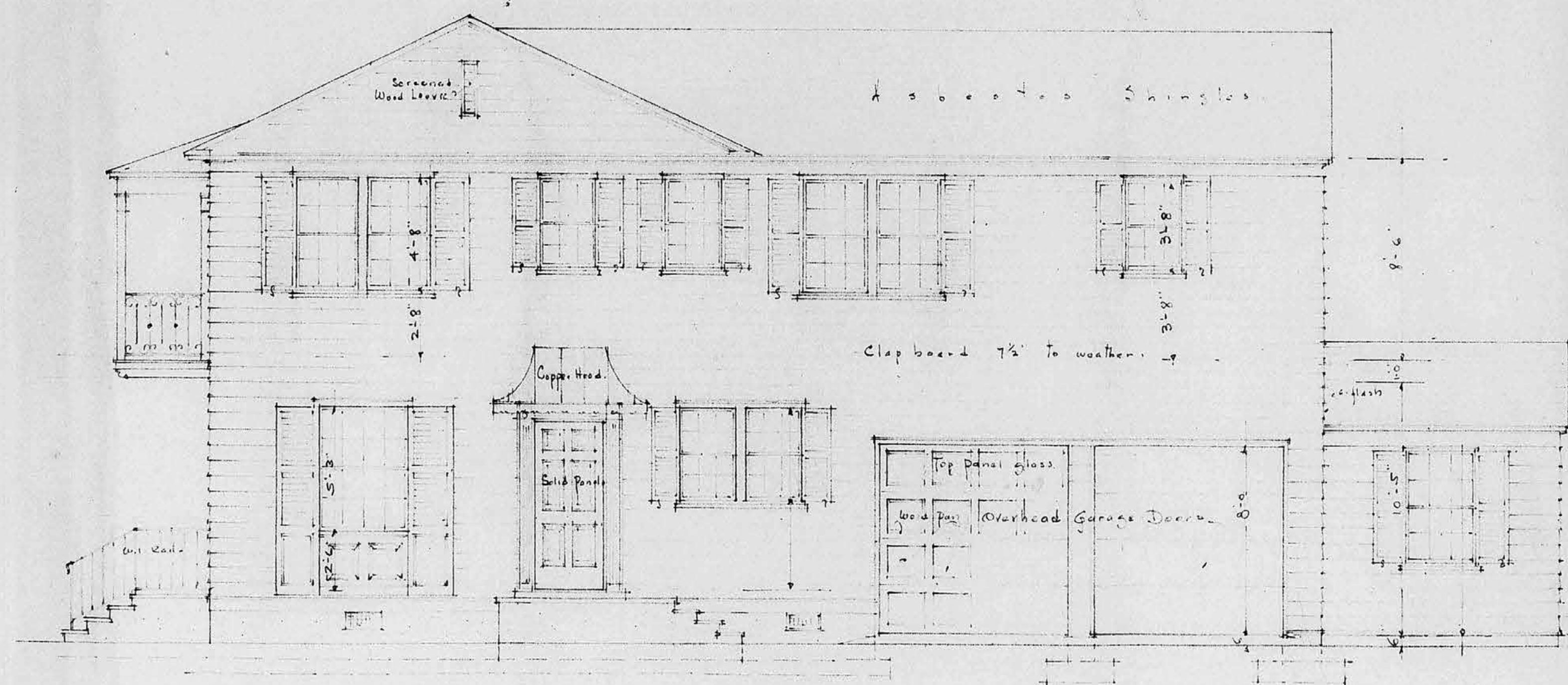


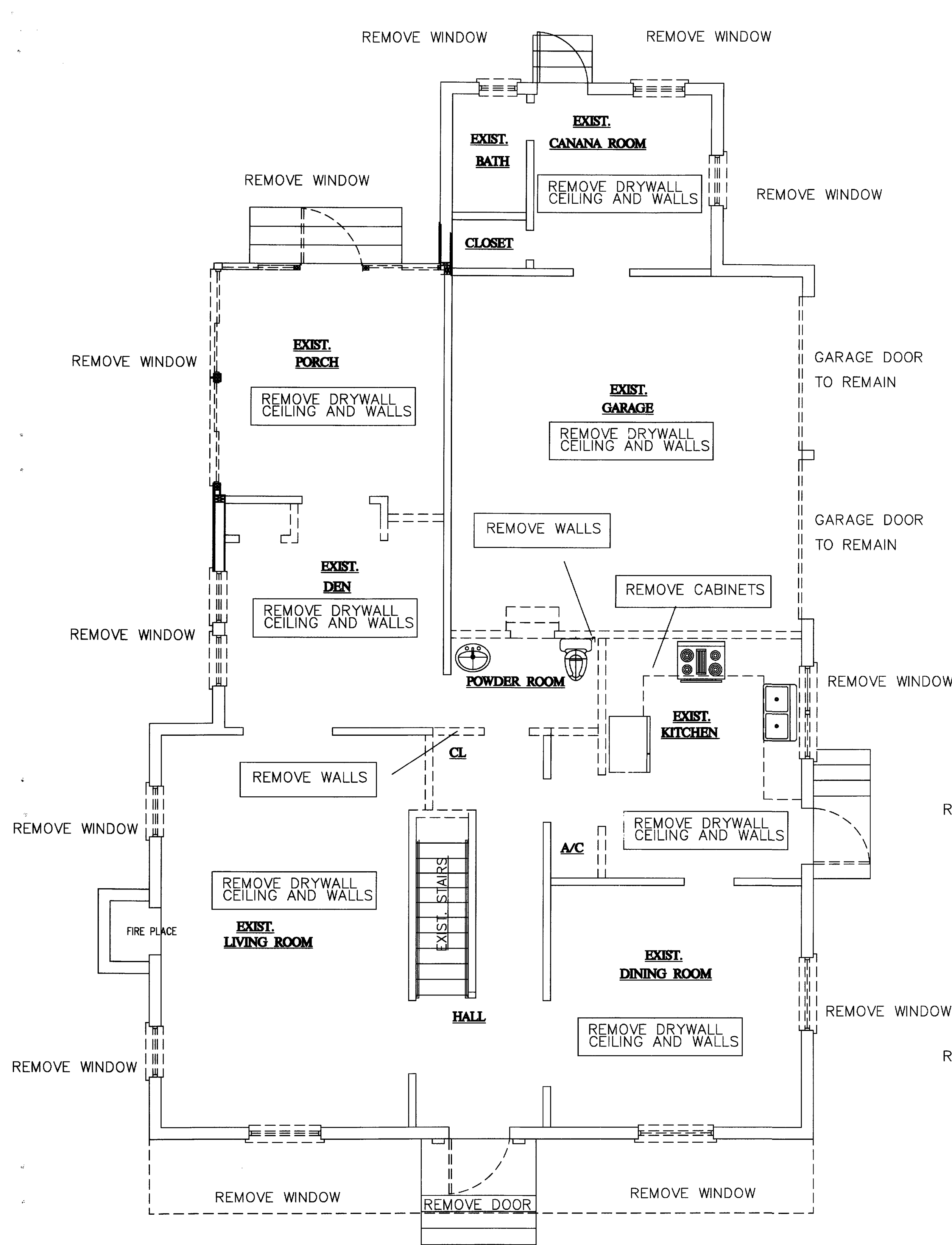
EAST ELEVATION
Scale 1/4" = 1'-0"



WEST ELEVATION
Scale 1/4" = 1'-0"

RESIDENCE
MR. HORACE O. WRIGHT.
Palm Beach

DRAWING No. 5
GUSTAV A. MAASS
ARCHITECT
Palm Beach
5-14-37



EXIST. 1st FLOOR/DEMO PLAN

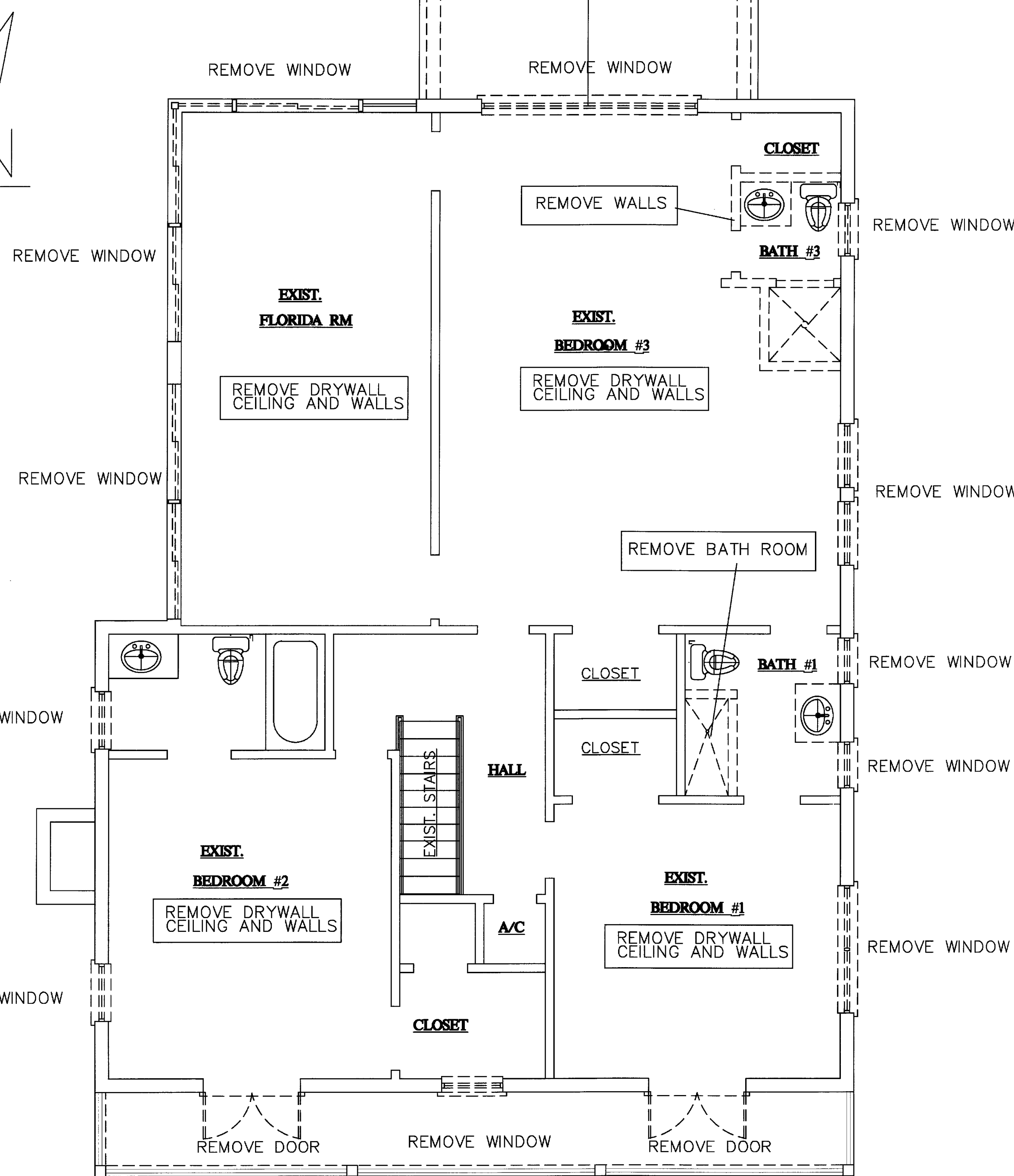
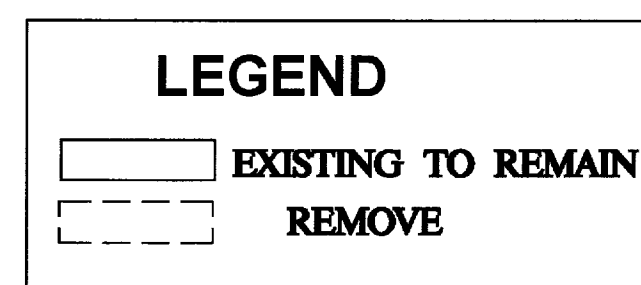
1/4" = 1'-0"

AREA TABULATION

EXIST. HOUSE 1ST FLR.AC	1308 S.F.
EXIST. HOUSE 2ND FLR.AC	1538 S.F.
EXIST. GARAGE	380 S.F.
EXIST. FRONT PORCH	140 S.F.
TOTAL	3360 S.F.

DRAWING INDEX

- A1 DEMO PLAN
- A2 FLOOR PLAN
- A3 EXTERIOR ELEVATIONS
- A4 ELECTRICAL PLAN
- A5 PLUMBING PLAN
- A6 HVAC PLANS
- A7 FLOOR FRAMING PLAN
- A8 ROOF FRAMING PLAN



EXIST. 2nd FLOOR/DEMO PLAN

1/4" = 1'-0"

ADDITIONAL PERMIT REQUIRED
MECH. ☒ ELEC. ☒ PLUMB. ☒
OTHER AS Required

BUILDING TYPE

TYPE OF CONSTRUCTION: TYPE VB
OCCUPANCY TYPE-R-3: RESIDENTIAL- 2 STORY
LEVEL OF ALTERATION 2

ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE

DEMOLITION NOTES

- CONDITIONS AND REQUIREMENTS: THE DEMOLITION CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR HAULING AND LEGALLY DISPOSING OF MATERIALS REMOVED IN DEMOLITION WORK.
- PROCEDURES: THE PROCEDURES PROPOSED FOR THE ACCOMPLISHMENT OF SALVAGE & DEMOLITION WORK SHALL PROVIDE FOR SAFE CONDUCT OF WORK CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF PROPERTY, COORDINATION WITH WORK OF OTHERS IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. THE PROCEDURES SHALL INCLUDE A DETAILED DESCRIPTION OF METHODS AND EQUIPMENT TO BE USED FOR EACH OPERATION.
- PARTITION: REMOVE ALL EXISTING INTERIOR PARTITIONS AND RELATED UTILITIES AS INDICATED IN THE DEMOLITION PLAN.
- DUST CONTROL: THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- PROTECTION OF EXISTING BUILDING:
 - EXISTING BUILDING SHALL BE PROTECTED FROM DAMAGE. ANY PART DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS AT CONTRACTOR'S EXPENSE.
 - COVER ITEMS AS NECESSARY TO PROTECT FROM DUST.
 - AT END OF EACH WORK DAY, CLOSE OFF AREAS FROM PUBLIC.
 - DEMOLITION CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES TO PREVENT SPILLAGE ON ANY UNAUTHORIZED PERSONS FROM ACCIDENTALLY OR INTENTIONALLY ENTERING THE AREA OF WORK.
- ENVIRONMENTAL PROTECTION: ALL WORK AND CONTRACT OPERATIONS SHALL COMPLY WITH ALL REQUIREMENTS OF STATE AND BROWARD COUNTY ENVIRONMENTAL PROTECTION REGULATIONS. WHEN IT WILL RESULT IN, OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- DISPOSING OF MATERIAL:
 - TITLE TO MATERIALS: TITLE TO ALL MATERIAL AND EQUIPMENT TO BE DEMOLISHED AND REMOVED EXCEPT ITEMS INDICATED TO BE TURNED OVER TO THE OWNER IS VESTED IN THE CONTRACTOR AT START OF PROJECT. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITIONS, LOSS, OR DAMAGE TO SUCH PROPERTY AFTER NOTICE TO PROCEED.
 - DEBRIS CONTROL: REMOVE AND TRANSPORT DEBRIS IN LEAK-FREE CONTAINERS IN A MANNER TO PREVENT SPILLAGE ON ANY PART OF EXISTING BUILDING, PARKING LOT AREAS, OR CITY STREETS.
 - REGULATIONS: COMPLY WITH COUNTY, MUNICIPALITY, AND CITY REGULATIONS REGARDING HAULING AND DISPOSAL OF DEBRIS. ALL SUCH MATERIAL SHALL BE DISPOSED OF OFF SITE IN A LEGAL DISPOSAL AREA.
- PREPARATION:
 - PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE STRUCTURAL VALUE OR INTEGRITY OF AFFECTED PORTION OF PROJECT FROM DAMAGE.
 - PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF PROJECT FROM DAMAGE.
 - PROVIDE PROTECTION FROM ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING, PATCHING WORK, PAINTING, APPLY SHEEROCK, FUMES, DUST, & NOISE.
- PERFORMANCE:
 - EXECUTE CUTTING AND DEMOLITION BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OF REPAIRS. POOL DECK CUTTING W/ NO SLAB DAMAGE.
 - EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS, FUNCTION, TOLERANCE AND FINISHES.
 - RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO PROVIDE COMPLETED WORK IN ACCORD WITH REQUIREMENTS THROUGH DOCUMENTS.
 - FIT WORK AIR-TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT AND OTHER PENETRATIONS THROUGH SURFACES.
 - REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.

OFFICE COPY
SUBJECT TO COMPLIANCE WITH
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IN EFFECT IN THE TOWN OF
PALM BEACH, FLORIDA

SCOPE OF WORK

INTERIOR DEMO OF ALL DRYWALL, MECHANICAL AND ELECTRIC
REMOVE ROOF FRAMING SHOWN O A7 & REPLACE W/TRUSSES
REMOVE ALL BATHROOM AND KITCHEN FIXTURES
REMOVE WINDOWS AND DOORS SHOWN ON PLAN

DIS-5207 300 Seapray

DESIGN CRITERIA

ALL STRUCTURAL ELEMENTS, EXPOSED TO WIND, HAVE BEEN DESIGNED PER THE GUIDELINES OF THE ASCE 7-10 BUILDING CODE WITH THE FOLLOWING DESIGN VALUES:
FBC 2014
WIND SPEED = 170 MPH
EXPOSURE D
IMPORTANCE FACTOR = 1.00
BUILDING CATEGORY- II
Kd=0.85 FOR MWFRS WITH LOAD FACTORS
MEAN ROOF HEIGHT IS 25'-0"

REVIEWED
APR 04/2016
TPB PLAN EXAMINER

PERMIT B'1652289

REVISIONS	BY

CARL G. FORBES
PE 20699
355 S FOWLERLINE RD.
POMPANO BEACH, FL
954-682-6651

FIRE DAMAGED HOUSE
360 SEASPRAY AVE
PALM BEACH FLORIDA, 333480

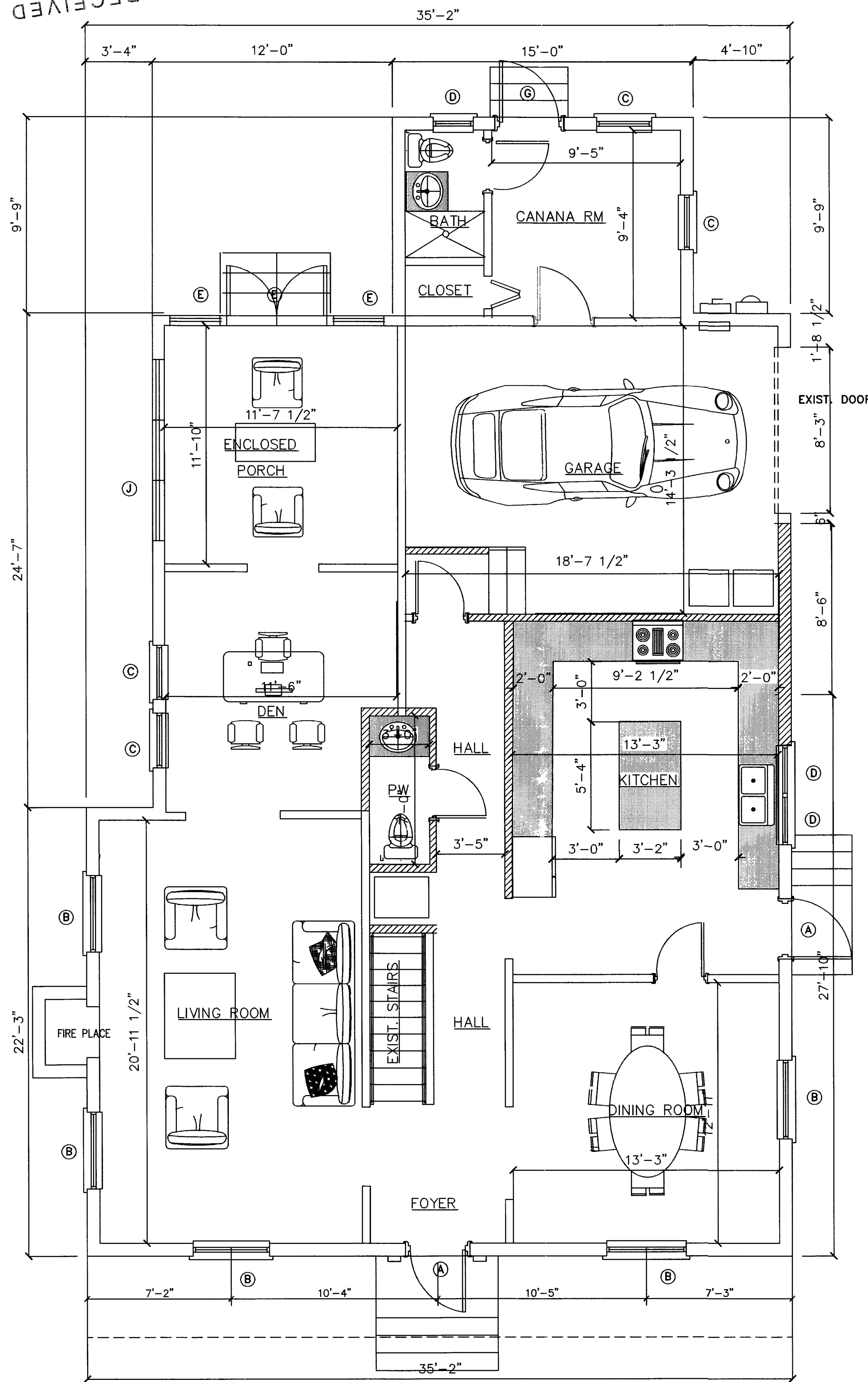
CARL G FORBES PE
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PORT SAINT LUCIE FLA
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EMAIL: carlosvilaca2@gmail.com

DATE
1-27-16
SCALE:
1/4" = 1'-0"
PROJECT:
911-360 SEASPRAY

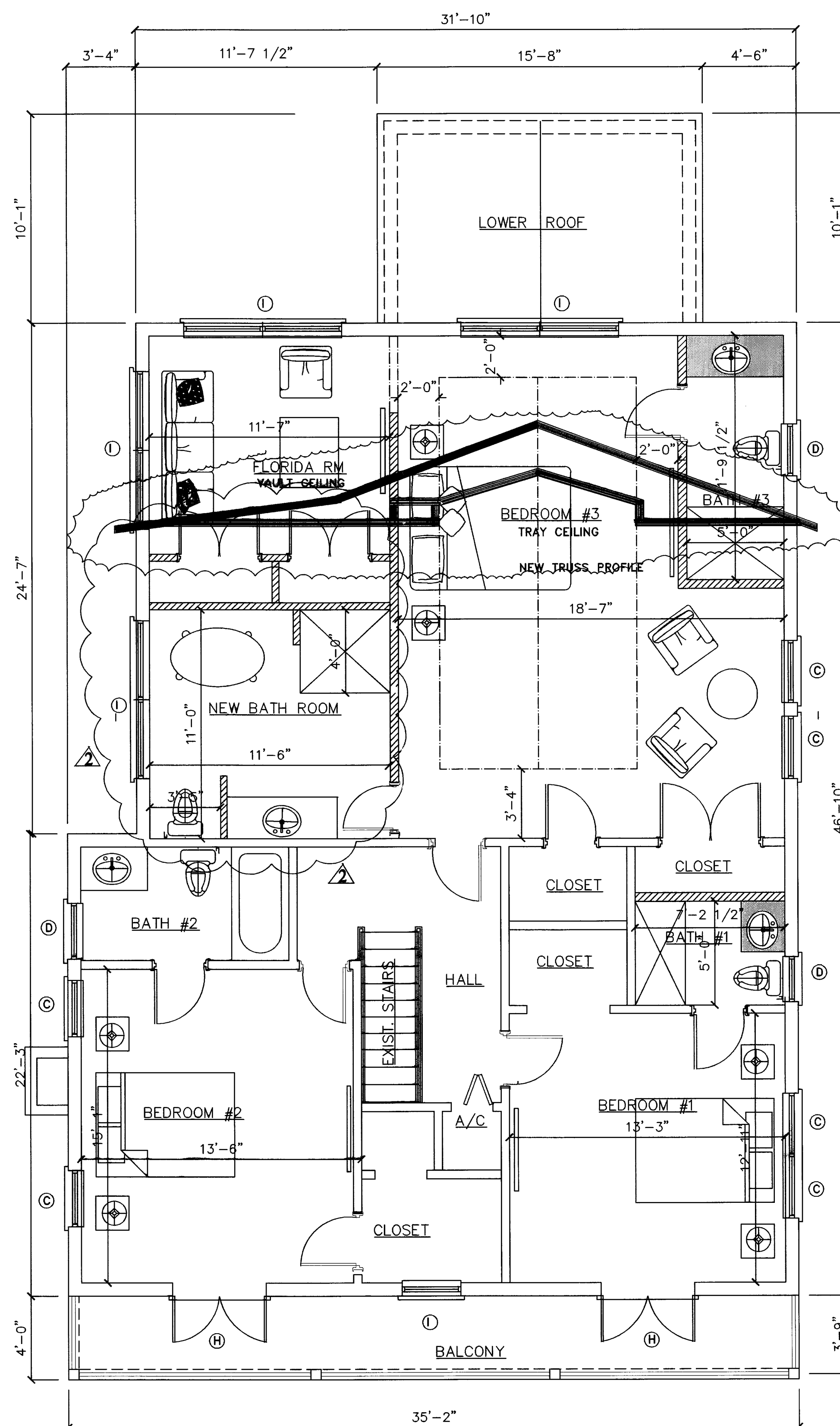
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Town of Palm Beach
P.B. Dept.



1ST FLOOR PLAN

1/4" = 1'-0"



2nd FLOOR PLAN

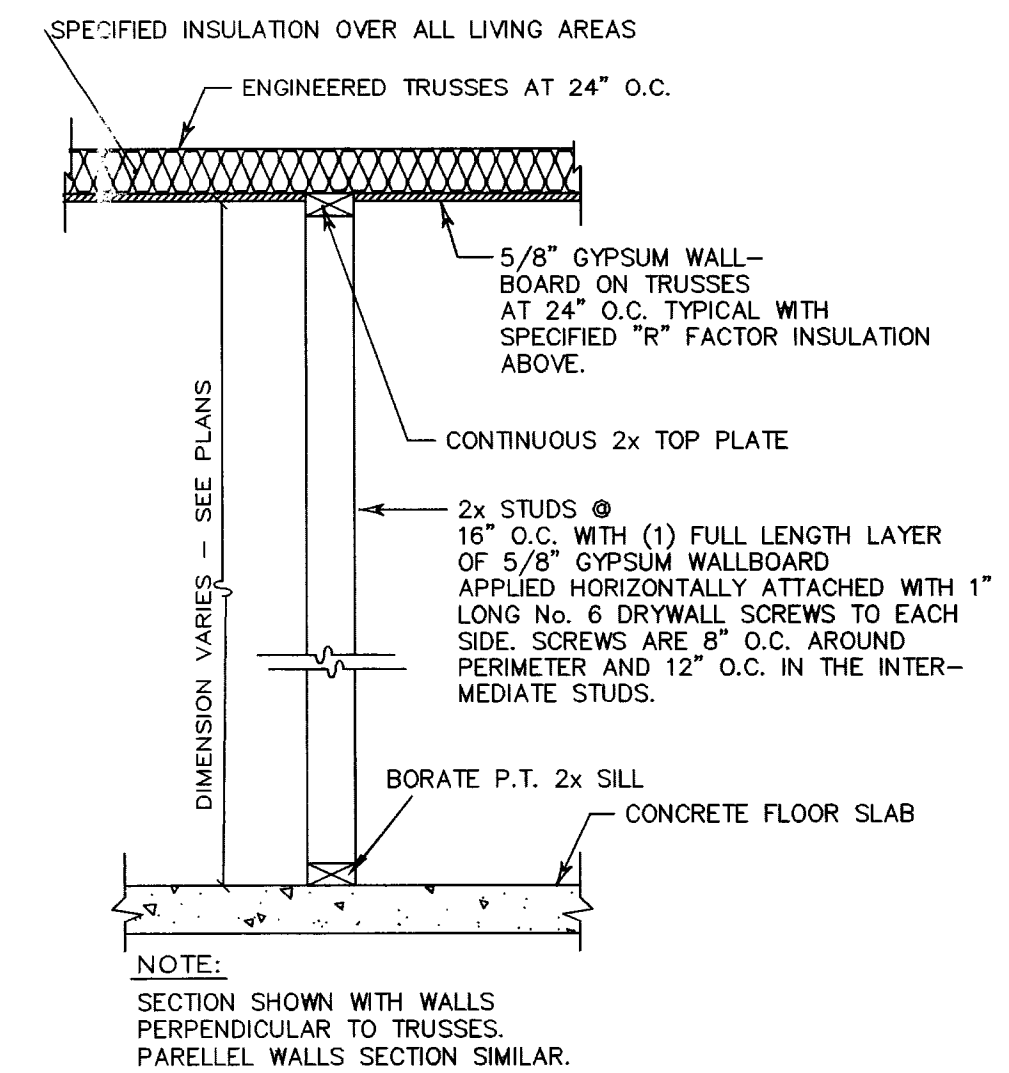
1/4" = 1'-0"

WALL LEGEND

EXISTING WALL
NEW WALL

AREA TABULATION

EXIST. HOUSE 1ST FLR.AC	1308 S.F.
EXIST. HOUSE 2ND FLR.AC	1538 S.F.
EXIST. GARAGE	380 S.F.
EXIST. FRONT PORCH	140 S.F.
TOTAL	3360 S.F.



WOOD NON-BEAR'G WALL
NTS

GENERAL NOTES

THE CONTRACTOR SHALL COORDINATE ALL OF THE WORK OF ALL TRADES. THE CONTRACTOR SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK AND SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS NOT REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. BACKCHARGES WILL NOT BE ACCEPTED.

DO NOT SCALE DRAWINGS

SUBMIT A MINIMUM OF THREE (3) COPIES OF SHOP DRAWINGS FOR FLOOR AND ROOF SYSTEMS FOR REVIEW AND APPROVAL BY THE ENGINEER'S PRIOR TO FABRICATION.

THESE PLANS, AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA ENERGY CODE FOR BUILDING CONSTRUCTION INCORPORATED AS CHAPTER 13 OF THE FLORIDA BUILDING CODE.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY.

THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NO.-STRUCTURAL MEMBERS DURING CONSTRUCTION.

THE WINDOW AND DOOR SUPPLIER, AND CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS TO THE CONTRACTOR.

ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED.

PROVIDE METAL THRESHOLD AT ALL EXTERIOR DOORS AND AT DOOR BETWEEN GARAGE AND LIVING AREA.

PROVIDE NOMINAL 1 X 3 P.T. FIRESTOPPING HORIZONTAL AT CEILING & WALL INTERSECTIONS.

WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION.

GLAZING IN SWING DOORS AND FIXED AND SLIDING PANELS OF SLIDING GLASS DOORS SHALL BE TEMPERED.

GLAZING IN DOORS AND WALLS OF ENCLOSURES FOR TUBS AND SHOWERS OR MIRRORS LOCATED WITHIN 36" HORIZONTALLY AND 60" VERTICALLY FROM THE WALKING SURFACE SHALL BE TEMPERED.

GLAZING IN SIDELITES LOCATED WITHIN 48" OF THE DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR SHALL BE TEMPERED.

EGRESS WINDOWS SHALL PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH AND 24" IN HEIGHT AND 5.7 SQ. FT. IN AREA MINIMUM. THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR LATCHING DEVICES TO BE LESS THAN 54"

ALL BATHROOM FLOORS AND WALLS SHALL BE OF APPROVED IMPERVIOUS MATERIALS.

ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE

REVIEWED

MAY 25 2017

TPB PLAN EXAMINER

B-17-63584

WINDOW / DOOR SCHEDULE

NO.	DESCRIPTION				WIND PRESSURES		
	W	H	TYPE	MAT.	GLASS	POS	NEV
(A)	36"	80"	DOOR	FIBERGLASS	IMPACT RESISTANT	+39	-42
(B)	48"	63"	SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+45	-49
(C)	37"	63"	SINGLE HUNG EGRESS	ALUMINUM	IMPACT RESISTANT	+44	-47
(D)	24"	50"	SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+47	-51
(E)	5'	80"	FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+41	-44
(F)	60"	80"	DBL. 30" FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+45	-49
(G)	30"	80"	FRENCH DOOR	ALUMINUM	IMPACT RESISTANT	+43	-46
(H)	54"	80"	DBL. 27 FRENCH DOORS	ALUMINUM	IMPACT RESISTANT	+48	-50
(I)	100"	63"	2-50" SINGLE HUNG	ALUMINUM	IMPACT RESISTANT	+43	-46
(J)	108"	63	3 PANEL HOR. ROLLER	ALUMINUM	IMPACT RESISTANT	+39	-42

VERIFY WINDOW/DOORS SIZES WITH FIELD MEASUREMENTS.

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SUBJECT TO COMPLIANCE WITH
ALL CODES AND ORDINANCES
IN EFFECT IN THE TOWN OF
PALM BEACH, FLORIDA

RECEIVED

APR 26 2017

Town of Palm Beach
P.B. Dept.

REVISIONS	BY
REAR CABLE	CY 3-14-16
ADDED BATH RM	CY 4-19-17

CARL G. FORBES
PE20699
555 S POMPANO PARKWAY
POMPANO BEACH, FL
954-682-6651

FIRE DAMAGED HOUSE
360 SEASPRAY AVE
PALM BEACH FLORIDA, 333480

CARL G. FORBES PE
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LICENCE NO. PE 20699

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CARLOS VILACA
300 RIOMAR DRIVE
PORT SAINT LUCIE FLA

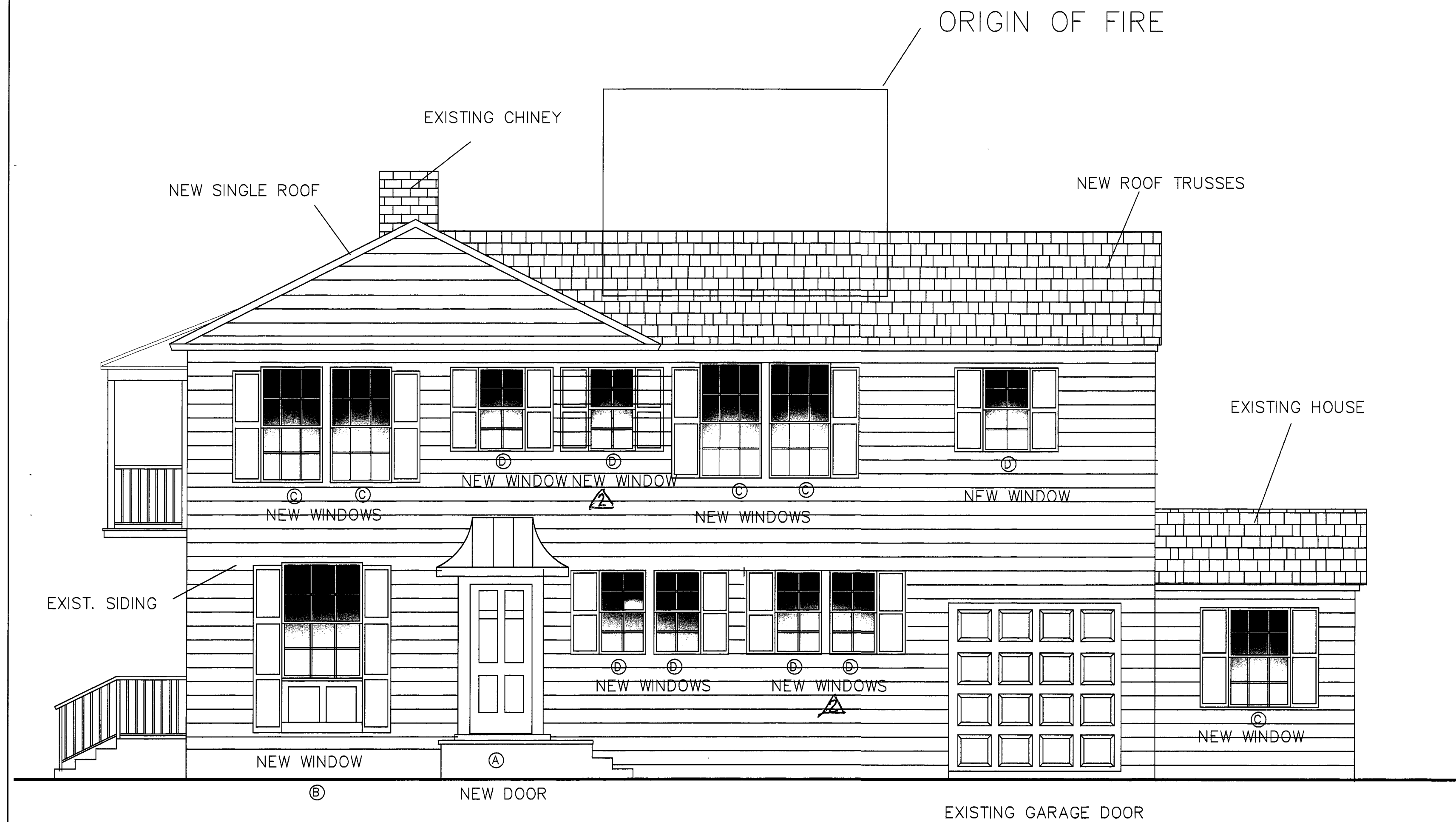
PHONE: 561-445-9661
EMAIL: carlosvilaca2@gmail.com

DATE
1-27-16

SCALE:
1/4" = 1'-0"

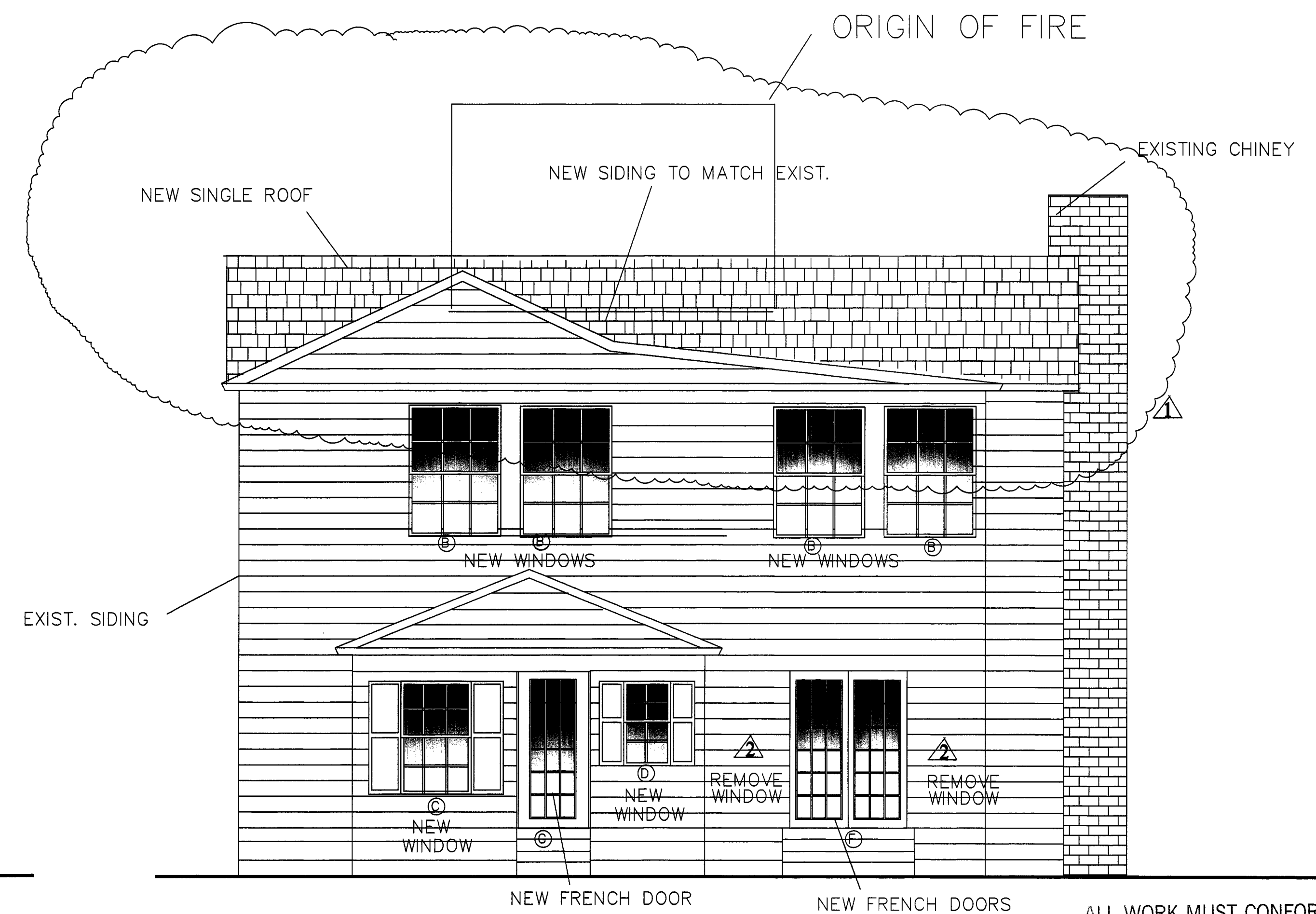
PROJECT:
911-360 SEASPRAY

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OF 8 PAGES



RIGHT ELEVATION

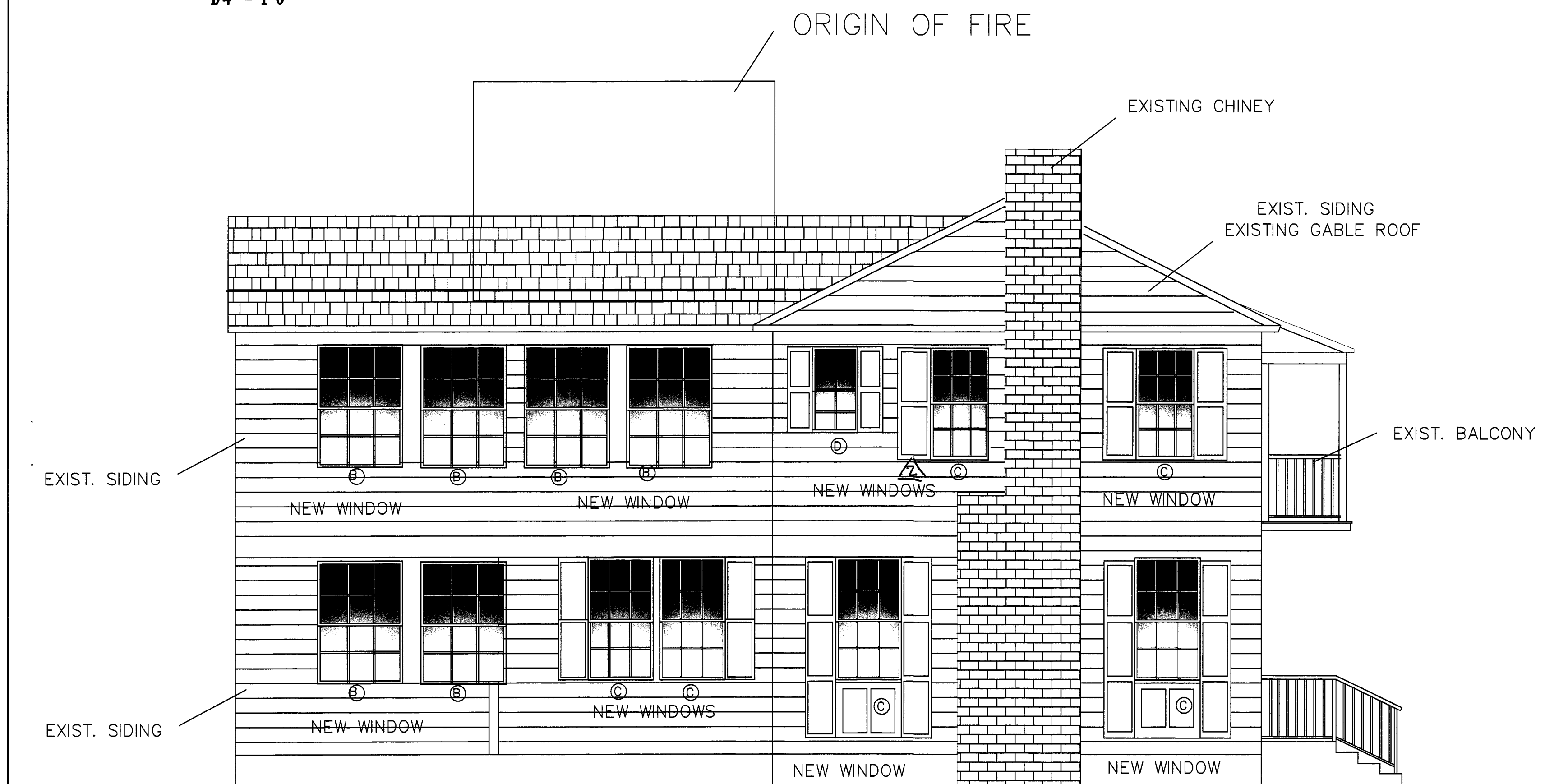
1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE



LEFT ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

RECEIVED
MAR 31 2016
TOWN OF PALM BEACH
PR7 DEPT.

REVISIONS	BY
REAR GABLE	CV 3-16-16
REMOVED WINDOW E	CV 3-30-16

CARL G. FORBES
PE 20699
3/31/16
55 S POWERLINE RD.
POMPANO BEACH, FL
954-682-6651

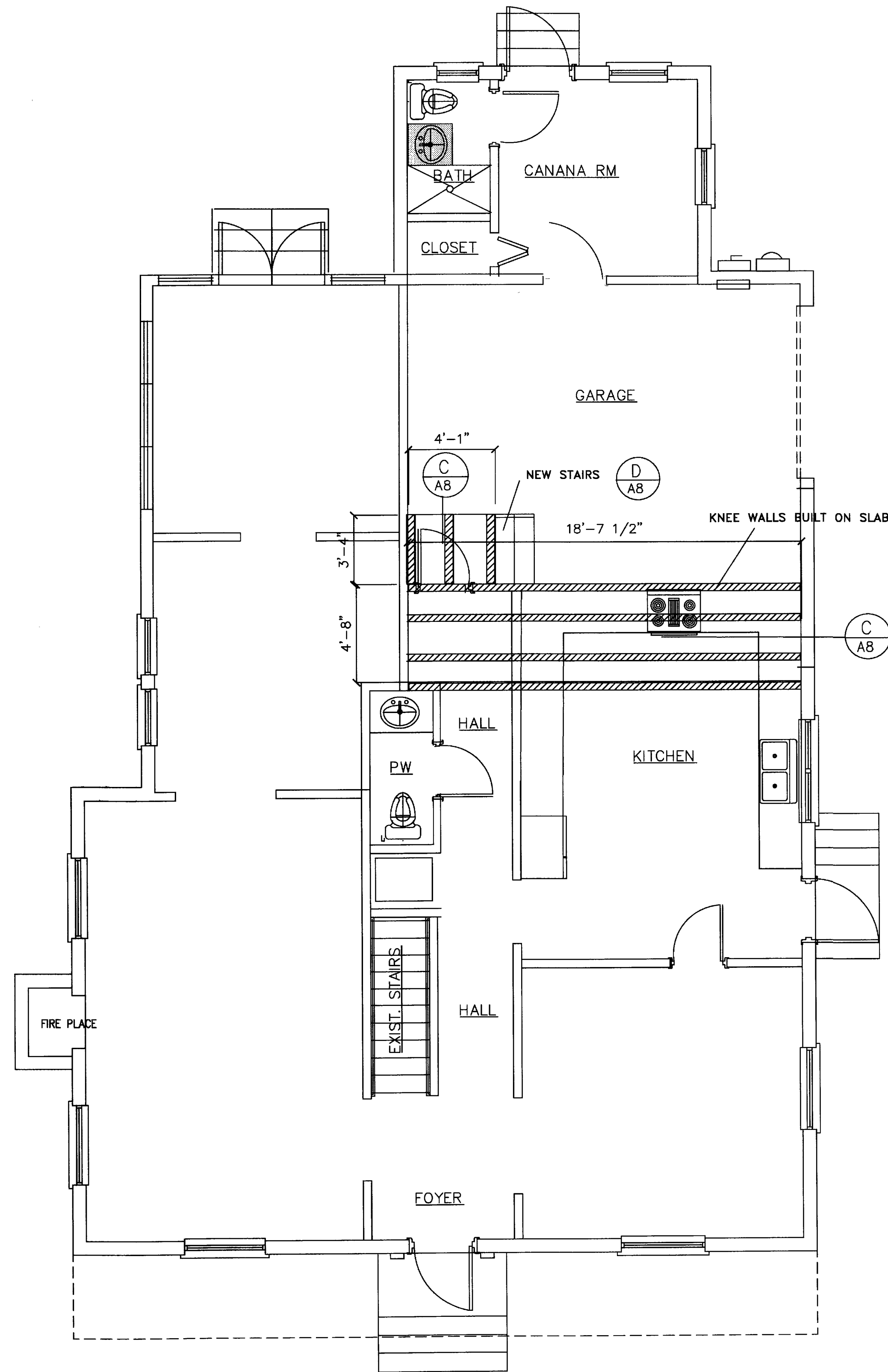
FIRE DAMAGED HOUSE
360 SEASPRAY AVE
PALM BEACH FLORIDA, 333480
ALL WORK MUST CONFORM
TO THE 5TH EDITION (2014)
FLORIDA BUILDING CODE

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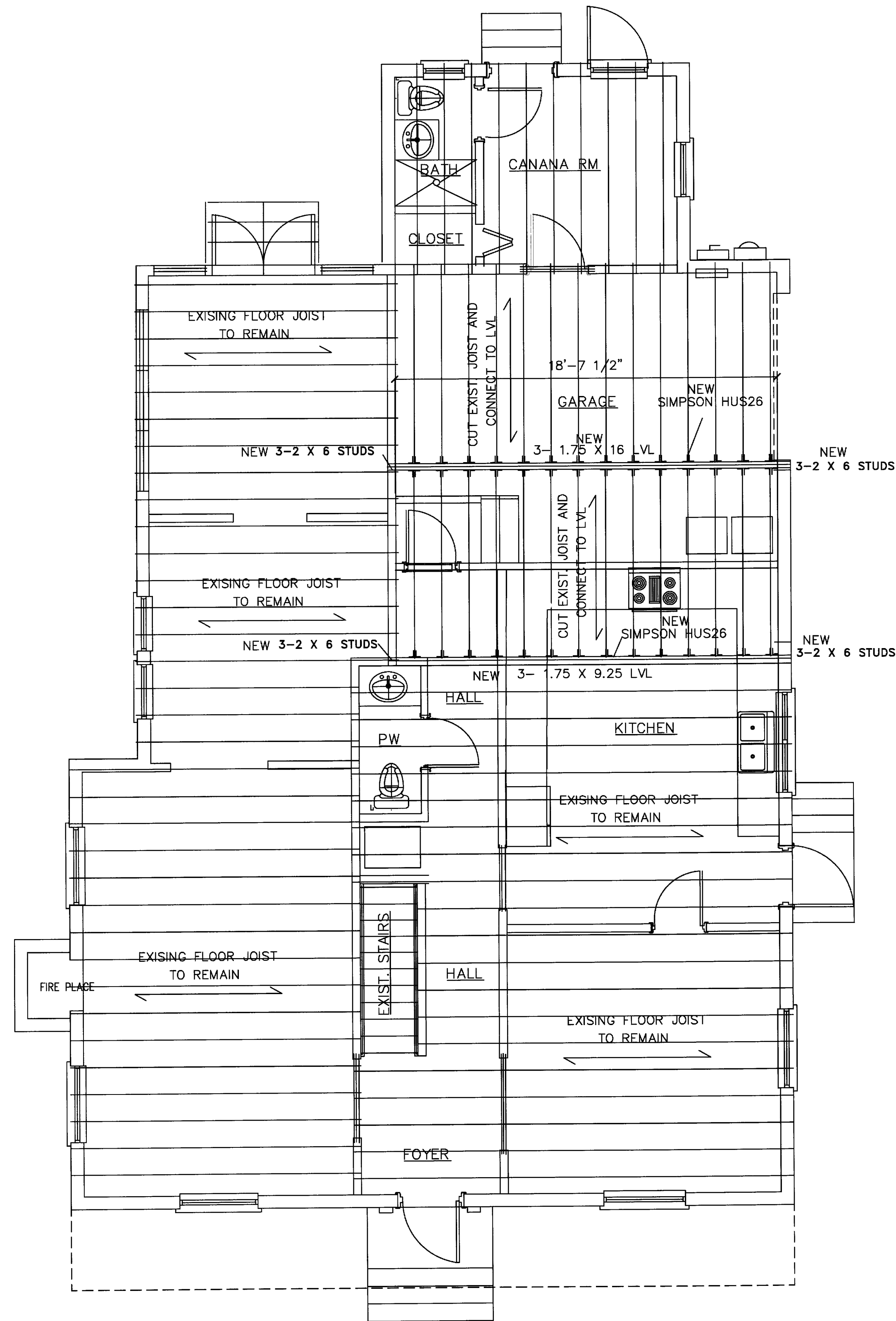
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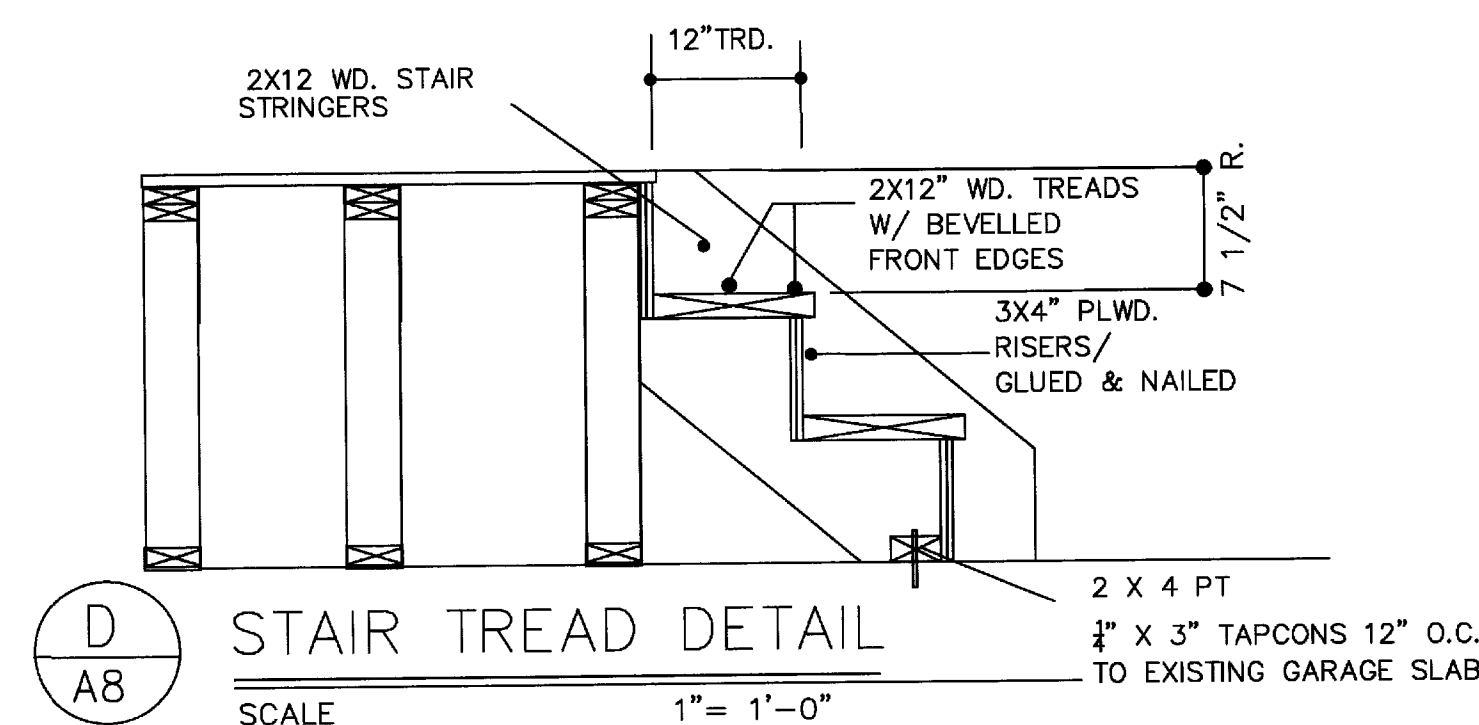
FIRST FRAMING FLOOR PLAN

1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

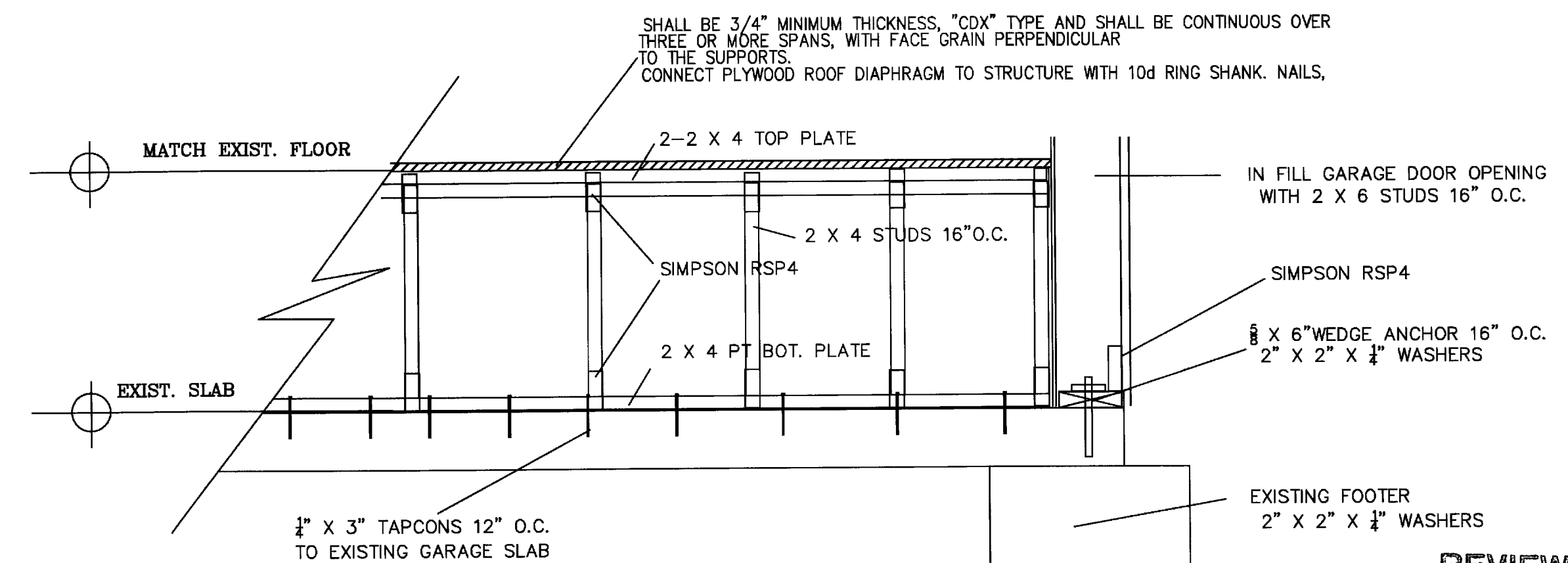
1/4" = 1'-0"



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A8

STAIR TREAD DETAIL

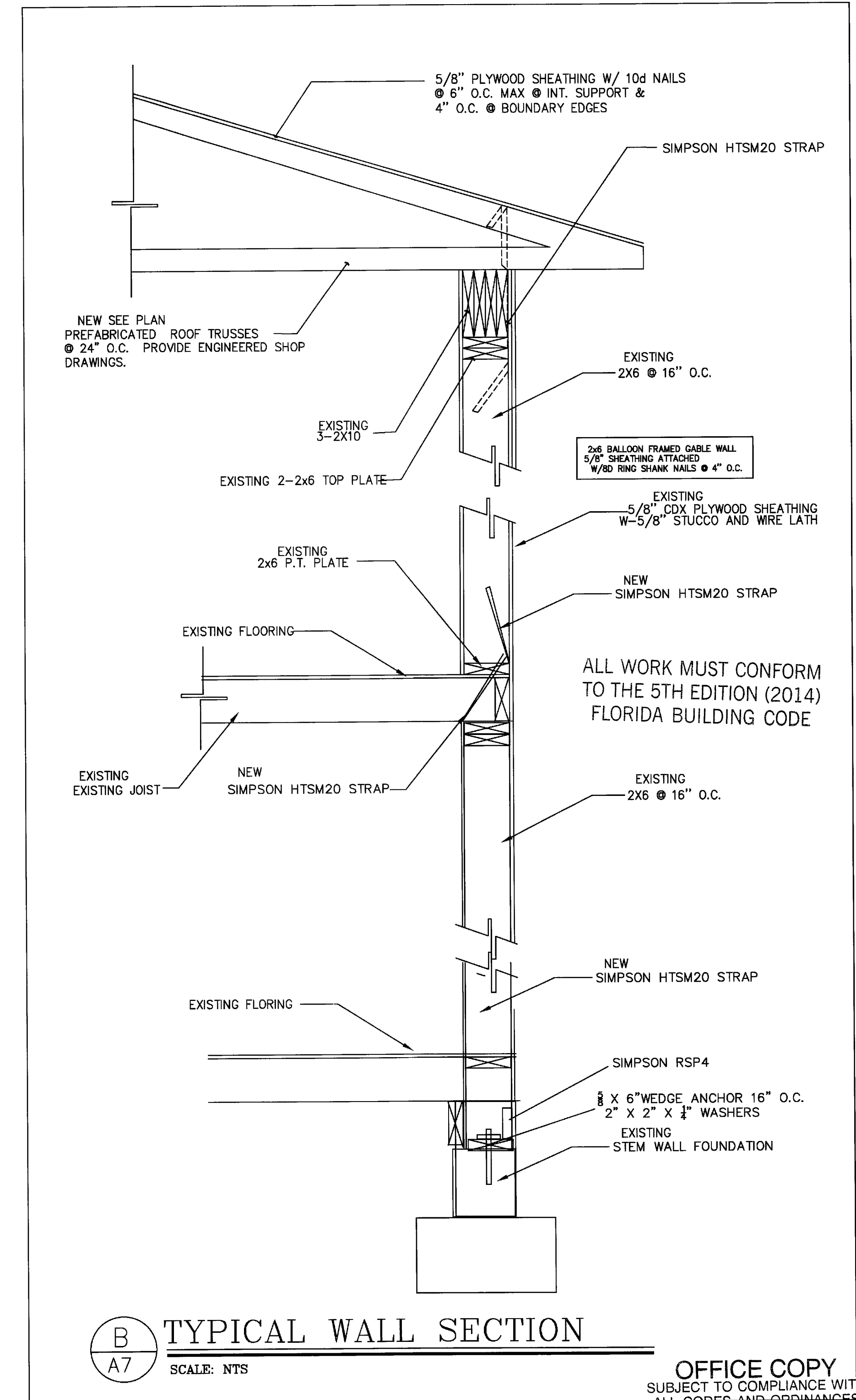
SCALE 1" = 1'-0"



C
A8

KNEE WALL TO RAISE FLOOR SECTION

SCALE: NTS



B
A7

TYPICAL WALL SECTION

SCALE: NTS

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SUBJECT TO COMPLIANCE WITH
ALL CODES AND ORDINANCES
IN EFFECT IN THE TOWN OF
PALM BEACH, FLORIDA

REVISIONS	BY

CARL G. FORBES
PE 20699
555 S POWERLINE RD.
POMPANO BEACH, FL
954-682-6651

FIRE DAMAGED HOUSE
360 SEASPRAY AVE
PALM BEACH FLORIDA, 333480
RELATIVE TO THE TOWN OF PALM BEACH, FLORIDA, THE TOWN ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS AND HAS DETERMINED THAT THE PLANS AND SPECIFICATIONS COMPLY WITH THE TOWN OF PALM BEACH, FLORIDA, BUILDING CODE, 2014 EDITION, AND THE TOWN ENGINEER HAS ISSUED THIS PERMIT. THE PERMIT IS VALID FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THE PLANS AND SPECIFICATIONS. THE PERMIT IS VALID FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THE PLANS AND SPECIFICATIONS. THE PERMIT IS VALID FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THE PLANS AND SPECIFICATIONS.

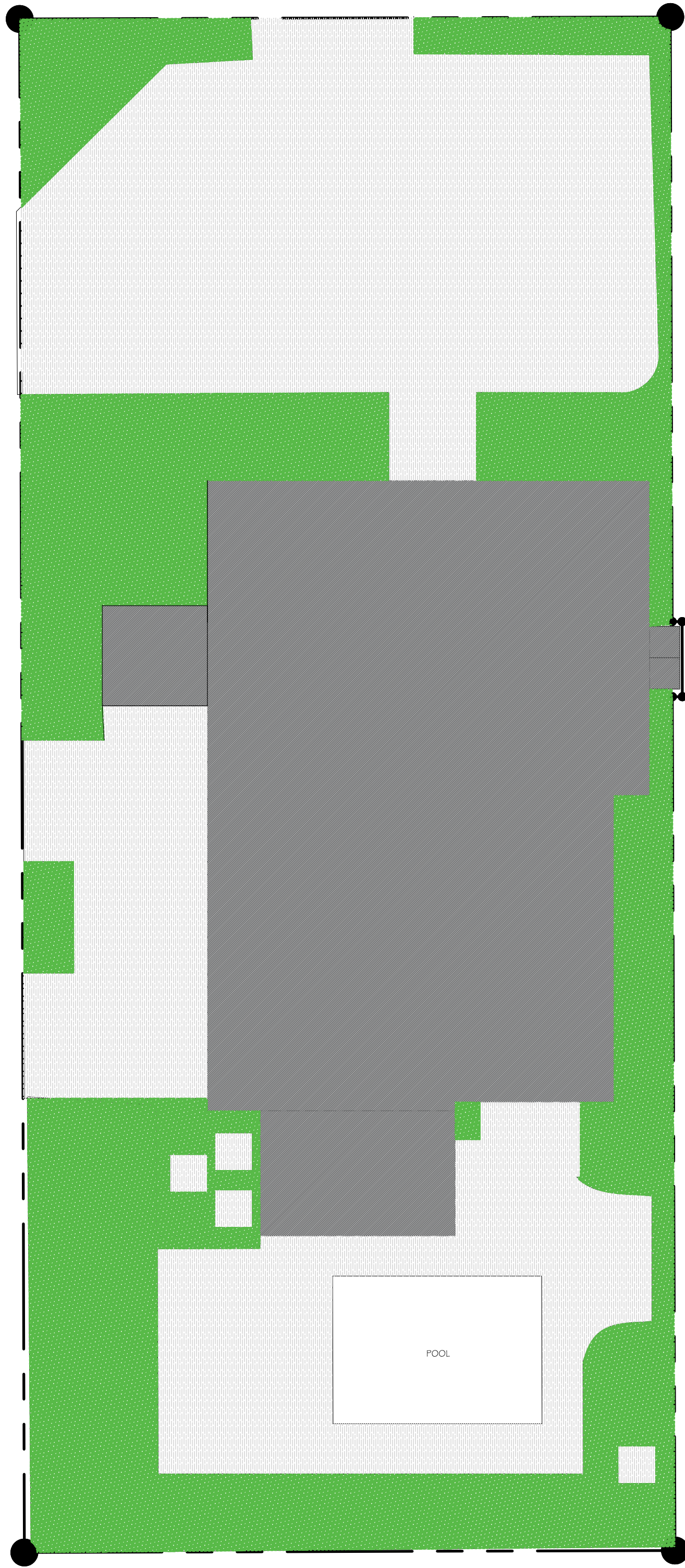
CARL G. FORBES PE
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EMAIL: CARL@FORBESPELLSOUTH.NET
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911-360 SEASPRAY

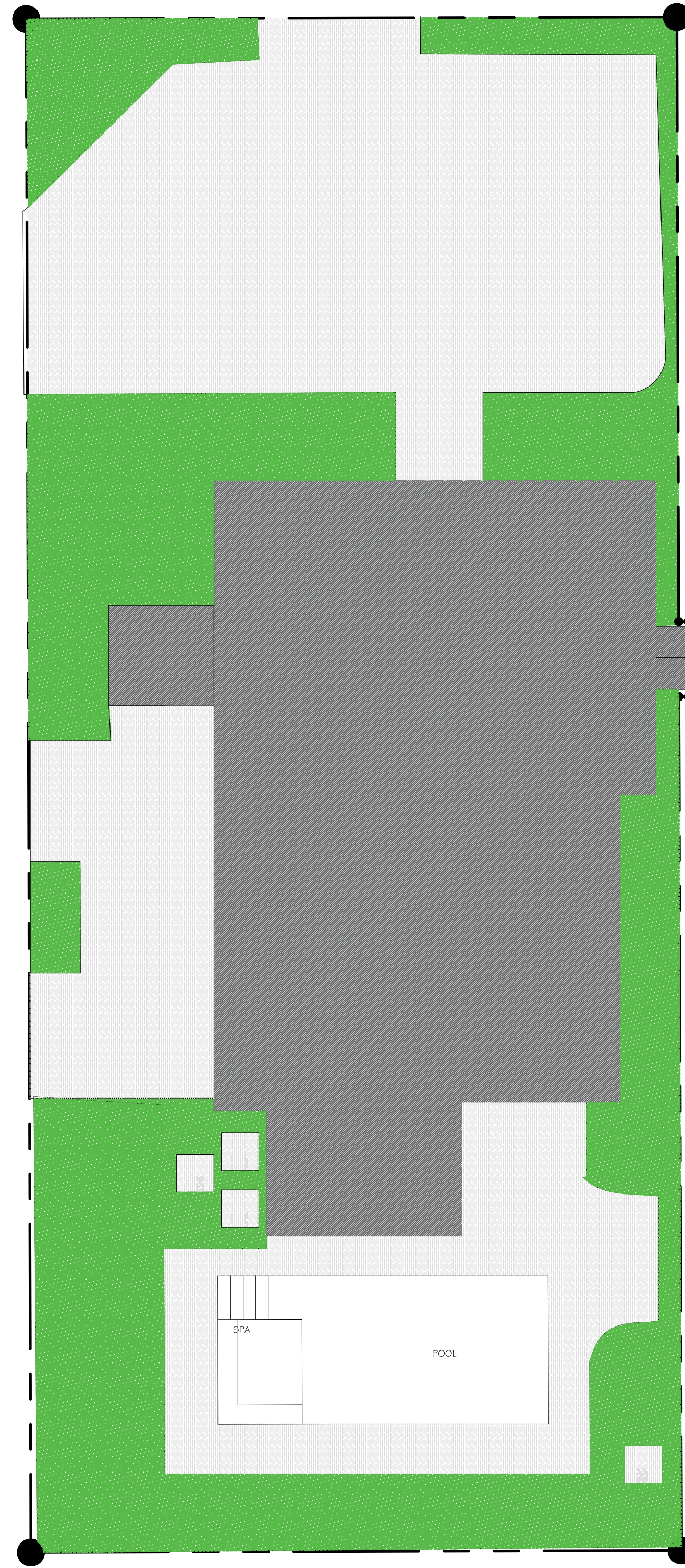
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REVIEWED
APR 04 2016
TPB PLAN EXAMINER

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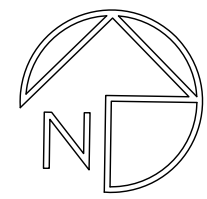
EXISTING:			
	LOT COVERAGE	1,809.89 SQ. FT.	(28.39%)
	OPEN SPACE	1,988.00 SQ. FT.	(31.20%)
	HARDSCAPE	2,005.11 SQ. FT.	(31.45%)
TOTAL		6,375.00 SQ. FT.	(100.00%)



PROPOSED:			
	LOT COVERAGE	1,809.89 SQ. FT.	(28.39%)
	OPEN SPACE	1,988.00 SQ. FT.	(31.20%)
	HARDSCAPE	2,005.11 SQ. FT.	(31.45%)
TOTAL		6,375.00 SQ. FT.	(100.00%)

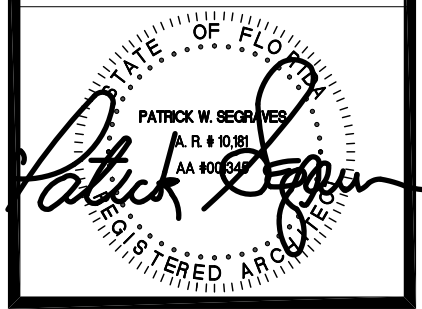
LOT COVERAGE DIAGRAMS

SCALE: 1/8" = 1'-0"



CONSULTANT:

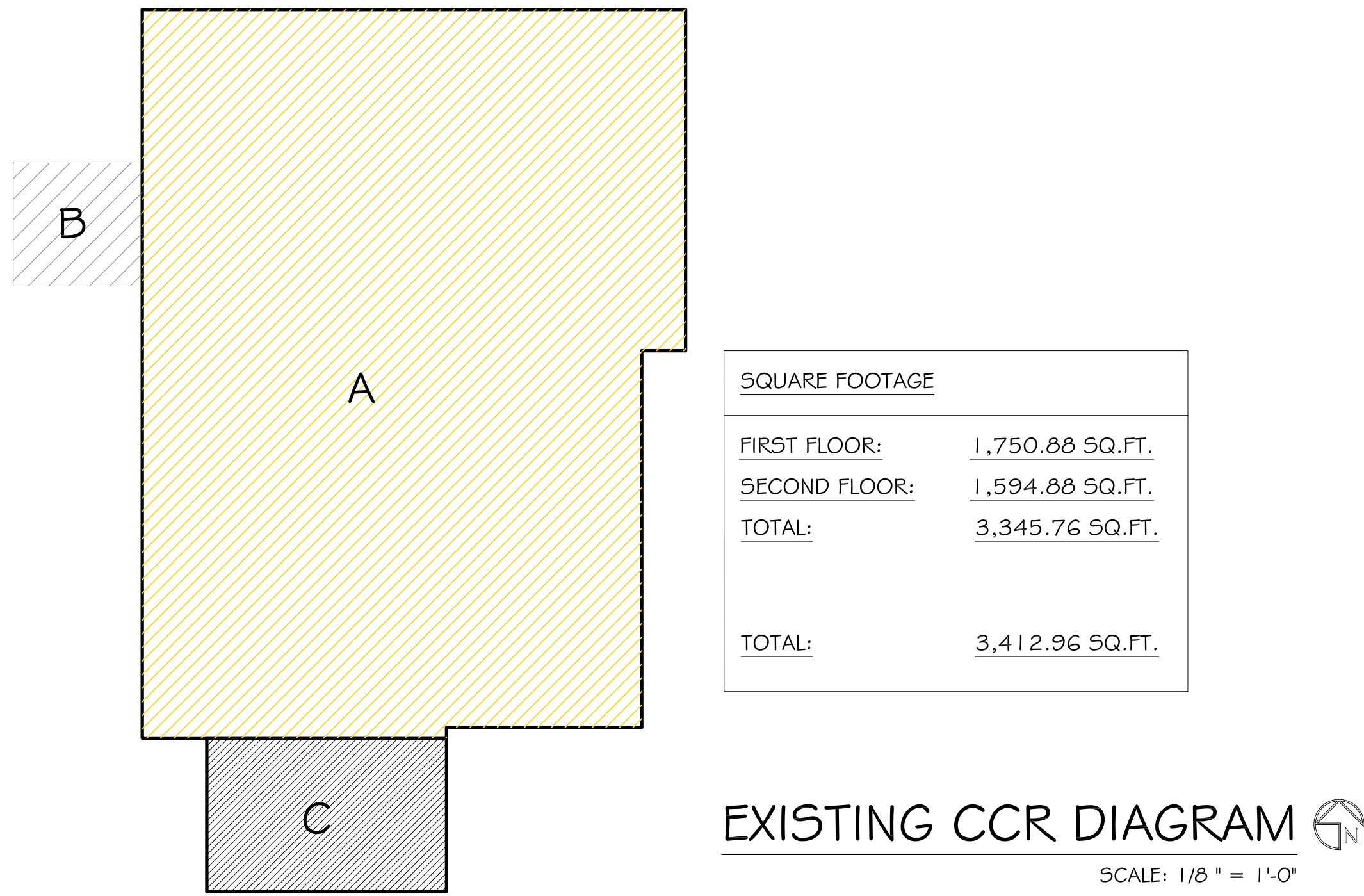
RESIDENCE FOR:
MR. AND MRS. JUSTIN BESIKOF
360 SEASPRAY AVENUE
PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181


REVISIONS:

△
△
△
△
△

SHEET NUMBER:
21
ISSUE DATE: 4-19-23
JOB #: COA-21-019
ZON-23-044



CUBIC CONTENT RATIO(CCR)

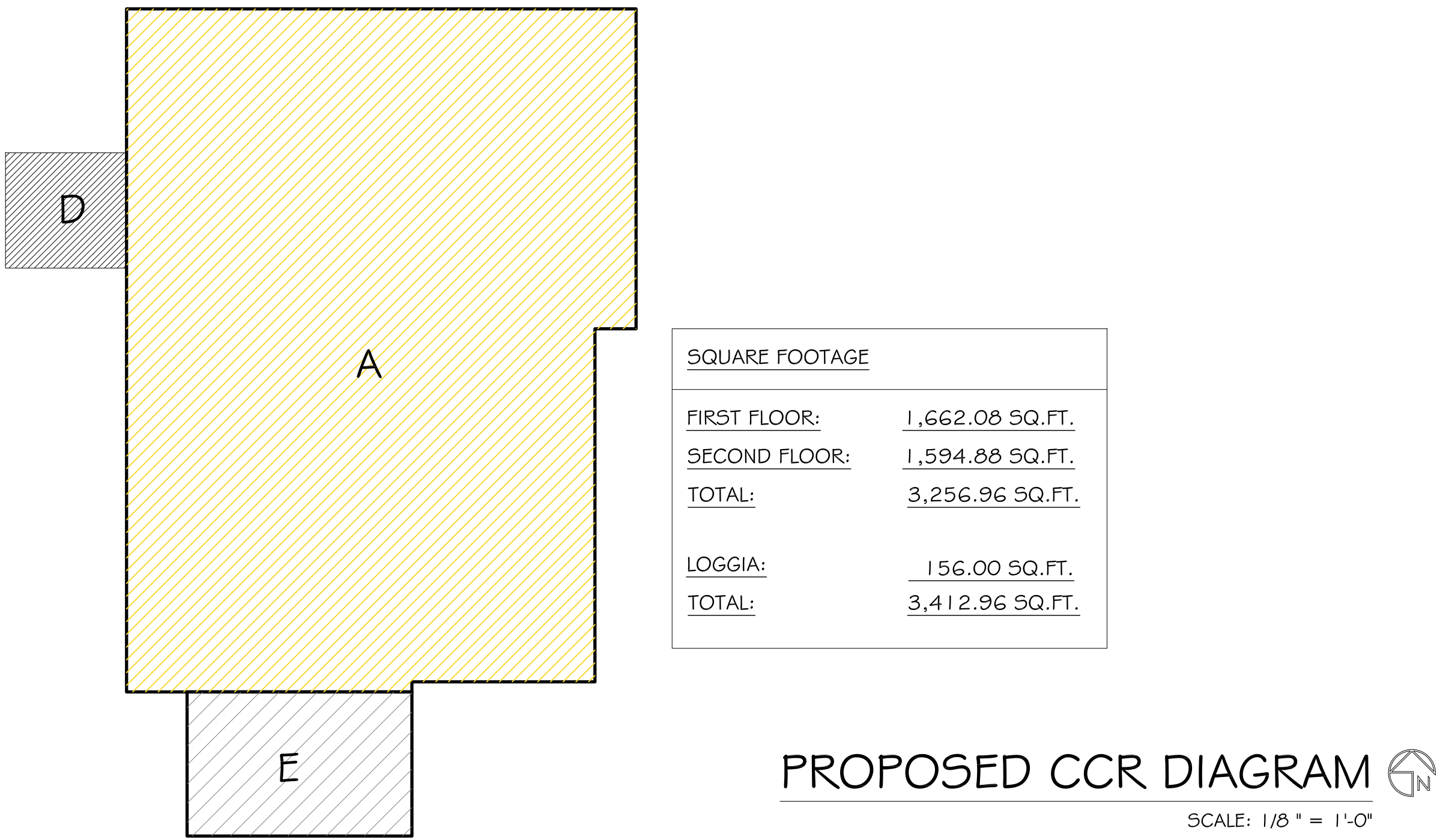
MAIN HOME
A - 1,586.69 SQ. FT. @ 18.17' = 28,830.16 CU. FT. (TWO STORY STRUCTURE)
C - 156.00 SQ. FT. @ 8.00' = 1,248.00 CU. FT. (ONE STORY STRUCTURE)
B - 67.20 SQ. FT. @ 0.00' = 0,000.00 CU. FT. (ONE STORY STRUCTURE)

TOTAL CUBIC FEET = 30,078.16 CU. FT. / 6,375 SQ. FT. = 4.72 CCR

MAX ALLOWABLE CCR: 4.00 + [(10,000-6,375.00) / 10,000] = 4.36 CCR

MAX ALLOWABLE CUBIC FEET: 4.36 X 6,375.00 = 27,810.94 CU. FT.

27,810.94 CU. FT. MAX - 30,078.16 CU. FT. = (-)2,267.22 CU. FT. OVERAGE



CUBIC CONTENT RATIO(CCR)

MAIN HOME
A - 1,586.69 SQ. FT. @ 18.17' = 28,830.16 CU. FT. (TWO STORY STRUCTURE)
D - 67.20 SQ. FT. @ 9.00' = 604.80 CU. FT. (ONE STORY STRUCTURE)

TOTAL CUBIC FEET = 29,434.96 CU. FT. / 6,375 SQ. FT. = 4.62 CCR

MAX ALLOWABLE CCR: 4.00 + [(10,000-6,375.00) / 10,000] = 4.36 CCR

MAX ALLOWABLE CUBIC FEET: 4.36 X 6,375.00 = 27,810.94 CU. FT.

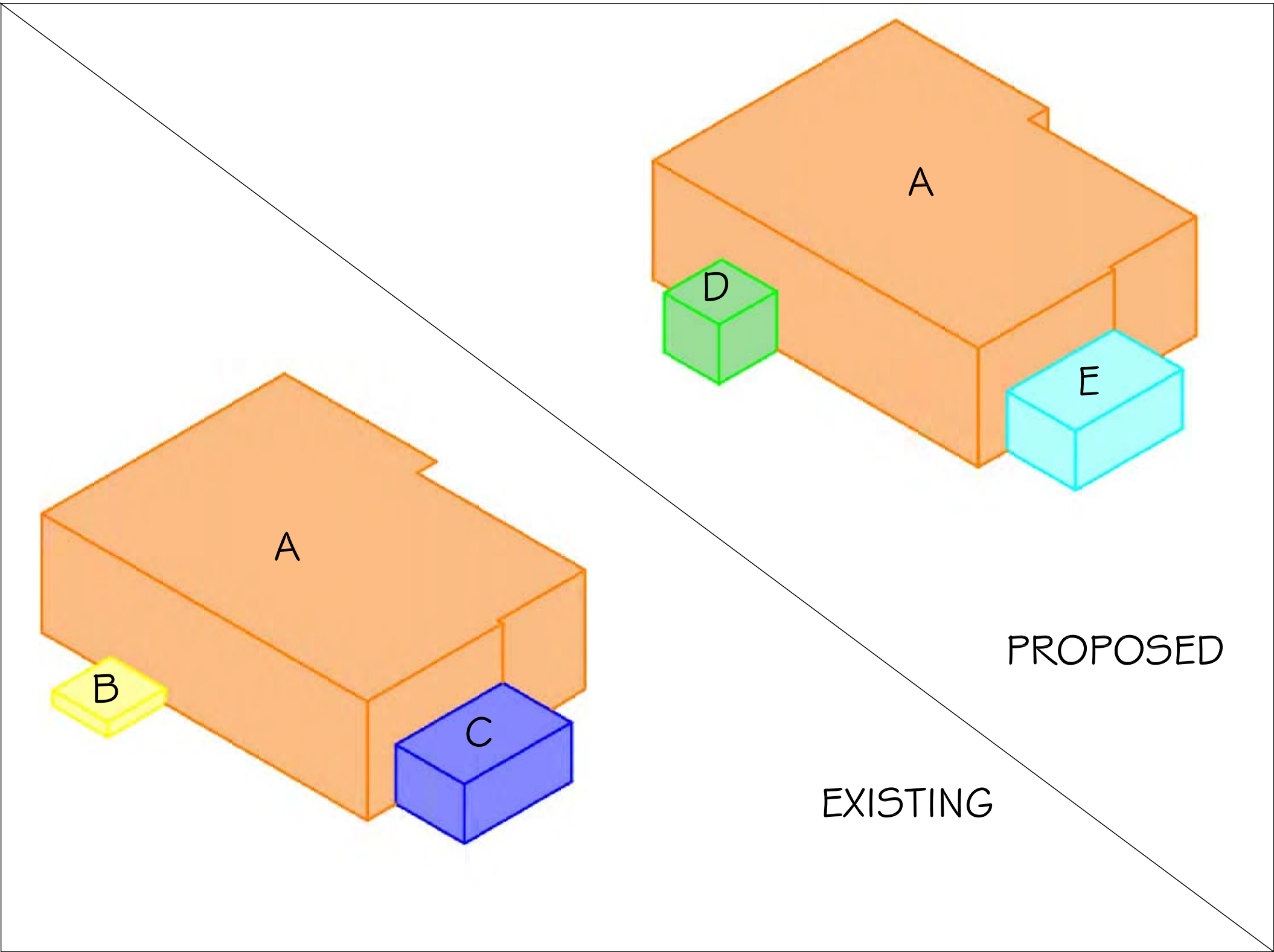
27,810.94 CU. FT. MAX - 29,434.96 CU. FT. = (-)1,624.02 CU. FT. OVERAGE

LOGGIA
E - 156.00 SQ. FT. @ 9.00' = 1,404.00 CU. FT. (REAR LOGGIA)

LOGGIAS
5% OF HOUSE CU.FT. (27,810.94 CU. FT.) = 1,390.55 CU. FT. MAX

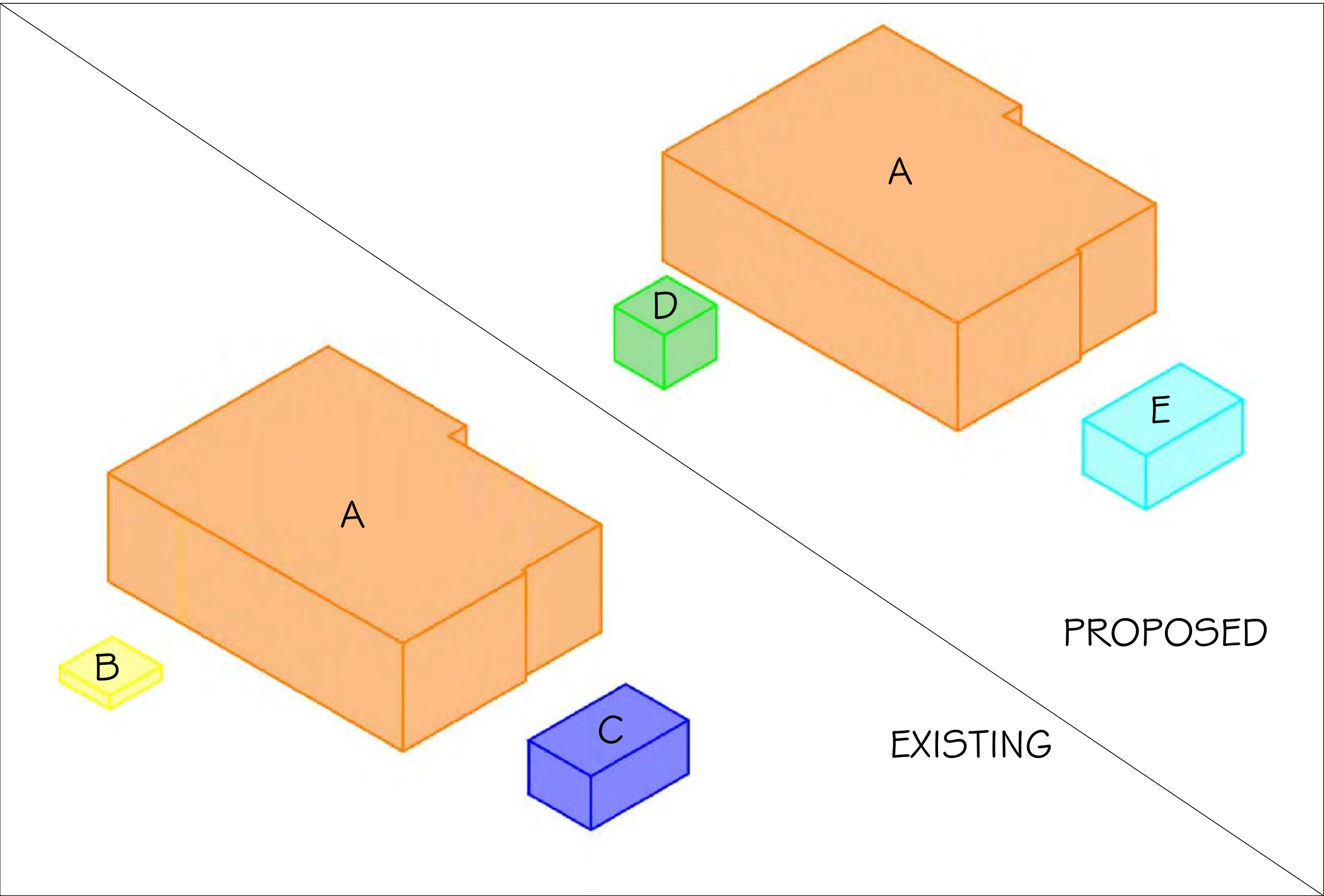
1,390.55 CU. FT. MAX - 1,404.00 CU. FT. = (-)13.45 CU. FT. OVERAGE

(-)1,624.02 CU.FT. HOUSE OVERAGE + (-)13.45 CU.FT. LOGGIA OVERAGE = (-)1,637.47 CU.FT. OVERAGE



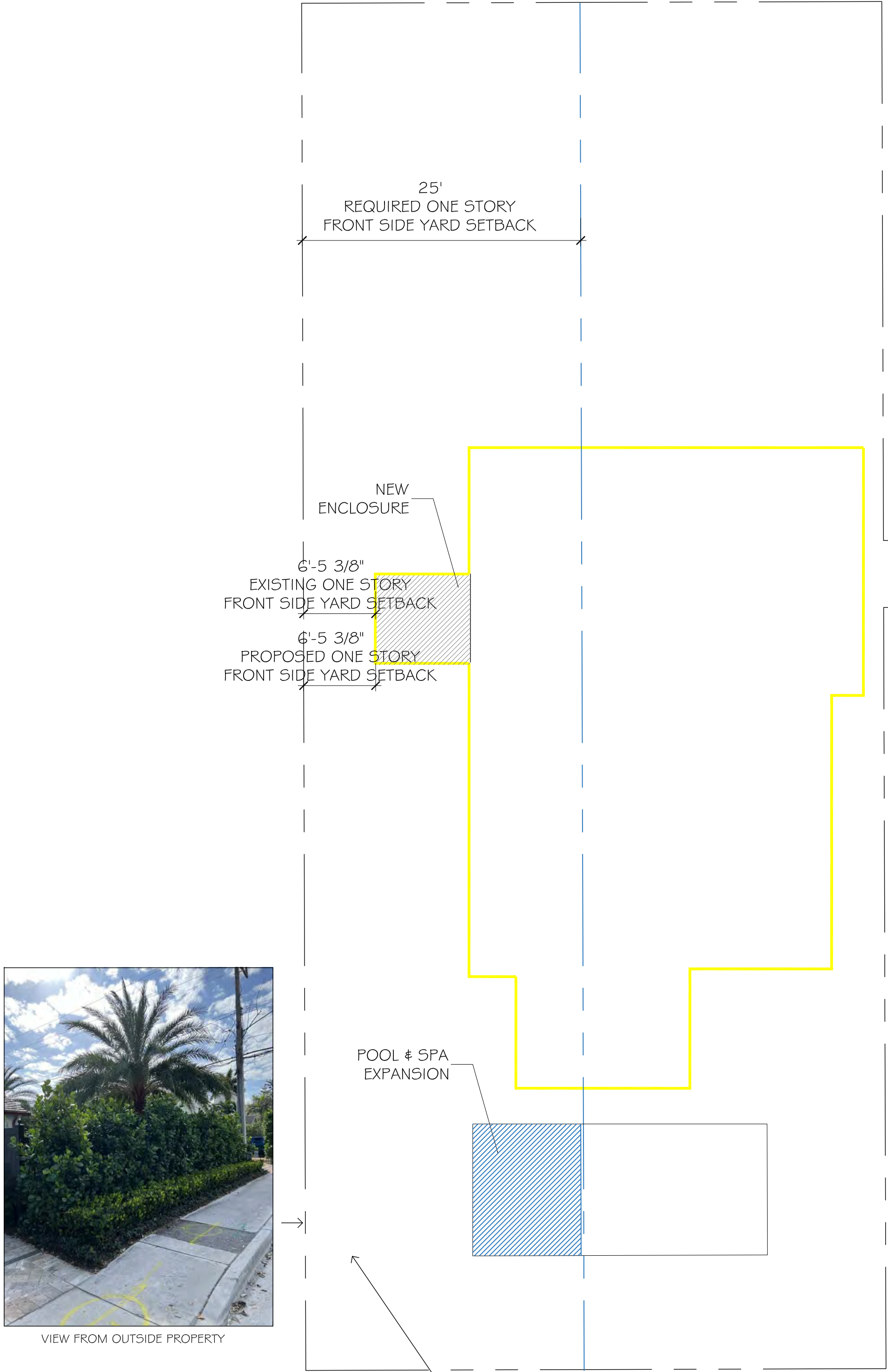
3D CCR DIAGRAMS

SCALE: NTS



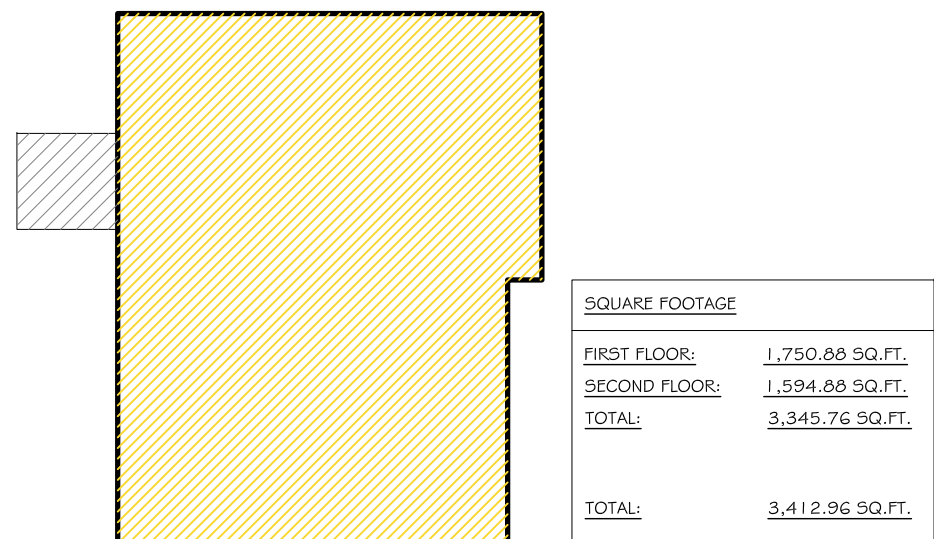
EXPLODED 3D CCR DIAGRAMS

SCALE: NTS



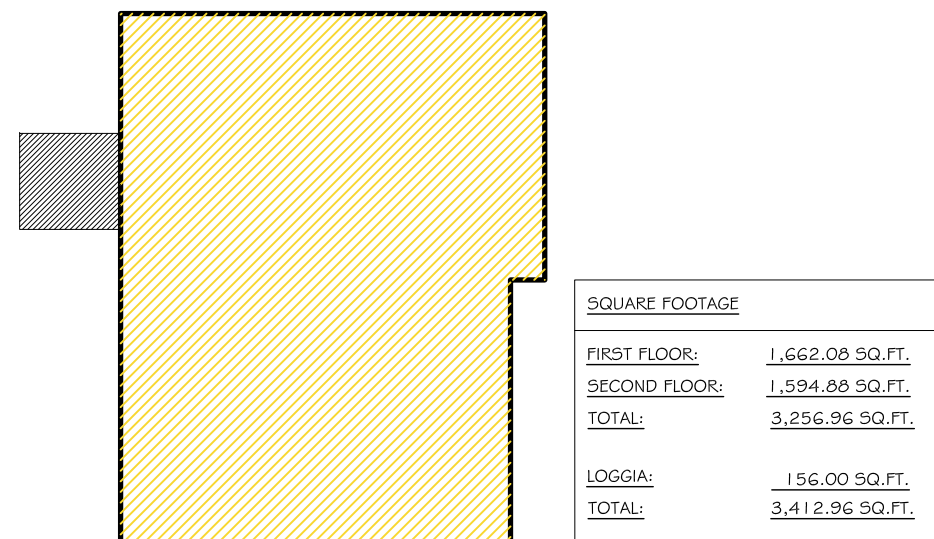
VIEW FROM INSIDE PROPERTY

- a. Variance #1: Sec. 134–1576(a): A variance to allow a west street side yard setback for an addition at 6.46' in lieu of the 25' minimum required.
- b. Variance #2: Sec. 134–2179(b): A variance to have 0 garage parking spaces in lieu of the 1 garage parking space required.
- c. Variance #3: Sec. 134–893(13): A variance for a Cubic Content amount of (PROVIDE) in lieu of the 4.72 existing and the 4.36 allowed.



CUBIC CONTENT RATIO(CCR)

MAIN HOME
A - 1,596.69 SQ. FT. @ 18.17' = 28,830.16 CU. FT. (TWO STORY STRUCTURE)
C - 156.00 SQ. FT. @ 9.00' = 1,404.00 CU. FT. (ONE STORY STRUCTURE)
D - 67.20 SQ. FT. @ 9.00' = 604.00 CU. FT. (ONE STORY STRUCTURE)
TOTAL CUBIC FEET = 30,078.16 CU. FT. / 6,375 SQ. FT. = 4.72 CCR
MAX ALLOWABLE CCR: 4.00 + [(10,000-6,375.00) / (10,000)] = 4.36 CCR
MAX ALLOWABLE CUBIC FEET: 4.36 X 6,375.00 = 27,810.94 CU. FT.
27,810.94 CU. FT. MAX - 30,078.16 CU. FT. = (-)2,267.22 CU. FT. OVERAGE



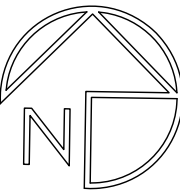
CUBIC CONTENT RATIO(CCR)

MAIN HOME
A - 1,596.69 SQ. FT. @ 18.17' = 28,830.16 CU. FT. (TWO STORY STRUCTURE)
D - 67.20 SQ. FT. @ 9.00' = 604.00 CU. FT. (ONE STORY STRUCTURE)
TOTAL CUBIC FEET = 29,434.96 CU. FT. / 6,375 SQ. FT. = 4.62 CCR
MAX ALLOWABLE CCR: 4.00 + [(10,000-6,375.00) / (10,000)] = 4.36 CCR
MAX ALLOWABLE CUBIC FEET: 4.36 X 6,375.00 = 27,810.94 CU. FT.
27,810.94 CU. FT. MAX - 29,434.96 CU. FT. = (-)1,624.02 CU. FT. OVERAGE
LOGGIA:
E - 156.00 SQ. FT. @ 9.00' = 1,404.00 CU. FT. (REAR LOGGIA)
LOGGIAS
5% OF HOUSE CU. FT. (27,810.94 CU. FT.) = 1,390.55 CU. FT. MAX
1,390.55 CU. FT. MAX - 1,404.00 CU. FT. = (-)13.45 CU. FT. OVERAGE
(-1,624.02 CU. FT. HOUSE OVERAGE + (-)13.45 CU. FT. LOGGIA OVERAGE = (-)1,637.47 CU. FT. OVERAGE

- d. Variance #4: Sec. 134–1757: A variance to allow a swimming pool in the required street side setback without the required 6 foot wall required for screening.

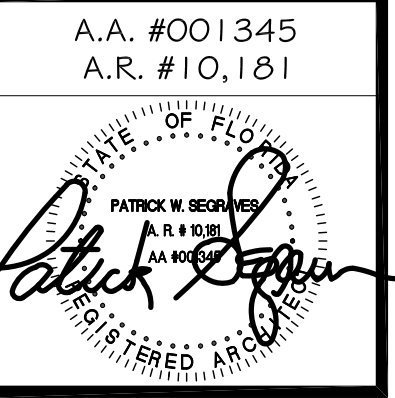
VARIANCE DIAGRAM

SCALE: 1/8" = 1'-0"



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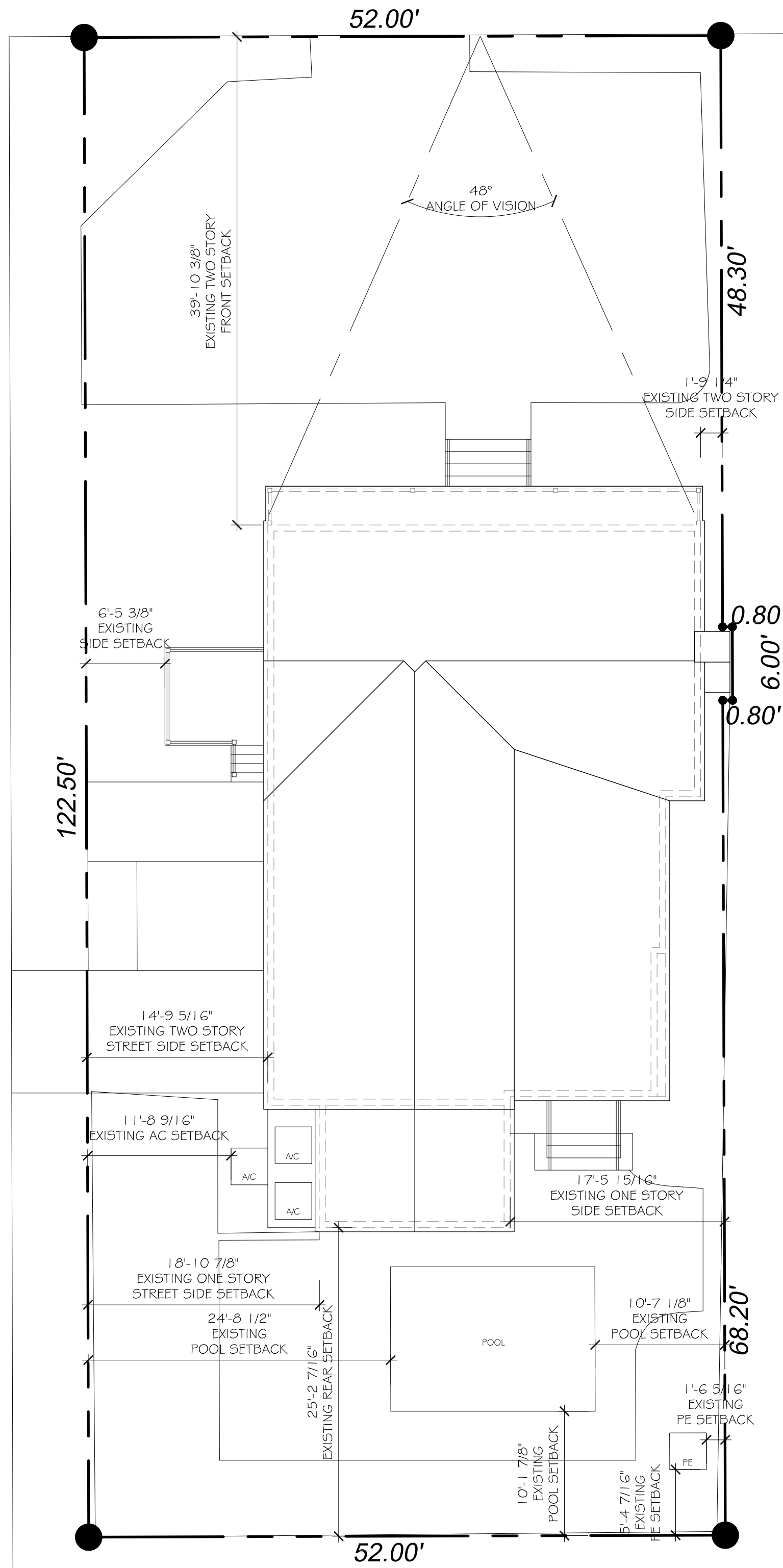
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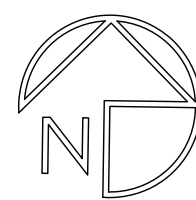
☪ COCOANUT ROW

☪ SEASPRAY AVENUE



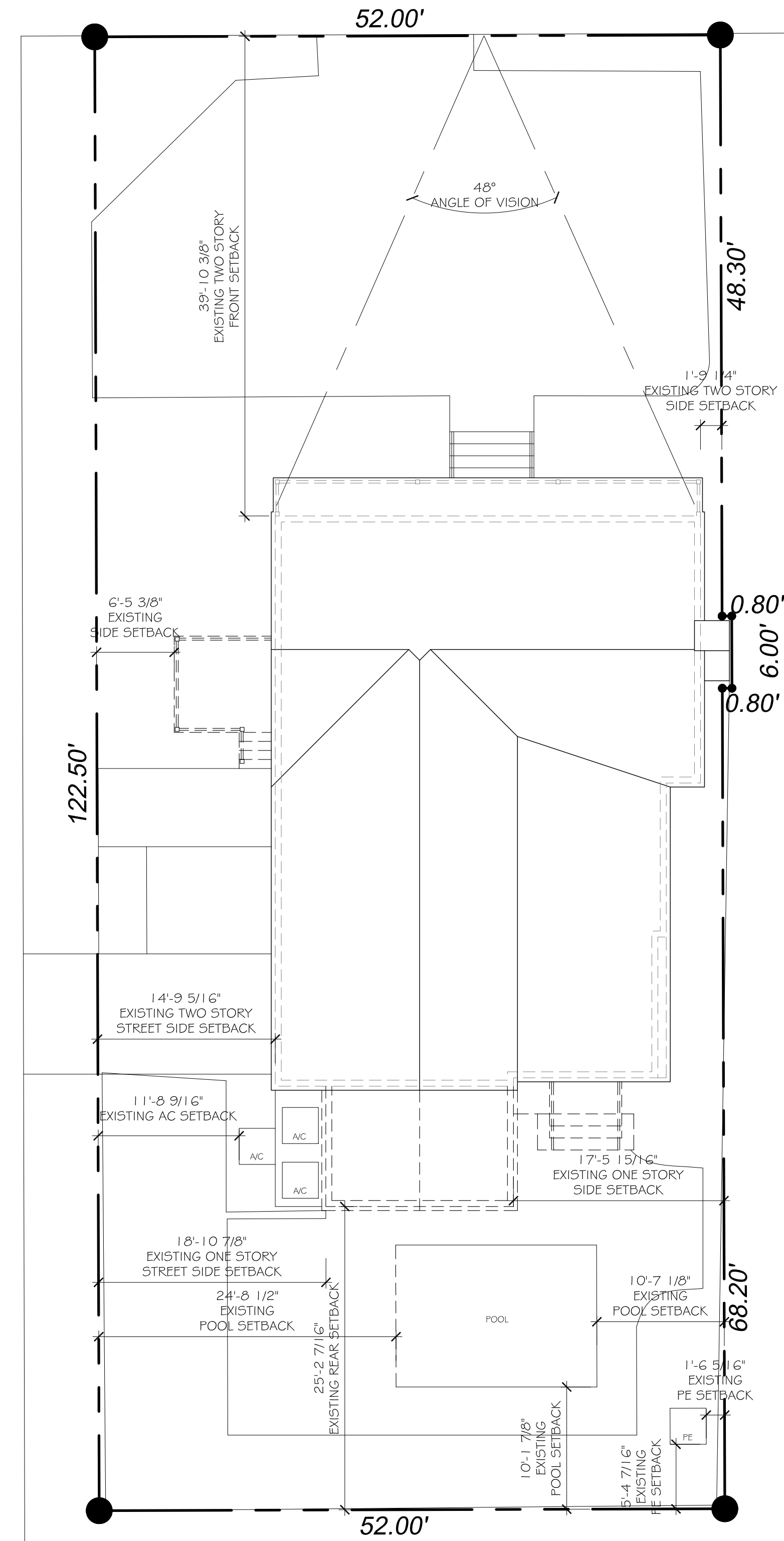
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



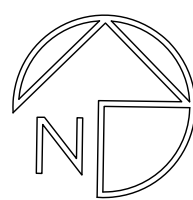
☪ COCOANUT ROW

☪ SEASPRAY AVENUE



DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"



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A.R. #10,181

Patrick W. Besikof
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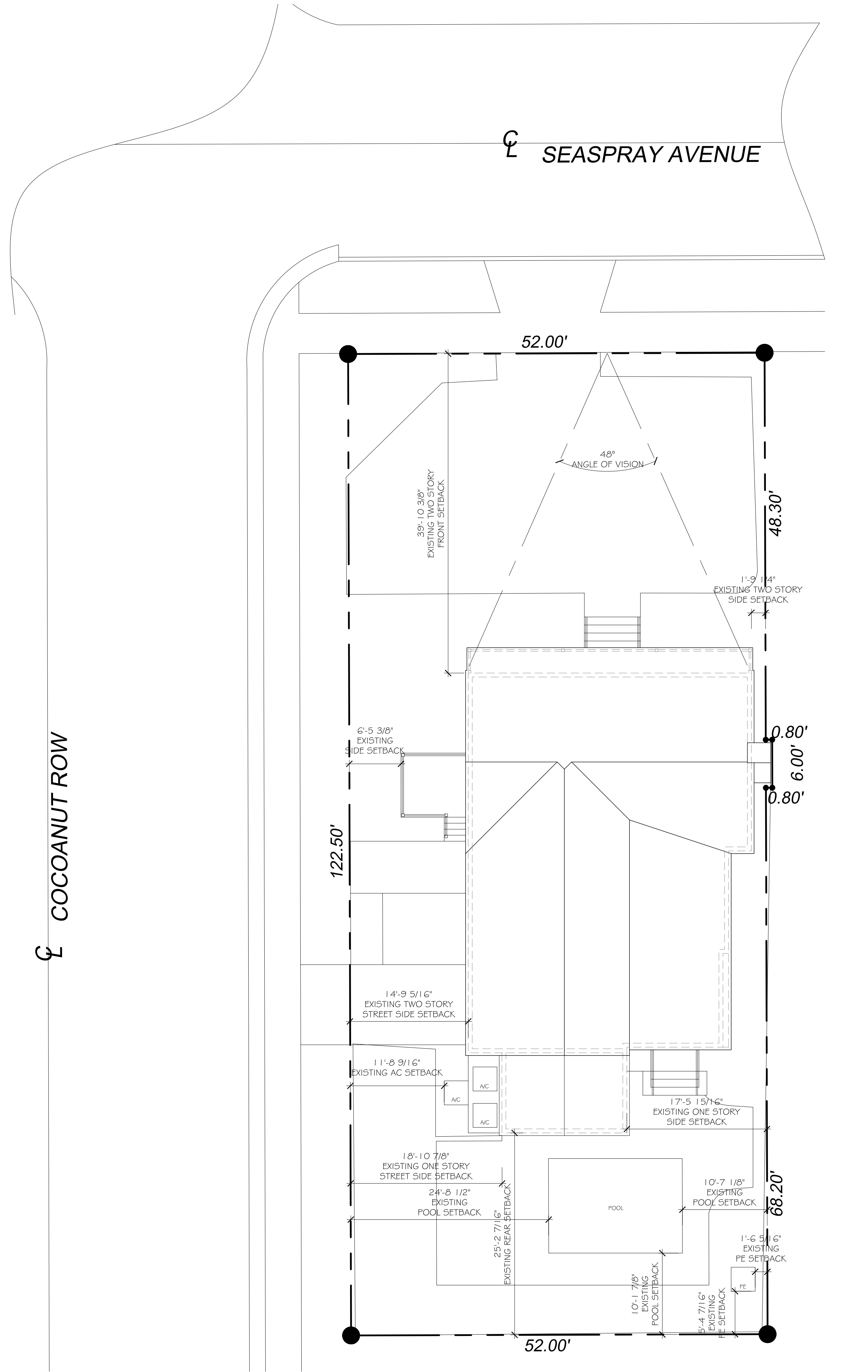
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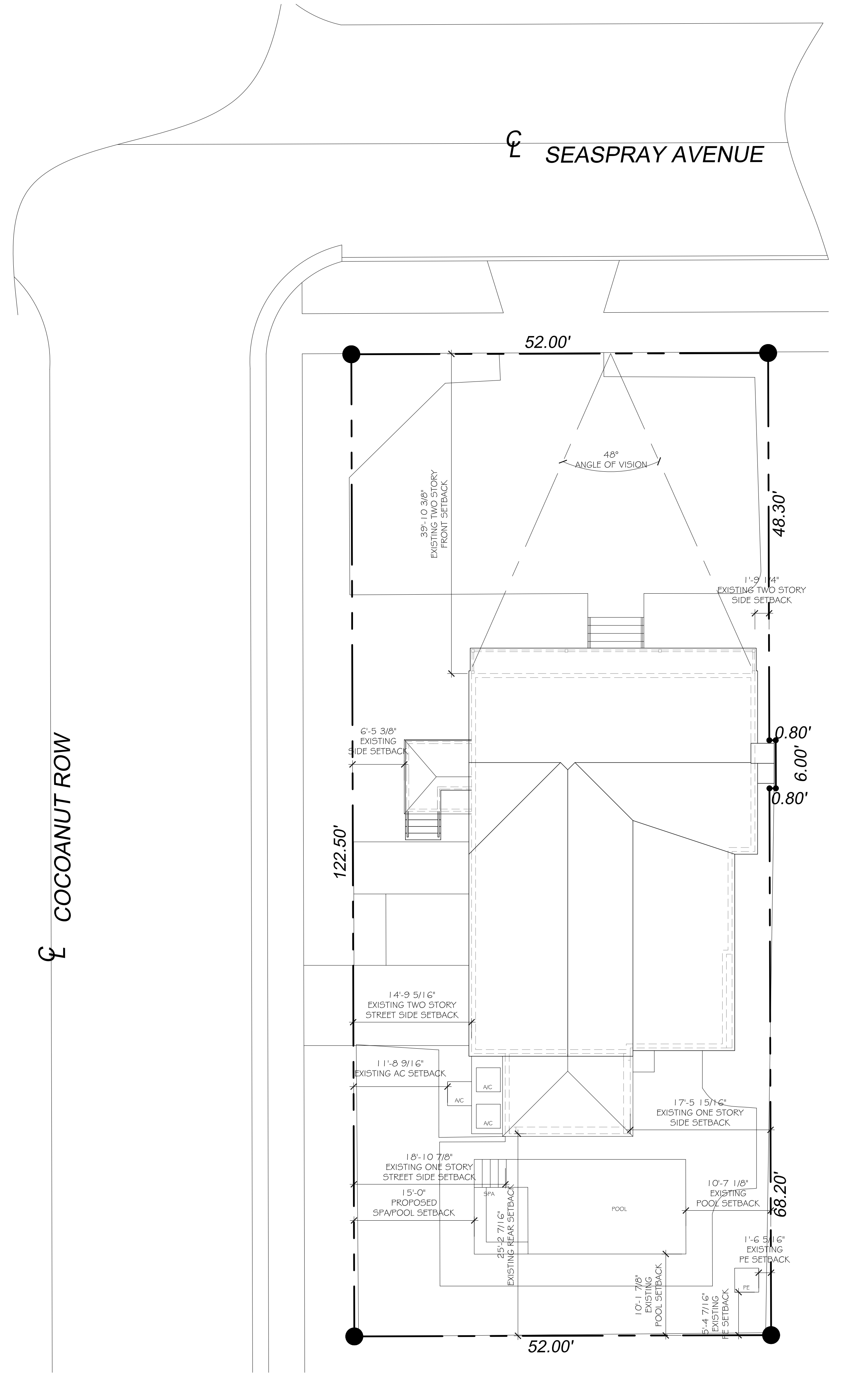
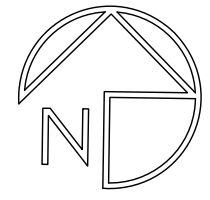
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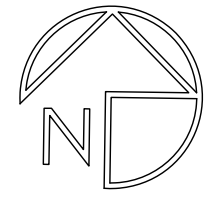
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



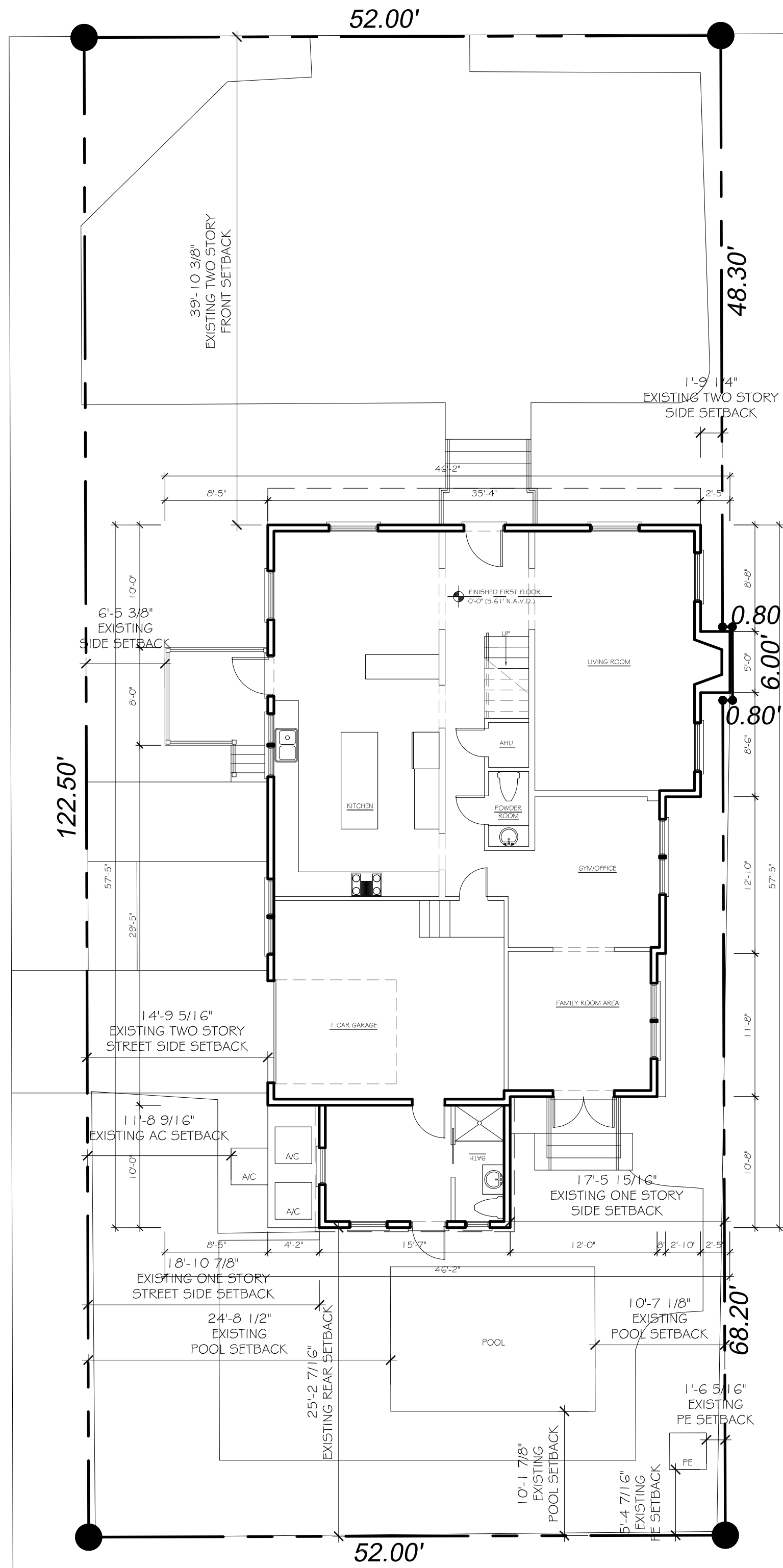
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



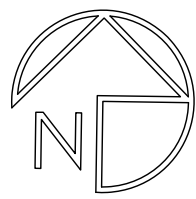
SEASPRAY AVENUE

COCOANUT ROW



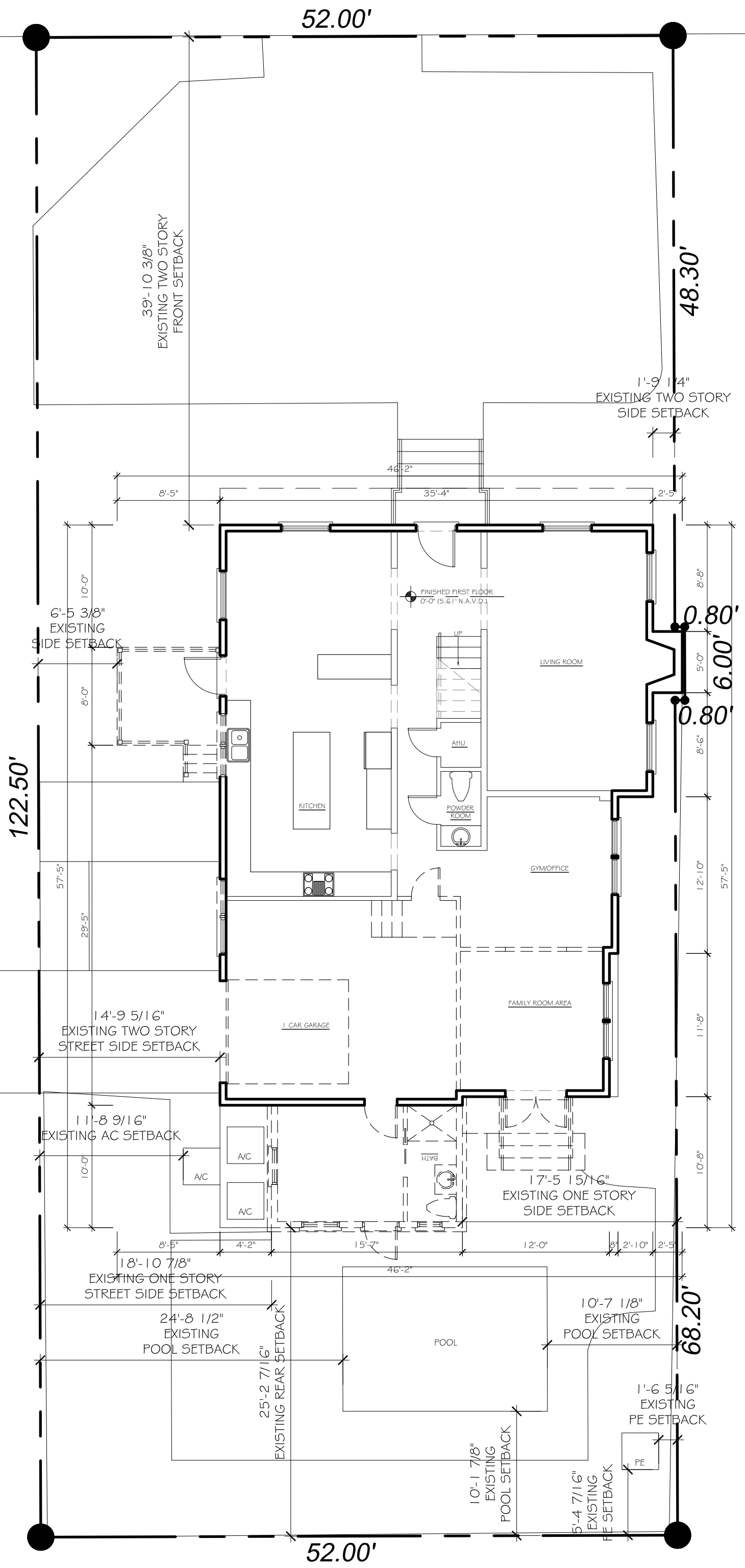
EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



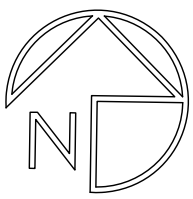
SEASPRAY AVENUE

COCOANUT ROW



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



CONSULTANT:

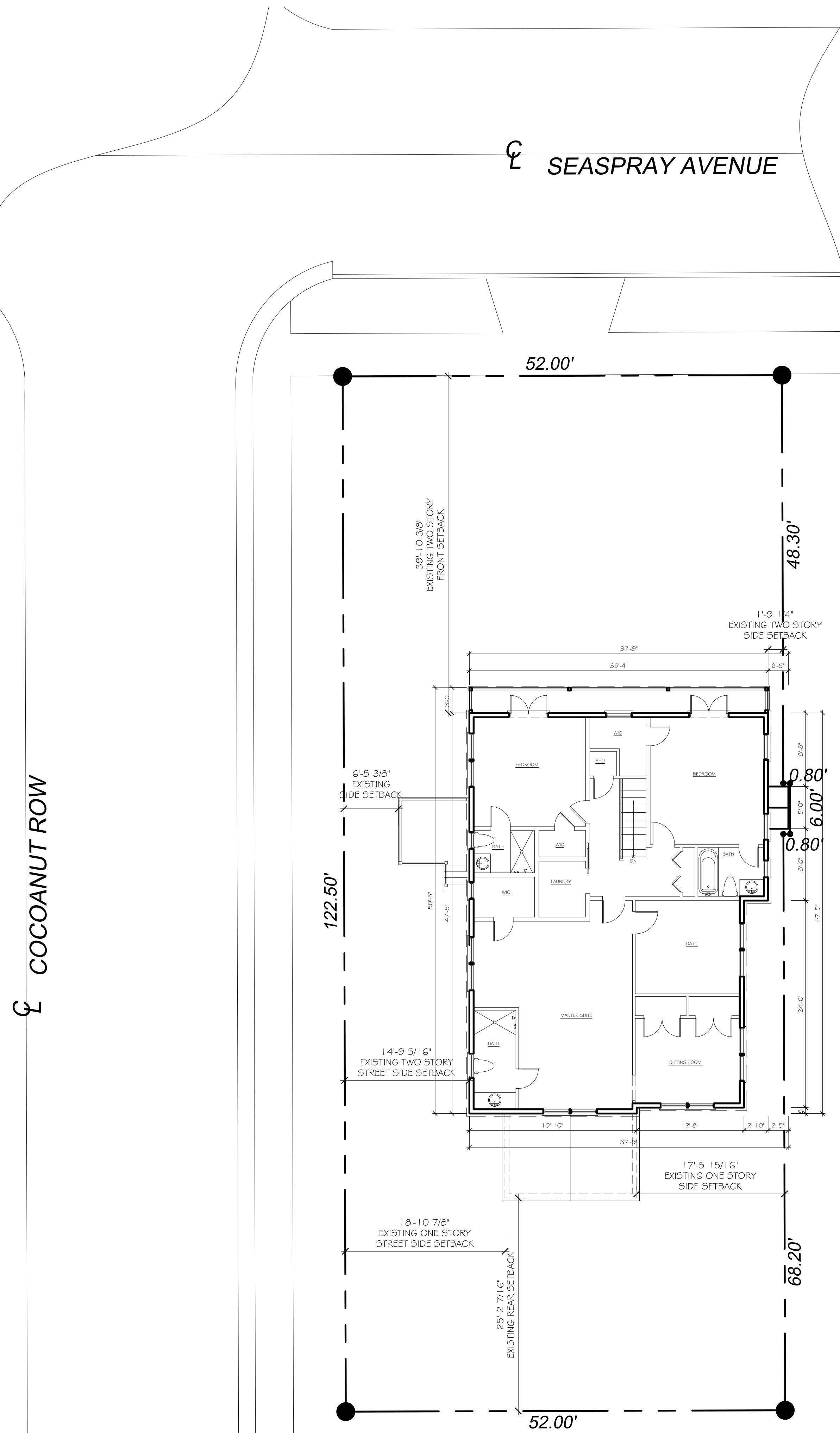
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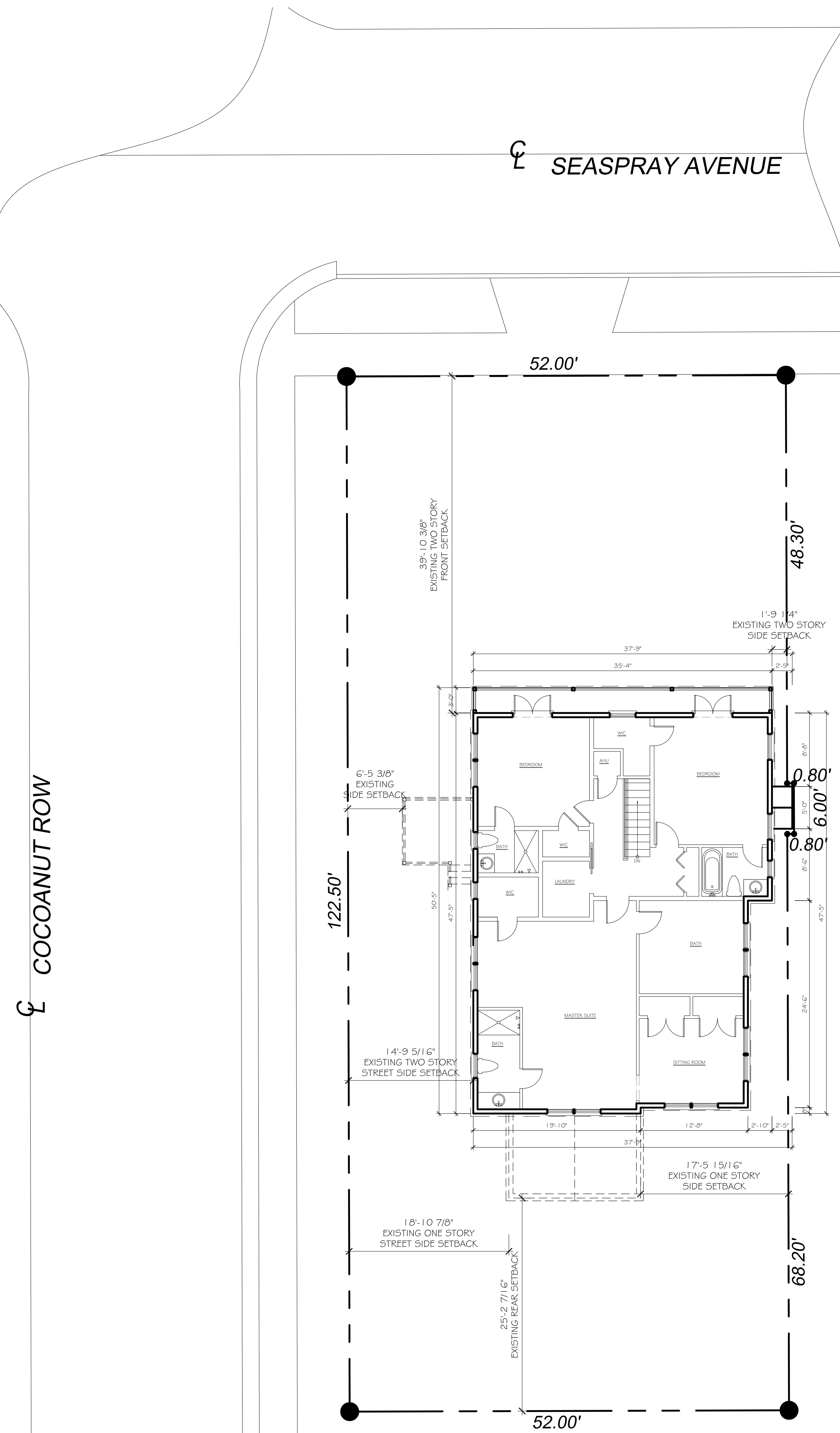
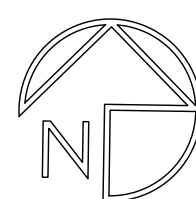
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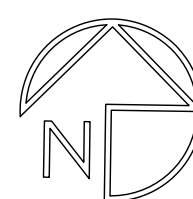
EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

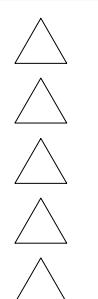


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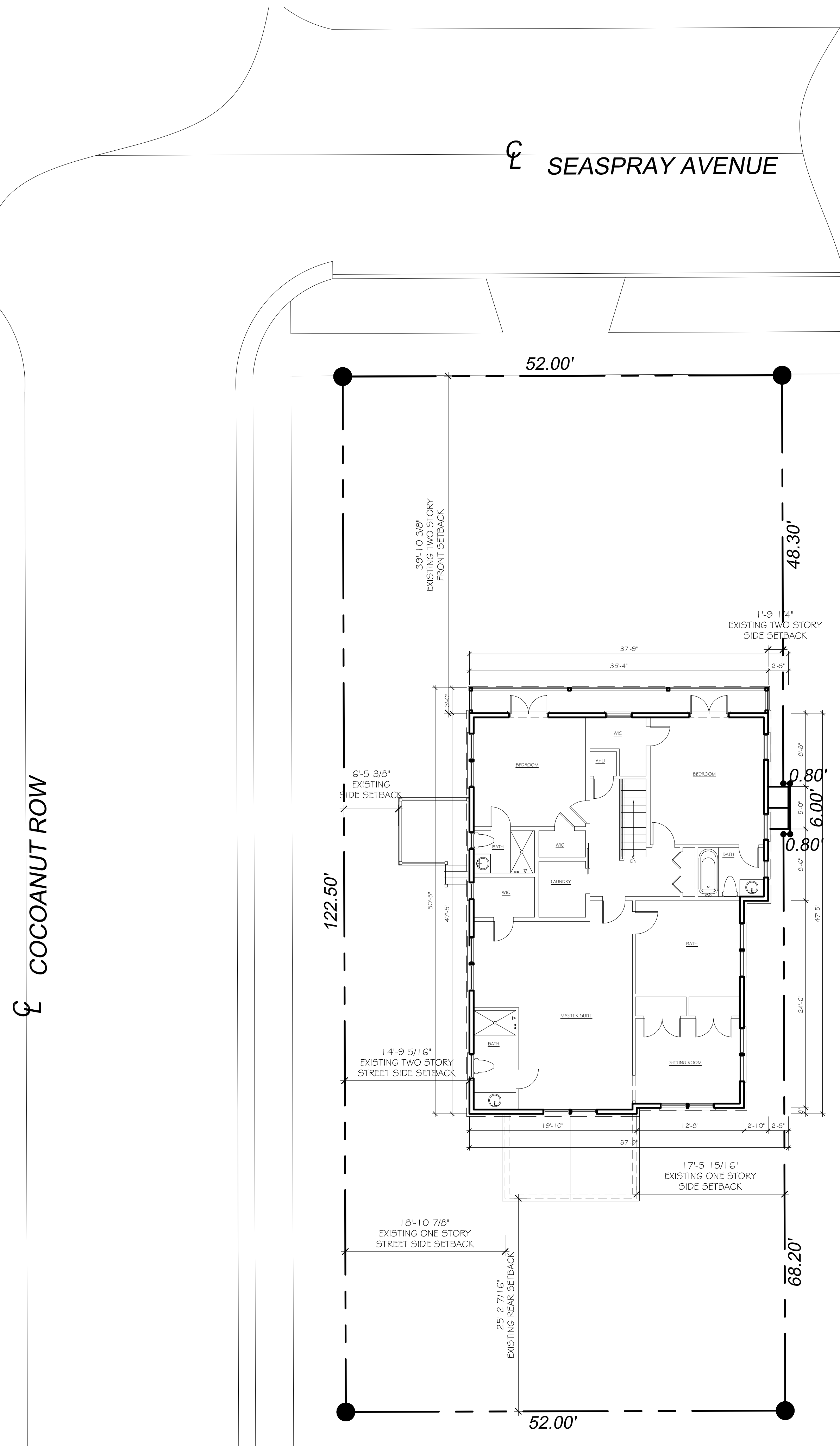


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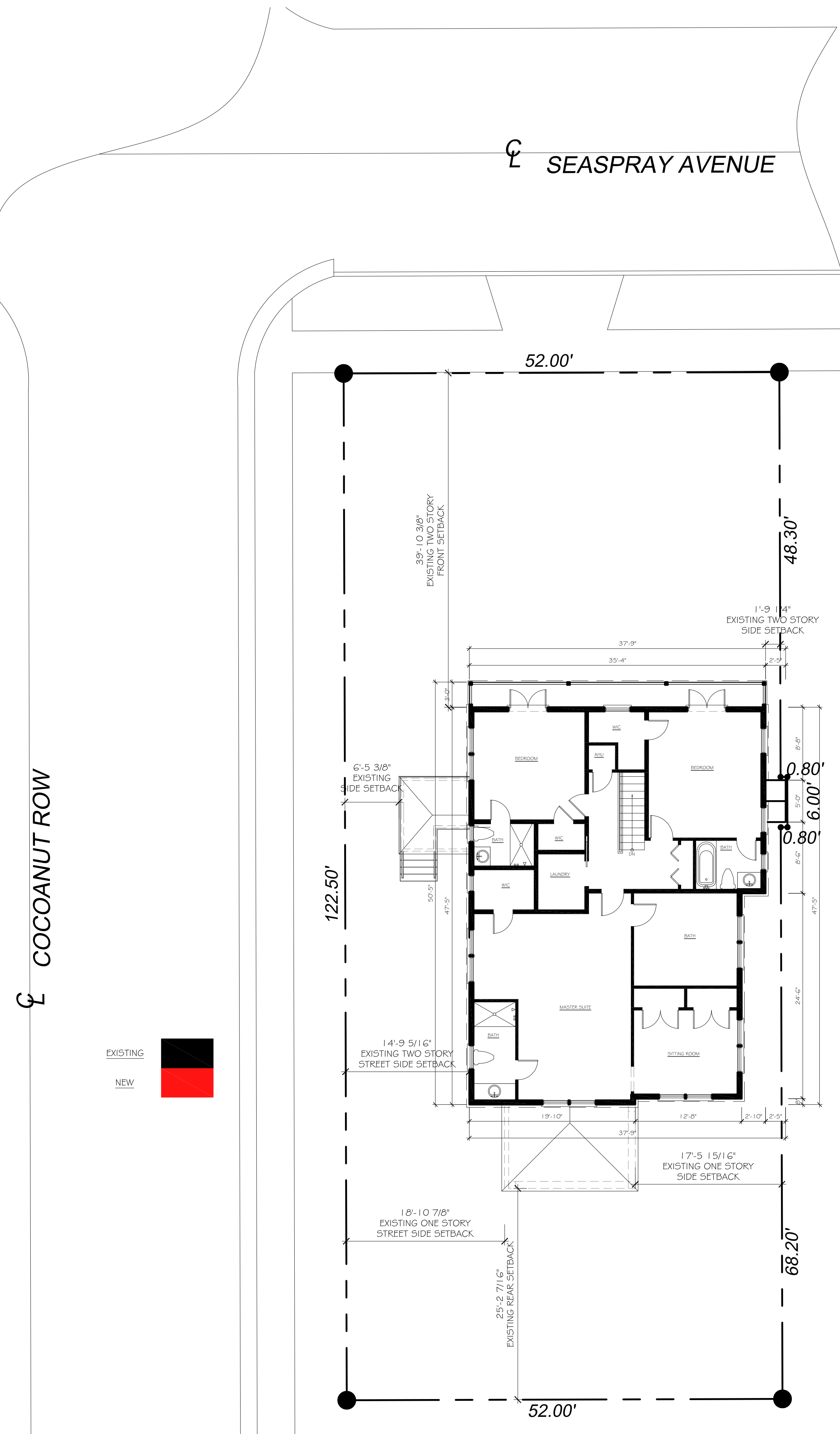
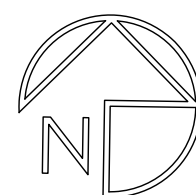
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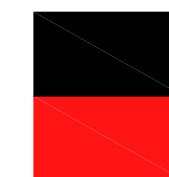
EXISTING SECOND PLAN

SCALE: 1/8" = 1'-0"



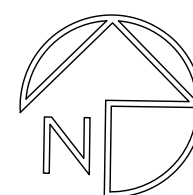
EXISTING

NEW



PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

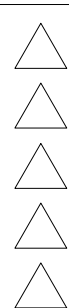


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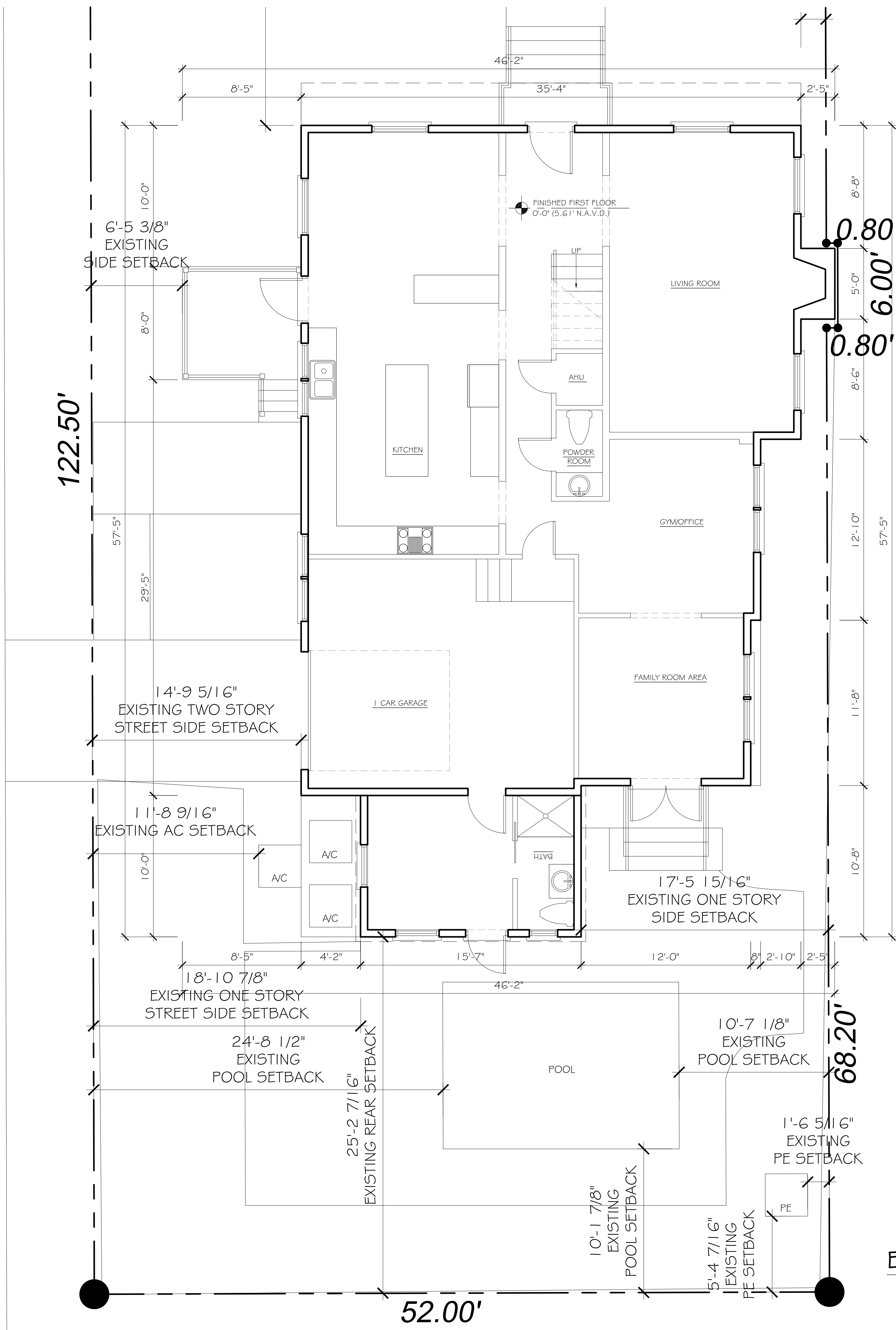


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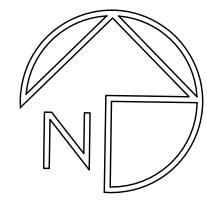
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EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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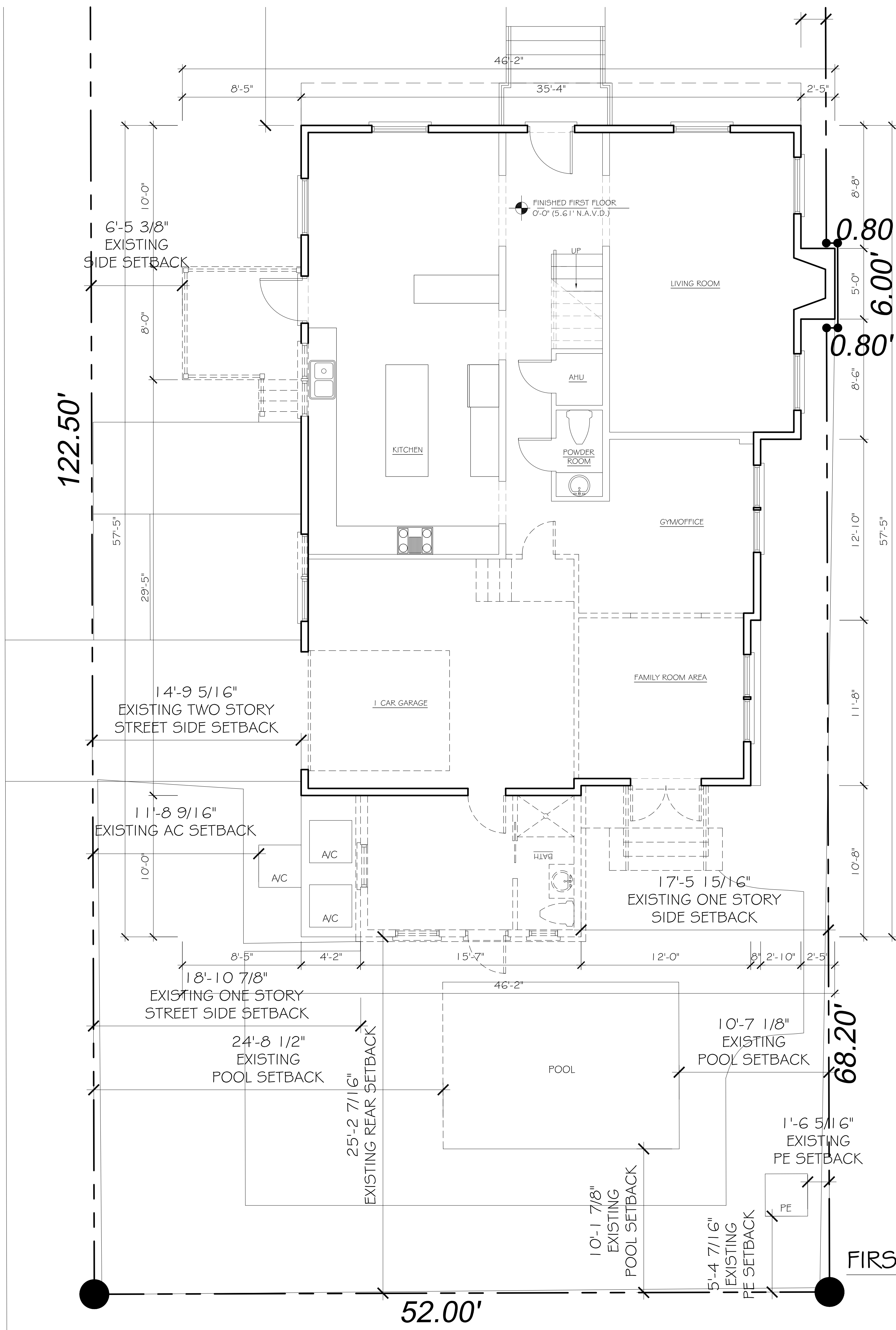
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FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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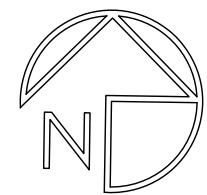
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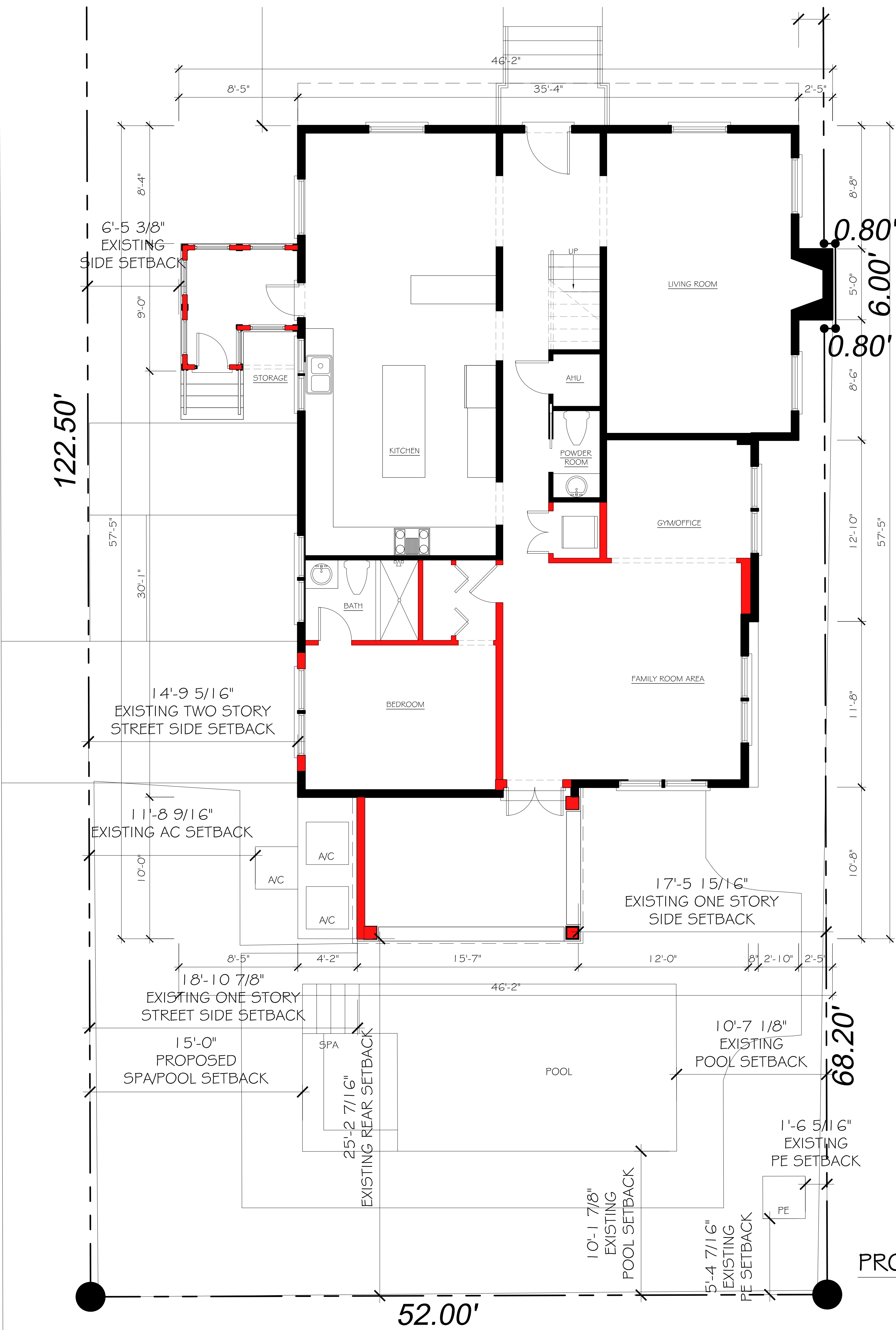
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EXISTING

NEW



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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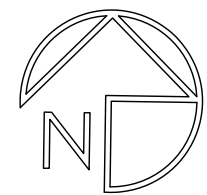
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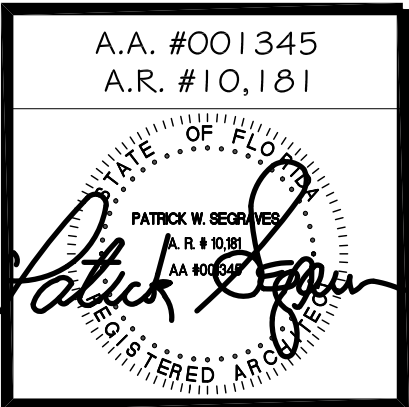
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EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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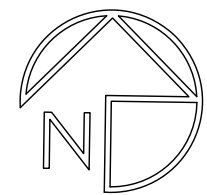


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SCALE: 1/4" = 1'-0"




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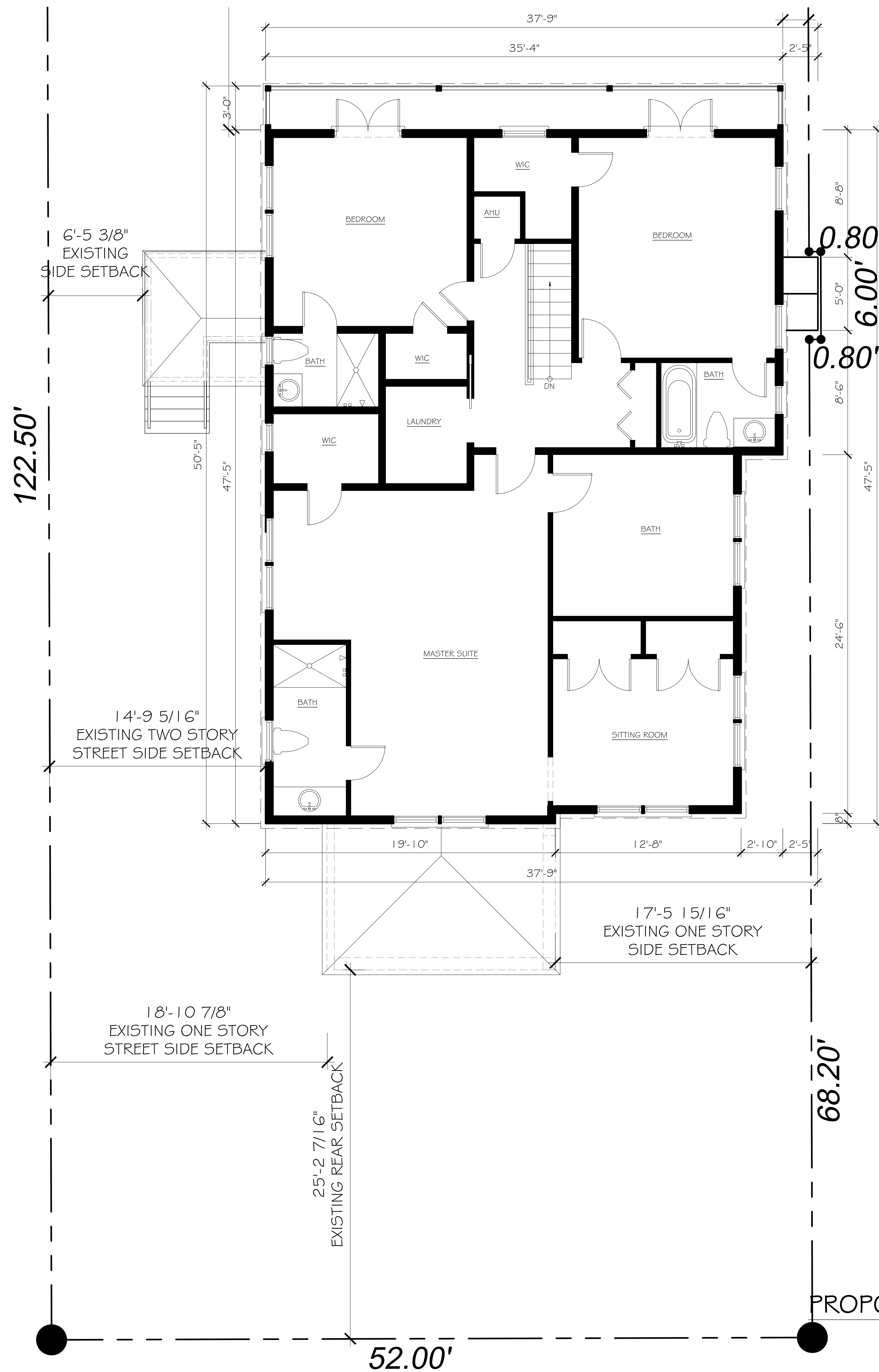
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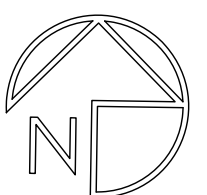
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NEW



SCALE: 1/4" = 1'-0"



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EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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PATRICK W. BESIKOF
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EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

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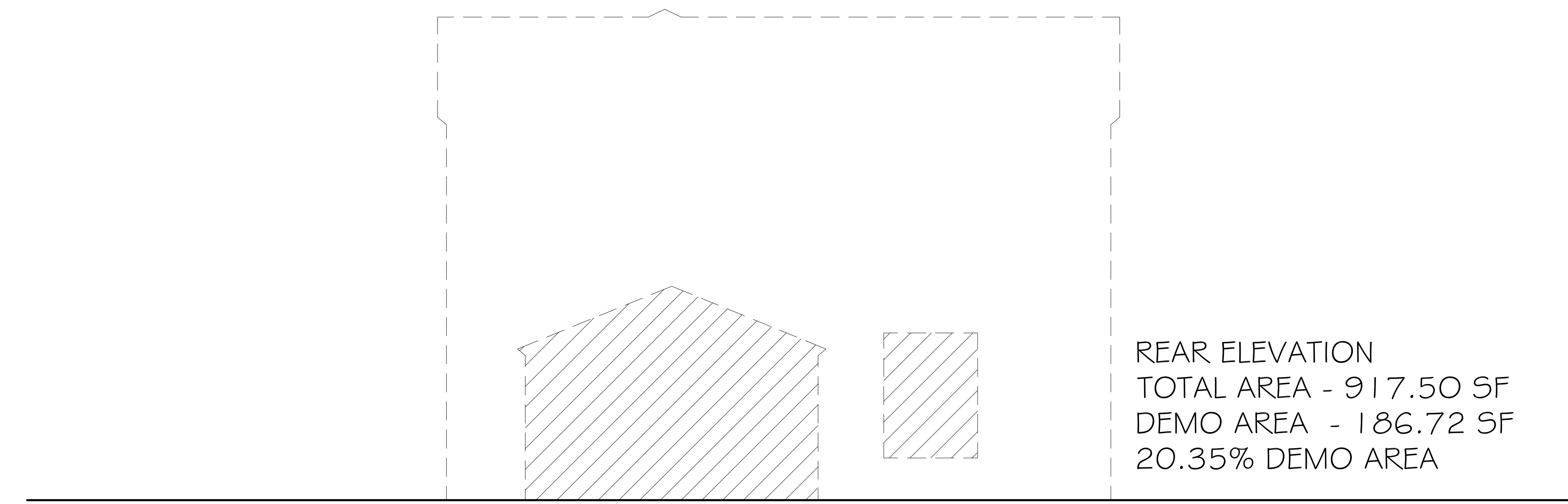
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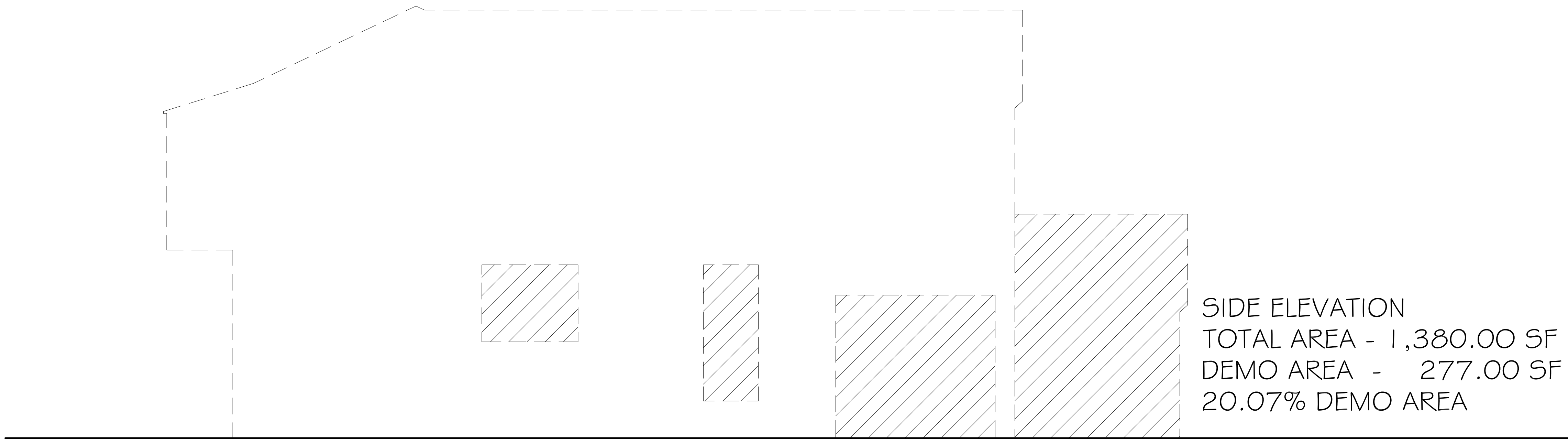
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REAR ELEVATION
TOTAL AREA - 917.50 SF
DEMO AREA - 186.72 SF
20.35% DEMO AREA

REAR DEMO ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION
TOTAL AREA - 1,380.00 SF
DEMO AREA - 277.00 SF
20.07% DEMO AREA

SIDE DEMO ELEVATION

SCALE: 1/4" = 1'-0"

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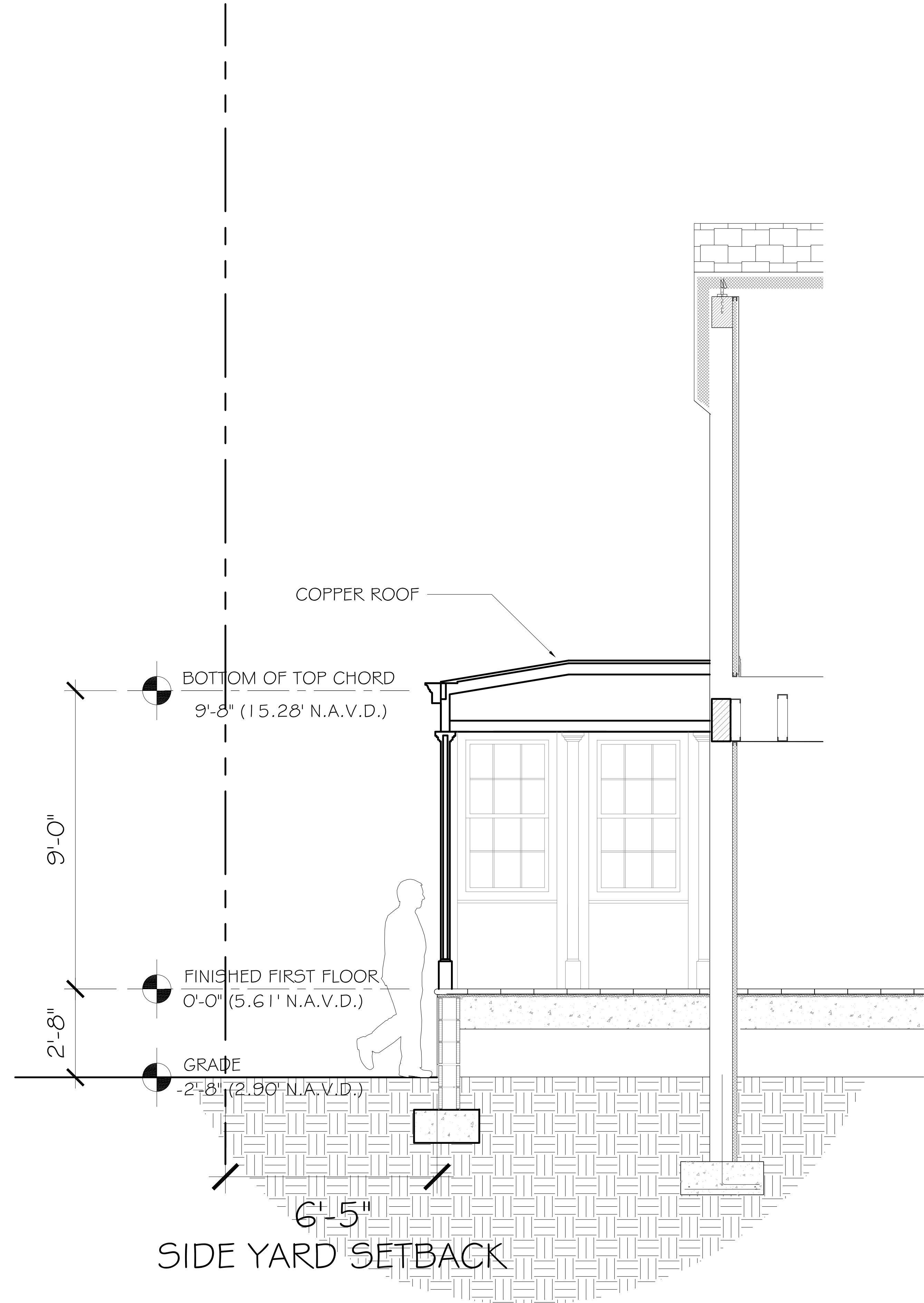
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SECTION DETAIL

SCALE: 1/2" = 1'-0"

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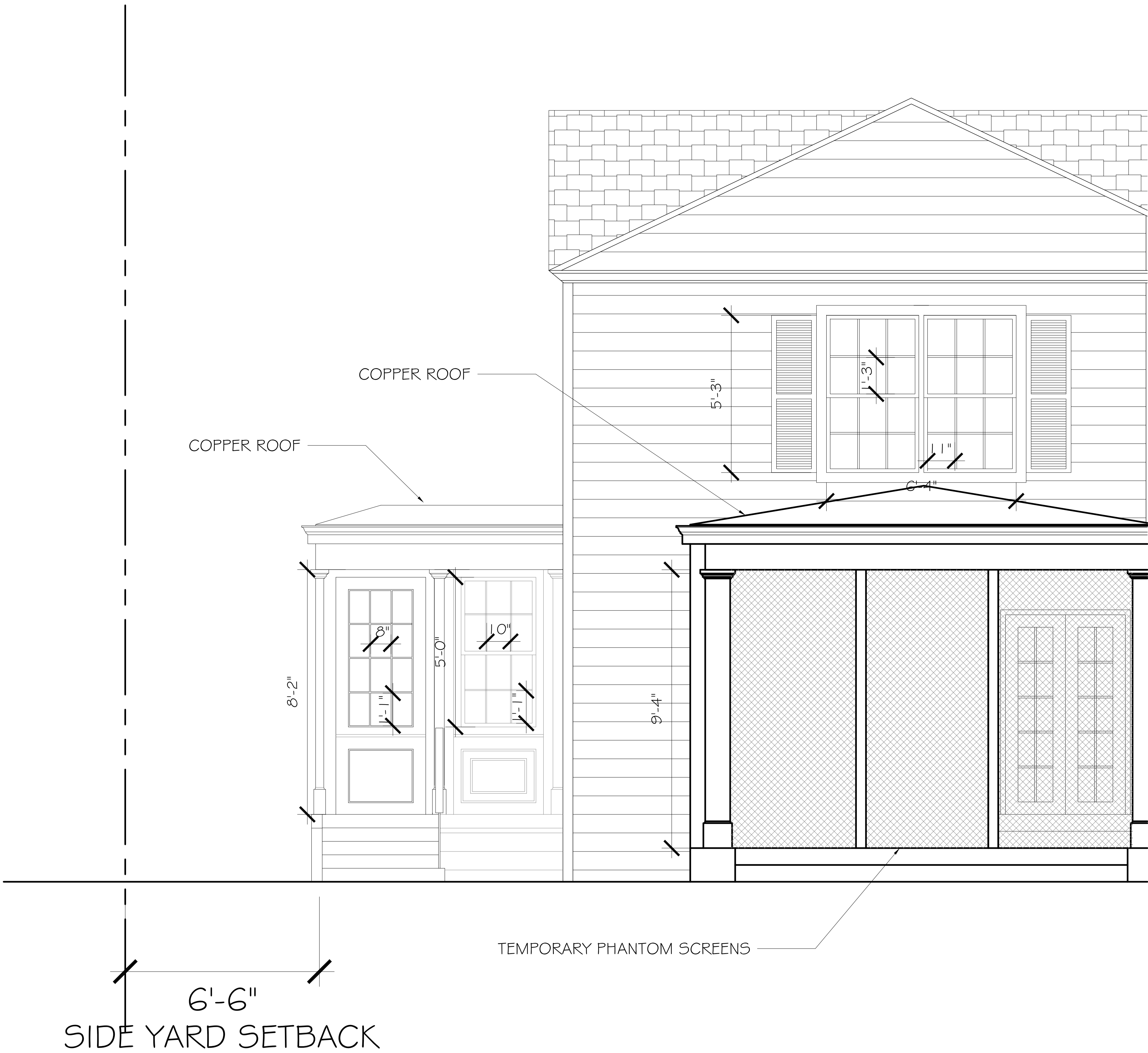
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DETAILS

SCALE: 1/2" = 1'-0"

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ZON-23-044

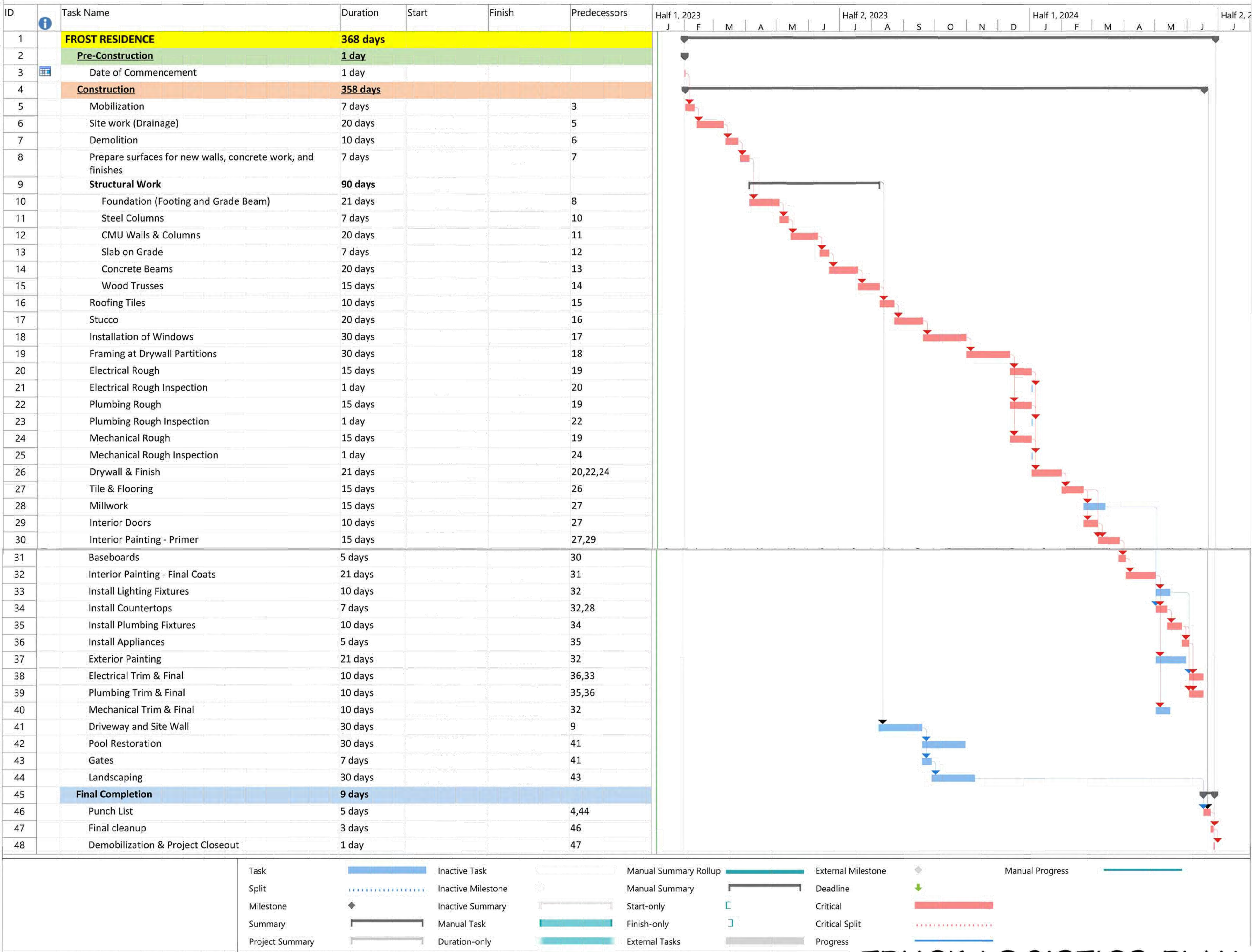
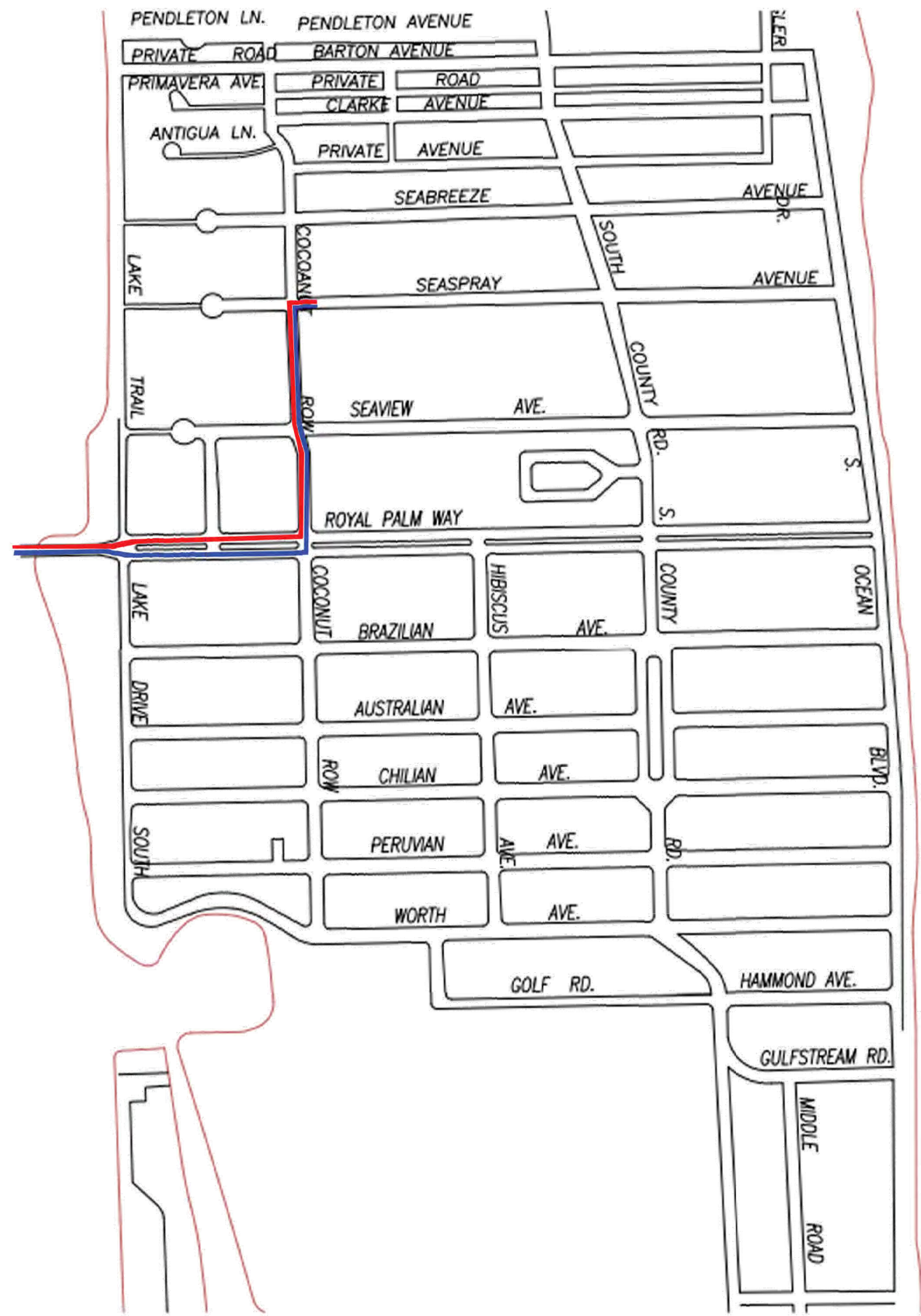
1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

TRUCK ROUTE USES FLAGLER MEMORIAL BRIDGE, TO ROYAL POINCIANNA WAY, TO N COUNTY RD

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

- 30' MAX LENGTH OF VEHICLE TO BE UTILIZED.
- RIGHT OF WAY PERMIT MAY BE REQUIRED IF LARGER TRUCKS NEEDED
- APPROXIMATELY 10 TRUCKS ON SITE DURING CONSTRUCTION



TRUCK LOGISTICS PLAN



CONSULTANT:

RESIDENCE FOR:
MR. AND MRS. JUSTIN BESIKOF
360 SEASPRAY AVENUE
PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:

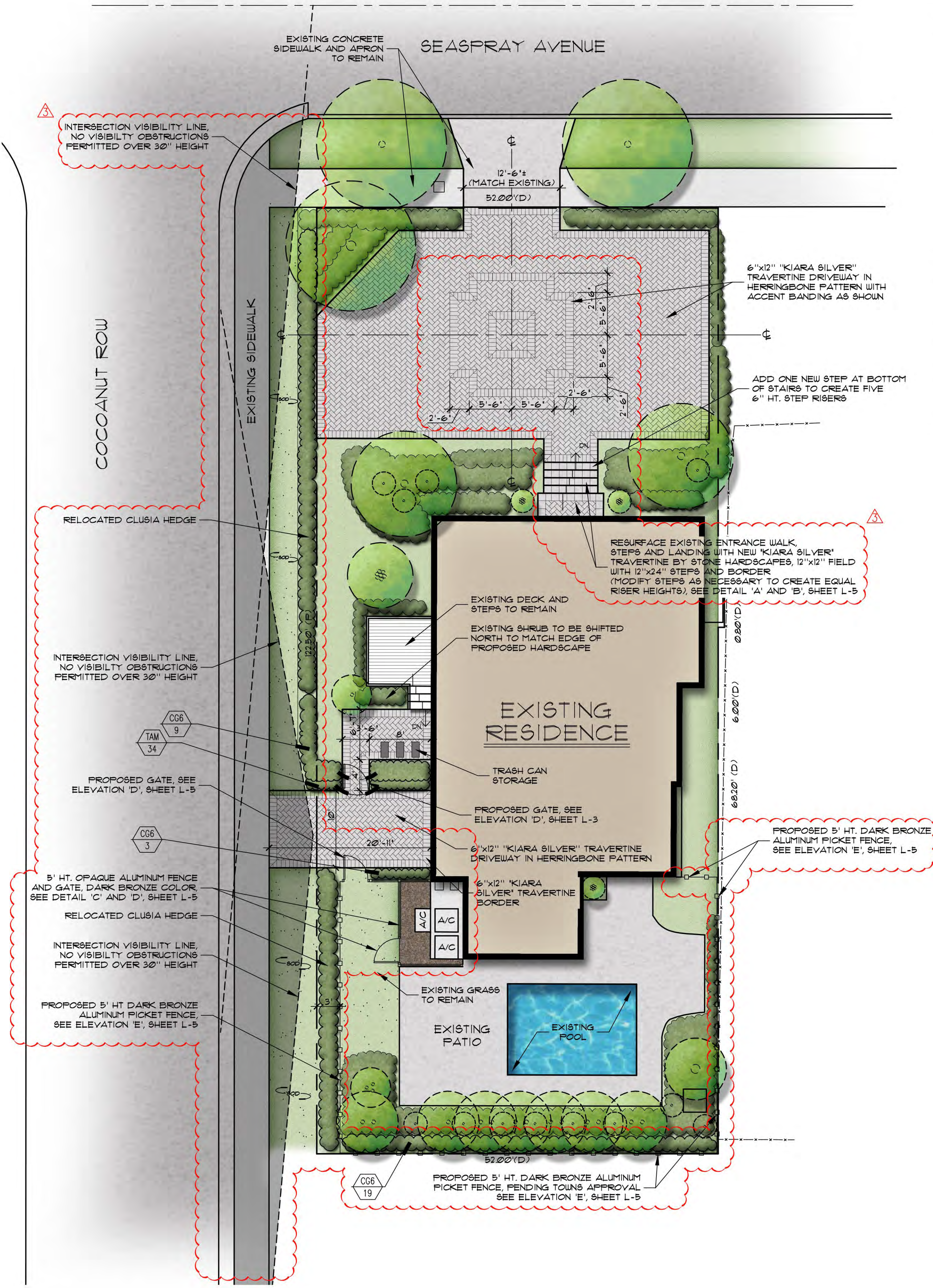


SHEET NUMBER:

TLP

ISSUE 9-27-21
DATE:
JOB #: COA-21-019

SKA
SKA ARCHITECT + PLANNER
OFFICE 561-655-1116 FAX 561-832-7888
249 PERMAN AVE. SUITE F-2 PALM BEACH FL 33480



Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing vegetation to remain

Plant List

SYM	QTY	NAME	SPECIFICATIONS
ACCENTS / SHRUBS / GROUND COVER / VINES			
CG6	31	Clusia guttifera / Small Leaf Clusia	6' x 4', full to base
TAM	34	Trachelospermum asiaticum 'Minima' / Jasmine 'Minima'	1 gal, 6' x 10', full

Native Plant Data

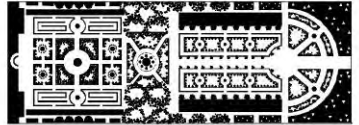
EXISTING FLORIDA NATIVE PLANT CONDITIONS TO REMAIN

Landscape Open Space Data

ZONING DISTRICT: RB
TOTAL LOT AREA: 6315 SQ. FT.
TOTAL FRONT YARD AREA: 1300 SQ. FT.

	REQUIRED	PROVIDED
EXISTING TOTAL LANDSCAPED OPEN SPACE:	45% (2869 SQ. FT.)	30.9% (1970 SQ. FT.)
PROPOSED TOTAL LANDSCAPED OPEN SPACE:	45% (2869 SQ. FT.)	31.2% (1988 SQ. FT.)
EXISTING FRONT YARD LANDSCAPED OPEN SPACE:	40% (520 SQ. FT.)	30.3% (199 SQ. FT.)
PROPOSED FRONT YARD LANDSCAPED OPEN SPACE:	40% (520 SQ. FT.)	30.3% (199 SQ. FT.)
EXISTING PERIMETER LANDSCAPED OPEN SPACE:	50% OF TOTAL REQUIRED OPEN SPACE (1435 SQ. FT.)	51.3% OF TOTAL REQUIRED OPEN SPACE (1645 SQ. FT.)
PROPOSED PERIMETER LANDSCAPED OPEN SPACE:	50% OF TOTAL REQUIRED OPEN SPACE (1435 SQ. FT.)	51.8% OF TOTAL REQUIRED OPEN SPACE (1659 SQ. FT.)

Currently Proposed
Hardscape/ Landscape Plan



PARKER YANNETTE
design group, inc.

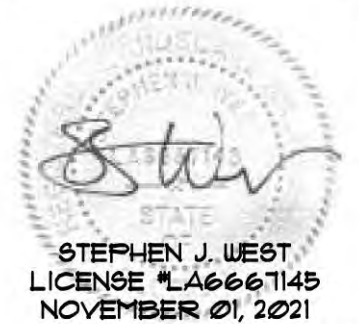
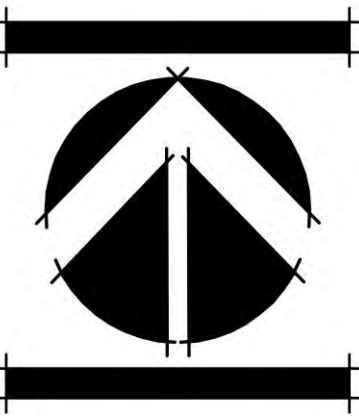
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
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License #LC-0001347

BESIKOF RESIDENCE
360 SEASPRAY AVENUE
PALM BEACH, FLORIDA
HARDSCAPE / LANDSCAPE RENOVATION PLAN

DATE: 04.14.21
DRAWN BY: SW/KC
JOB NO: 21-082
SCALE: 1/8"=1'-0"
FILENAME: 360 Seaspray

REVISIONS:
6.16.21 Staff Review
7.13.21 Staff Review
10.21.21 First Submittal
11.02.21 Final Submittal



SHEET:
L-3

COA-21-019