

189 BRADLEY PLACE

PALM BEACH, FLORIDA

DRC FINAL SUBMITTAL

MARCH 14, 2023

LPC MEETING: APRIL 19, 2023



DOCUMENT ISSUE:		DRC#		TITLE		GENERAL SITE CONDITIONS		SITE PLANS AND ZONING		PLANS, ELEVATIONS & SECTIONS		LANDSCAPE		MISCELLANEOUS		ISSUED TO:	
01/23/23	DRC PRE-APP SUBMITTAL	•	•	•	•	•	•	•	•	•	•	•	•	•	•	TOWN OF PALM BEACH	
02/09/23	DRC FIRST SUBMITTAL	•	•	•	•	•	•	•	•	•	•	•	•	•	•	TOWN OF PALM BEACH	
02/27/23	DRC SECOND SUBMITTAL	•	•	•	•	•	•	•	•	•	•	•	•	•	•	TOWN OF PALM BEACH	
03/14/23	DRC FINAL SUBMITTAL	•	•	•	•	•	•	•	•	•	•	•	•	•	•	TOWN OF PALM BEACH	

SCOPE OF WORK:

- WINDOW REPLACEMENT & EXTERIOR RESTORATION
- (3) NEW MASONRY OPENINGS AT THE NORTH FACADE
- REPAINTING ALL FACADES & NEW AWNINGS

LEGAL DESCRIPTION:

LOT 1 (EXCEPT THE EAST 51.59 FEET THEREOF), DAISY E. ERB'S ADDITION TO PALM BEACH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 9, PAGE 75, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

MUNICIPALITY: PALM BEACH
LOCATION ADDRESS: 189 BRADLEY PLACE
PARCEL CONTROL NUMBER: 50-43-43-15-05-000-0011

CODES AND STANDARDS:

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE.

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
COVER SHEET

DATE FEBRUARY 27, 2023	SHEET NO A-000
SCALE N.T.S.	
BY MC	

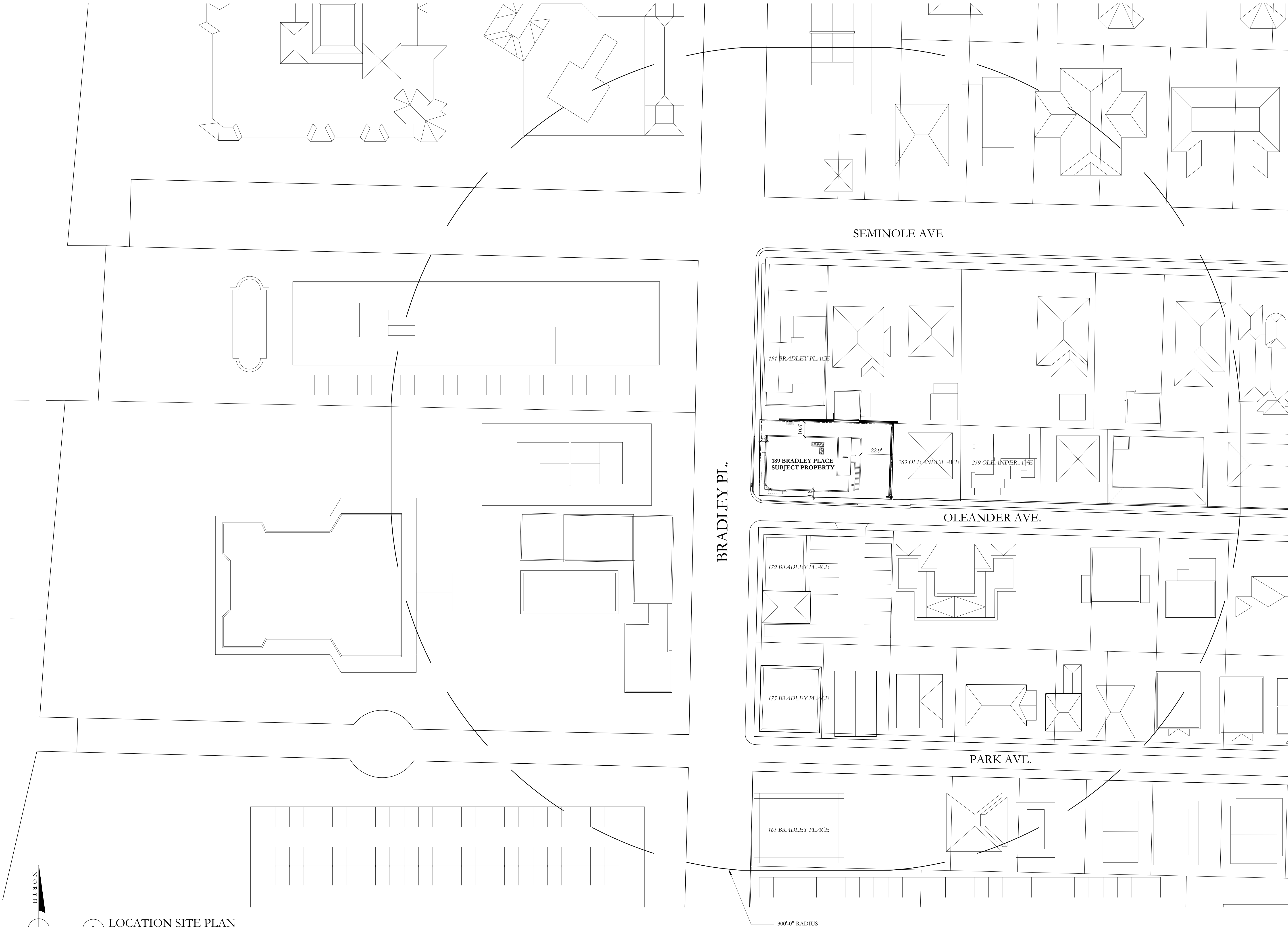


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, L.L.C.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



BRADLEY PL.

SEMINOLE AVE.

OLEANDER AVE.

PARK AVE.

191 BRADLEY PLACE

189 BRADLEY PLACE
SUBJECT PROPERTY

263 OLEANDER AVE

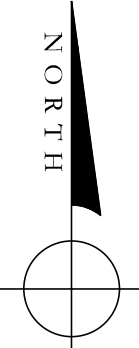
259 OLEANDER AVE

179 BRADLEY PLACE

175 BRADLEY PLACE

165 BRADLEY PLACE

300'-0" RADIUS



1 LOCATION SITE PLAN
1/32"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

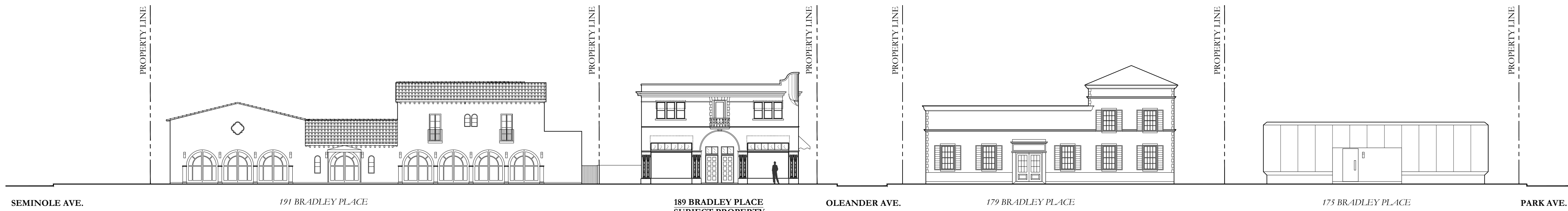
SHEET TITLE
LOCATION SITE PLAN

DATE FEBRUARY 27, 2023	SHEET NO G-001
SCALE AS NOTED	
BY MC	

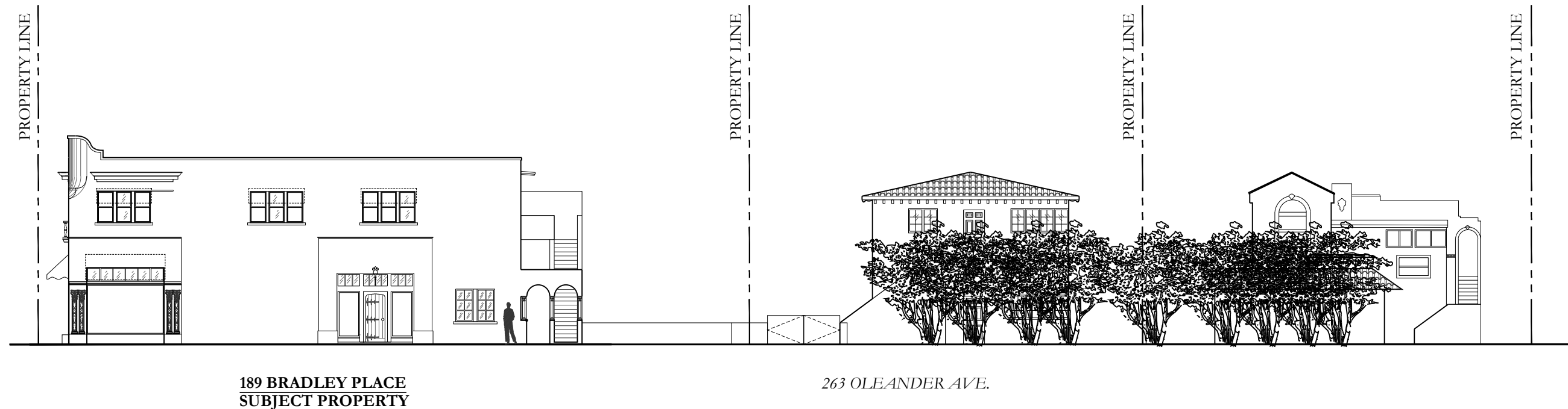

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

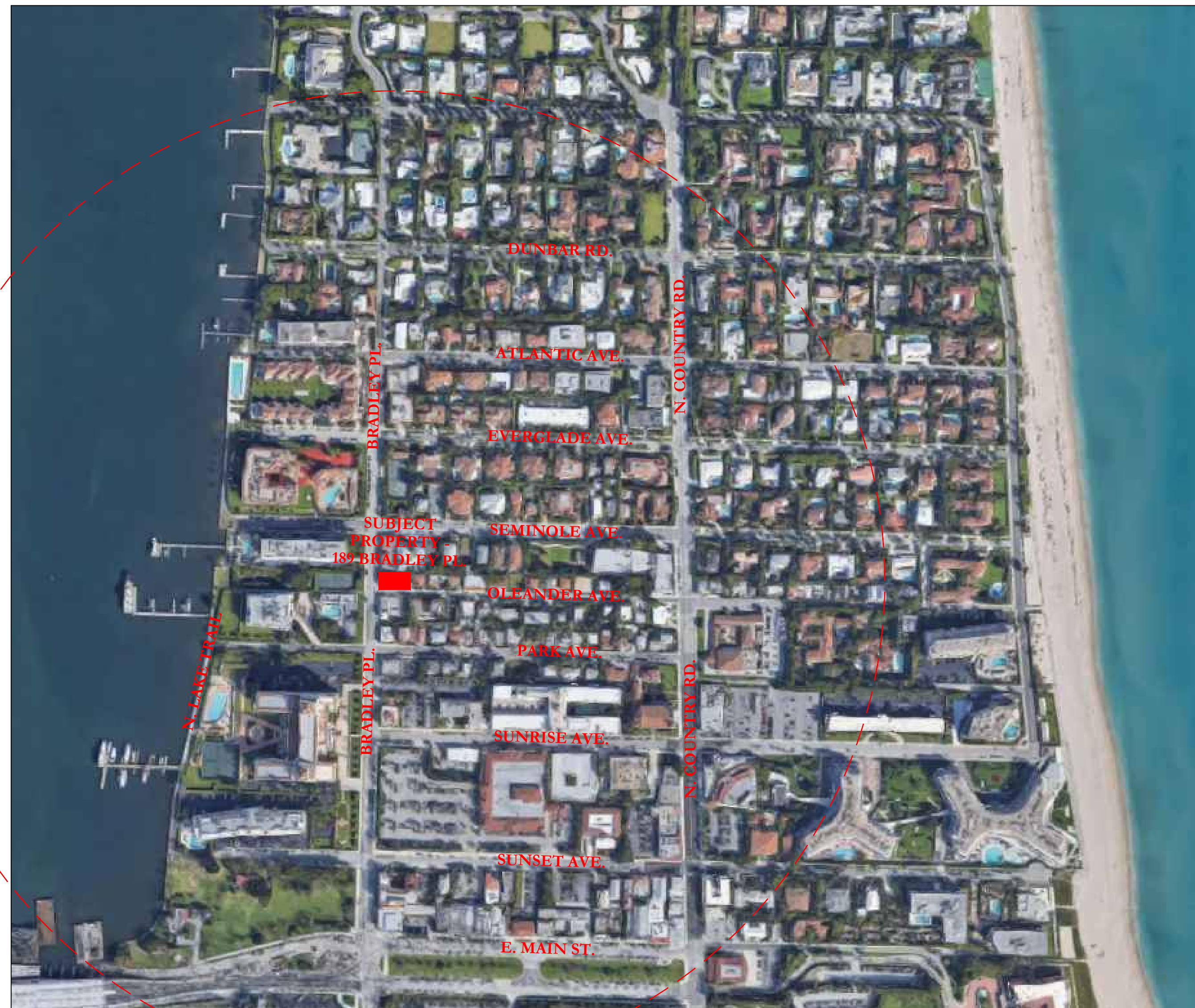
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



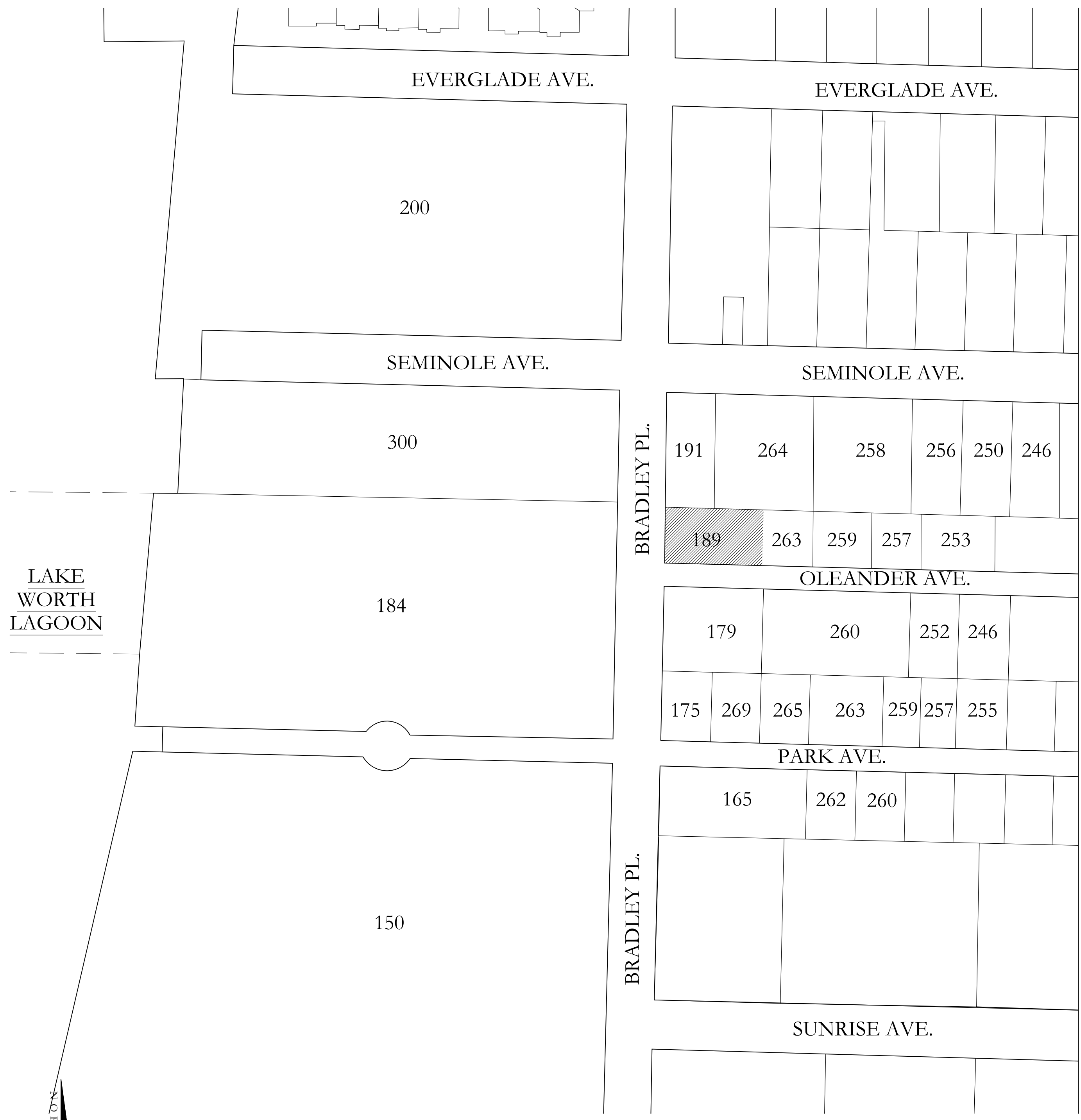
1 BRADLEY PLACE STREETSCAPE ELEVATION, FACING WEST
1/16"=1'-0"



2 OLEANDER AVE STREETSCAPE ELEVATION, FACING SOUTH
1/16"=1'-0"



3 AERIAL MAP
1"=300'-0"



4 LOCATION / VICINITY MAP
NTS

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
VICINITY MAP &
STREETSCAPE ELEVATIONS

DATE
FEBRUARY 27, 2023

SHEET NO

SCALE
AS NOTED

G-002

BY
HM



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



A 191 BRADLEY PLACE



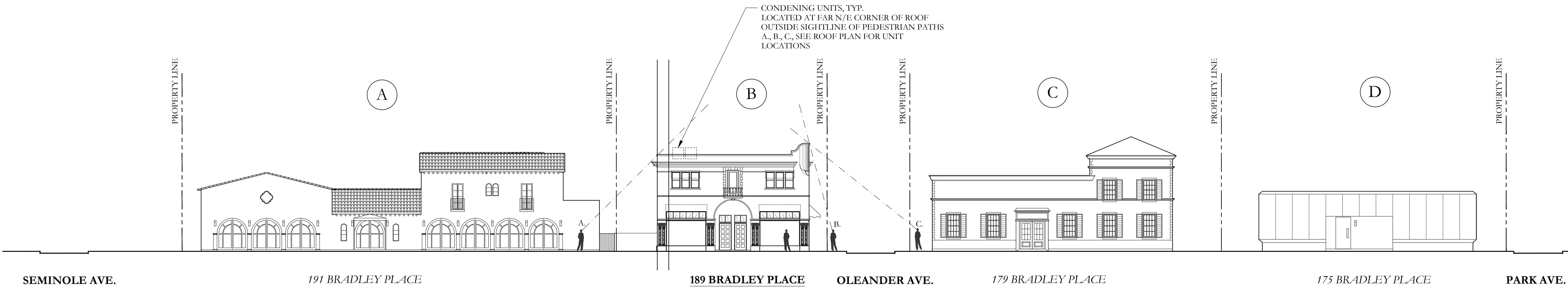
B 189 BRADLEY PLACE
SUBJECT PROPERTY



C 179 BRADLEY PLACE



D 175 BRADLEY PLACE



1 BRADLEY PLACE STREETSCAPE ELEVATION, FACING WEST
1/16"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
STREETSCAPE ELEVATIONS
AND PHOTOS

DATE FEBRUARY 27, 2023	SHEET NO G-003
SCALE 1/8"=1'-0"	
BY HM	

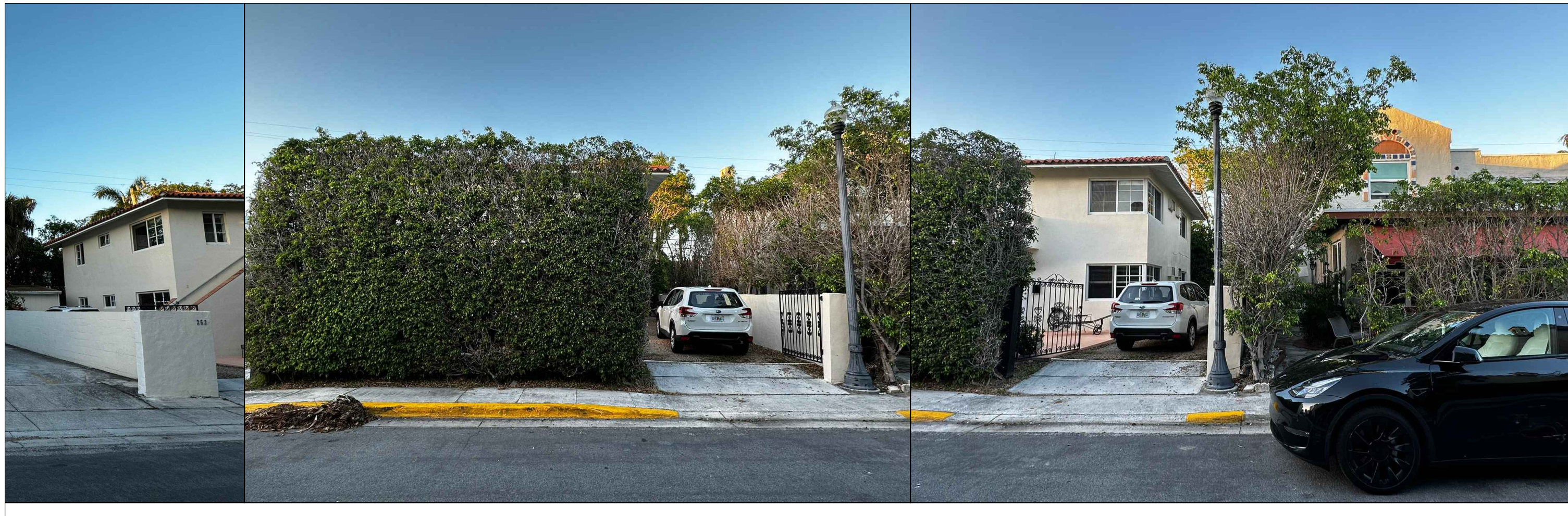


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



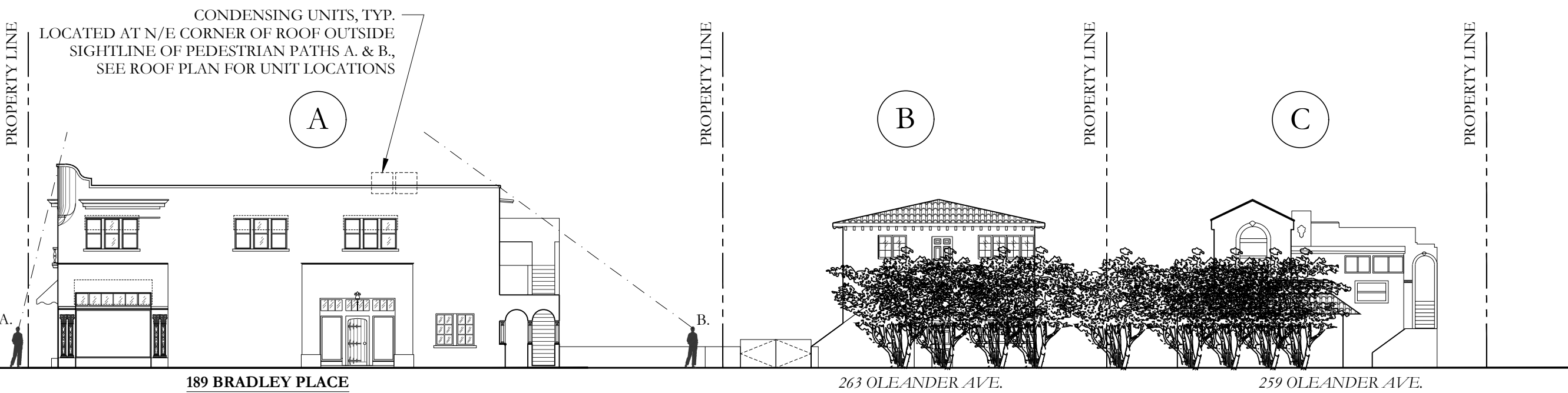
A 189 BRADLEY PLACE
SUBJECT PROPERTY



B 263 ORLEANDER AVE.



C 259 ORLEANDER AVE.



1 OLEANDER AVE STREETSCAPE ELEVATION, FACING SOUTH
1/16"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
STREETSCAPE ELEVATIONS
AND PHOTOS

DATE FEBRUARY 27, 2023	SHEET NO G-004
SCALE 1/8"=1'-0"	
BY HM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



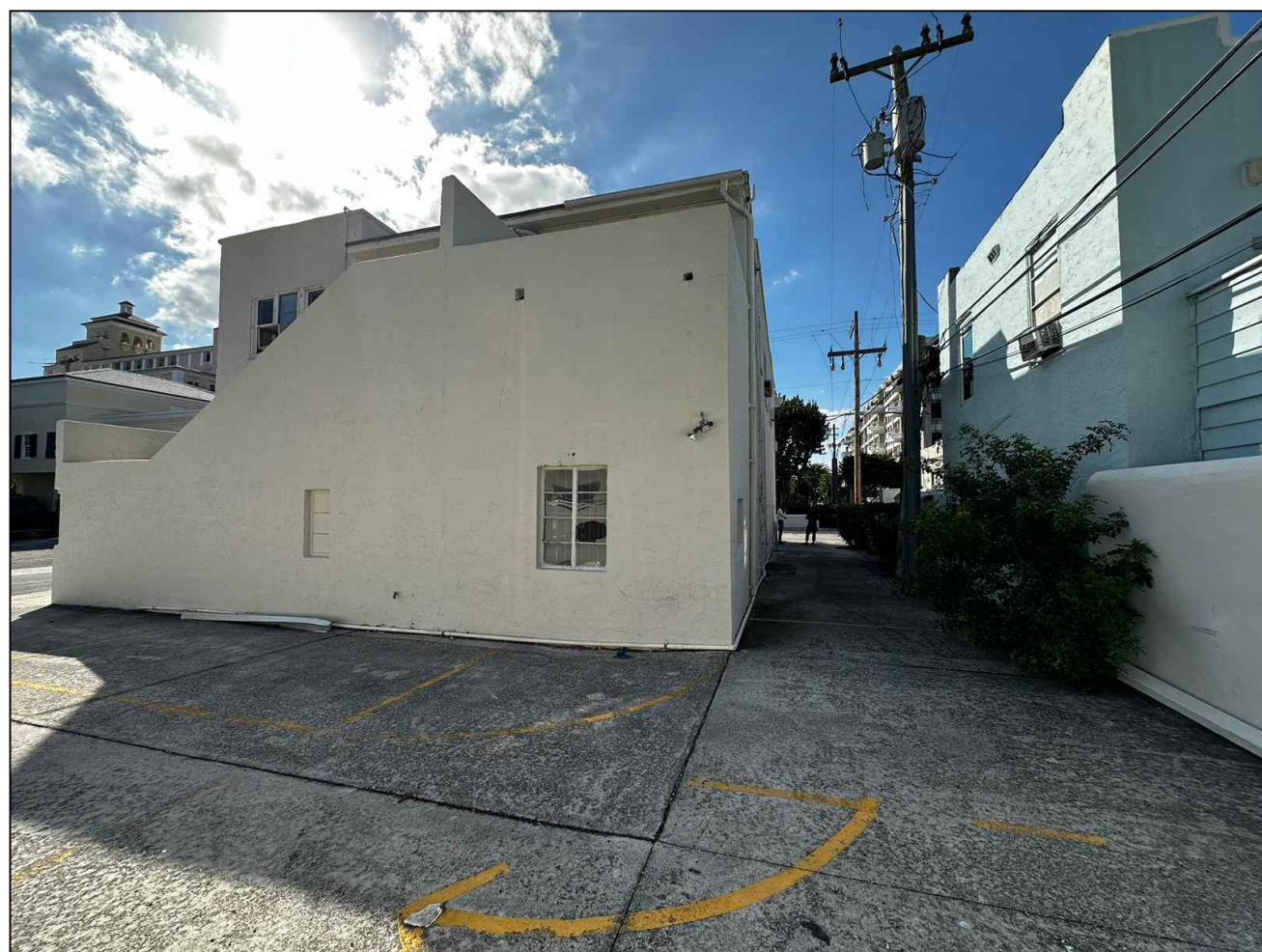
1 EXISTING WEST ELEVATION
NTS



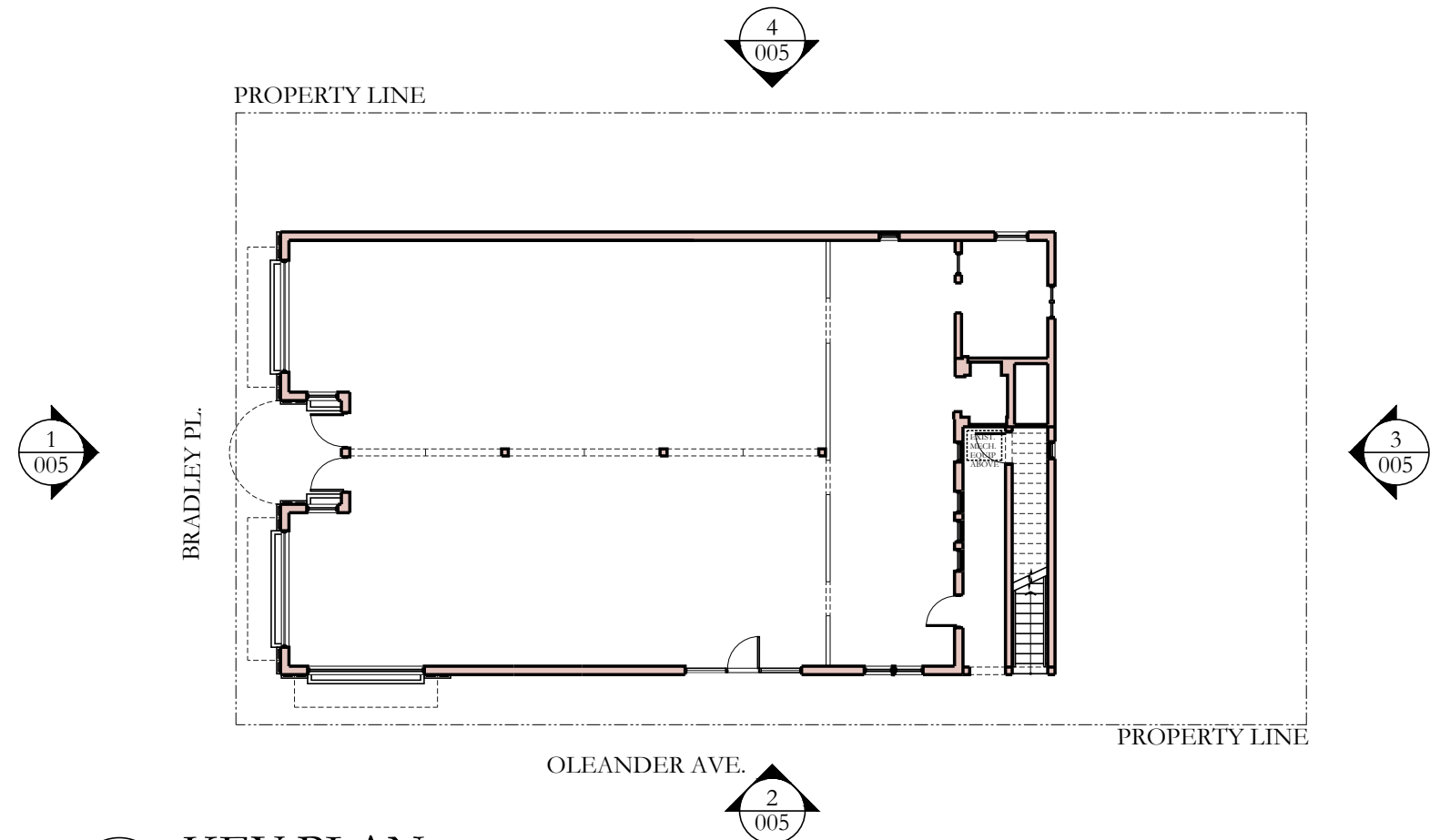
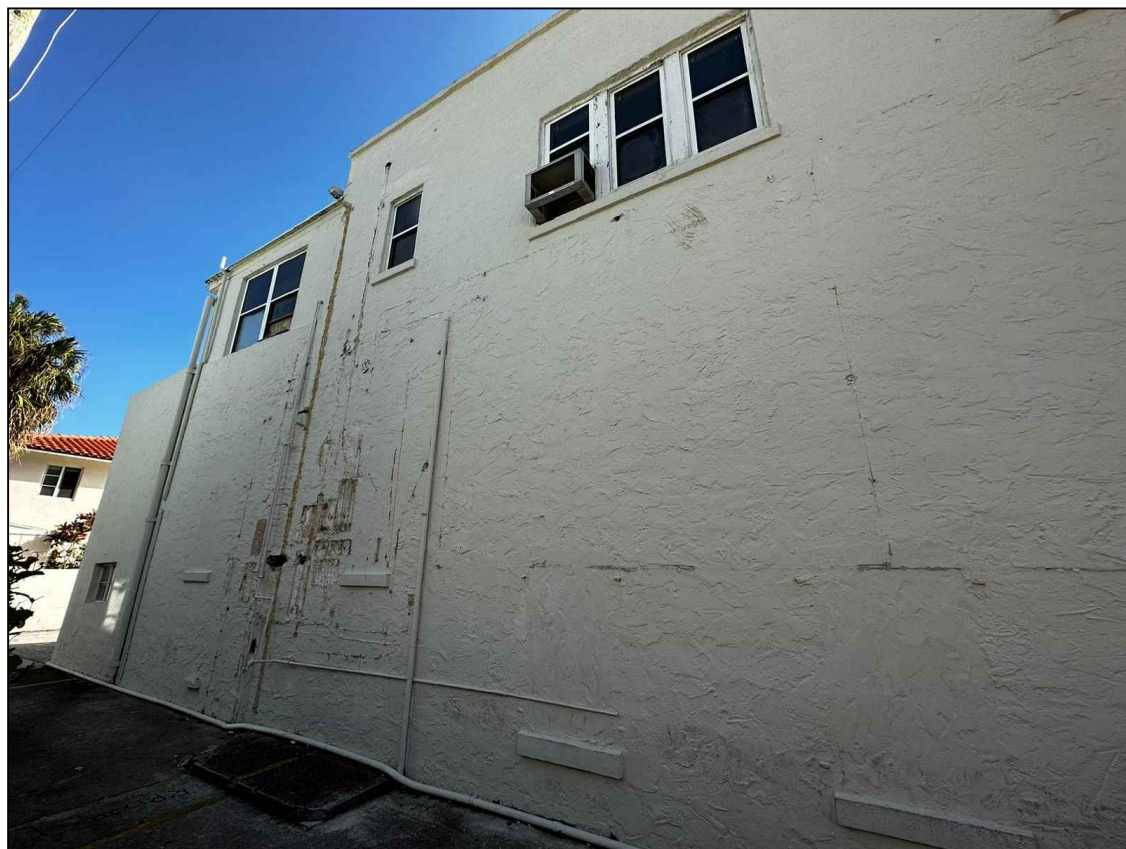
2 EXISTING SOUTH ELEVATION
NTS



3 EXISTING EAST ELEVATION
NTS



4 EXISTING NORTH ELEVATION
NTS



5 KEY PLAN
NTS

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

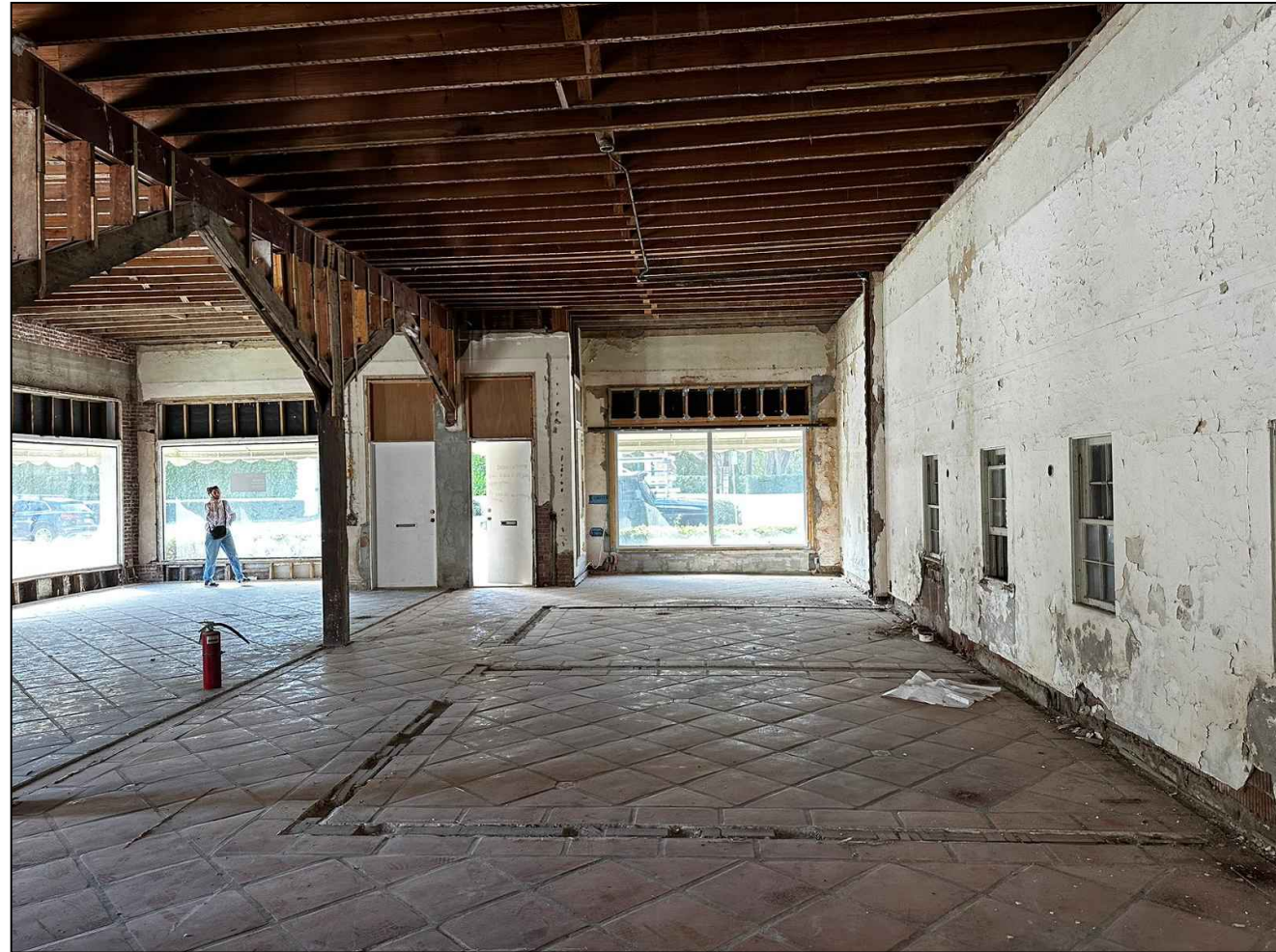
189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXIST. EXTERIOR CONDITION
PHOTOGRAPHS

DATE FEBRUARY 27, 2023	SHEET NO G-005
SCALE AS NOTED	
BY HM	


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 FIRST FLOOR



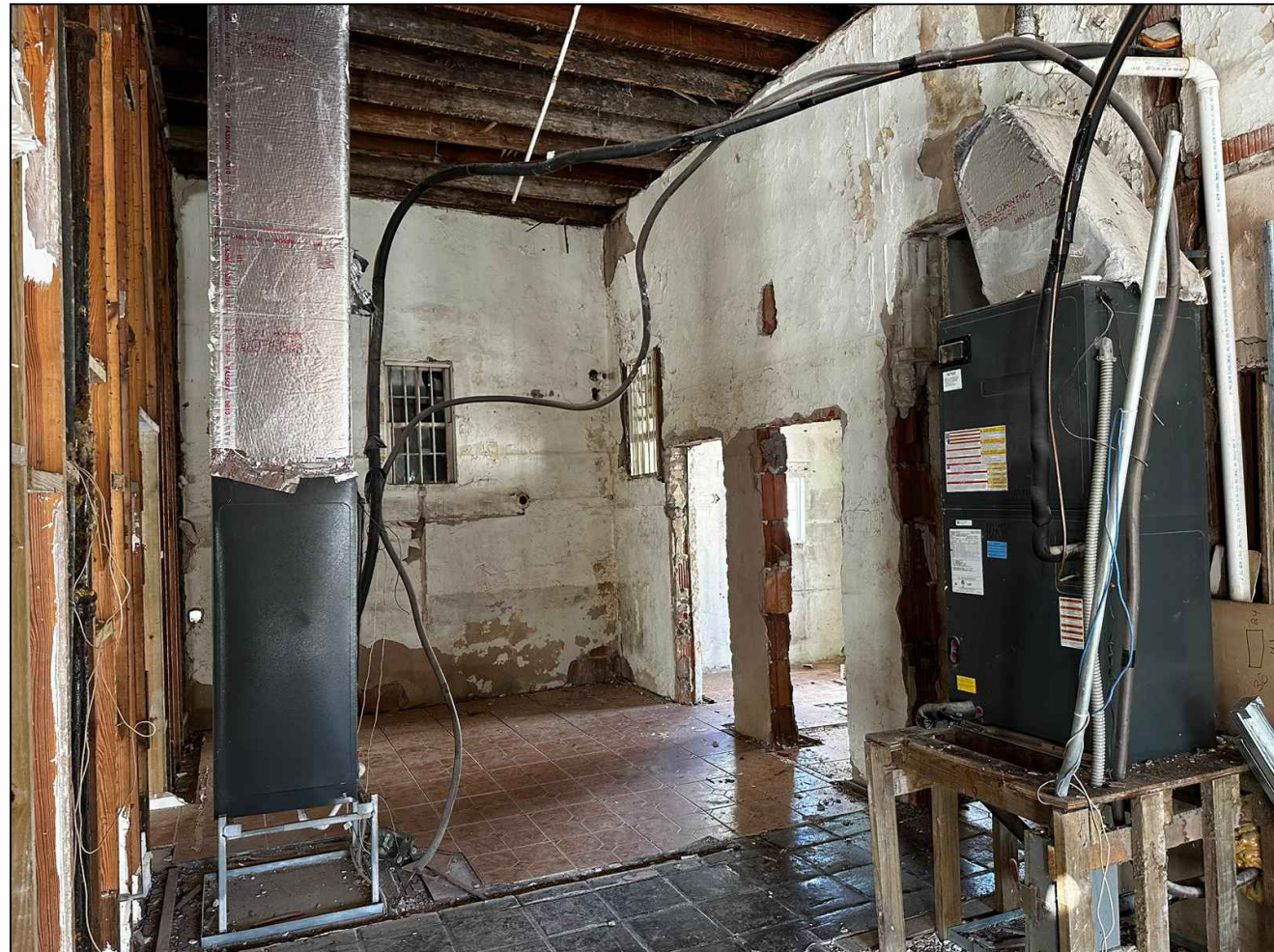
2 FIRST FLOOR



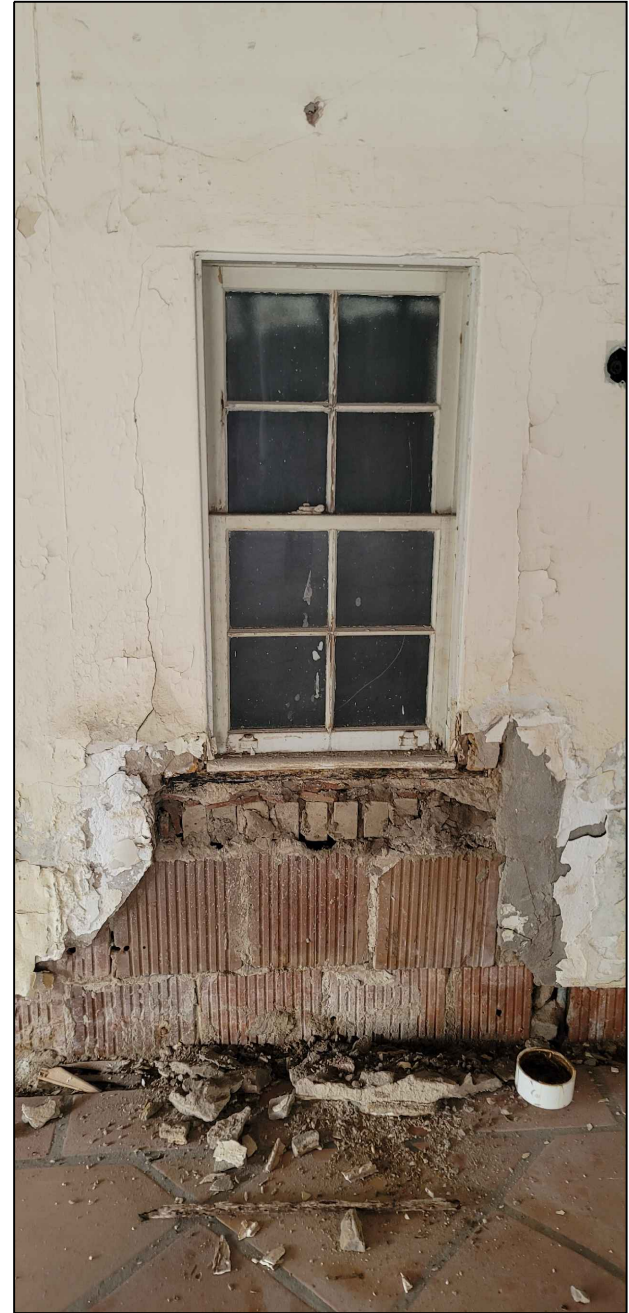
3 FIRST FLOOR



4 FIRST FLOOR



5 FIRST FLOOR




6 FIRST FLOOR

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE EXIST. INTERIOR CONDITION PHOTOGRAPHS	
DATE FEBRUARY 27, 2023	SHEET NO G-006
SCALE AS NOTED	
BY HM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

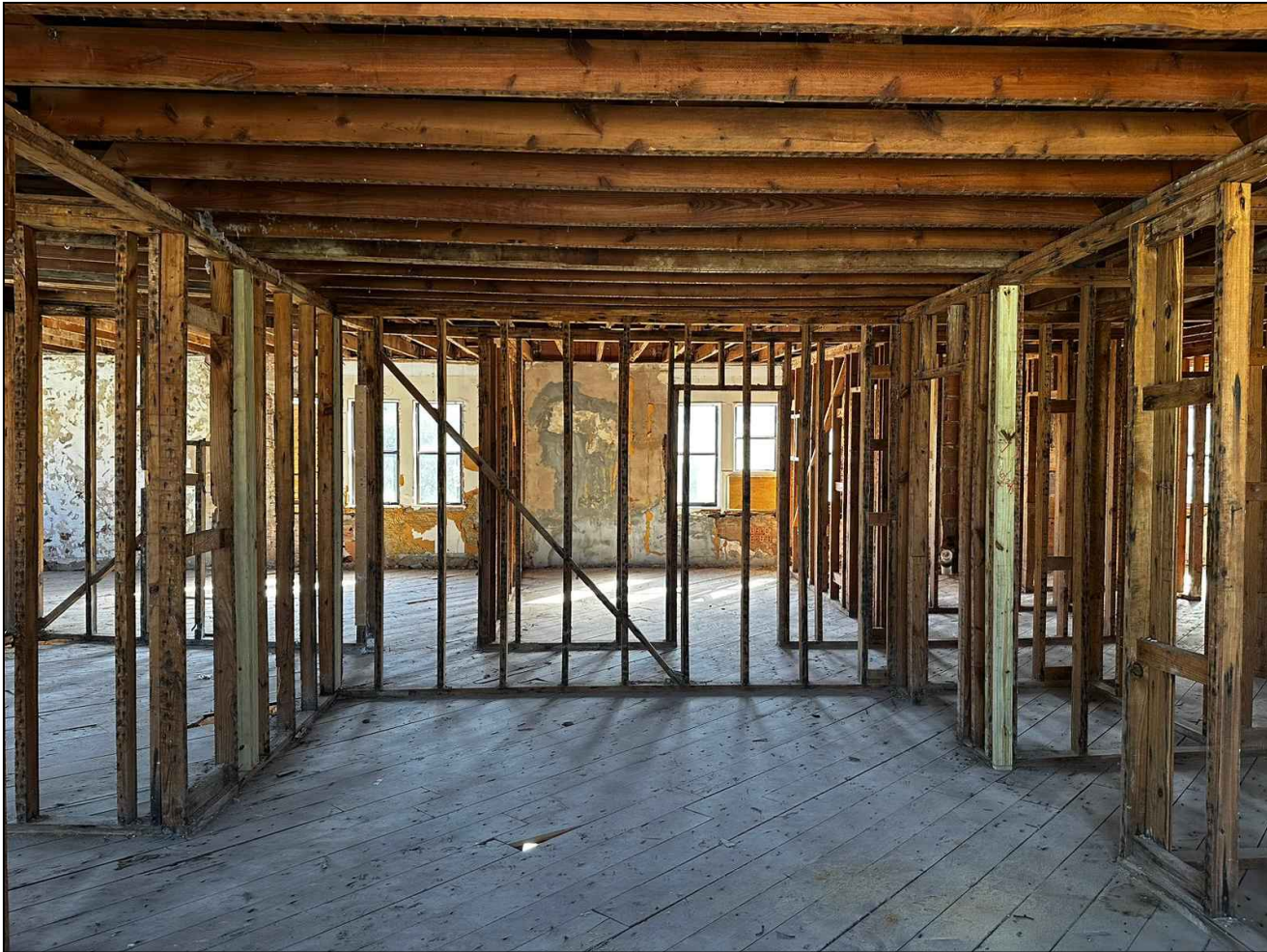
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 505-8581
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

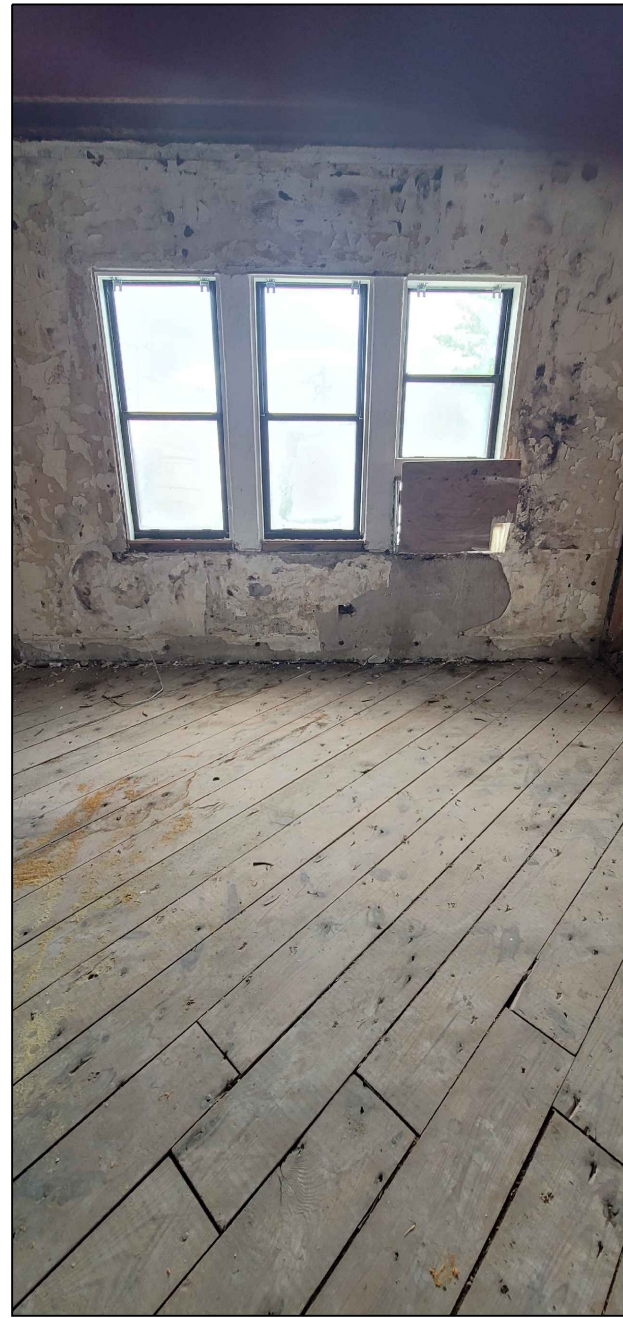
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 SECOND FLOOR



2 SECOND FLOOR



3 SECOND FLOOR



4 SECOND FLOOR



5 SECOND FLOOR

NOTES

1. EXISTING CONDITION PHOTOS OF SECOND FLOOR DWELLING UNITS 1 & 2 REVEAL INTACT STUD FRAMING TO REMAIN.

2. THE PROPOSED SECOND FLOOR LAYOUT OF DWELLING UNITS 1 & 2 UTILIZE ALL LOAD BEARING PARTITIONS AND STUD FRAMING THAT EXIST AS SHOWN IN THE EXISTING PHOTOS.

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

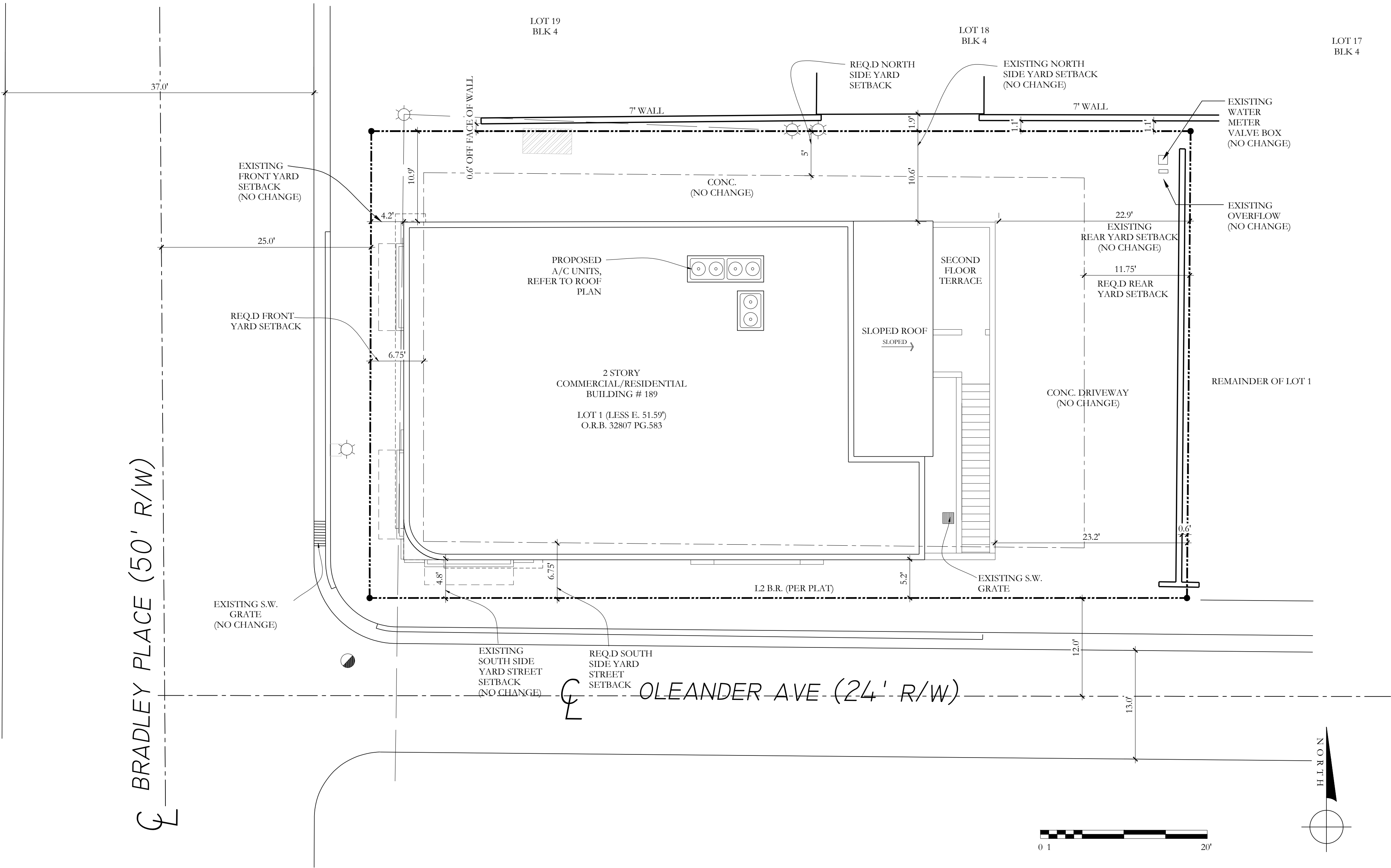
SHEET TITLE
EXIST. INTERIOR CONDITION
PHOTOGRAPHS

DATE FEBRUARY 27, 2023	SHEET NO G-007
SCALE AS NOTED	
BY HM	


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 SITE PLAN - NO CHANGE
1/8"=1'-0"



Town of Palm Beach

Planning Zoning and Building
360 S County Rd Palm
Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	189 BRADLEY PLACE/ PALM BEACH, FL 33480		
2	Zoning District:	C-TS		
3	Structure Type:	FRAME/ CLAY BLOCK		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	4,000 SQ.FT.	5,488 SQ.FT.	N/C
6	Lot Depth	90 FT	98 FT.	N/C
7	Lot Width	30 FT.	56 FT.	N/C
8	Lot Coverage (Sq Ft and %)	70%	2,718 SQ.FT. (49%)	N/C
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl, Accessory Structures, etc)	15,000 SQ.FT.	5,247 SQ.FT.	N/C
10	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
11	*Front Yard Setback (Ft.) (W)	6.75'	4.2'	N/C
12	* Side Yard Setback (Ft.) (S)	6.75'	4.8'	N/C
13	* Side Yard Setback (Ft.) (N)	5.0'	10.6'	N/C
14	*Rear Yard Setback (Ft.) (E)	11.75'	22.9'	N/C
15	Angle of Vision (Deg.)	N/A	N/A	N/A
16	Building Height (Ft.)	25 FT.	18.5 FT.	N/C
17	Overall Building Height (Ft.)	30 FT.	21.0 FT	N/C
18	Crown of Road (COR) (NAVD)	TBD	TBD	N/C
19	Max. Amount of Fill Added to Site (Ft.)	N/A	N/A	N/A
20	Finished Floor Elev. (FFE)(NAVD)	7.0'	2.5'	N/C
21	Zero Datum for point of meas. (NAVD)	N/A	7.0'	N/C
22	FEMA Flood Zone Designation	N/A	AE	N/C
23	Base Flood Elevation (BFE)(NAVD)	N/A	6.0'	N/A
24	Landscape Open Space (LOS) (Sq Ft and %)	(1,372 SQ.FT.) (25%)	56 SQ.FT. (1%)	N/C
25	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
26	Front Yard LOS (Sq Ft and %)	133 SQ.FT. (35%)	0 SQ.FT. (0%)	N/C
27	**Native Plant Species %	Please refer to separate landscape legend.		

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

REV BF 20220304

2 ZONING LEGEND N.T.S.

NOTES:

1. EXISTING NON-CONFORMING ENVELOPE ON BRADLEY PLACE (WEST ELEVATION), NO CHANGE IN MASS
2. PROPERTY IS A DEEMED A LANDMARK BY THE TOWN OF PALM BEACH LANDMARK PRESERVATION COMMISSION.
3. BUILDING USE TO BE FOR COMMERCIAL USE AND (2) DWELLING UNITS, NO CHANGE.
4. PARKING REQUIREMENTS AS EXISTING, NO CHANGE.
5. DRIVEWAY TO REMAIN AS EXISTING, NO CHANGE
6. NO CIVIL WORK IS BEING PROPOSED
7. NO INCREASE IN LOT COVERAGE BEING PROPOSED

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE

SITE PLAN

DATE FEBRUARY 27, 2023	SHEET NO A-001
SCALE 1/8"=1'-0"	
BY MC	

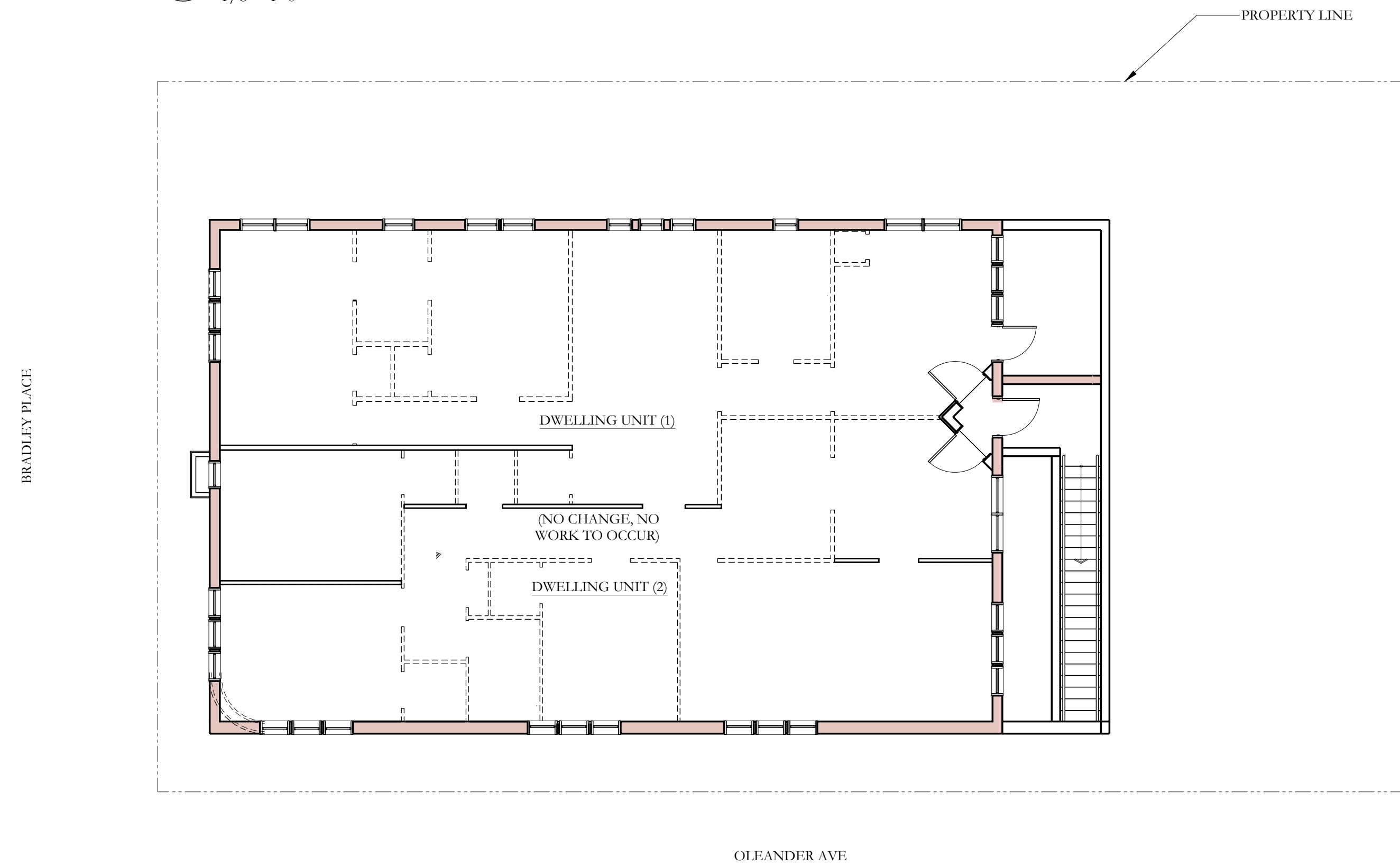
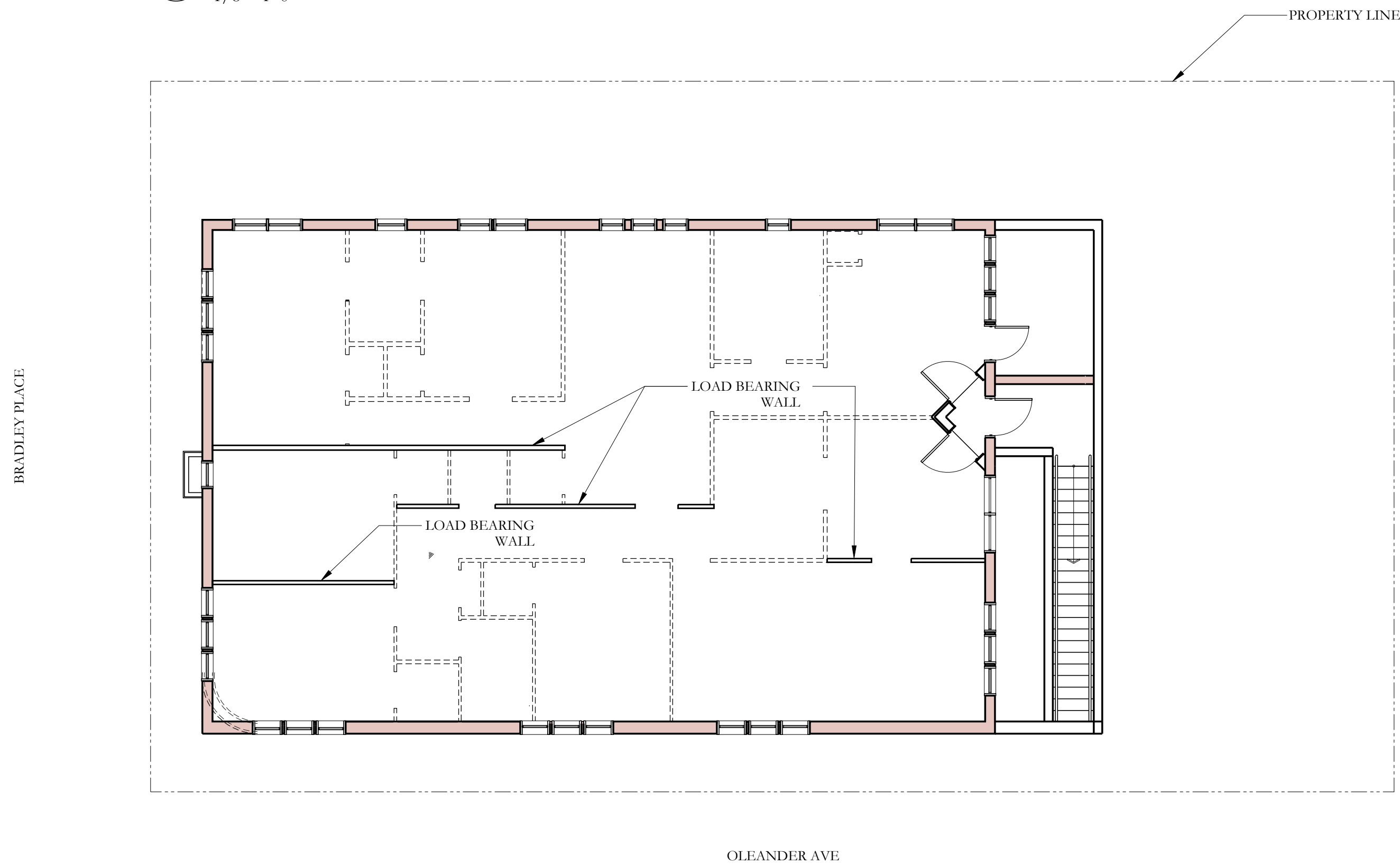
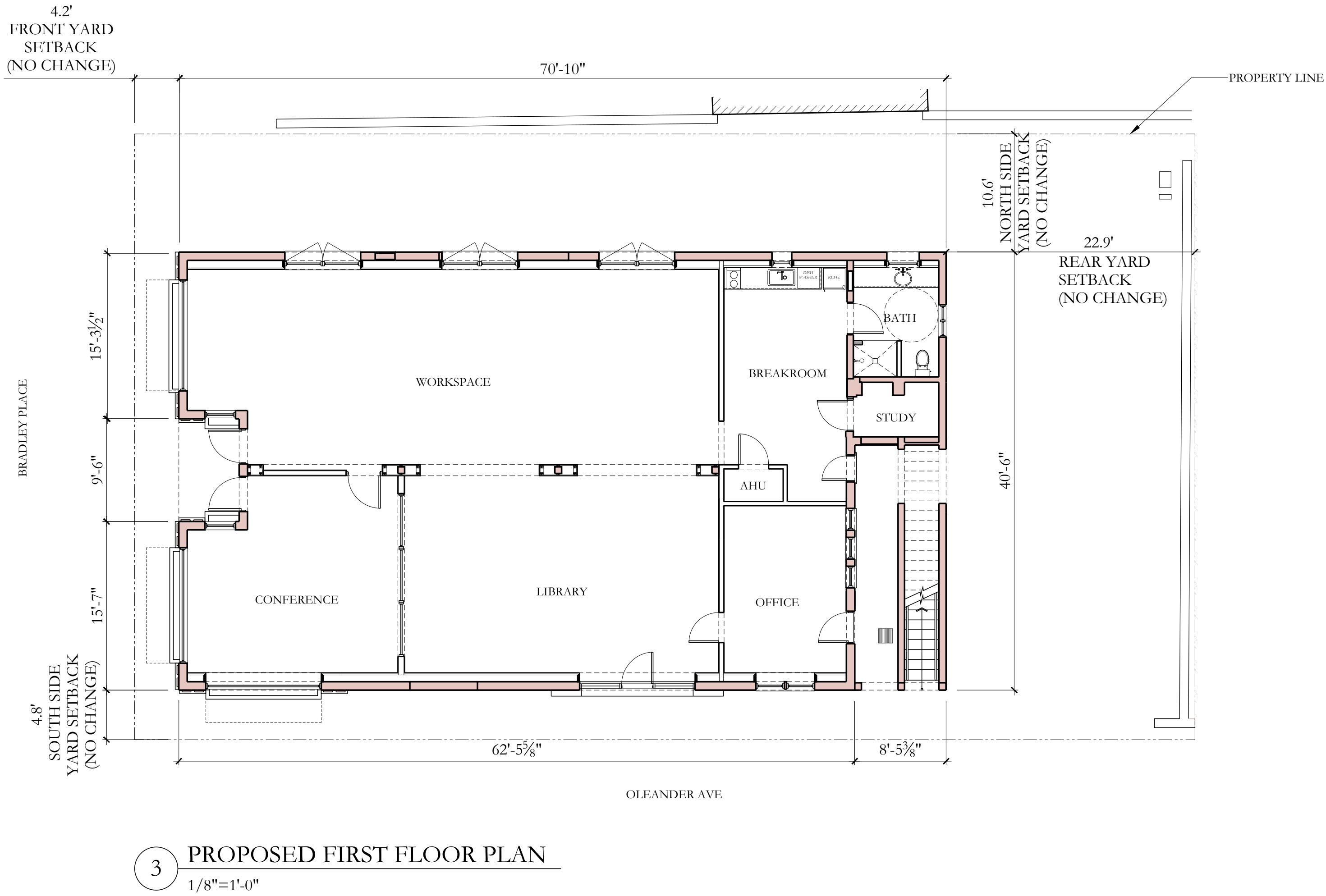
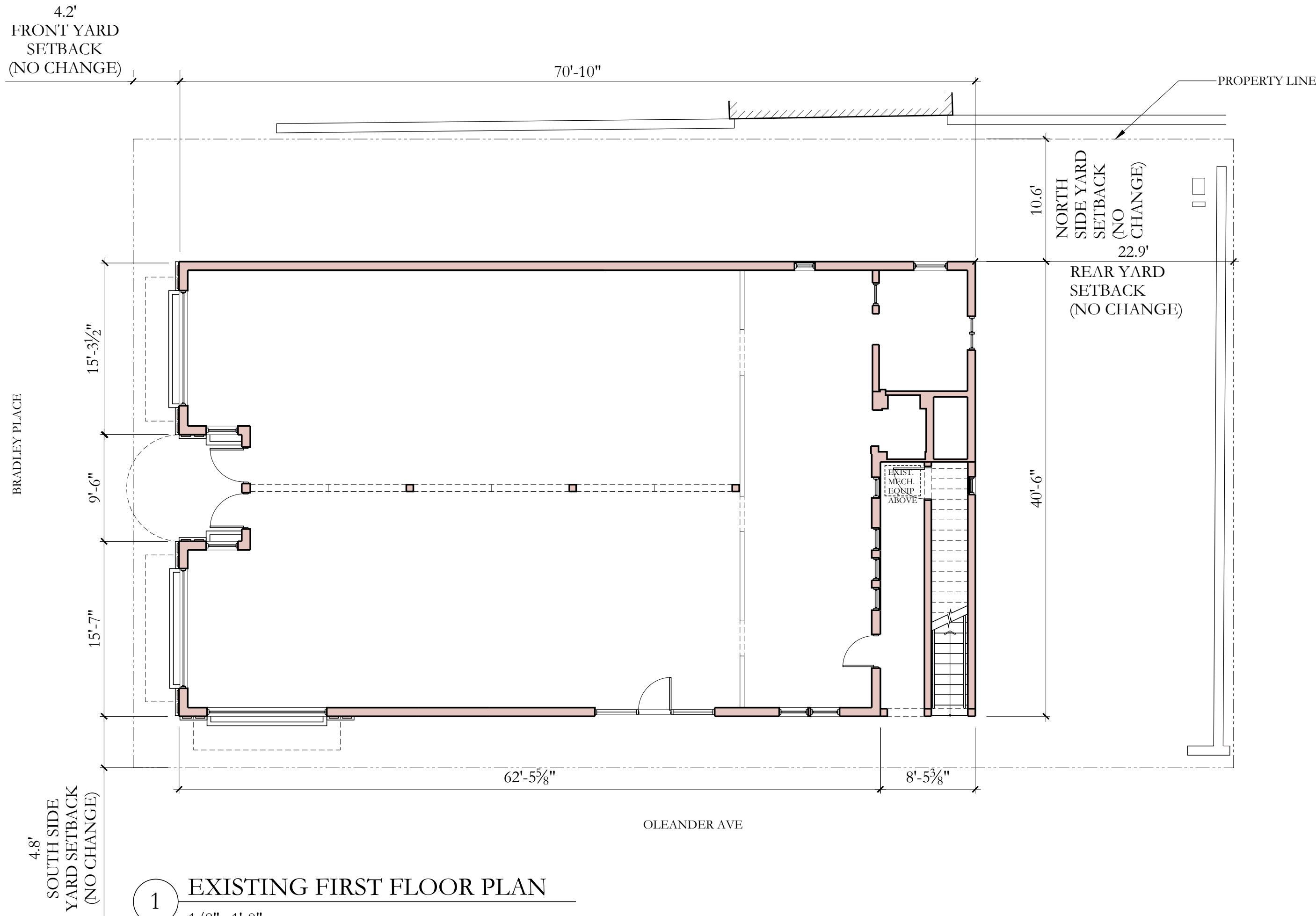


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXIST. & PROPOSED
1ST AND 2ND FLOOR PLANS

DATE
FEBRUARY 27, 2023

SHEET NO

SCALE
1/8"=1'-0"

EX-000

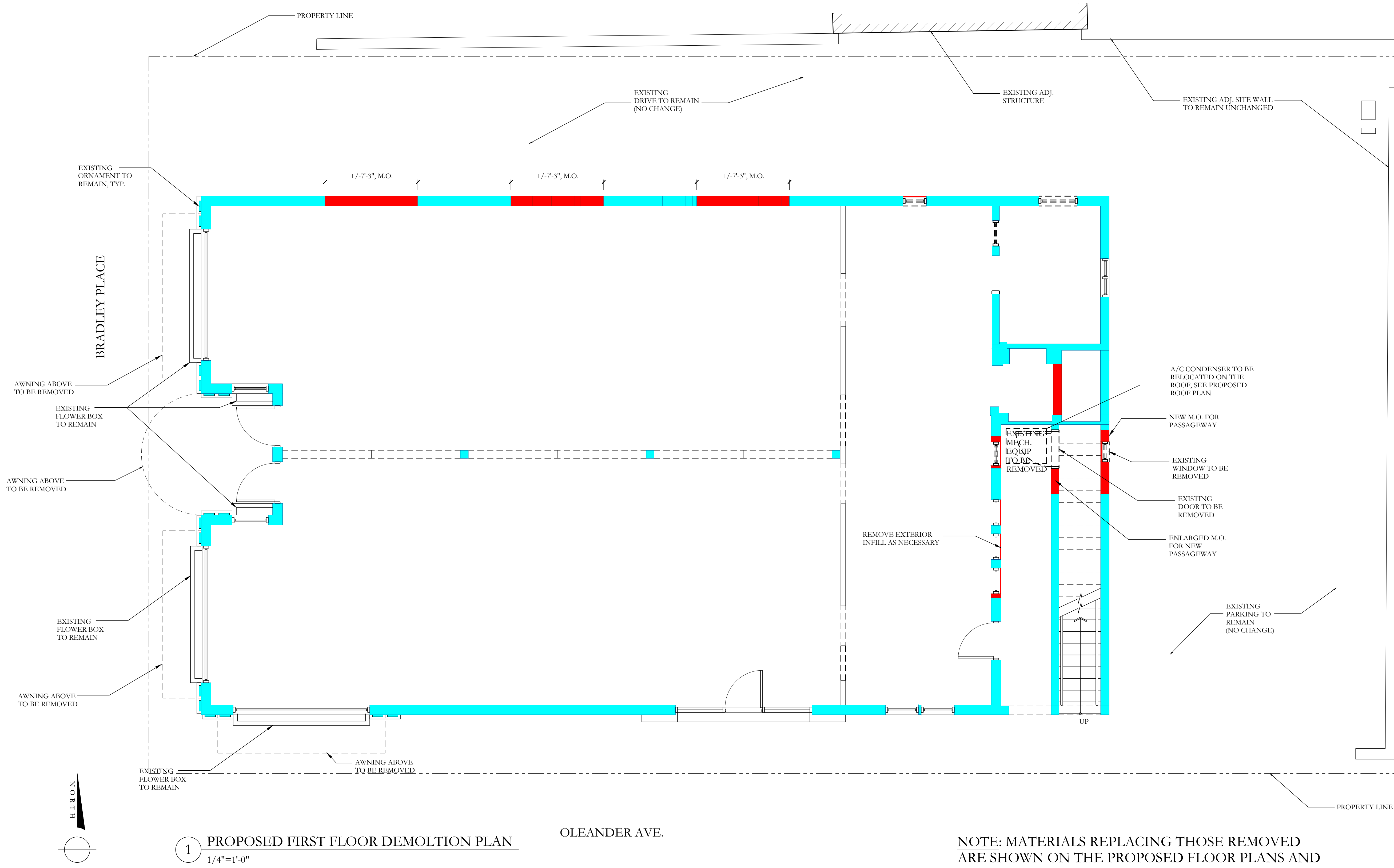
BY
HM



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED FIRST FLOOR DEMOLITION PLAN
1/4"=1'-0"

NOTE: MATERIALS REPLACING THOSE REMOVED
ARE SHOWN ON THE PROPOSED FLOOR PLANS AND
ELEVATIONS.

DEMOLITION KEY NOTES:

- EXISTING WALL, STRUCTURE TO REMAIN
- EXISTING WALL TO BE REMOVED
- PORTION OF EXISTING BUILDING TO BE REMOVED (INCL. FLOOR SLAB, WALLS, COLUMNS, ETC.)
- EXISTING WINDOW, DOOR, OR OTHER MATERIALS TO BE REMOVED
- EXISTING ROOF TO BE REMOVED

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED FIRST FLOOR
DEMOLITION PLAN

DATE
FEBRUARY 27, 2023

SCALE
1/4"=1'-0"

BY
HM, MC

SHEET NO
D-100

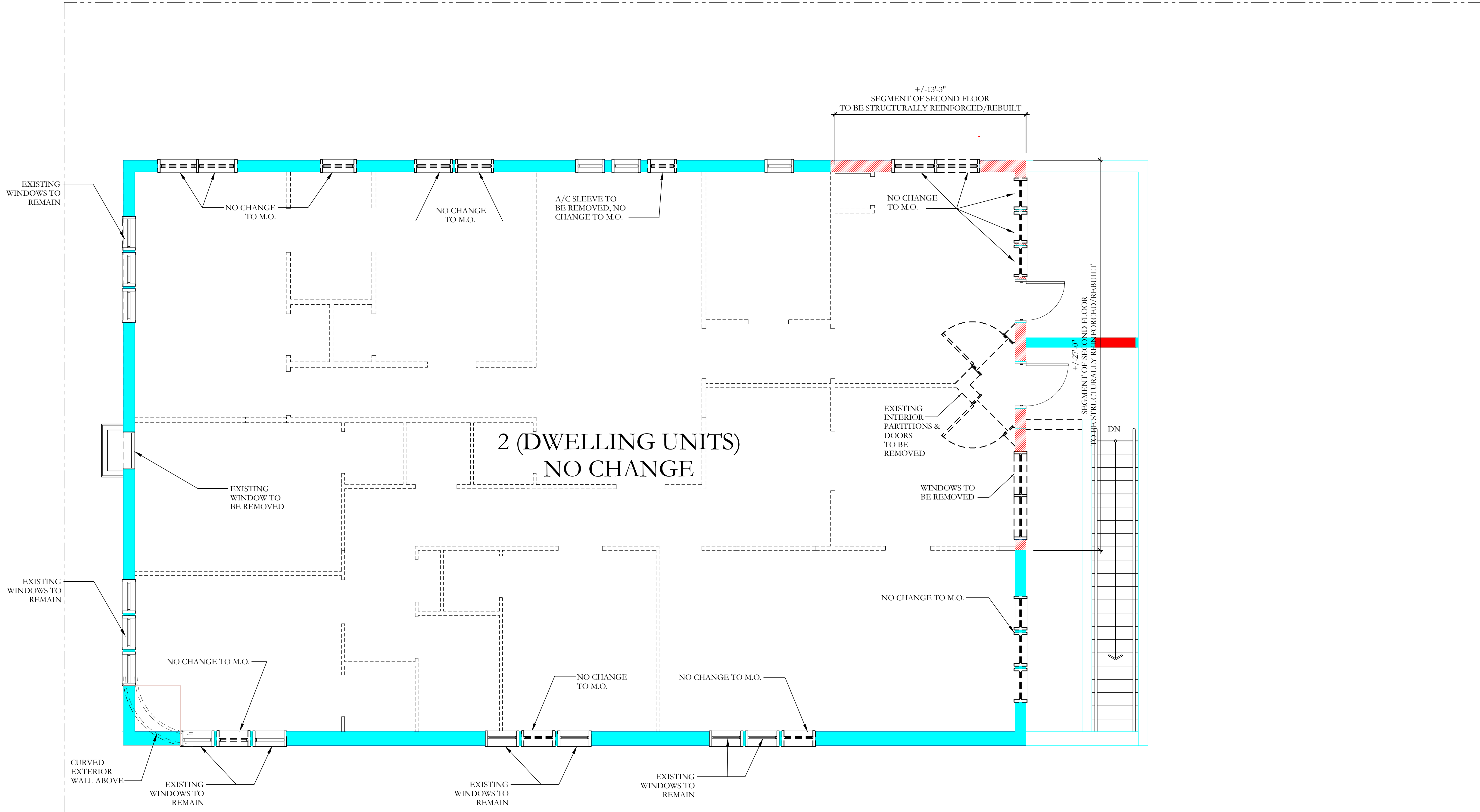


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC

BRADLEY PLACE



1 PROPOSED SECOND FLOOR DEMOLITION PLAN
1/4"=1'-0"

O L E A N D E R

NOTE: MATERIALS REPLACING THOSE REMOVED
ARE SHOWN ON THE PROPOSED FLOOR PLANS AND
ELEVATIONS.

DEMOLITION KEY NOTES:

- EXISTING WALL OR STRUCTURE TO REMAIN
- EXISTING WALL TO BE REMOVED
- PORTION OF EXISTING WALL TO BE REINFORCED/REBUILT AS PER STRUCTURAL REVIEW
- EXISTING WINDOW, DOOR, OR OTHER MATERIALS TO BE REMOVED

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

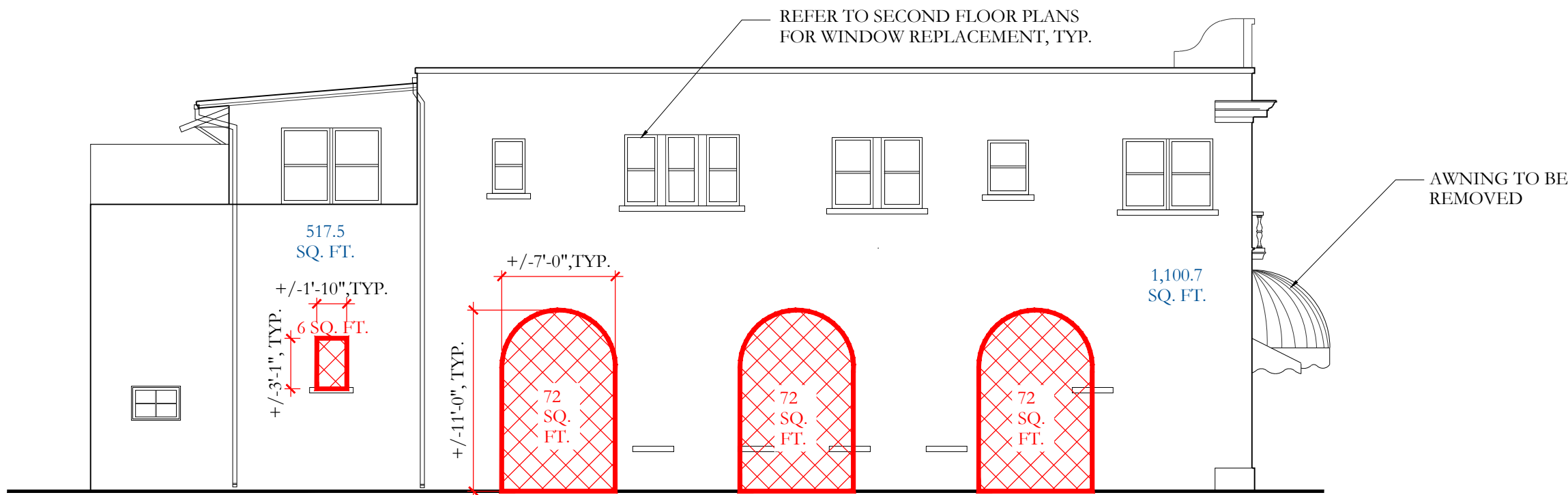
SHEET TITLE
PROPOSED SECOND FLOOR
DEMOLITION PLAN

DATE FEBRUARY 27, 2023	SHEET NO D-101
SCALE 1/4"=1'-0"	
BY MC	

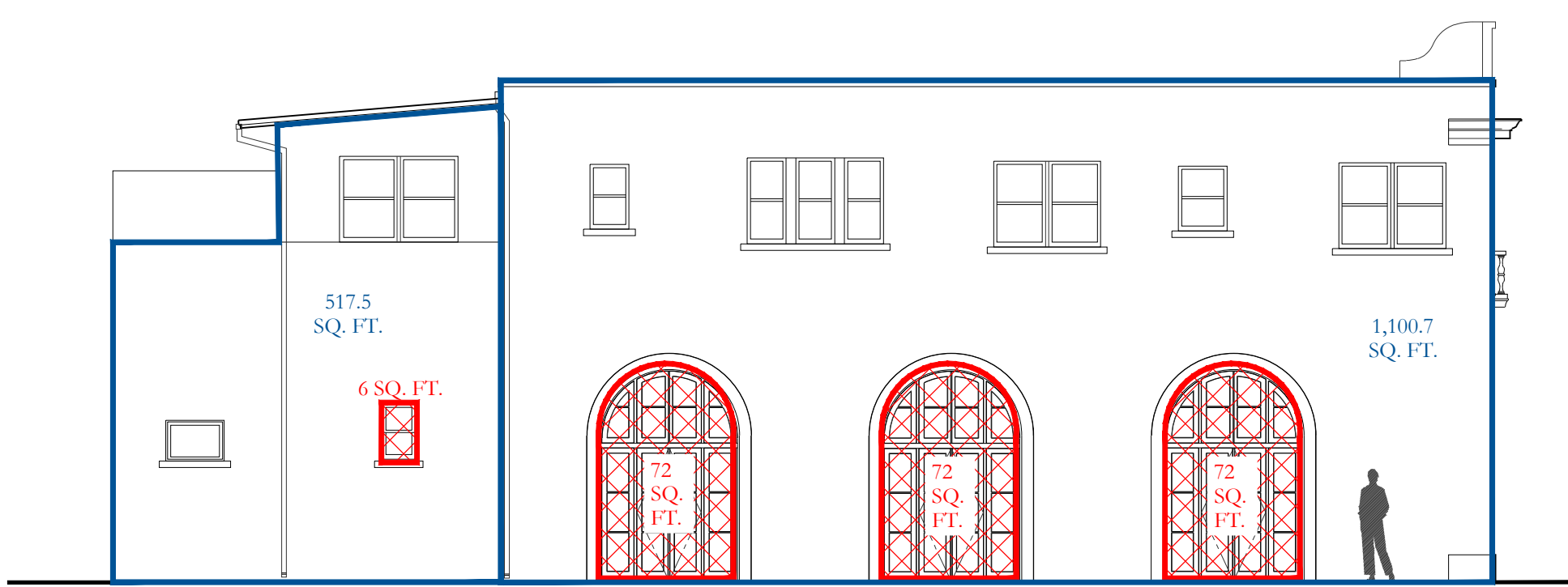
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



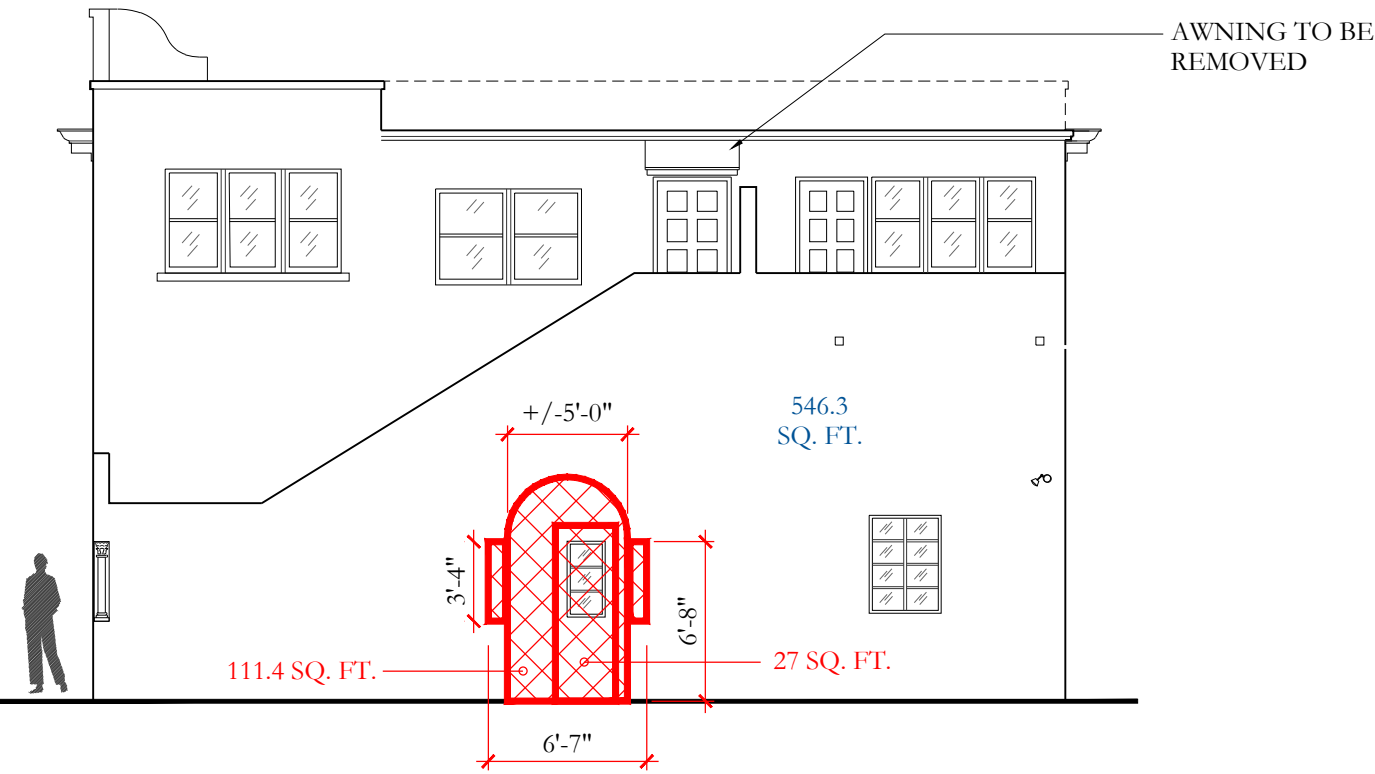
1 EXISTING NORTH ELEVATION
1/8"=1'-0" INTERIOR LOT



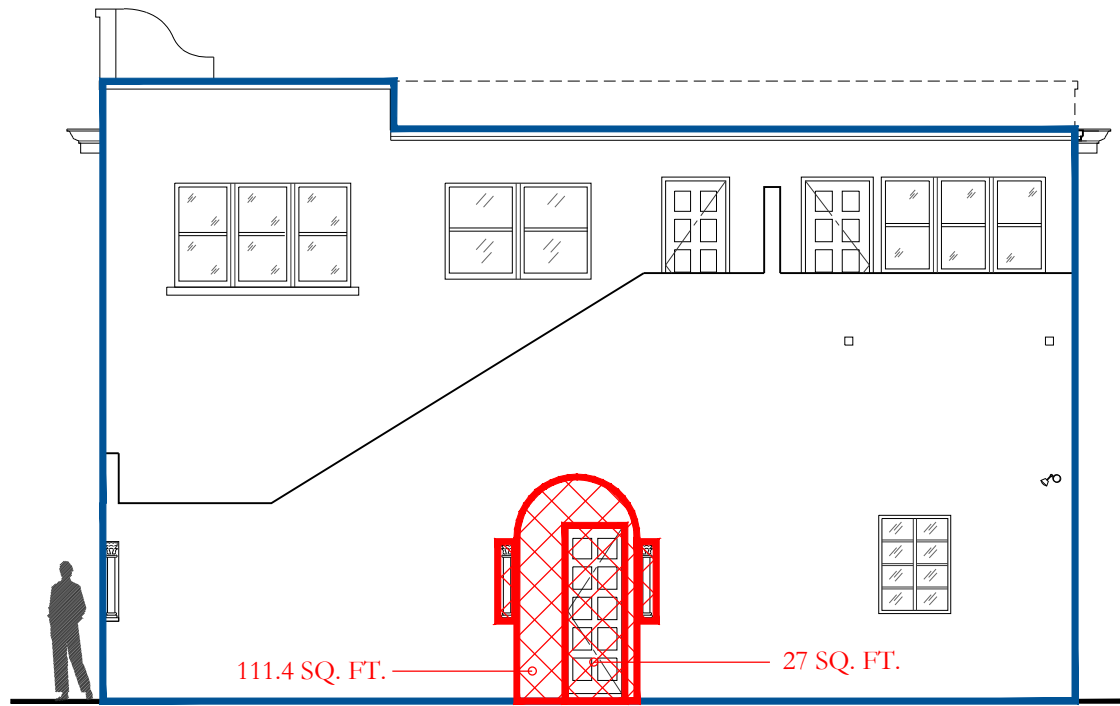
3 PROPOSED NORTH ELEVATION
1/8"=1'-0" INTERIOR LOT

NORTH ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	1,518 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	222 SQ. FT.
TOTAL EXISTING WALL AREA:	1,740.2 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	12.8 %



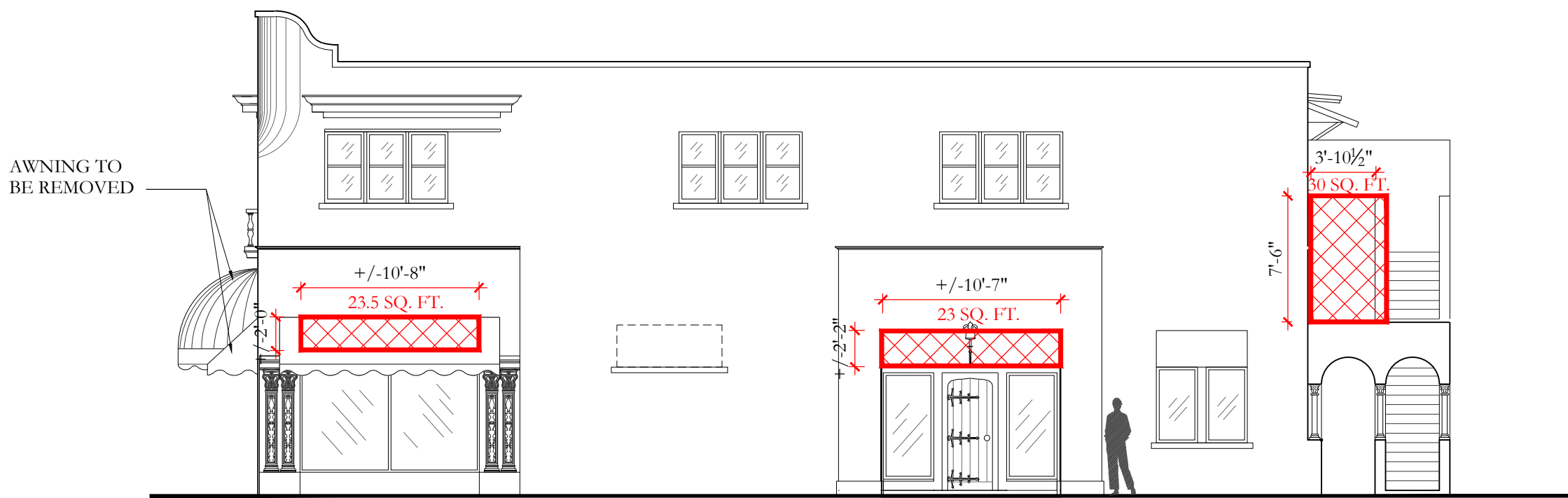
2 EXISTING EAST ELEVATION
1/8"=1'-0" INTERIOR LOT



4 PROPOSED EAST ELEVATION
1/8"=1'-0" INTERIOR LOT

EAST ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	846.1 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	141.4 SQ. FT.
TOTAL EXISTING WALL AREA:	987.5 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	7%



5 EXISTING SOUTH ELEVATION
1/8"=1'-0" OLEANDER AVE



7 PROPOSED SOUTH ELEVATION
1/8"=1'-0" OLEANDER AVE

SOUTH ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	1,670.8 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	81.2 SQ. FT.
TOTAL EXISTING WALL AREA:	1,752 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	4.6 %



6 EXISTING WEST ELEVATION
1/8"=1'-0" BRADLEY PLACE



8 PROPOSED WEST ELEVATION
1/8"=1'-0" BRADLEY PLACE

WEST ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	982.7 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	60 SQ. FT.
TOTAL EXISTING WALL AREA:	1,042.7 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	5.8%

DEMOLITION KEY NOTE:

EXIST. EXTERIOR WALL TO REMAIN

EXIST. EXTERIOR WALL TO BE DEMOLISHED

GENERAL NOTES:
-ALL AREAS ARE APPROXIMATE

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
MATERIAL REMOVAL ELEVS.

DATE
FEBRUARY 27, 2023
SCALE
1/8"=1'-0"

SHEET NO

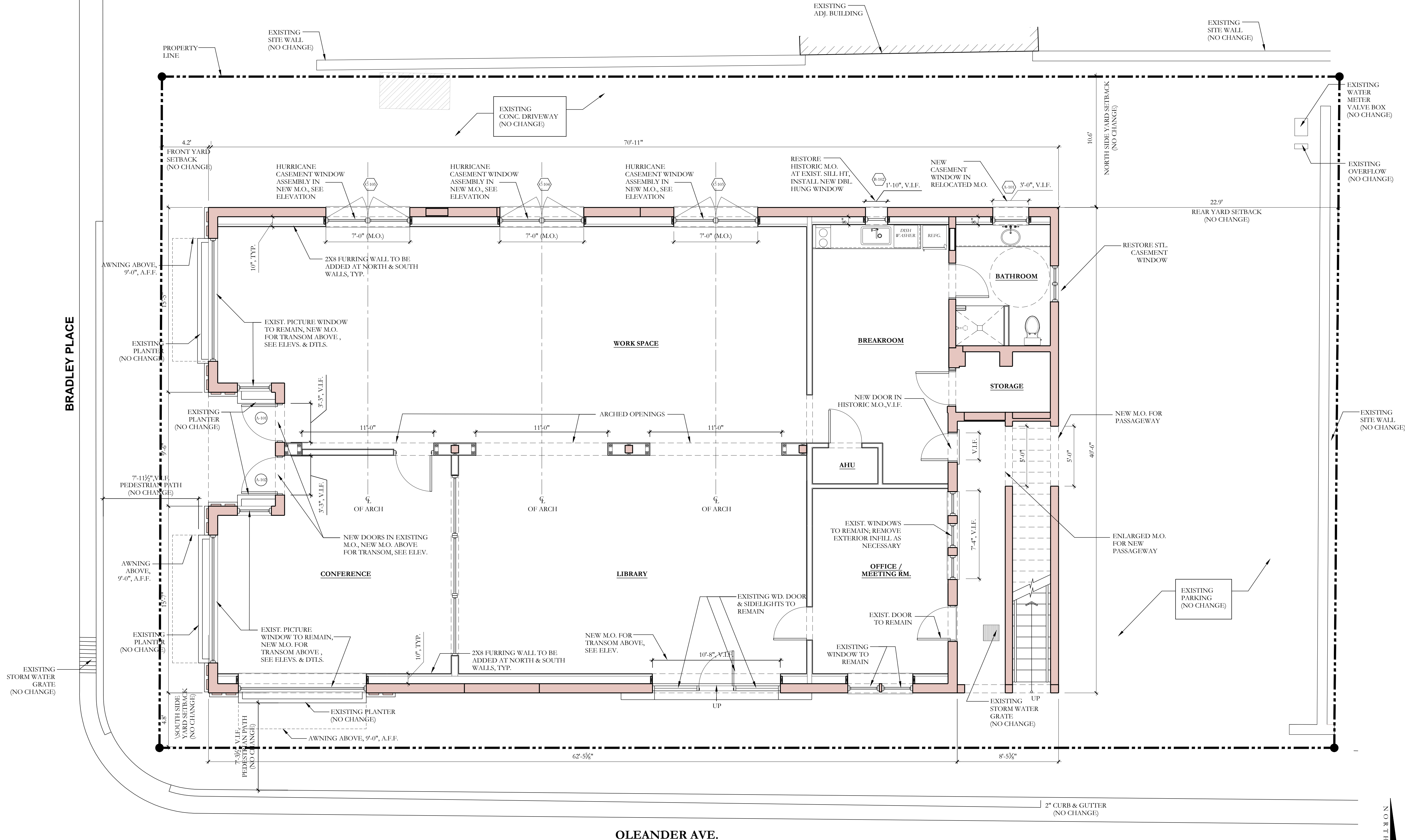
D-102

BY
HM, MC



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED FIRST FLOOR: PLAN
1/4"=1'-0"

- LEGEND**
- = INDICATES EXISTING STRUCTURE TO REMAIN
 - = INDICATES NEW PARTITION/ FURRING WALL(S)
 - = INDICATES NEW DOOR
 - = INDICATES NEW WINDOW

- NOTES:**
- ALL WINDOWS & DOORS WILL BE REPLACED AS NOTED.
 - ALL EXISTING MASONRY OPENINGS (M.O.) TO REMAIN UNCHANGED UNLESS OTHERWISE INDICATED IN PLANS
 - REFER TO LP-1 FOR LANDSCAPING

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
FIRST FLOOR PLAN

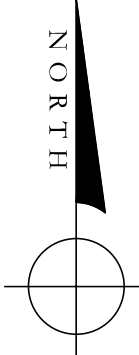
DATE FEBRUARY 27, 2023	SHEET NO A-100
SCALE 1/4"=1'-0"	
BY HM	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

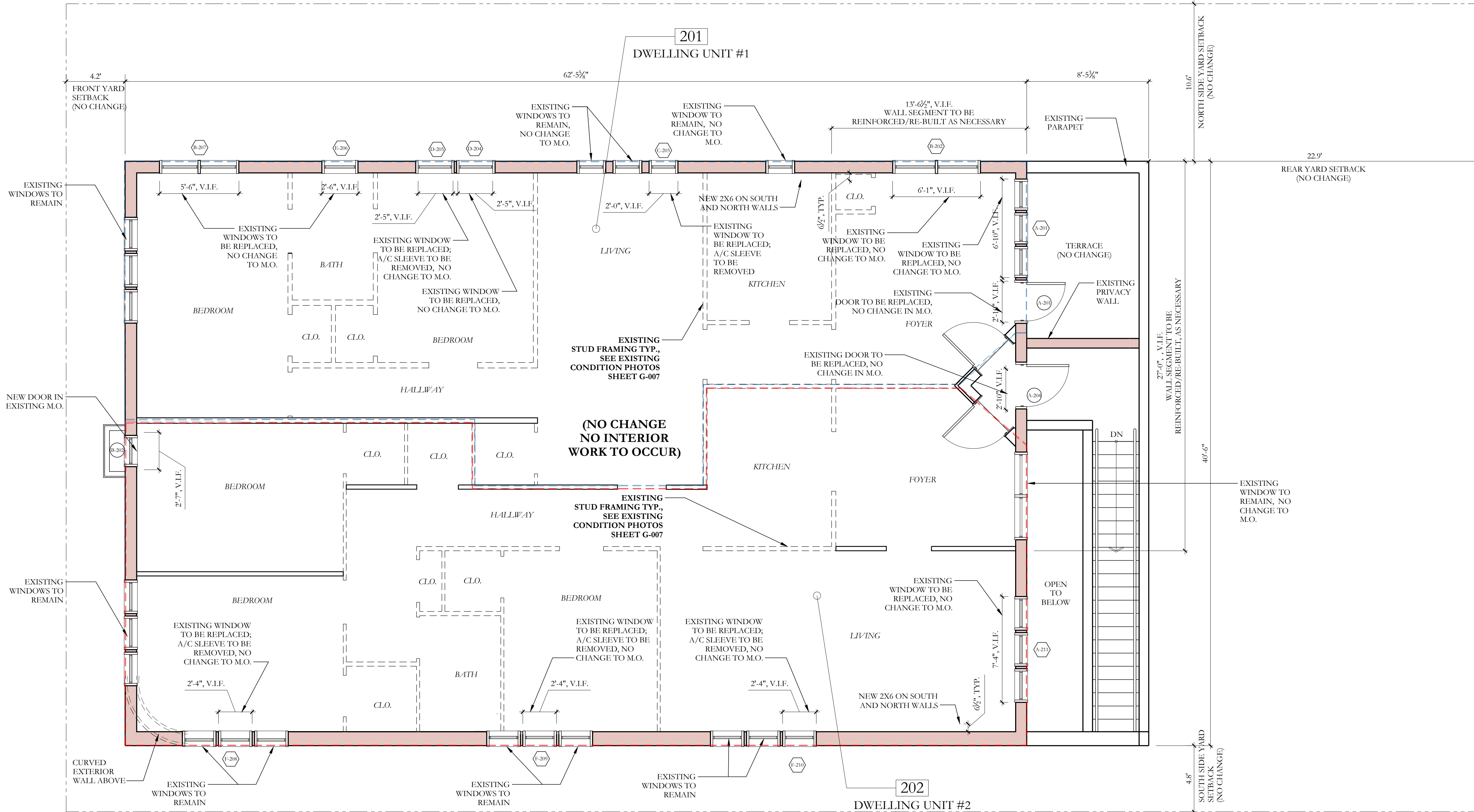
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



LEGEND

- = INDICATES EXISTING STRUCTURE TO REMAIN
- = INDICATES EXISTING STUD FRAMING TO REMAIN AND PARTITION TO BE COMPLETED
- = INDICATES FURRING WALL TO BE INSTALLED
- = INDICATES NEW DOOR
- = INDICATES NEW WINDOW

NOTES:

- ALL WINDOWS & DOORS WILL BE REPLACED AS NOTED IN PLANS.
- ALL EXISTING MASONRY OPENINGS (M.O.) TO REMAIN UNCHANGED UNLESS OTHERWISE INDICATED IN PLANS.

— = INDICATES DWELLING UNIT 1

— = INDICATES DWELLING UNIT 2

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
SECOND FLOOR PLAN

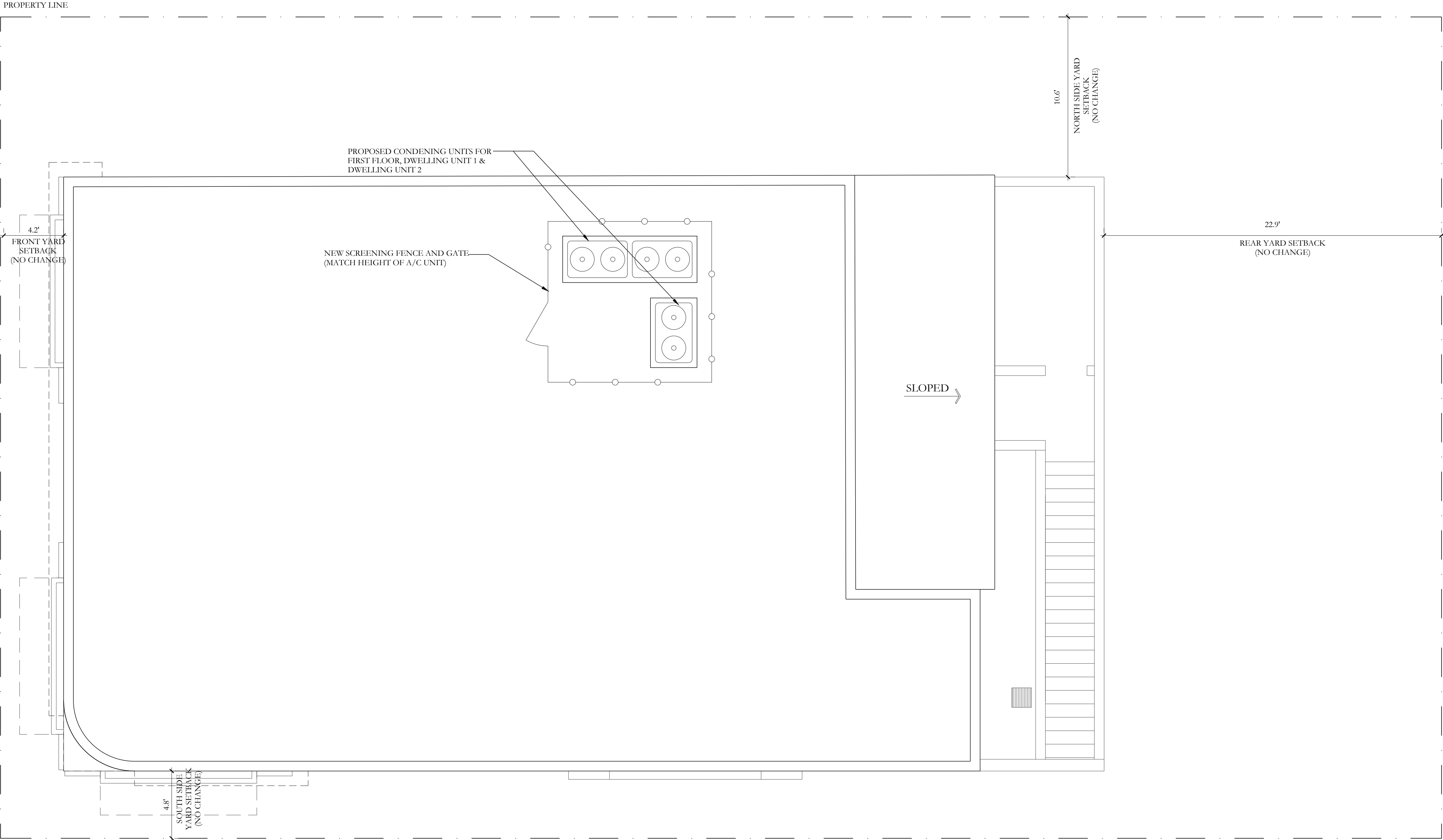
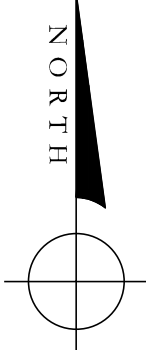
DATE FEBRUARY 27, 2023	SHEET NO A-101
SCALE 1/4"=1'-0"	
BY HM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED ROOF PLAN
1/4"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING
PROPOSED ROOF PLAN

DATE
FEBRUARY 27, 2023

SCALE
1/4"=1'-0"

BY
HM

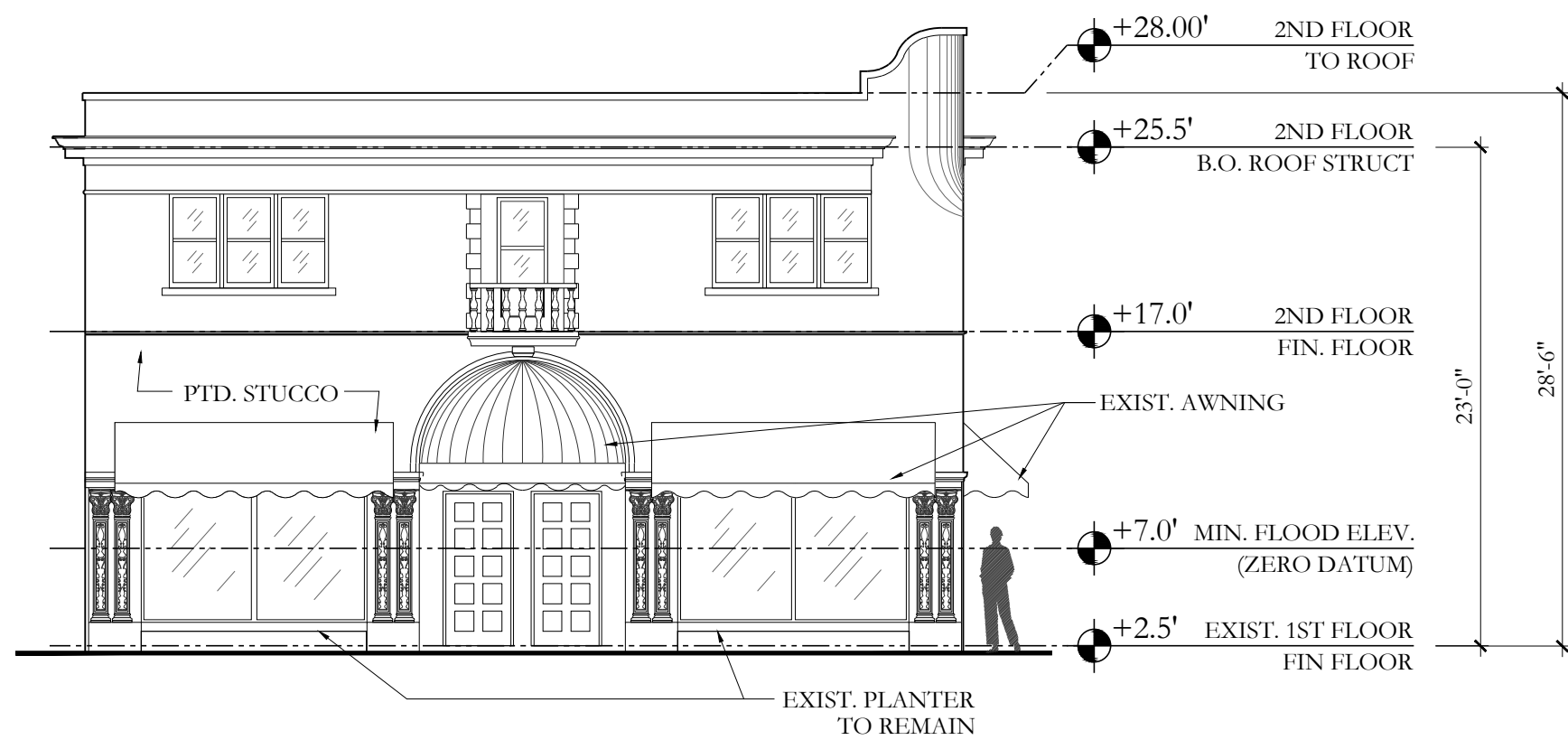
SHEET NO

A-102

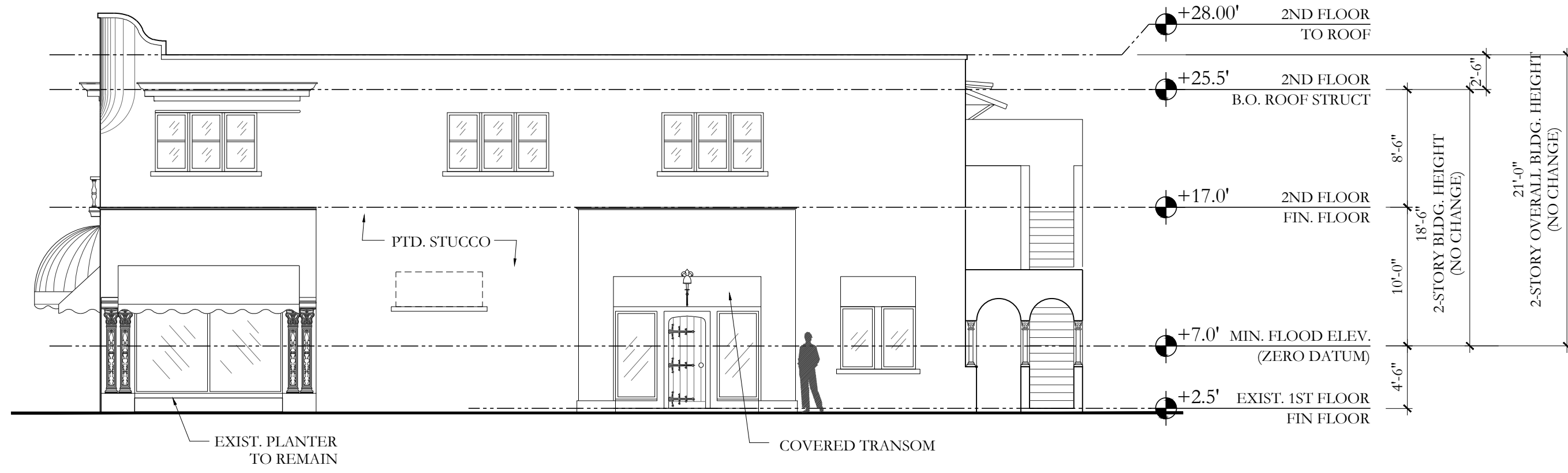


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-9591
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 EXISTING WEST ELEVATION
1/8"=1'-0"



3 EXISTING SOUTH ELEVATION
1/8"=1'-0"



2 PROPOSED WEST ELEVATION
1/8"=1'-0"



4 PROPOSED SOUTH ELEVATION
1/8"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXIST AND PROPOSED
EXTERIOR ELEVATIONS

DATE
FEBRUARY 27, 2023

SCALE
1/8"=1'-0"

BY
HM, CM, MC

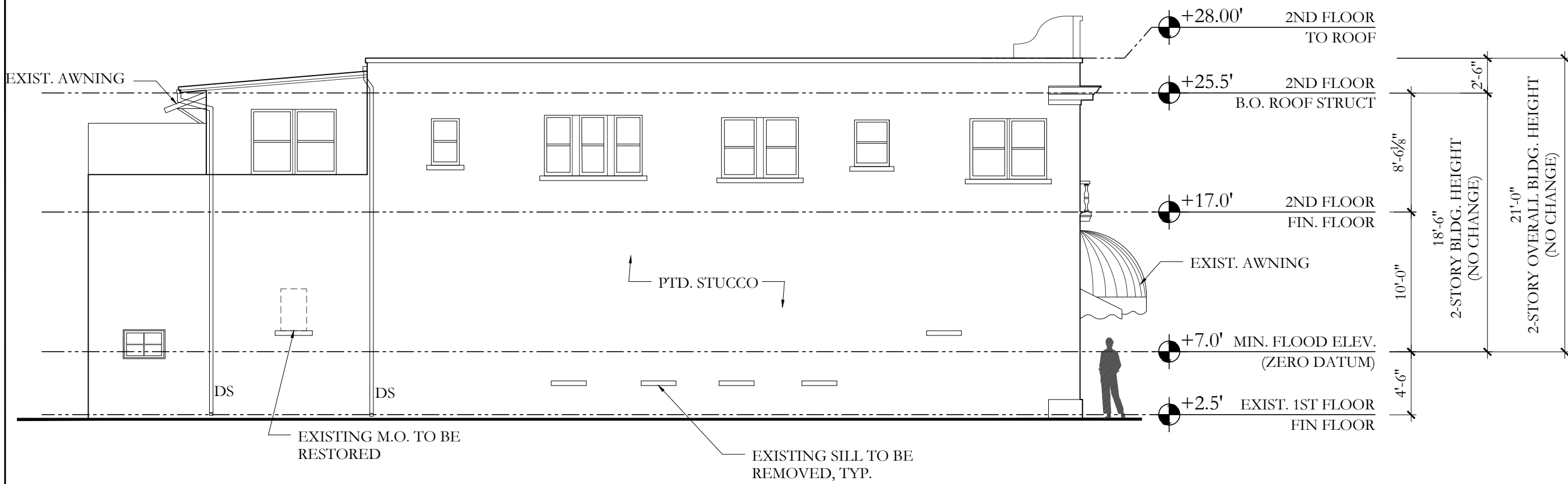
SHEET NO
A-110



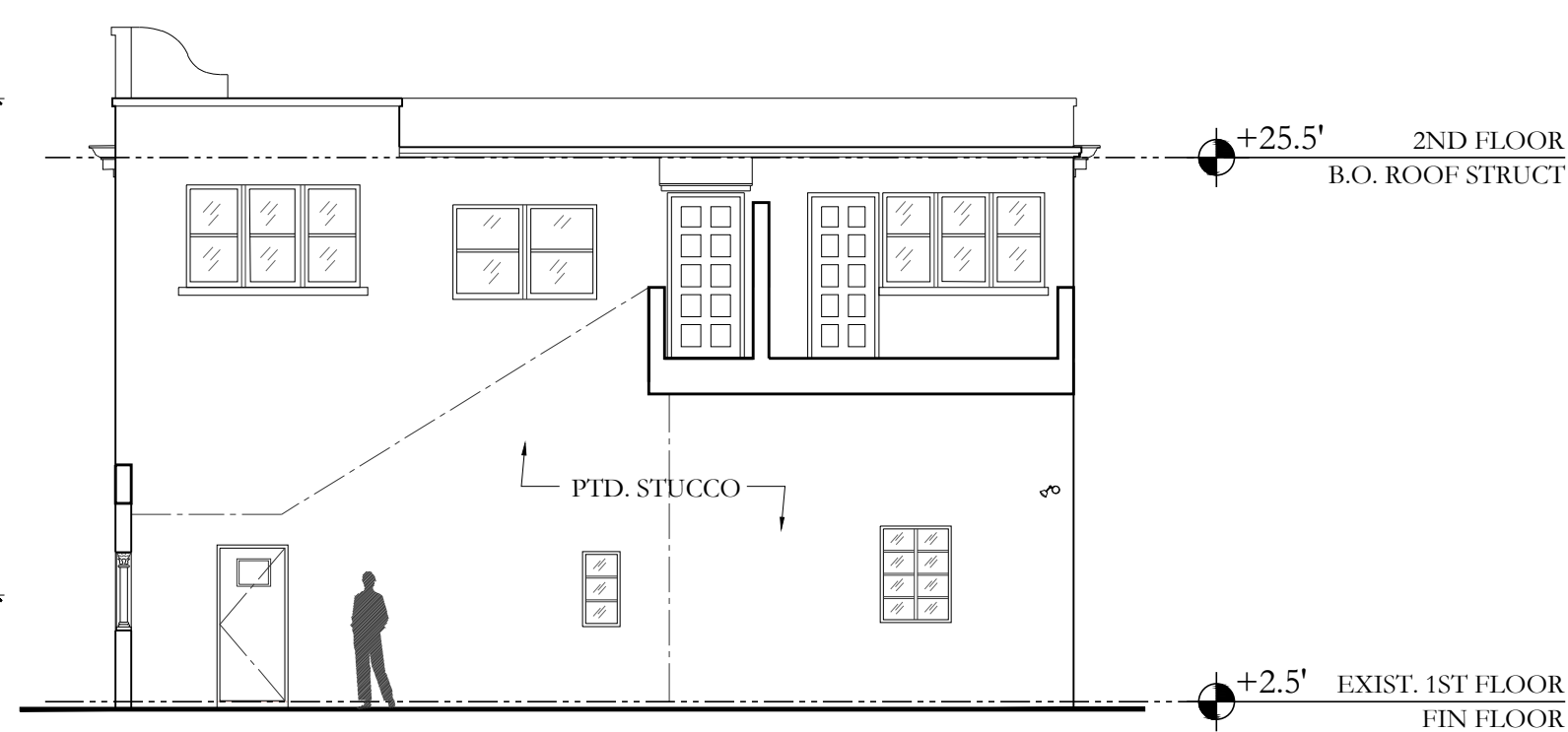
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

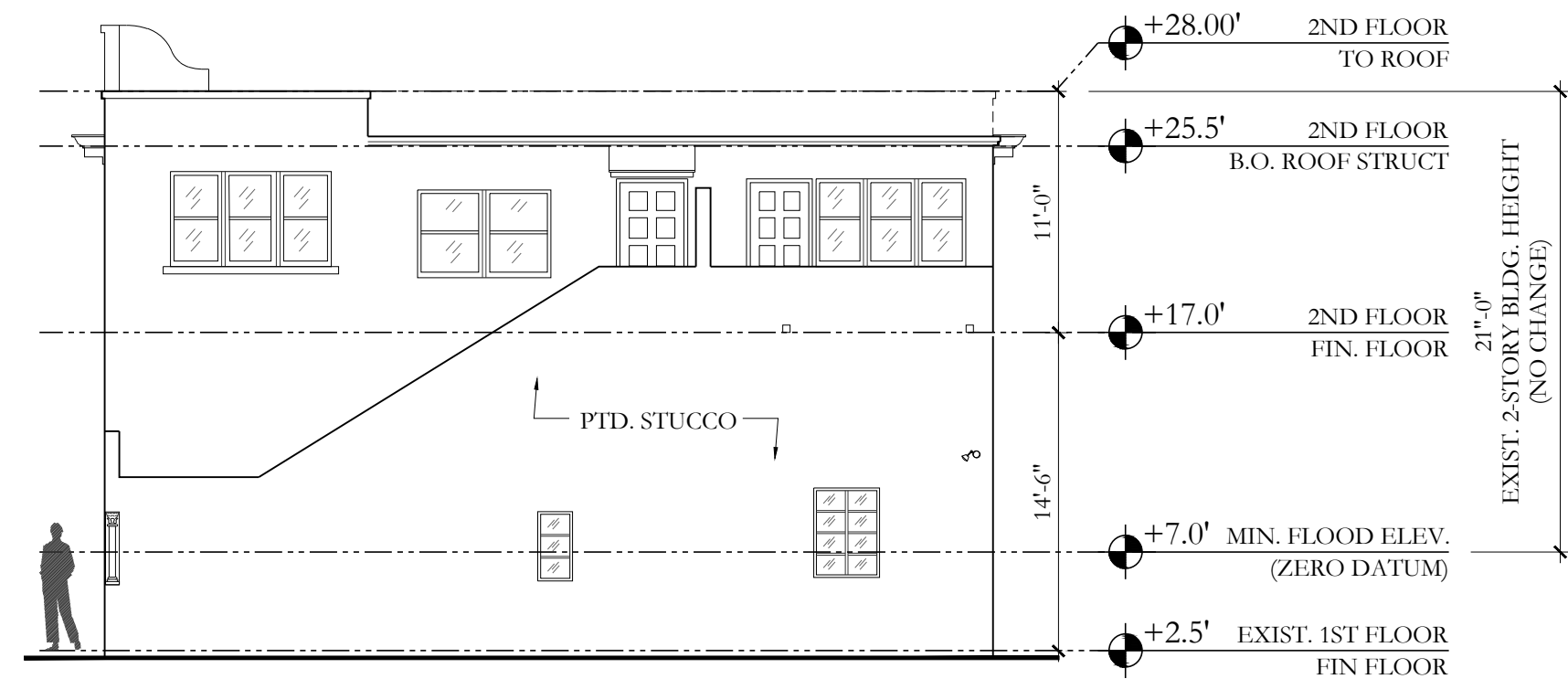
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



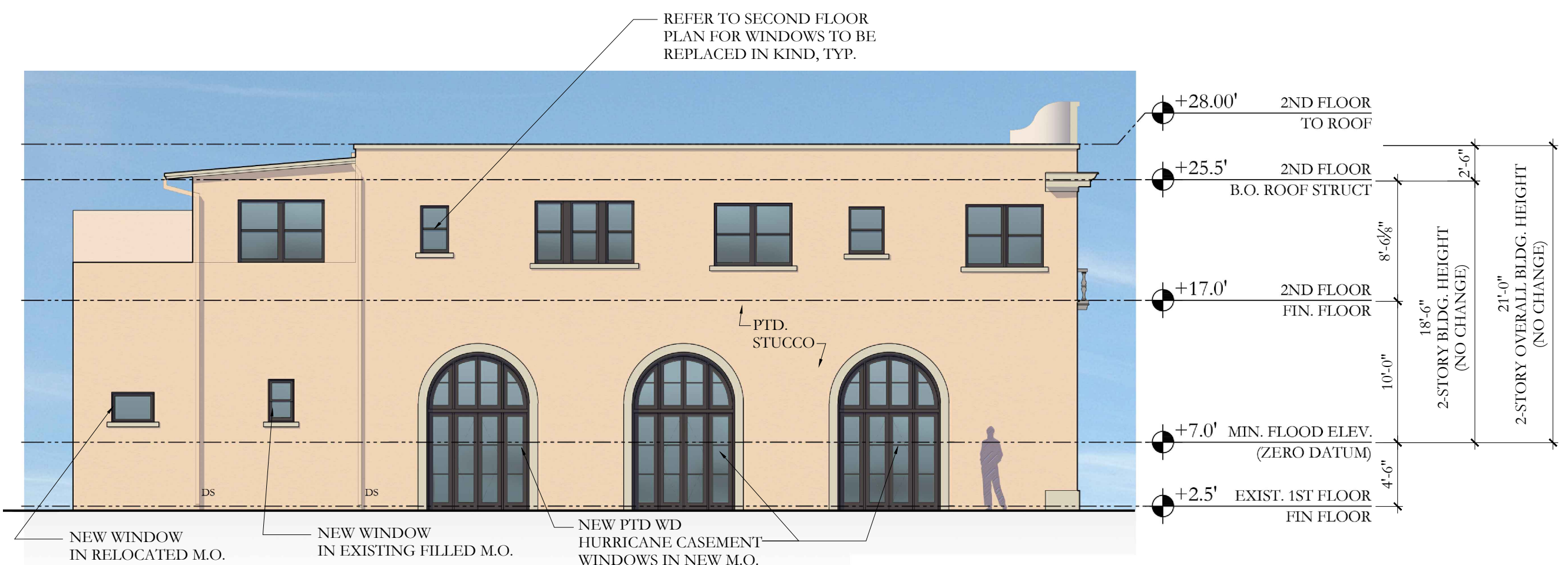
1 EXISTING NORTH ELEVATION
1/8"=1'-0"



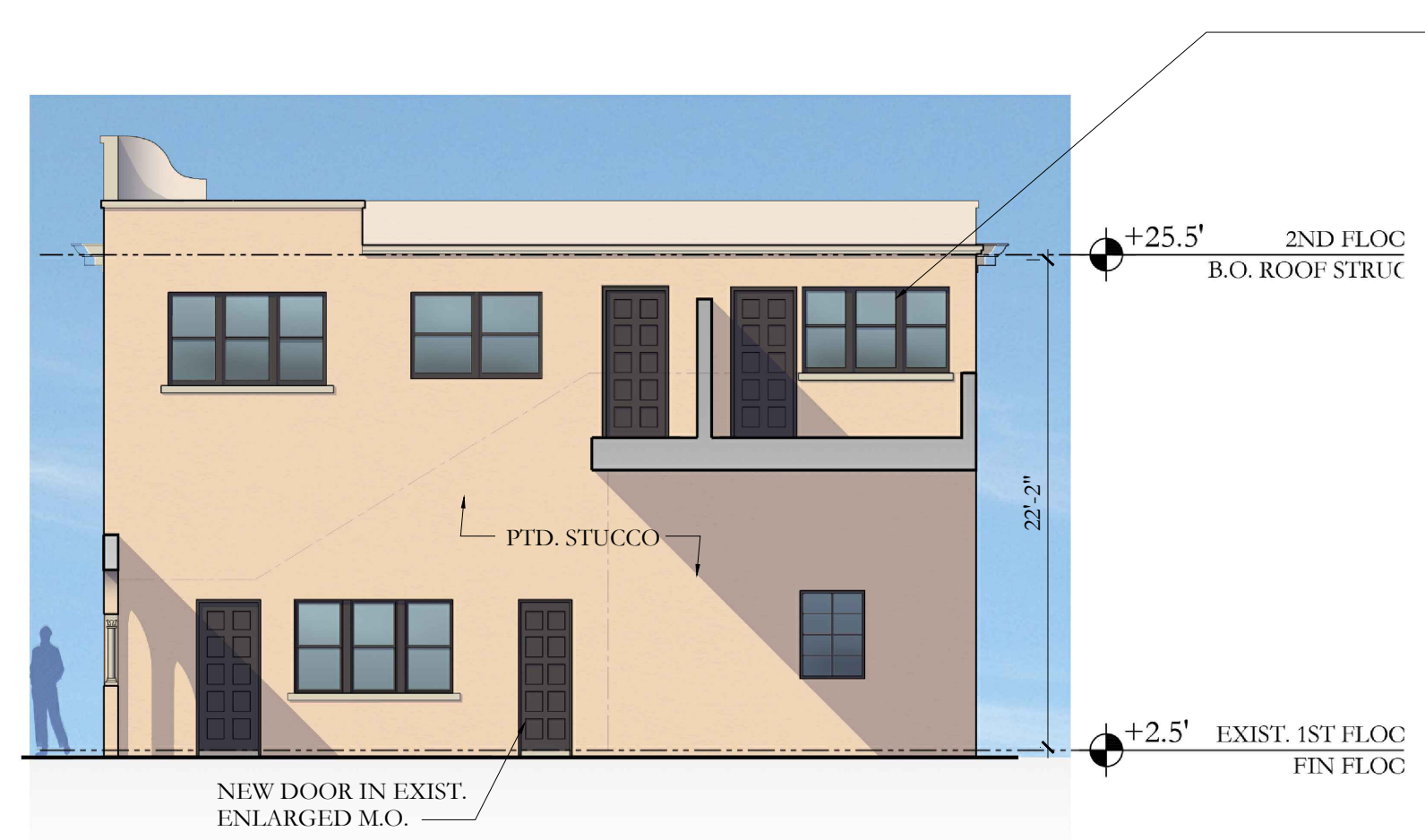
3 EXISTING EAST ELEVATION (SECTION)
1/8"=1'-0" (BEHIND STAIRCASE)



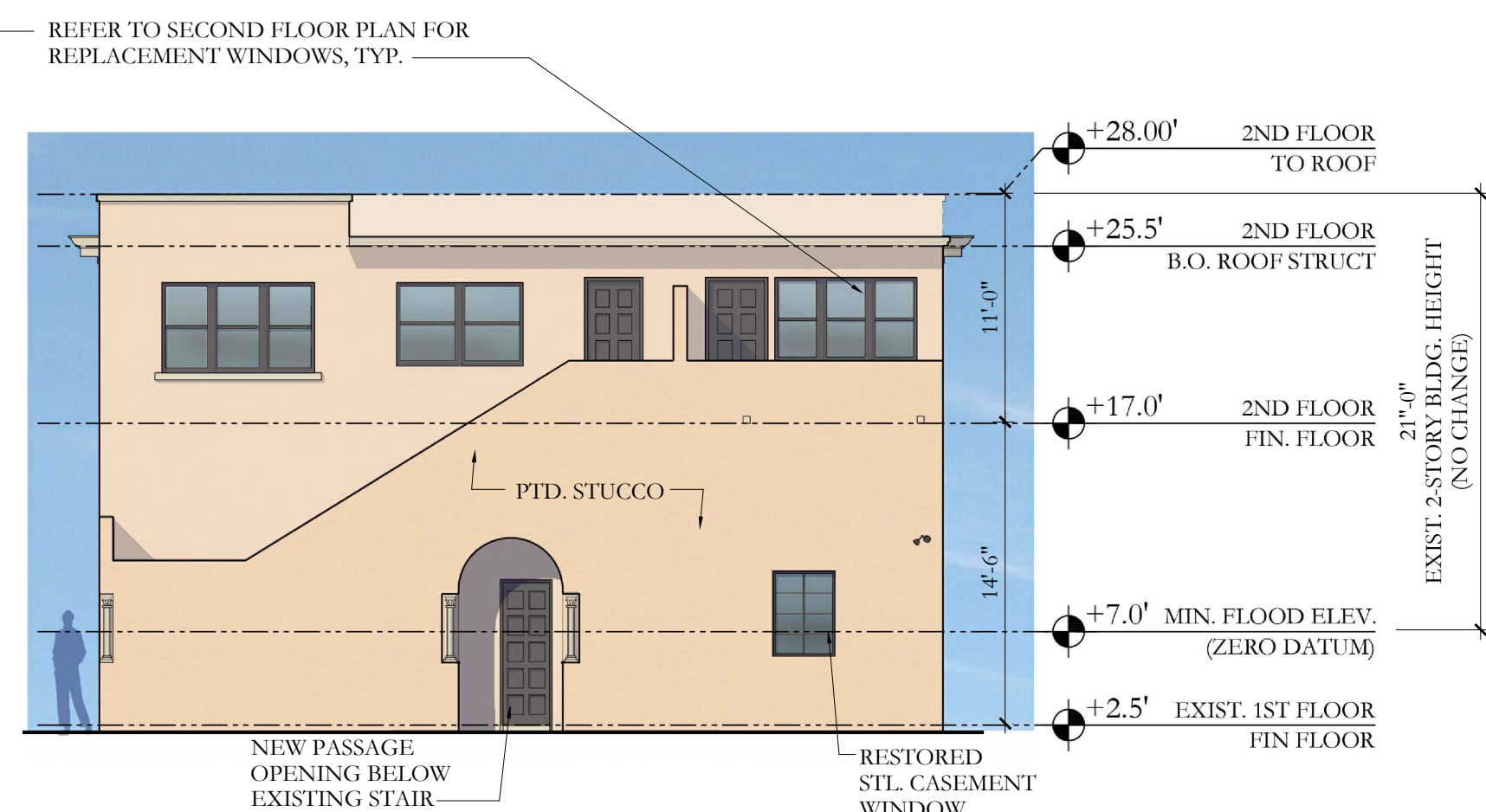
5 EXISTING EAST ELEVATION
1/8"=1'-0"



2 PROPOSED NORTH ELEVATION
1/8"=1'-0"



4 PROPOSED EAST ELEVATION (SECTION)
1/8"=1'-0" (BEHIND STAIRCASE)



6 PROPOSED EAST ELEVATION
1/8"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXIST AND PROPOSED
EXTERIOR ELEVATIONS

DATE
FEBRUARY 27, 2023

SCALE
1/8"=1'-0"

BY
HM, CM, MC

SHEET NO

A-111



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0591
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED SOUTH ELEVATION W/O AWNINGS
1/8"=1'-0"



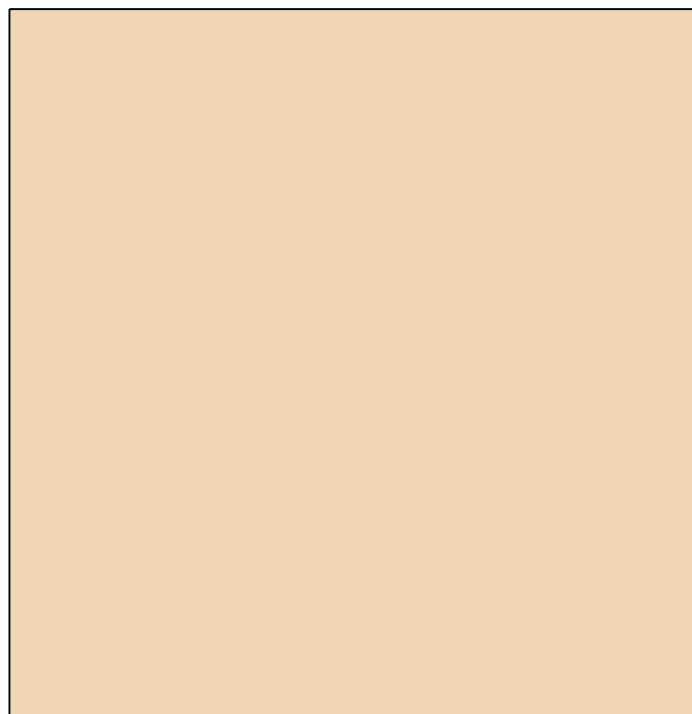
2 PROPOSED WEST ELEVATION W/O AWNINGS
1/8"=1'-0"



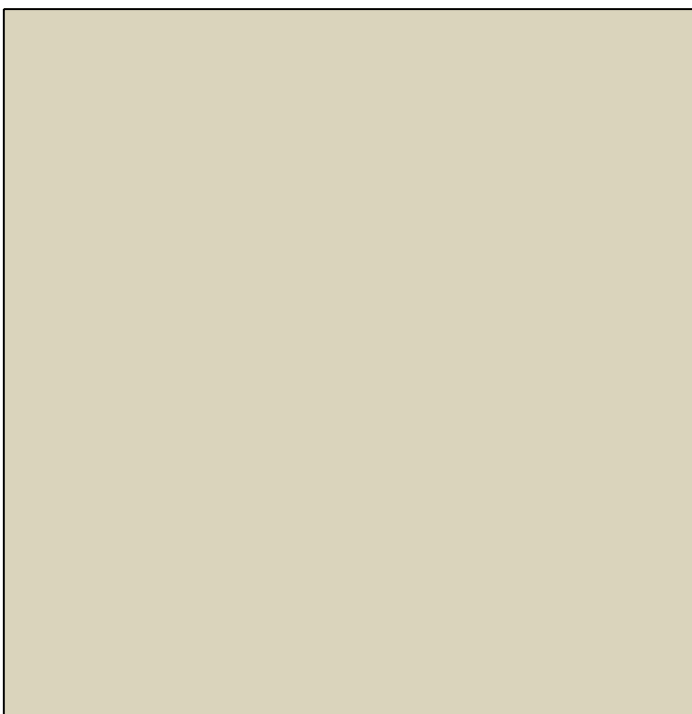
3 PROPOSED SOUTH ELEVATION W/AWNINGS
1/8"=1'-0"



4 PROPOSED WEST ELEVATION W/AWNINGS
1/8"=1'-0"



STUCCO:
BENJAMIN MOORE
HC 54



TRIM:
BENJAMIN MOORE
HC 81



DOORS & WINDOWS:
FARROW & BALL
TANNER'S BROWN (#255)

5 PROPOSED COLOR PALETTE
1/8"=1'-0"

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED COLOR SCHEME
& ELEVATIONS W/ AWNINGS

DATE
FEBRUARY 27, 2023

SCALE
1/8"=1'-0"

BY
HM, CM, MC

SHEET NO

A-112



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 INTERSECTION AT BRADLEY PL & ORELANDER AVE WITH LANDSCAPE & AWNINGS
NOT TO SCALE



2 INTERSECTION AT BRADLEY PL & ORELANDER AVE WITHOUT LANDSCAPE & AWNINGS
NOT TO SCALE

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE PROPOSED RENDERINGS	
DATE FEBRUARY 27, 2023	SHEET NO A-113
SCALE 1/8"=1'-0"	
BY MS	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 505-8591
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



2 BRADLEY PL LOOKING NORTH EAST WITH LANDSCAPE & AWNINGS
NOT TO SCALE



4 ORELANDER AVE LOOKING WEST WITH LANDSCAPE & AWNINGS
NOT TO SCALE



2 BRADLEY PL LOOKING NORTH EAST WITHOUT LANDSCAPE & AWNINGS
NOT TO SCALE



3 ORELANDER AVE LOOKING WEST WITHOUT LANDSCAPE & AWNINGS
NOT TO SCALE

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

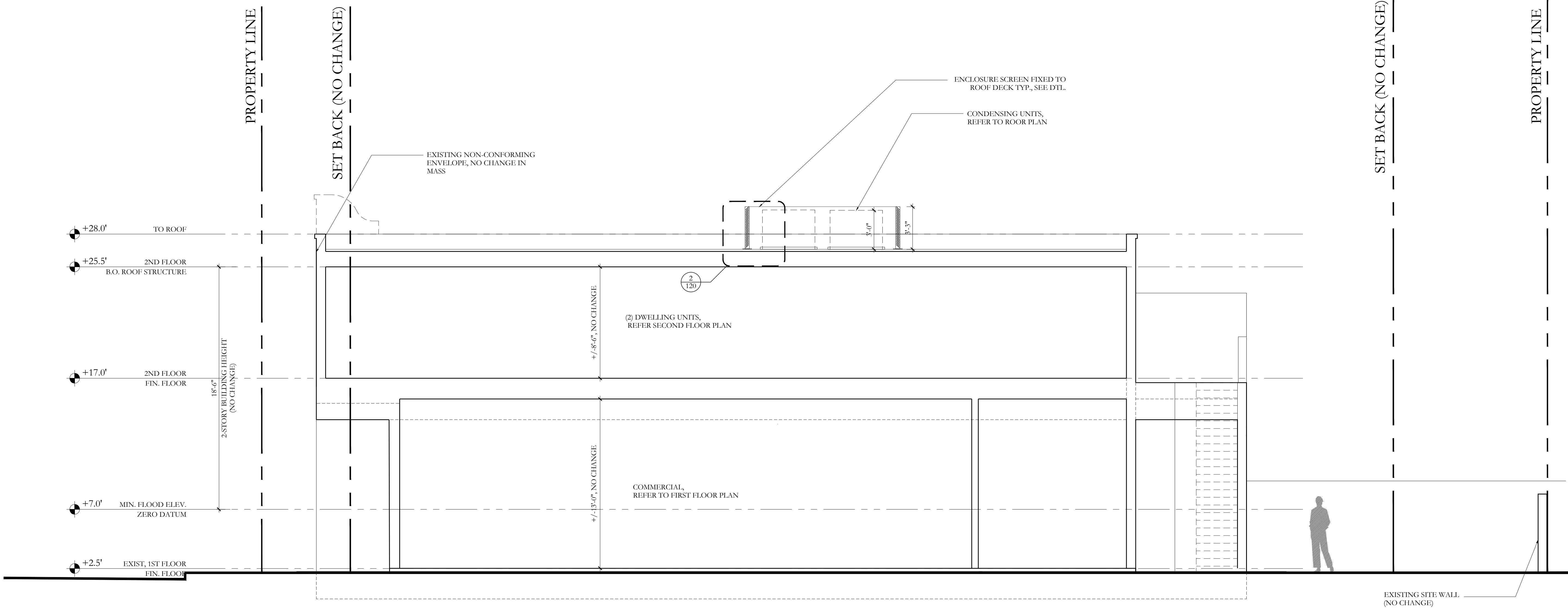
SHEET TITLE PROPOSED RENDERINGS	
DATE FEBRUARY 27, 2023	SHEET NO A-114
SCALE 1/8"=1'-0"	
BY MS	



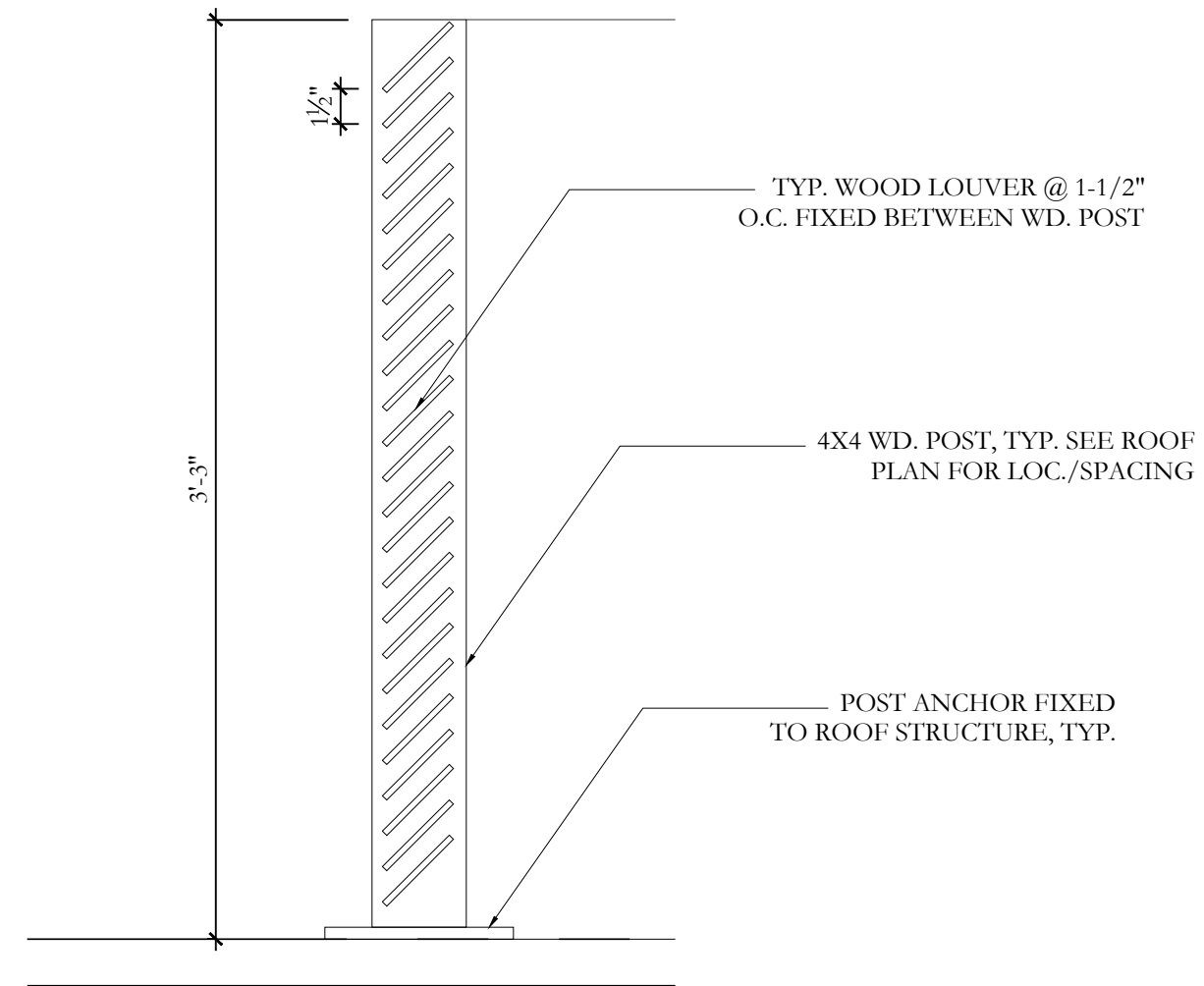
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 BUILDING SECTION DIAGRAM, LOOKING NORTH
1/4"=1'-0"



2 TYP. WD. SCREEN MEP ENCLOSURE DTL.
1 1/2"=1'-0"

- NOTES:
1. PROPERTY IS A DEEMED A LANDMARK BY THE TOWN OF PALM BEACH LANDMARK PRESERVATION COMMISSION.
 2. BUILDING USE TO BE FOR COMMERCIAL USE AND (2) DWELLING UNITS, NO CHANGE.
 3. PARKING REQUIREMENTS AS EXISTING, NO CHANGE.
 4. NO CHANGE IN DRIVEWAY

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
BUILDING SECTION DIAGRAM

DATE
FEBRUARY 27, 2023

SCALE
AS NOTED

BY
HM

SHEET NO
A-120

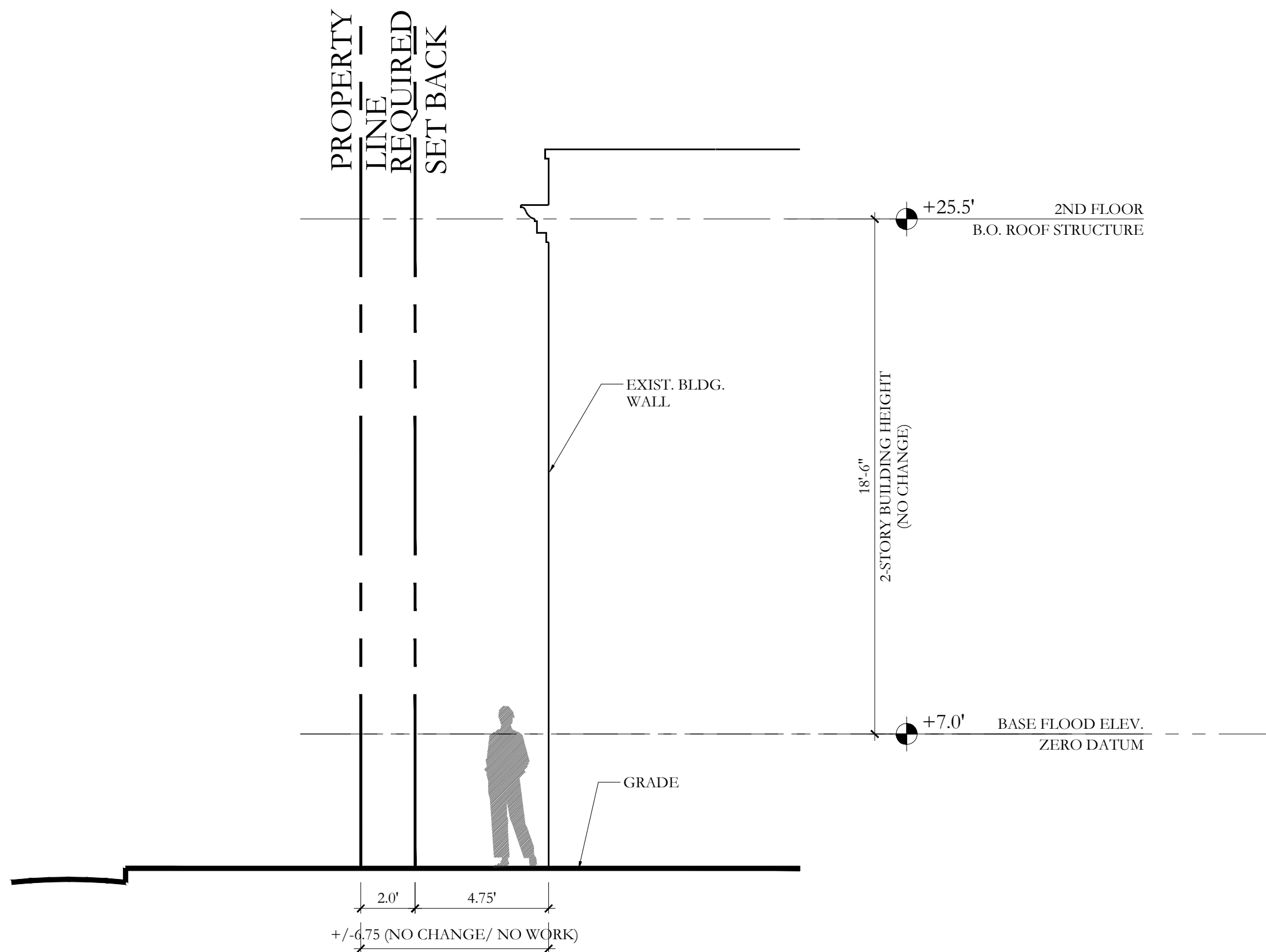


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

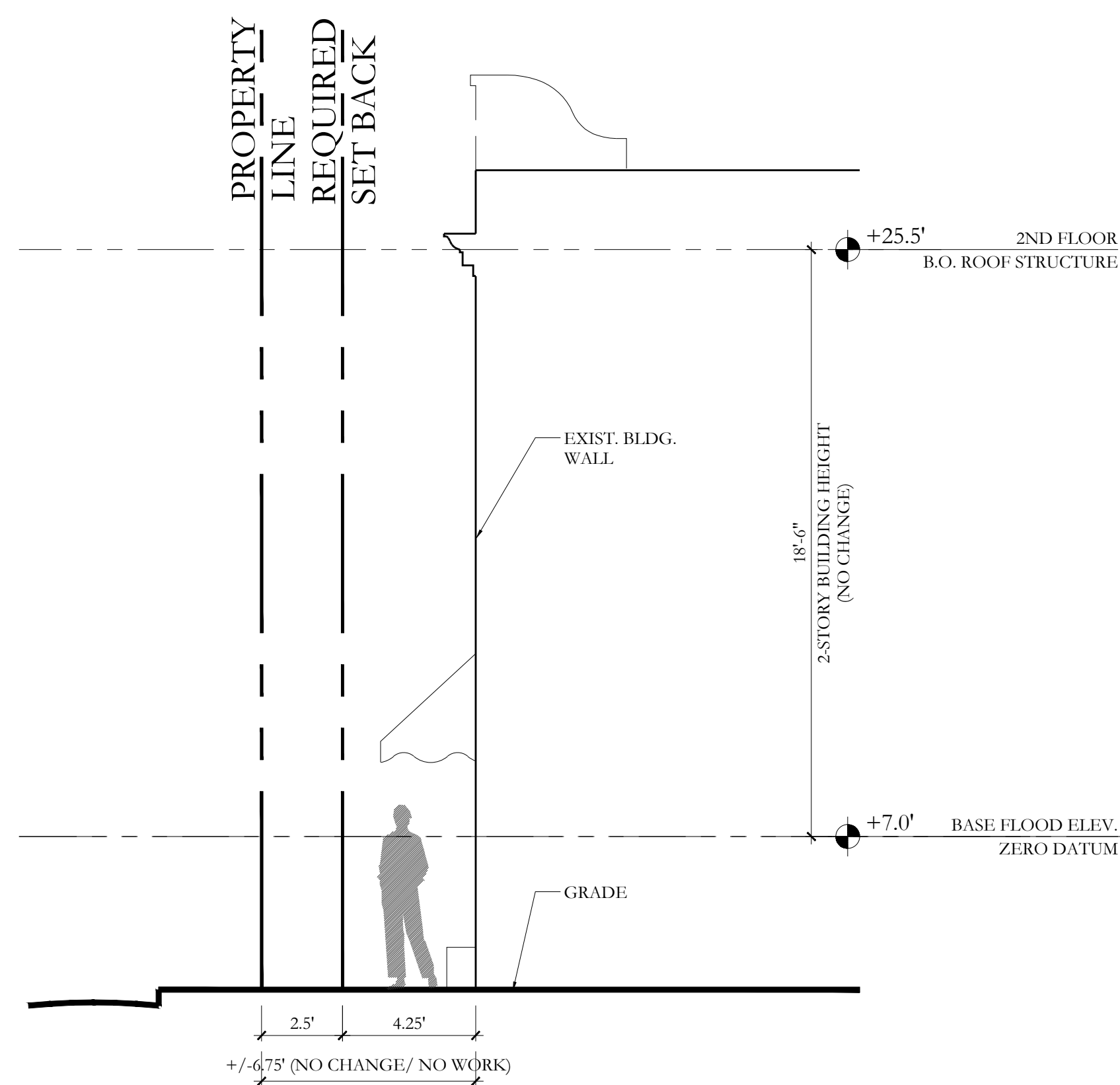
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

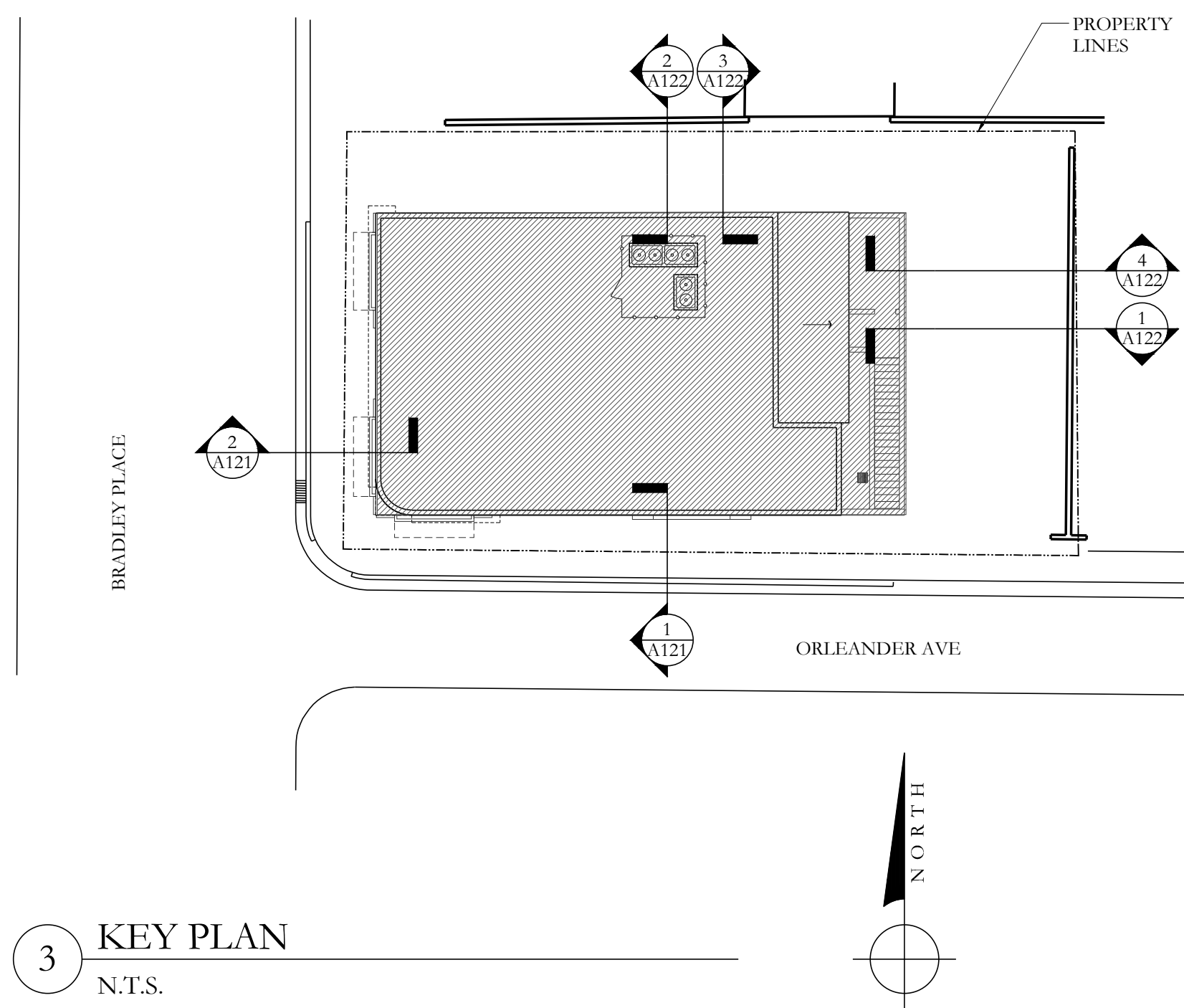
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 SOUTH YARD SECTION DIAGRAM
1/4"=1'-0"



2 WEST YARD SECTION DIAGRAM
1/4"=1'-0"



3 KEY PLAN
N.T.S.

- NOTES:
1. EXISTING NON-CONFORMING ENVELOPE ON BRADLEY PLACE (WEST ELEVATION), NO CHANGE IN MASS
 2. PROPERTY IS A DEEMED A LANDMARK BY THE TOWN OF PALM BEACH LANDMARK PRESERVATION COMMISSION:
 3. BUILDING USE TO BE FOR COMMERCIAL USE AND (2) DWELLING UNITS, NO CHANGE.
 4. PARKING REQUIREMENTS AS EXISTING, NO CHANGE.
 5. NO CHANGE TO DRIVEWAY

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

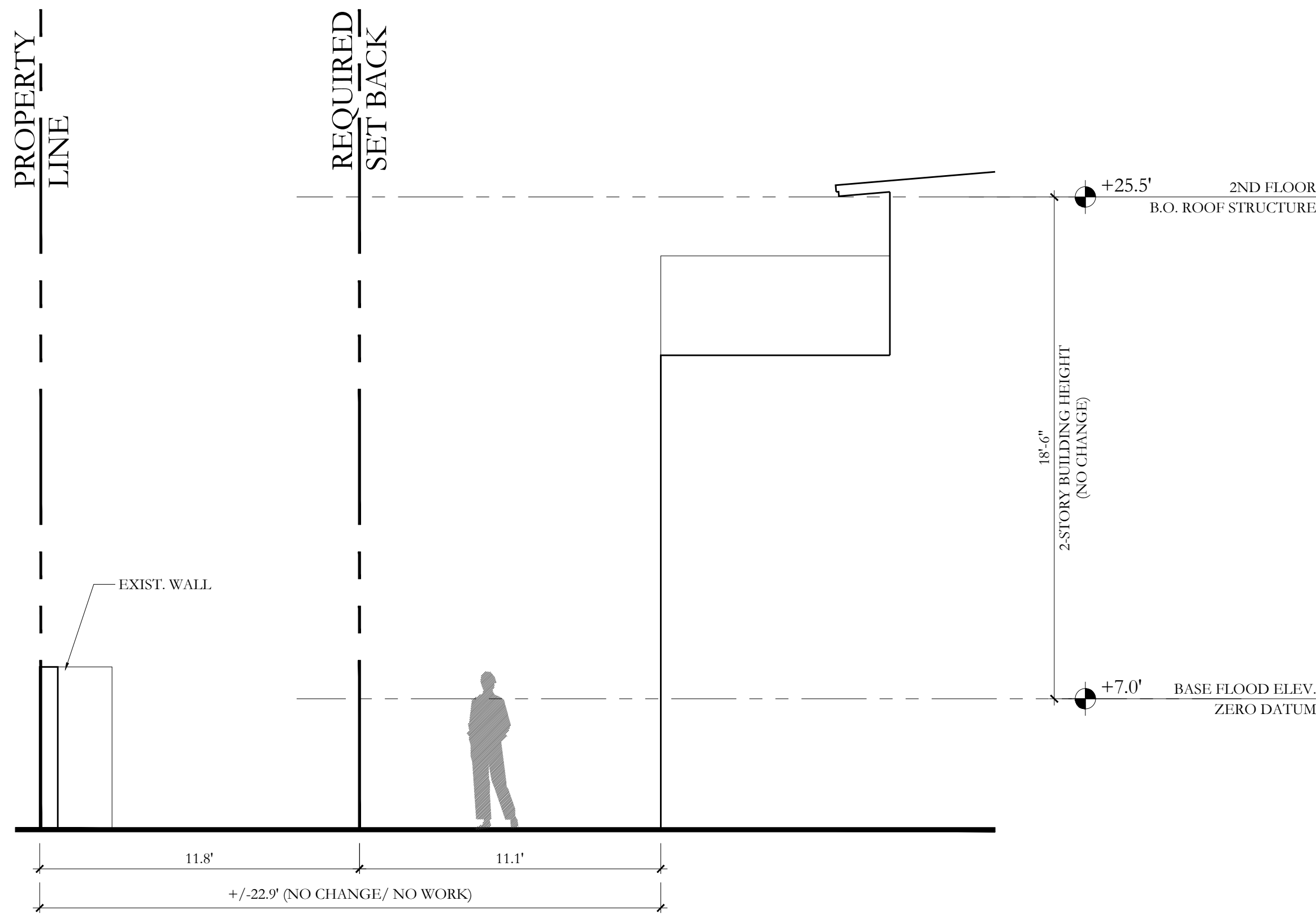
LANDMARKS CASE #:
COA-23-015
189 BRADLEY PLACE PALM BEACH, FLORIDA 33480

SHEET TITLE	
YARD SECTION DIAGRAMS	
DATE FEBRUARY 27, 2023	SHEET NO A-121
SCALE AS NOTED	
BY HM	

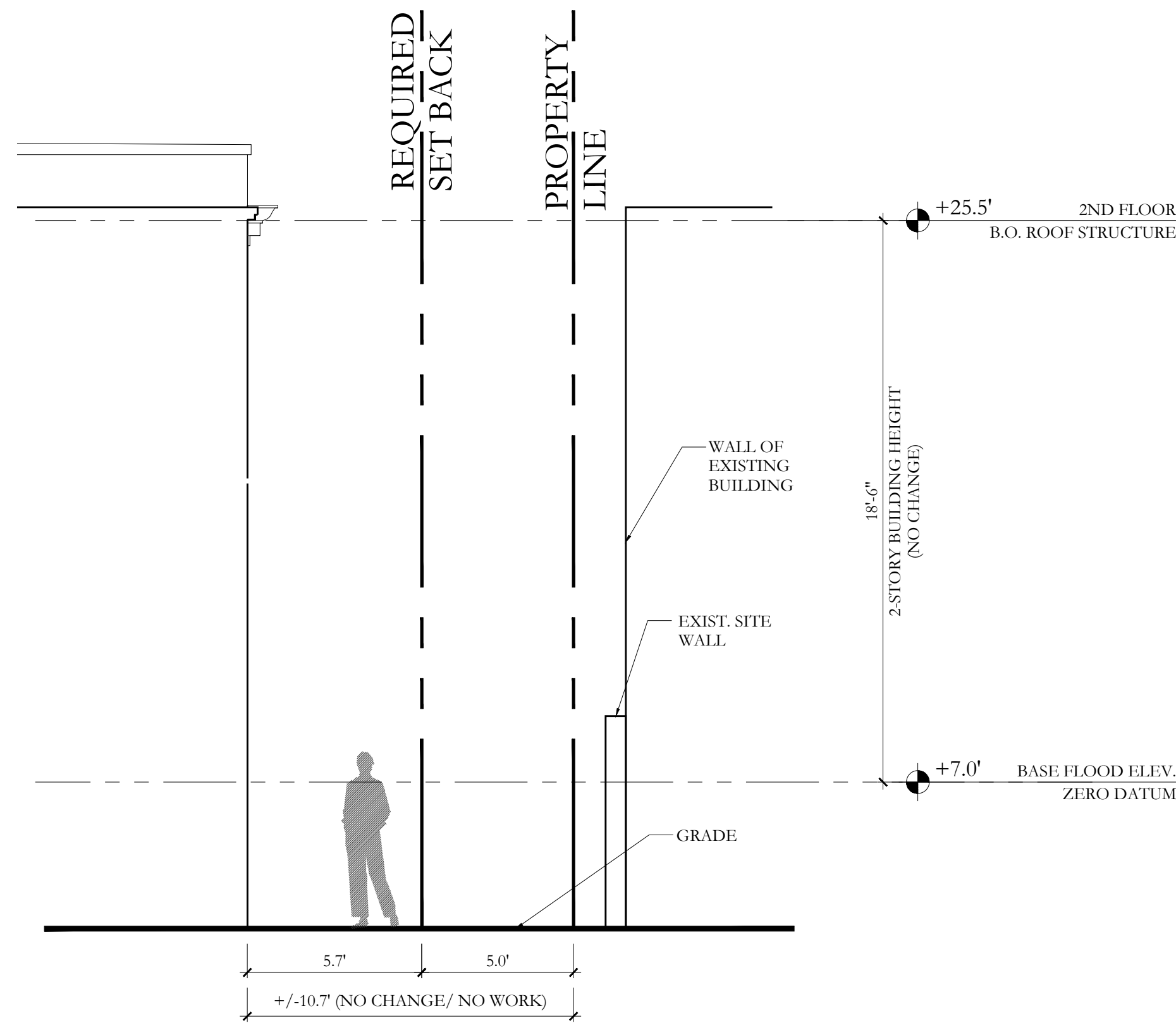

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

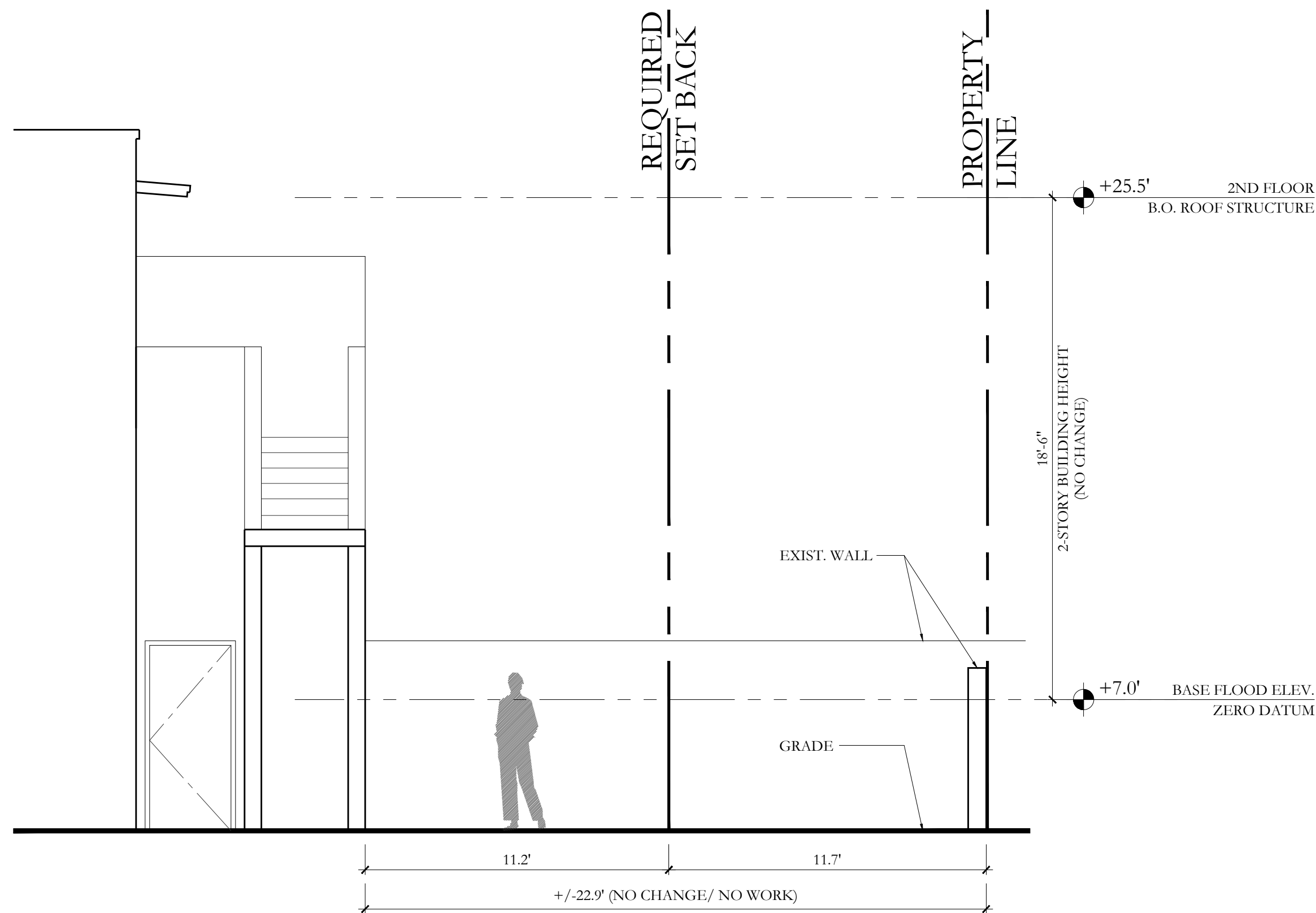
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



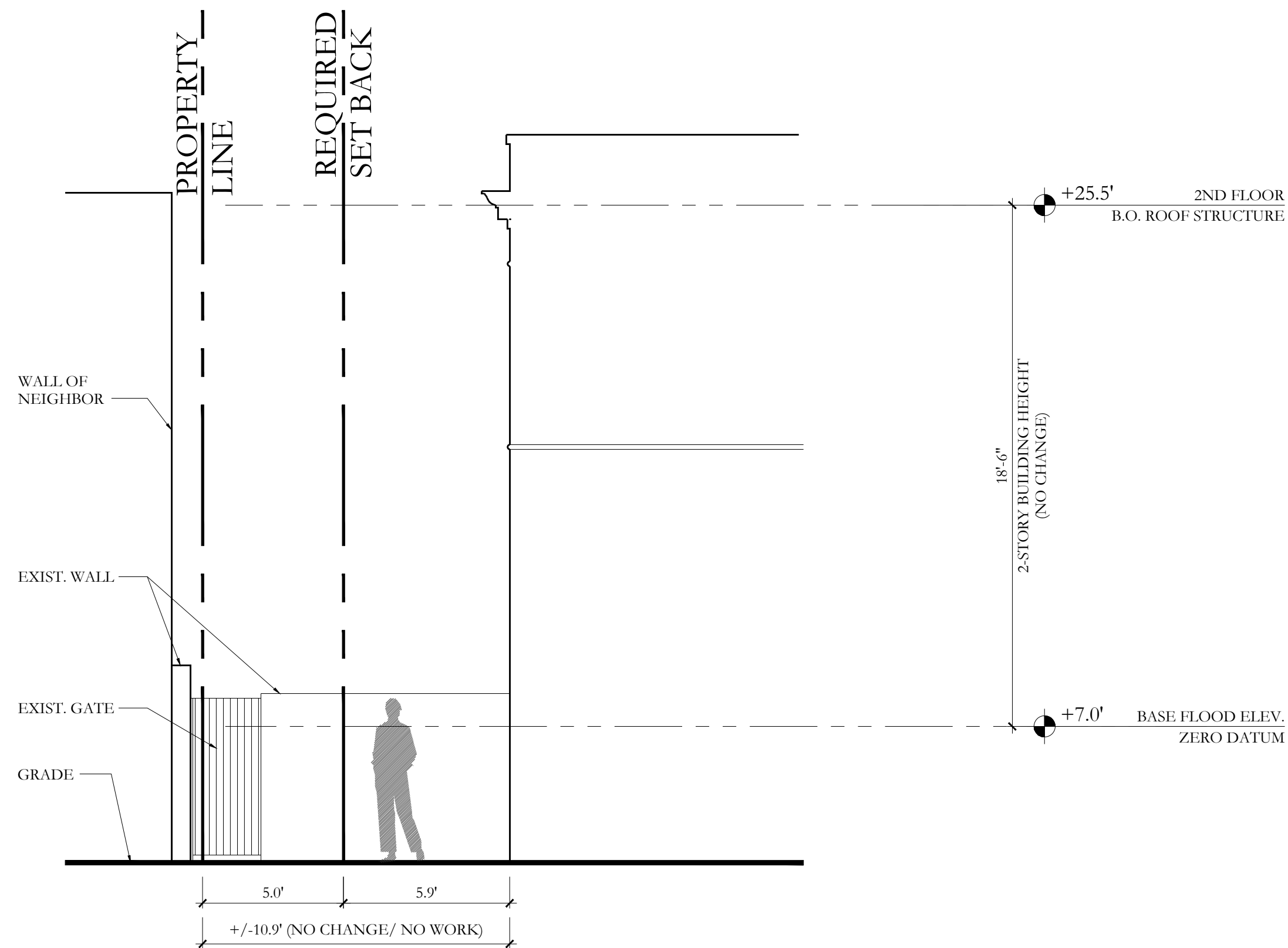
1 EAST YARD SECTION DIAGRAM
1/4"=1'-0"



2 NORTH YARD SECTION DIAGRAM
1/4"=1'-0"



3 EAST YARD SECTION DIAGRAM
1/4"=1'-0"



4 NORTH YARD SECTION DIAGRAM
1/4"=1'-0"

NOTES:

1. EXISTING NON-CONFORMING ENVELOPE ON BRADLEY PLACE (WEST ELEVATION), NO CHANGE IN MASS
2. PROPERTY IS A DEEMED A LANDMARK BY THE TOWN OF PALM BEACH LANDMARK PRESERVATION COMMISSION.
3. BUILDING USE TO BE FOR COMMERCIAL USE AND (2) DWELLING UNITS, NO CHANGE.
4. PARKING REQUIREMENTS AS EXISTING, NO CHANGE.
5. NO CHANGE IN DRIVEWAY

DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:

COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE

YARD SECTION DIAGRAMS

DATE

FEBRUARY 27, 2023

SHEET NO

A-122

SCALE

AS NOTED

BY

HM

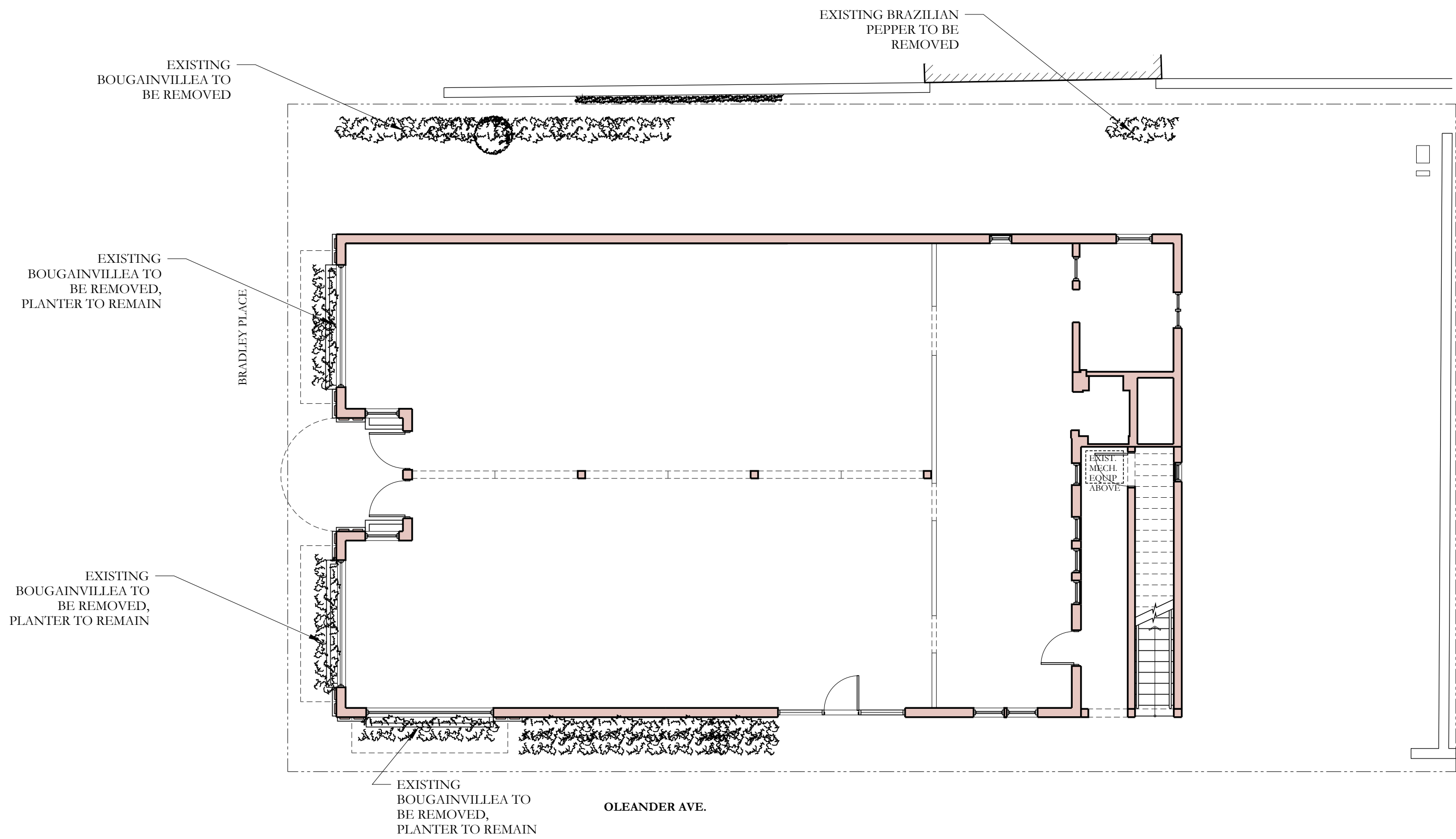


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

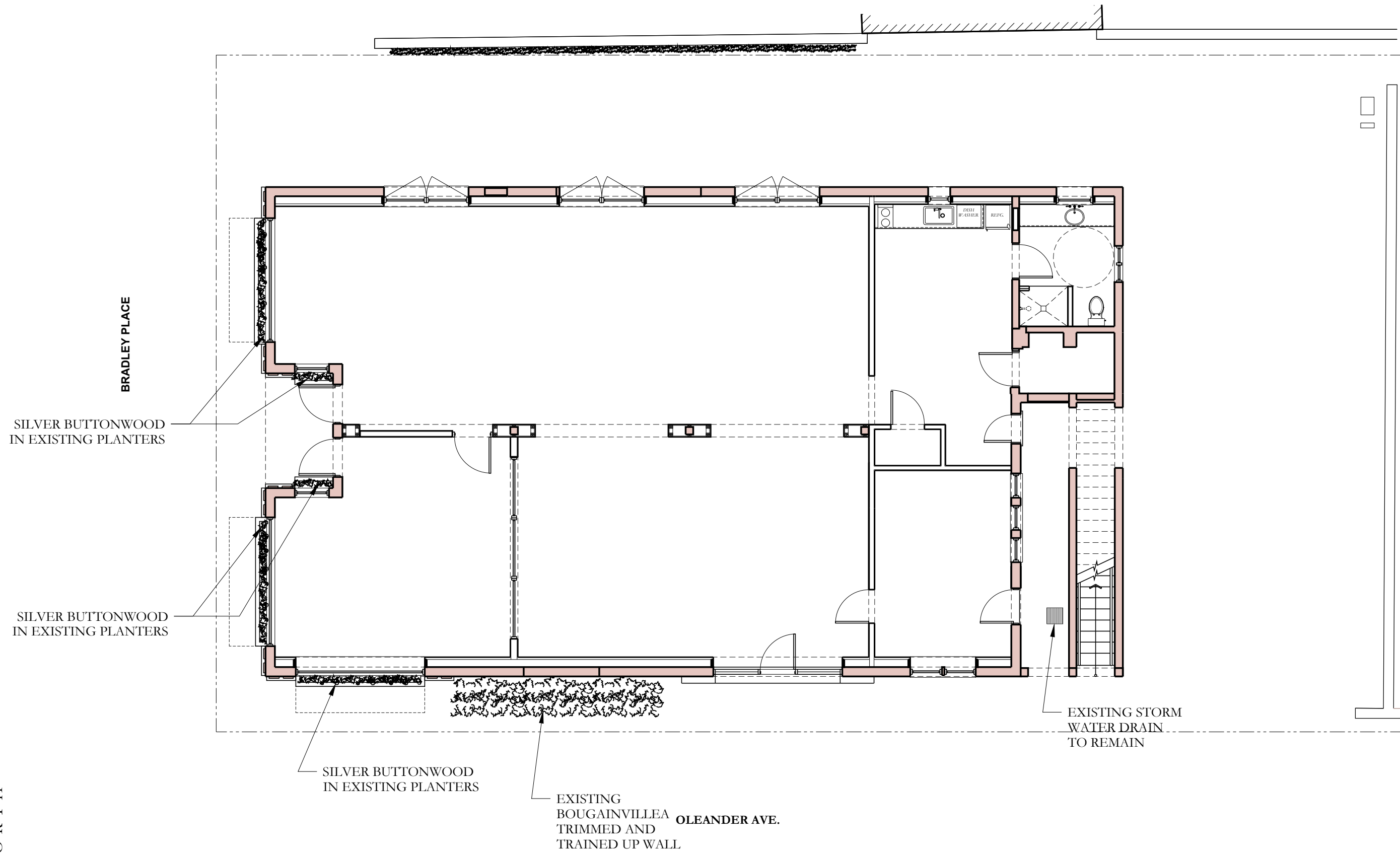
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

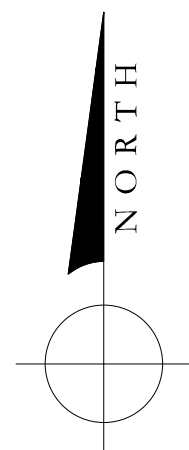
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC



1 EXISTING LANDSCAPE PLAN
1/8"=1'-0"



2 PROPOSED LANDSCAPE PLAN
1/8"=1'-0"



DRC FINAL SUBMITTAL SET	03/14/2023
DRC SECOND SUBMITTAL SET	02/27/2023
DRC FIRST SUBMITTAL SET	02/09/2023
DRC PRE-APP SUBMITTAL	01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING & PROPOSED
LANDSCAPE PLANS

DATE
FEBRUARY 27, 2023

SCALE
AS NOTED

BY
HM

SHEET NO
LP-1

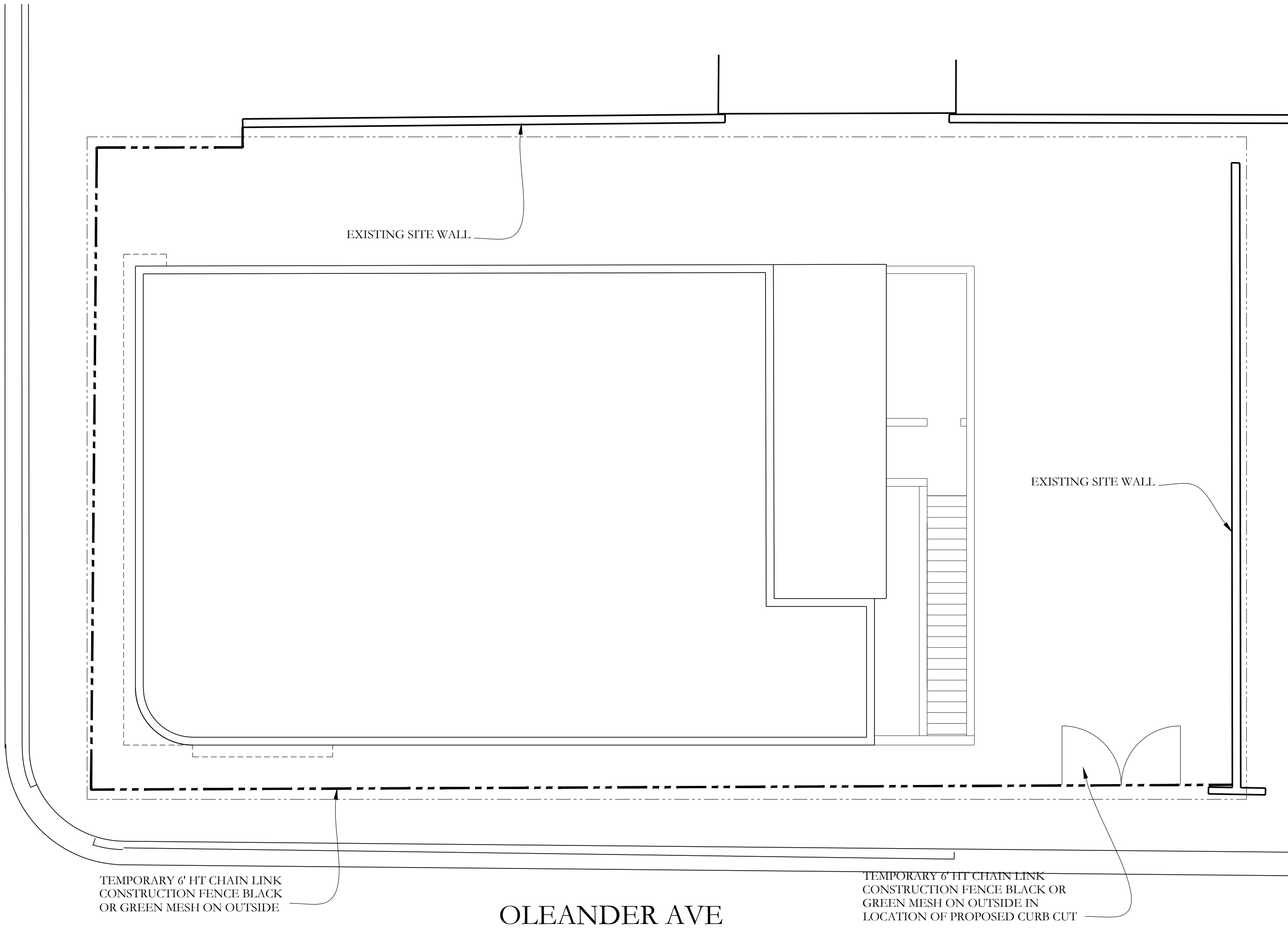


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

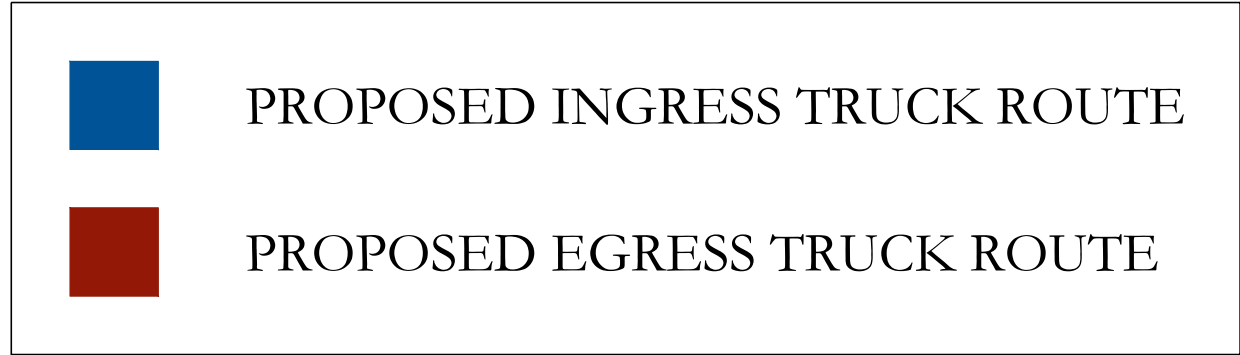
© 2023 FAIRFAX & SAMMONS ARCHITECTS PC

BRADLEY PLACE



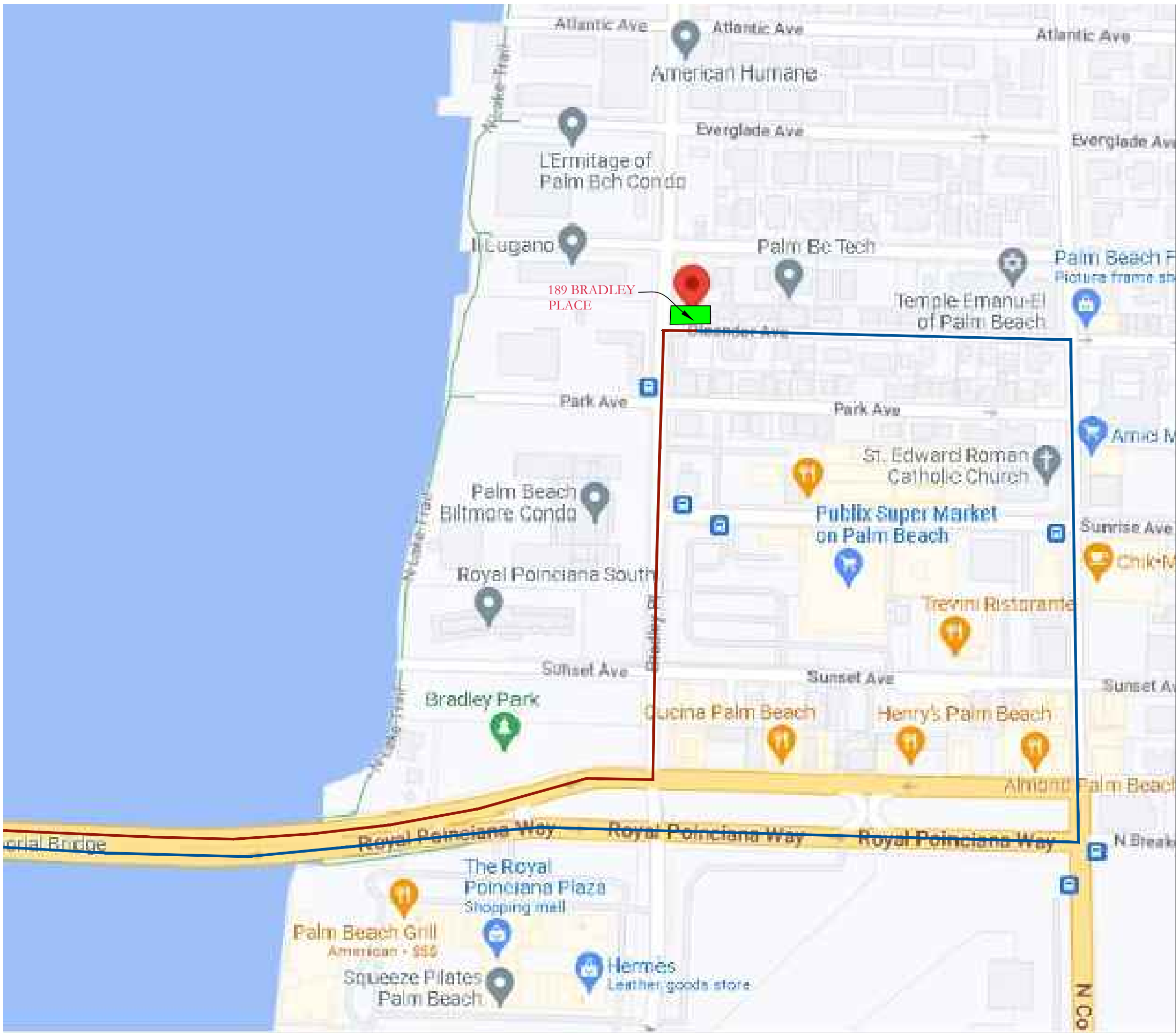
OLEANDER AVE

1 PROPOSED CONSTRUCTION SCREENING
N.T.S



MAXIMUM VEHICLE SIZE ABLE TO BE ACCOMMODATED ON SITE:
18-FOOT TRUCKS

ESTIMATE OF NUMBER OF TRUCKS VISITING JOBSITE OVER LIFE OF PROJECT:	
	5 WORKING DAYS/WEEK (AVG.)
x	50 WORK WEEKS/YEAR (AVG.)
x	.5 YEAR (6-MO.) SCHEDULE (PROPOSED)
=	25 TOTAL WORK WEEKS (PROPOSED)
	2 TRUCKS/DAY (AVG.)
x	2 TRIPS/DAY (INGRESS & EGRESS)
=	4 TRUCK TRIPS/DAY (AVG.)
	130 TOTAL WORK DAYS (PROP.)
x	2 TRUCK TRIPS/DAY (AVG.)
=	160 TOTAL TRUCK TRIPS OVER LIFE OF PROJECT (EST.)



2 PROPOSED TRUCK INGRESS/ EGRESS ROUTES MAP
N.T.S

ROUGH SCHEDULE OF CONSTRUCTION W/MAJOR CONSTRUCTION BENCHMARKS:	
TASK:	DURATION (IN MONTHS):
SITE PREPARATION:	1
FRAMING :	0.5
WINDOW/DOOR DELIVERIES & INSTALLATION:	0.5
DRY-IN:	
INTERIOR FRAMING:	.5
ROUGH-IN:	.5
DRY WALL:	.5
FINISHES:	1
LANDSCAPE/HARDSCAPE INSTALLATION:	.5
FINAL INSPECTIONS:	1
TOTAL PROPOSED CONSTRUCTION TIME (FOLLOWING ISSUANCE OF BUILDING PERMIT):	
6 mos.	

DRC FINAL SUBMITTAL SET03/14/2023

DRC SECOND SUBMITTAL SET02/27/2023

DRC FIRST SUBMITTAL SET02/09/2023

DRC PRE-APP SUBMITTAL01/23/2023

LANDMARKS CASE #:
COA-23-015

189 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
CONSTRUCTION STAGING & TRUCK LOGISTIC PLAN

DATE
FEBRUARY 27, 2023

SCALE
AS NOTED

BY
HM

SHEET NO
T-1

FAIRFAX & SAMMONS

NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.

214 BRAZILIAN AVENUE, PALM BEACH 33480

TELEPHONE (855) 808-8881

FAIRFAXANDSAMMONS.COM

LICENSE NO. AA28000846

Drawings, specifications and other documents prepared by the architect are the instruments of the architect's service and shall remain the property of the architect, whether or not the project for which they are intended is constructed or not. The architect's drawings, specifications and other documents will not be used on any other projects for additions to this project and/or for completion of this project by others, except by agreement in writing and with appropriate compensation to the architect.

© 2023 FAIRFAX & SAMMONS ARCHITECTS PC