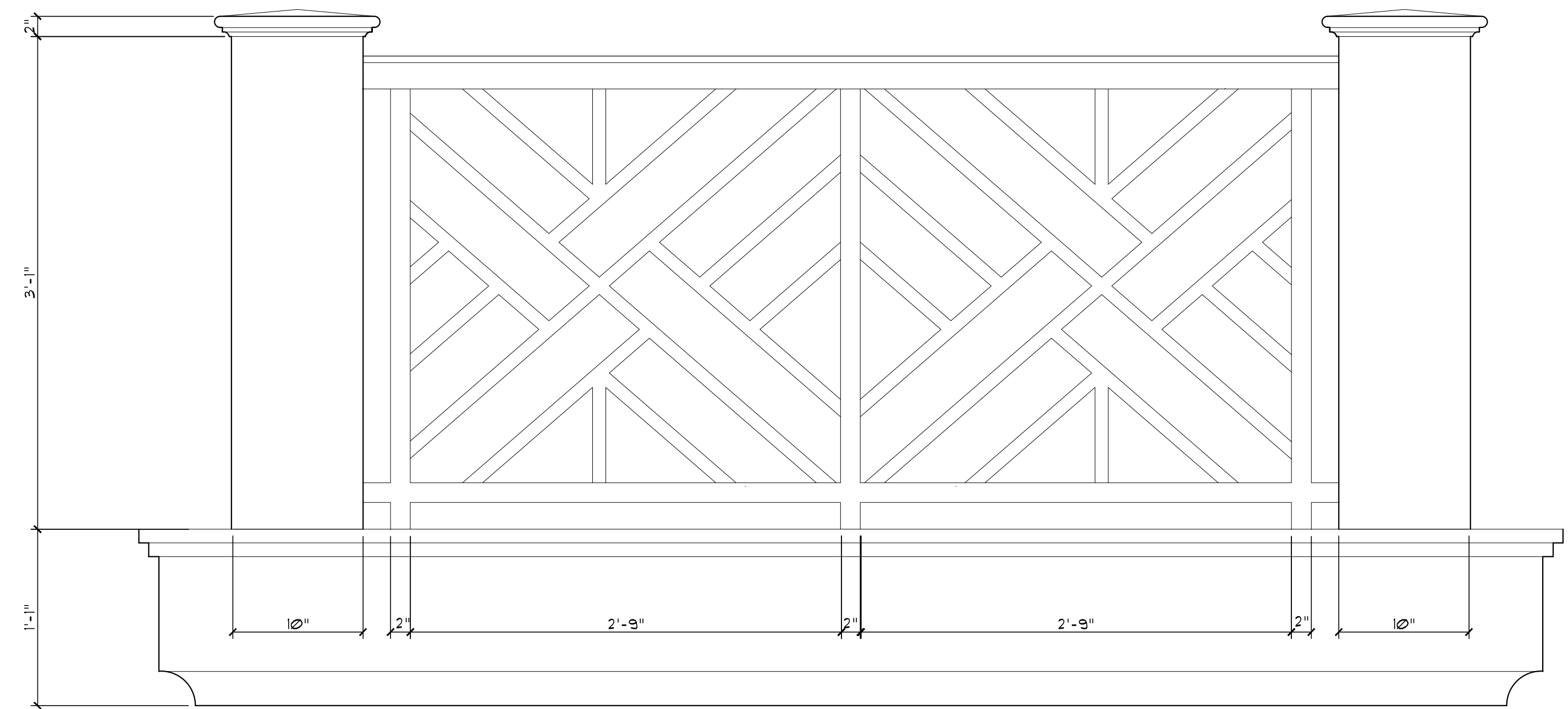
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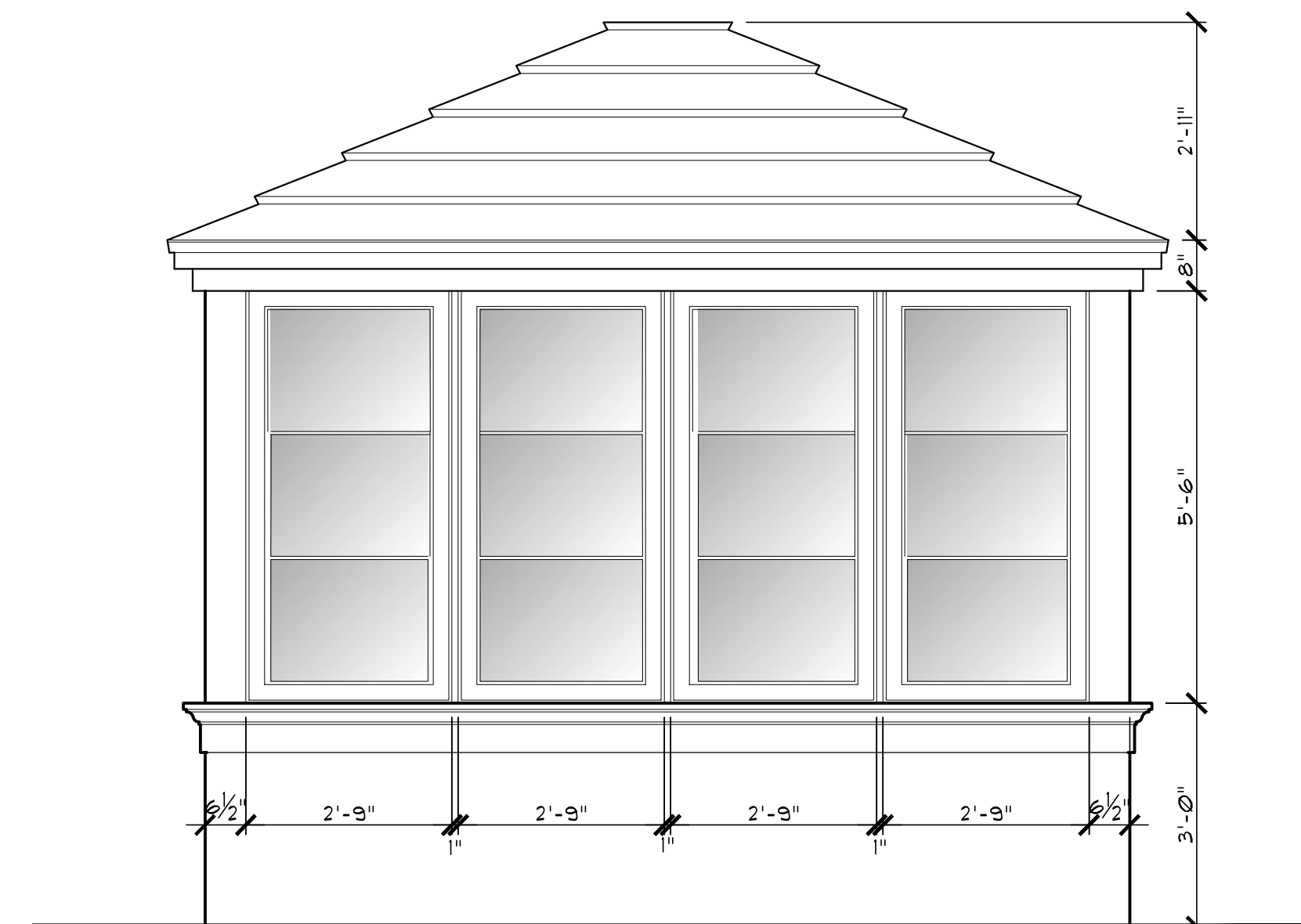
A302



S-2
A303
Typical Garage Wall Section
 Scale 3/4" = 1'-0"



Railing Proposed Detail
 Scale 1-1/2" = 1'-0"



Bay Window Detail
 Scale 1/2" = 1'-0"



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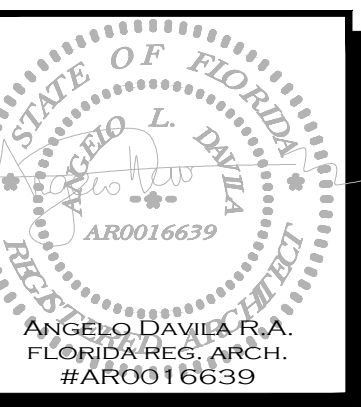
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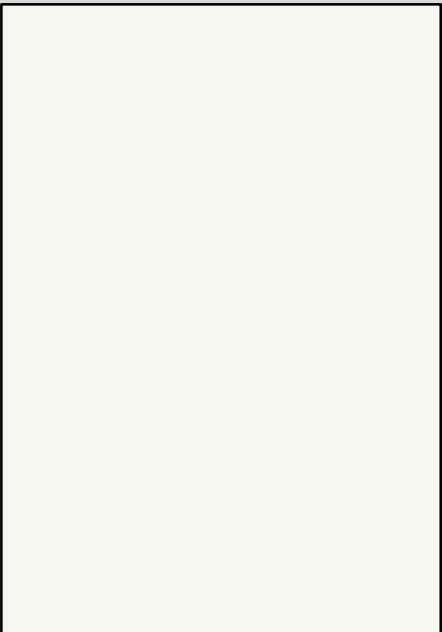
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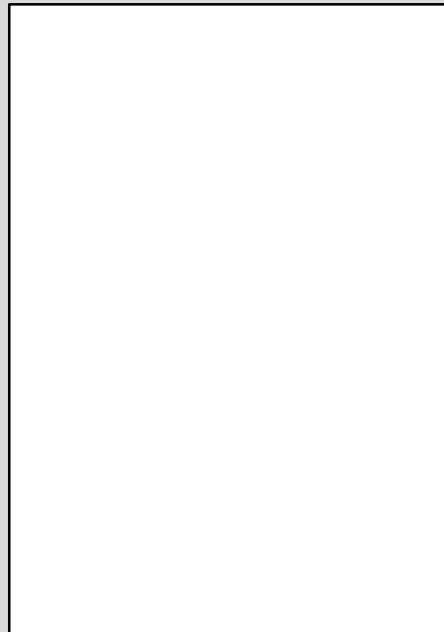
Chantilly Lace OC-65
Benjamin Moore

Building Color



Black -2132
Benjamin Moore

Shutter Color



White

Windows, Doors, Railings & Garage Doors



Cerused Oak Door

Front Door



Natural Grey

9" Flat Cement Roof



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Materials