

1 EXISTING PLAN - SITE
1" = 20'-0"

Scale: 1" = 20'-0"
Note: When printed on 11 x 17 paper scale is half



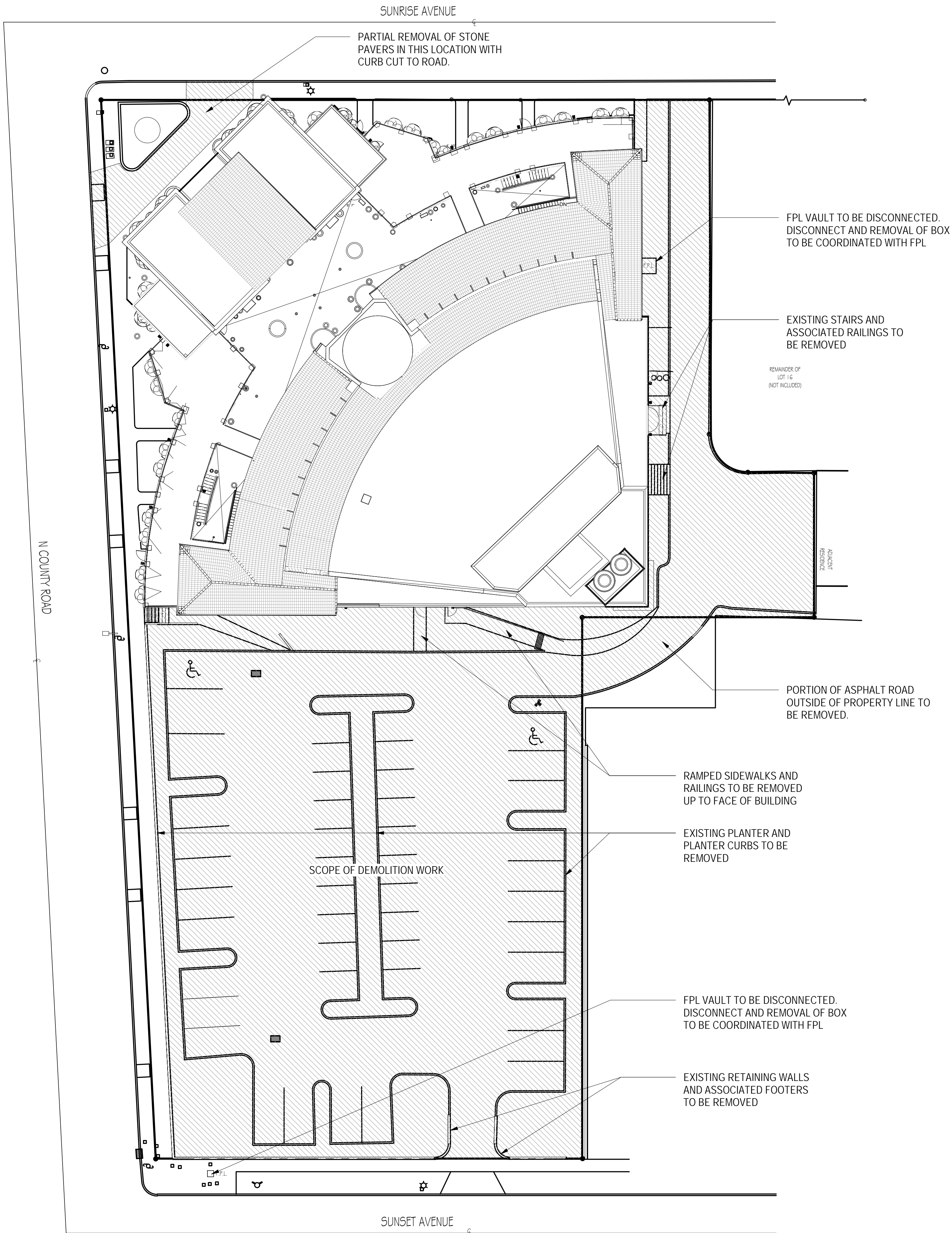
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Stantec Architecture Inc. - AA26000733
Andrew W. Burnett Lic. # AR98495



ROBERT A.M. STERN ARCHITECTS
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T. (212) 967-5100

Paramount Theater
139 N COUNTY RD
PALM BEACH, FL 33480

FINAL
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03/14/23



1 MATERIAL REMOVAL PLAN - SITE - EXISTING
1" = 20'-0"

MATERIAL REMOVAL SITE PLAN NOTES

1. THE GENERAL SCOPE OF WORK INVOLVES:
 - A. THE COMPLETE DEMOLITION OF THE INTERIOR COMPONENTS OF THE BUILDING, NOT INCLUDING STRUCTURE UNLESS NOTED OTHERWISE.
 - B. EXTERIOR DEMOLITION ONLY AS NOTED ON BUILDING ELEVATION SHEETS.
2. ALL INTERIOR WALLS, MILLWORK, FLOORING AND CEILINGS TO BE STRIPPED BACK TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
3. PROTECT ALL EXISTING EXTERIOR FACADE ELEMENTS THAT ARE TO REMAIN. EXISTING AWNING TO BE REMOVED AND EXISTING EXTERIOR DOORS/WINDOWS TO BE REPLACED AS SHOWN ON ELEVATION SHEETS.
4. REFER TO SITE MATERIAL REMOVAL PLAN FOR ITEMS OUTSIDE THE BUILDING ENVELOPE.
5. LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS. REFER TO ELEVATION SHEETS FOR MORE INFORMATION.
6. THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
7. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
8. INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
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B-2

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1 EXISTING PLAN - LEVEL 01
3/32" = 1'-0"

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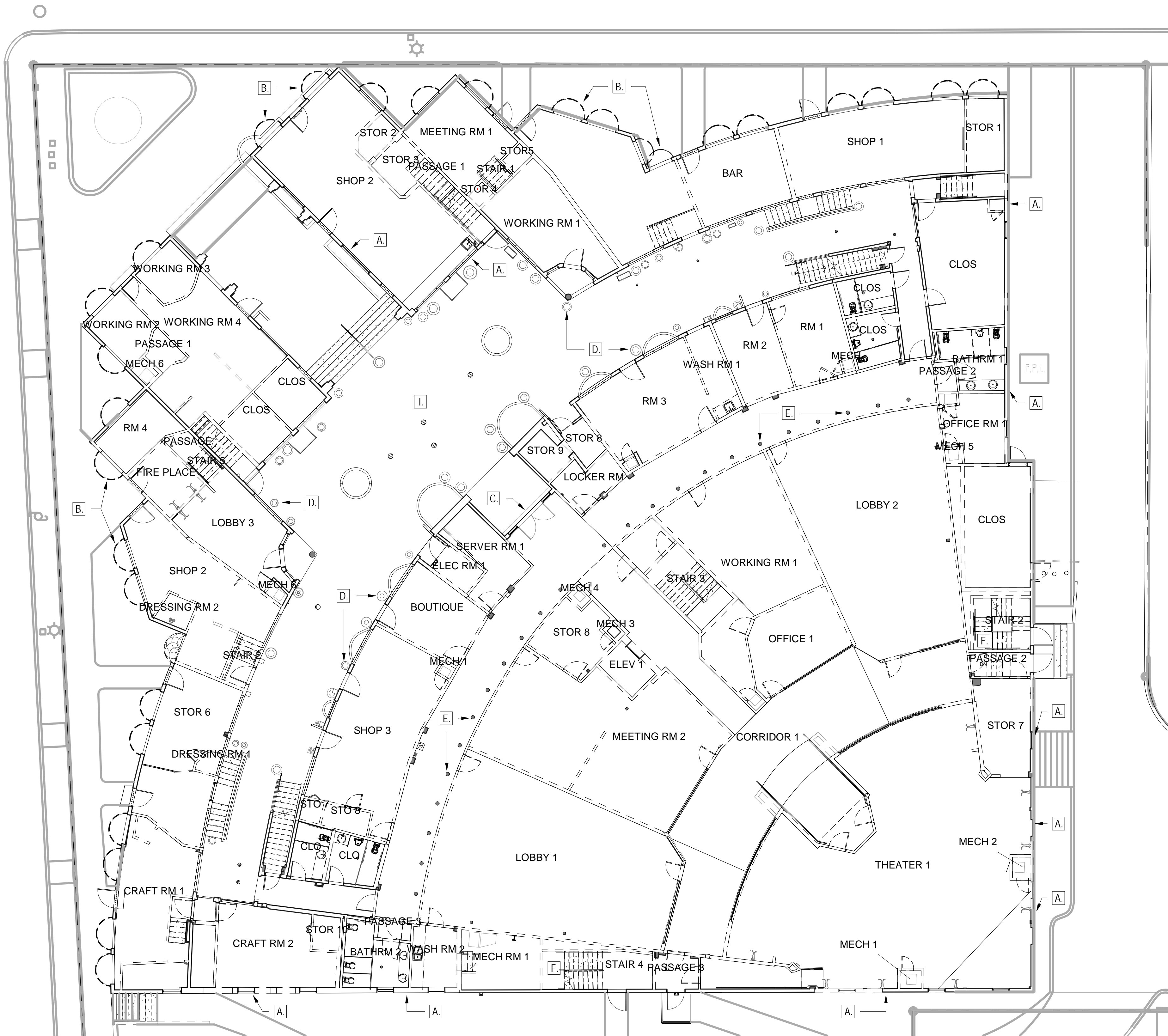


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1 MATERIAL REMOVAL PLAN - LEVEL 01 - EXISTING
3/32" = 1'-0"


MATERIAL REMOVAL SITE PLAN NOTES

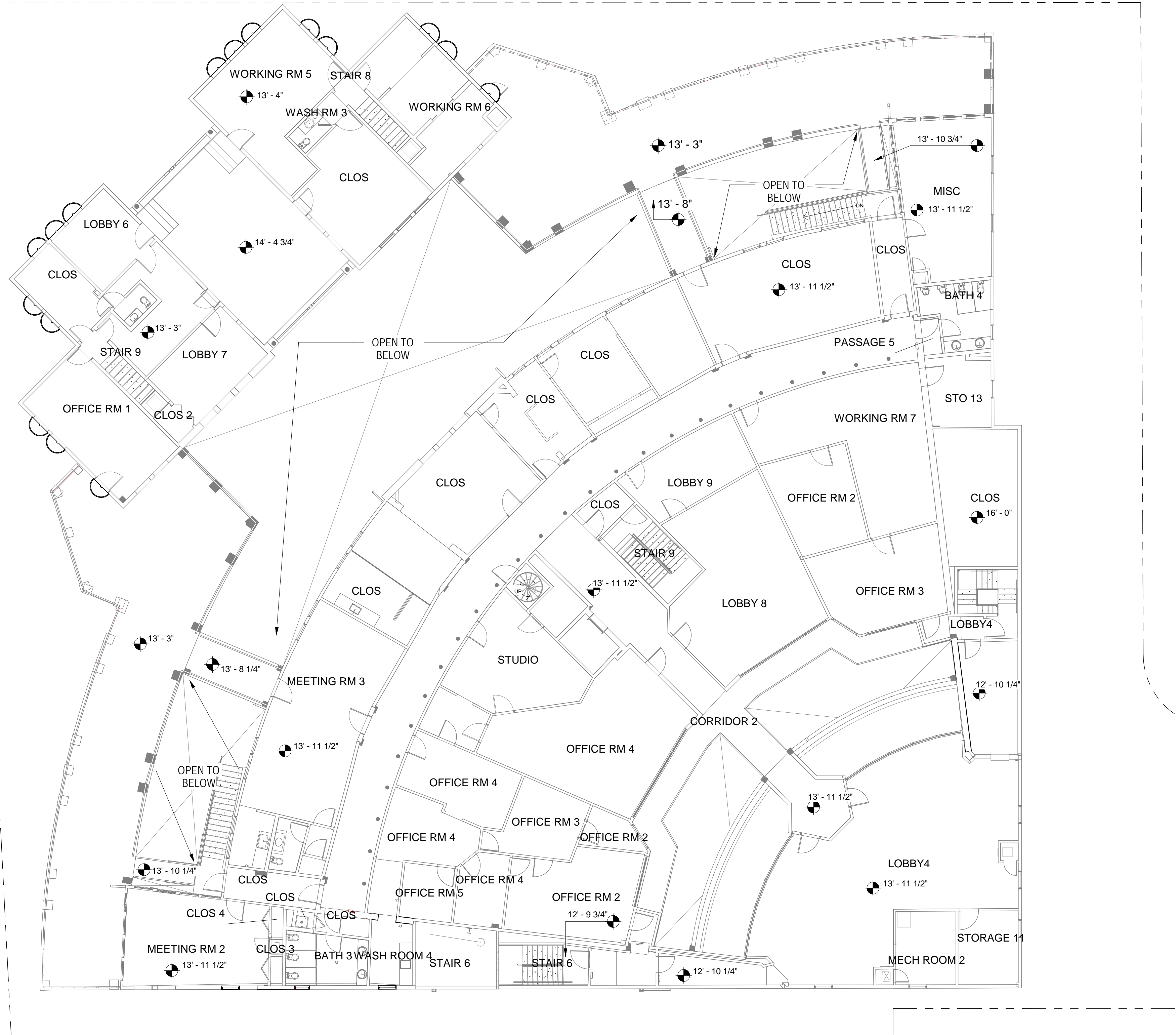
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LEGEND

- MATERIAL TO BE REMOVED
- ===== MATERIAL TO REMAIN
-  SECOND FLOOR AREA BUILT DURING THE 1980'S TO BE REMOVED AND REPLACED WITH NEW STRUCTURE AS SHOWN IN THE PROPOSED FLOOR PLANS.



1 EXISTING PLAN - LEVEL 02
3/32" = 1'-0"



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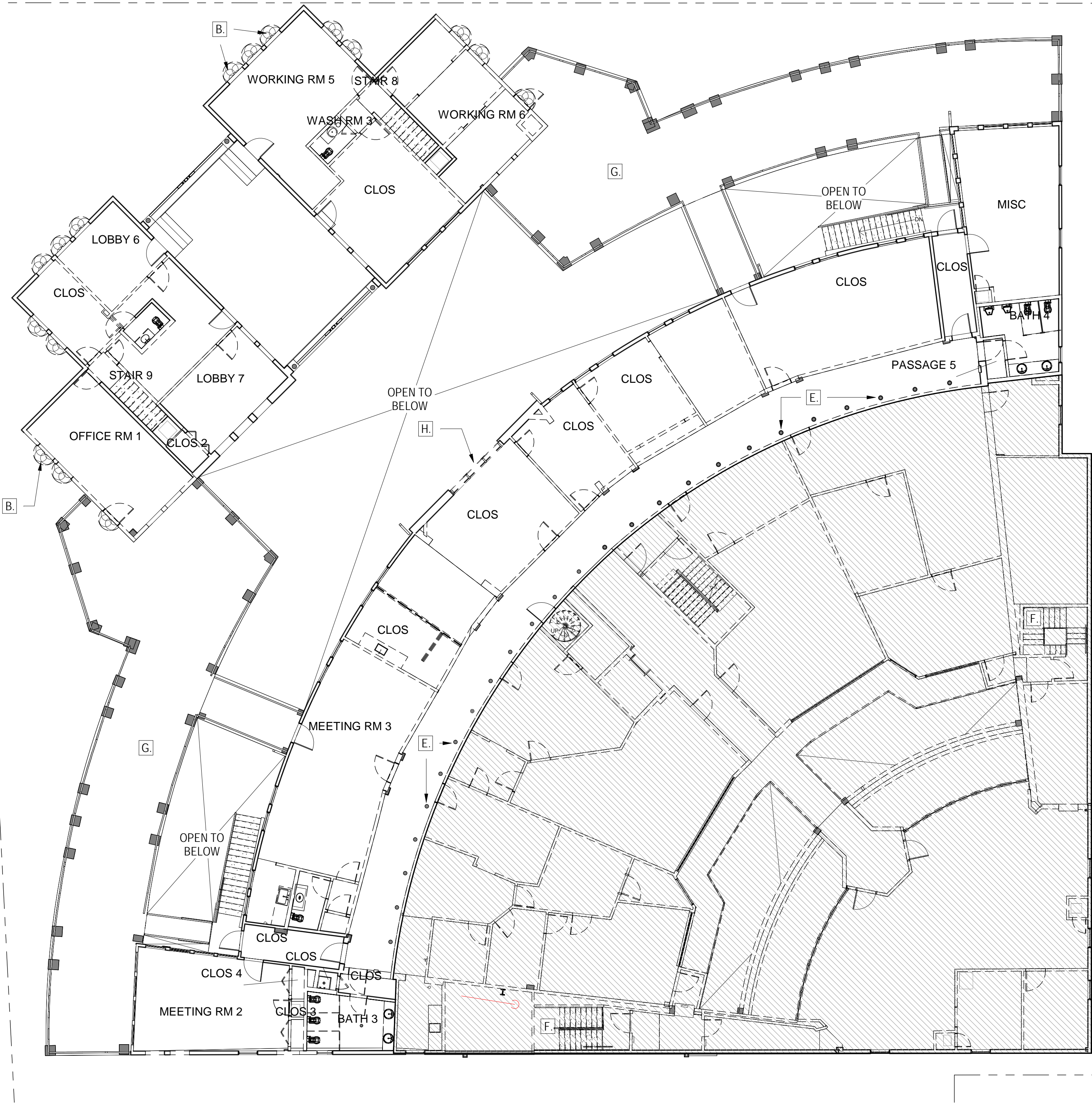
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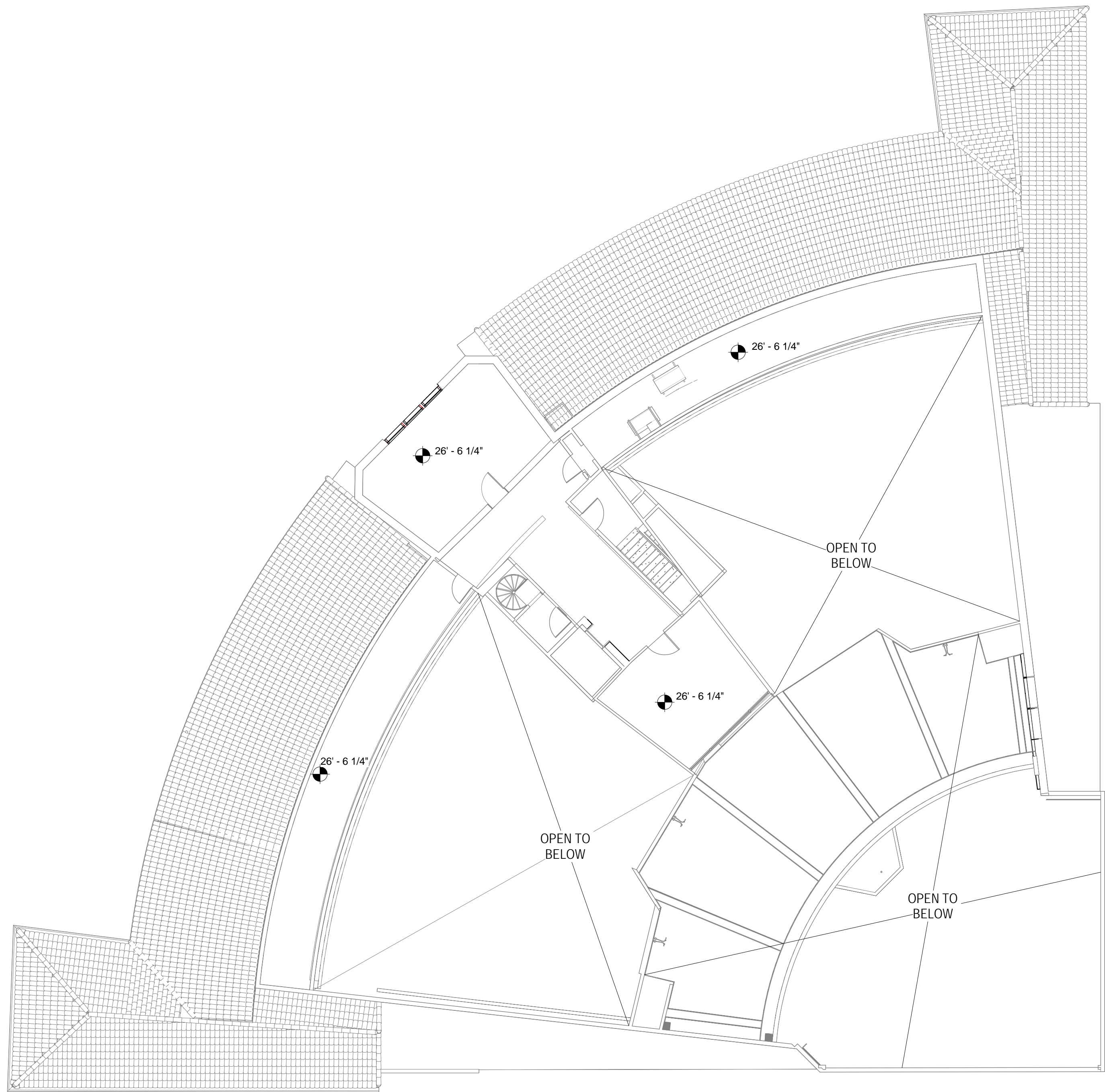
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LEGEND

- | | |
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| ----- | MATERIAL TO BE REMOVED |
| ===== | MATERIAL TO REMAIN |
| | SECOND FLOOR AREA BUILT DURING THE 1980'S TO BE REMOVED AND REPLACED WITH NEW STRUCTURE AS SHOWN IN THE PROPOSED FLOOR PLANS. |

1 EXISTING PLAN - LEVEL 03
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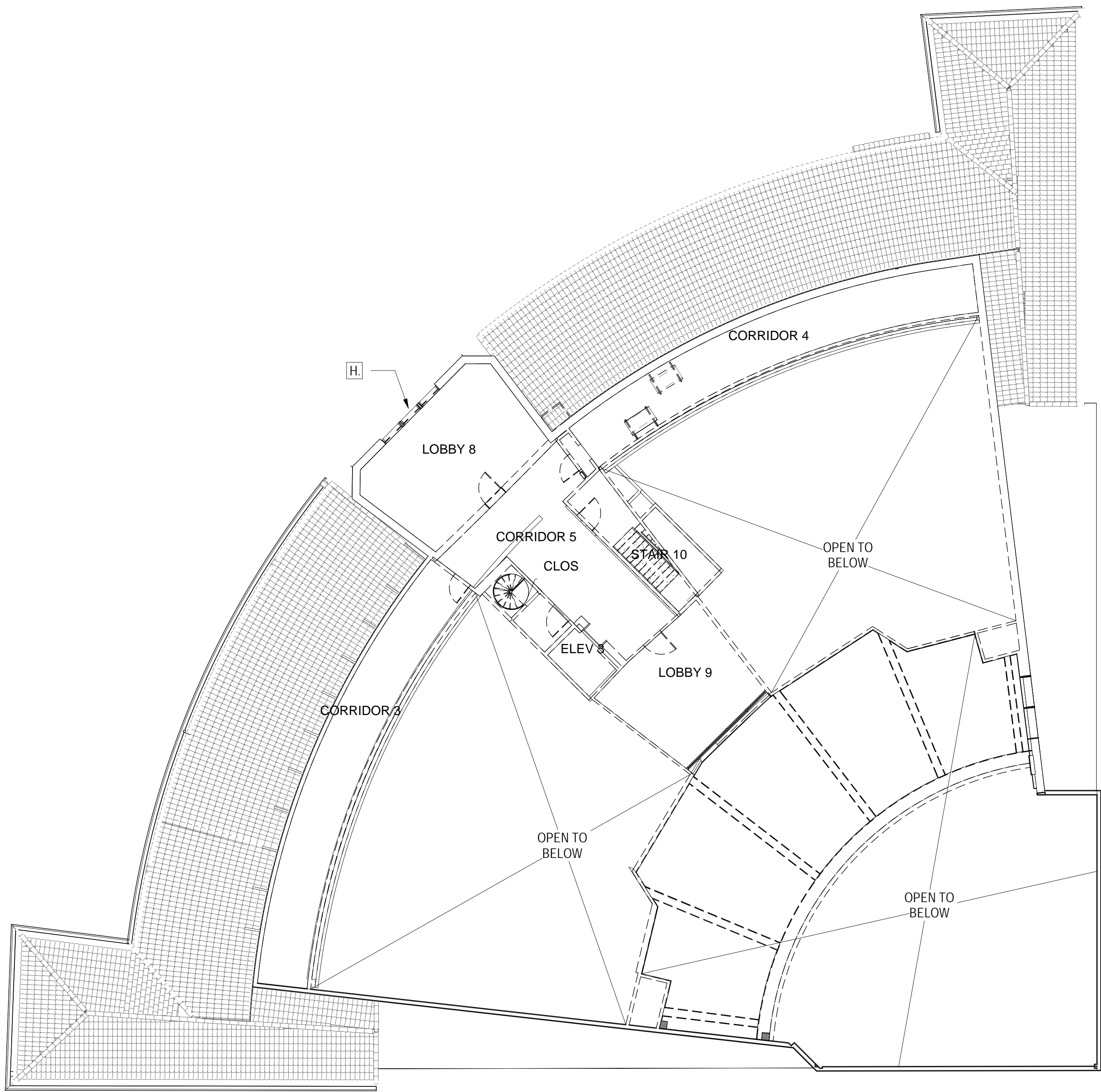
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MATERIAL REMOVAL SITE PLAN NOTES

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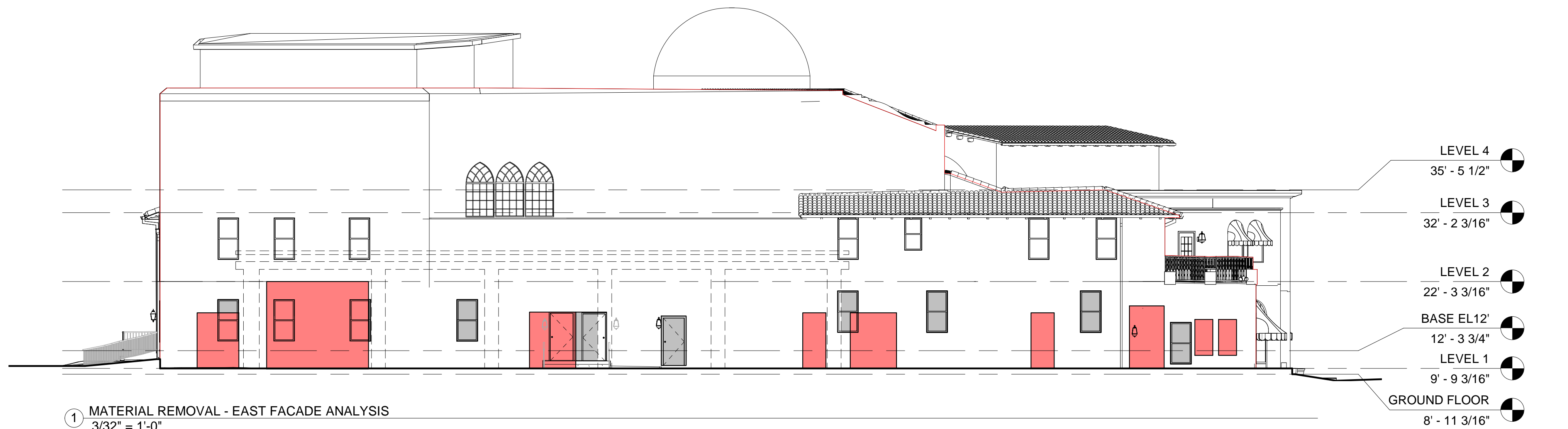
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① MATERIAL REMOVAL - EAST FACADE ANALYSIS
3/32" = 1'-0"

MATERIAL REMOVAL KEYNOTE

- EXISTING BUILDING FACADE - CALCULATED
- PORTION OF EXISTING BUILDING TO BE FILLED
- PORTION OF EXISTING BUILDING WHERE MATERIAL WILL BE REMOVED
- EXTENT OF BUILDING LINK TO RESIDENTIAL COMPONENT

EAST FACADE CALCULATION

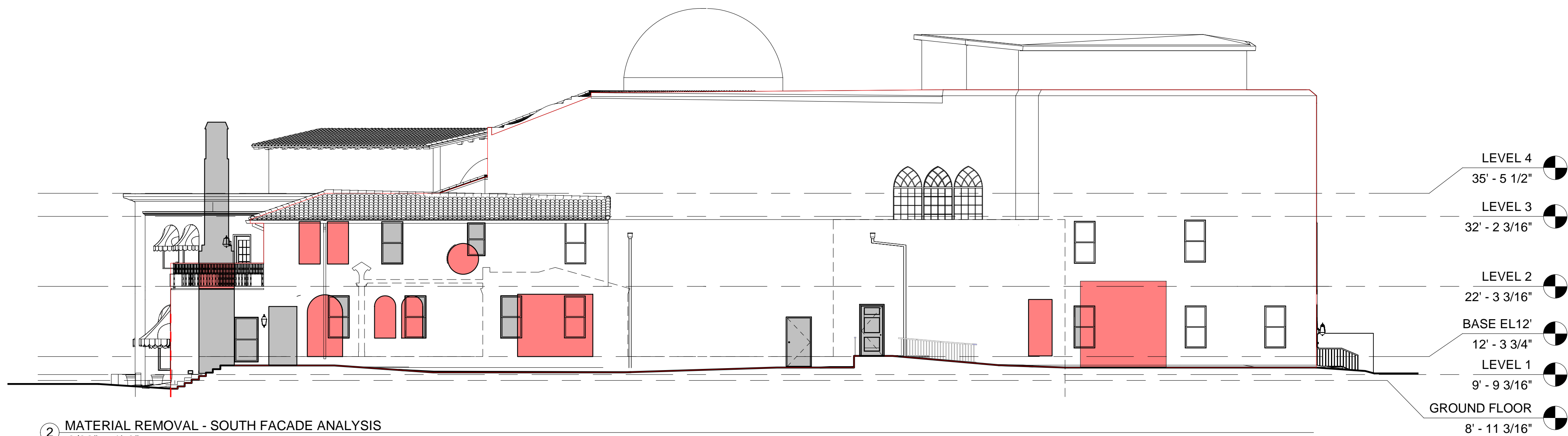
TOTAL FACADE SQUARE FOOTAGE:	5,516 SQFT	
	@ 50%	- 2,758 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	465 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	151 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	616 SQFT / 5516 SQFT	- 11.0%

SOUTH FACADE CALCULATION

TOTAL FACADE SQUARE FOOTAGE:	5,540 SQFT	
	@ 50%	- 2,770 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	413 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	290 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	703 SQFT / 5,540 SQFT	- 12.6%

NORTH FACADE (THEATER ENTRY) CALCULATION

TOTAL FACADE SQUARE FOOTAGE:	6,632 SQFT	
	@ 50%	- 3,316 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	288 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	000 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	288 SQFT / 6632 SQFT	- 4.3 %



② MATERIAL REMOVAL - SOUTH FACADE ANALYSIS
3/32" = 1'-0"



③ MATERIAL REMOVAL - NORTH-WEST FACADE ANALYSIS (THEATER ENTRY)
3/32" = 1'-0"

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FINAL
DROP-OFF
03/14/23

B-11

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half