

PROPOSED IMPROVEMENTS AT THE BREAKERS PALM BEACH FOR:
THE MEDITERRANEAN AND VENETIAN BALLROOMS
SECOND SUBMITTAL: 02.27.2023

TOWN OF PALM BEACH

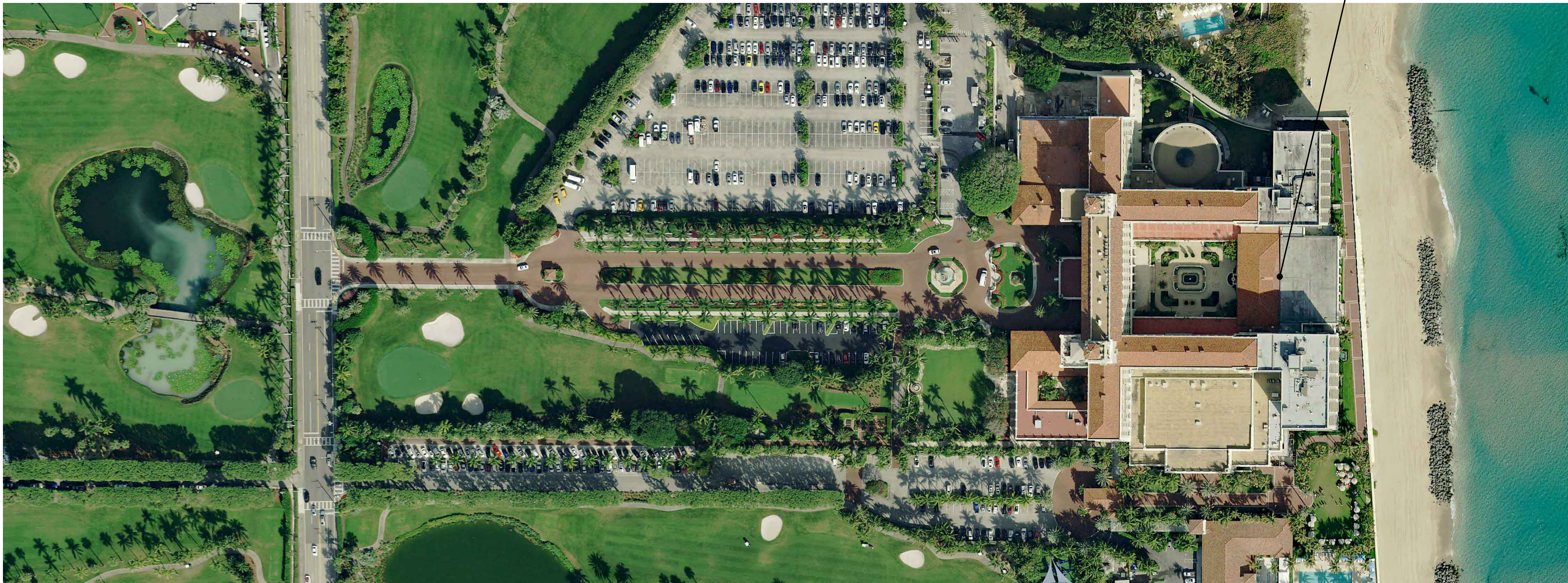
LANDMARKS#: COA-23-014
PROJECTED HEARING DATE: 04.19.2023

PALM BEACH COUNTY, FLORIDA

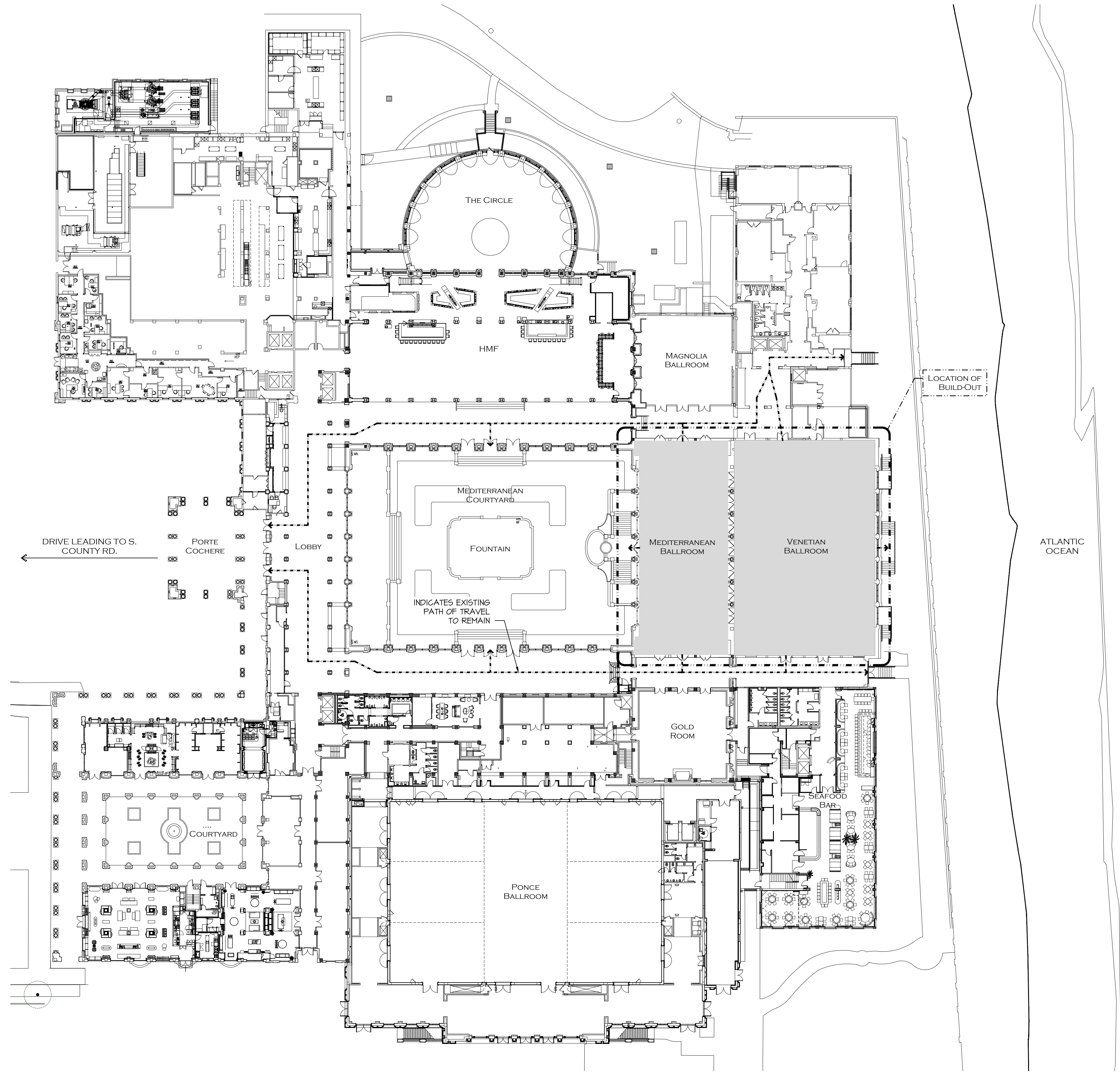
SCOPE OF WORK

THIS PROJECT INVOLVES THE INSTALLATION OF NEW MECHANICAL AND LIGHTING SYSTEMS FOR THE MEDITERRANEAN AND VENETIAN BALLROOMS.

THE REPLACEMENT OF THE EXTERIOR WINDOWS AND DOORS ON THE WEST ELEVATION OF THE MEDITERRANEAN BALLROOM ARE ALSO PART OF THIS TAX ABATEMENT PROJECT. THE WINDOW AND DOOR REPLACEMENT WAS PREVIOUSLY APPROVED AT LANDMARKS COA#22-058.



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ARCHITECTURAL		M-03	LOBBY LEVEL - NEW WORK
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D-1.10	MED. BALLROOM DEMO PLAN	M-05	PARTIAL MEZZANINE LEVEL - NEW WORK PLANS
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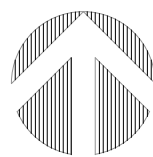


FIRE SPRINKLER AND FIRE ALARM:

A FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM IS EXISTING. THE GENERAL CONTRACTOR SHALL HIRE A LICENSED FIRE SPRINKLER AND FIRE ALARM CONTRACTOR TO MAKE ANY ADJUSTMENTS NECESSARY DUE TO THE NEW LAYOUT.
ALL EXISTING EXIT SIGN AND HORN STROBE LOCATIONS SHALL REMAIN. REPLACE EXIT SIGNS AND HORN STROBES WITH NEW DEVICES TO MATCH CURRENT BUILDING STANDARDS.

OVERALL SITE KEY PLAN

SCALE 1/32" = 1'-0"



PROJECT DESCRIPTION

THIS PROJECT INCLUDES THE REPLACEMENT OF EXTERIOR WINDOWS AND DOORS ON THE WEST ELEVATION OF THE MEDITERRANEAN BALLROOM ALONG WITH THE INSTALLATION OF NEW INTERIOR LIGHTING, MISC. ELECTRICAL, FIRE SPRINKLERS, MECHANICAL SYSTEMS AND LIFE SAFETY DEVICES WITHIN THE MEDITERRANEAN AND VENETIAN BALLROOMS.

NEW STRUCTURAL STEEL WILL BE ADDED INTO THE EXISTING STRUCTURE TO SUPPORT NEW THE NEW FENESTRATION. NEW STRUCTURAL FRAMING WILL BE ADDED TO THE CEILING OF THE MEDITERRANEAN BALLROOM TO SUPPORT THE NEW FLAT CEILING.

BUILDING CODE ANALYSIS

GOVERNING CODES:
2020 FLORIDA BUILDING CODE - SEVENTH ADDITION
2020 FLORIDA FIRE PREVENTION CODE, 11TH EDITION
2020 FBC P- FLORIDA PLUMBING CODE 11TH EDITION
2020 FBC M- FLORIDA MECHANICAL CODE 11TH EDITION
2020 NEC
AMENDMENTS ADOPTED BY THE TOWN OF PALM BEACH

CONSTRUCTION TYPE:
TYPE I - FULLY SPRINKLED

OCCUPANCY GROUP:
A2 - ASSEMBLY WITHIN MAIN OCCUPANCY RI - RESIDENTIAL (HOTEL)

AREA:
14826 SF

OCCUPANT LOAD:
VENETIAN BALLROOM: 4305 SF / 15 SF PER PERSON = 621 OCCUPANTS
MEDITERRANEAN BALLROOM: 5521 SF / 15 SF PER PERSON = 368 OCCUPANTS

EXITS REQUIRED:
NUMBER OF EXITS REQUIRED BY OCCUPANT LOAD: 3 FROM EACH SPACE
EXIT WIDTH REQUIRED: 21 X 2 INCHES
VENETIAN: 124" MIN.
MEDITERRANEAN: 14" MIN.

EXITS PROVIDED:
VENETIAN: 3
MEDITERRANEAN: 3
EXIT WIDTH PROVIDED: 6' CLEAR AT EACH EXIT

RESTROOMS:
FULLY ACCESSIBLE TOILET FACILITIES HAVE BEEN PROVIDED BY LANDLORD IN COMMON AREAS.

ABBREVIATION LEGEND:

ABV.	AT	ME	MATCH EXISTING
AHJ	ABOVE	MFG/MANUF.	MANUFACTURER
ALT.	AIR HANDLER	MTL.	METAL
ARCH	ALTERNATE	MIN.	MINIMUM
A.F.F.	ARCHITECTURAL	MAX.	MAXIMUM
ALUM.	ABOVE FINISH FLOOR	N/C	NOT IN CONTRACT
BD.	ALUMINUM	O.G.	ON CENTER
B.O.B.	BOARD	O/	OVER
BOT.	BOTTOM OF BEAM	PL	PLATE
BLDG.	BOTTOM	PLY.	PLYWOOD
CAB.	BUILDING	P.T.	PRESSURE TREATED
CL	CABINET	REIN.	REINFORCING
CL.	CENTER LINE	REF.	REFRIGERATOR
CLG.	CEILING	RM.	ROOM
COL.	COLUMN	SECT.	SECTION
CONC./CONC.A.	CONCRETE	SCHED.	SCHEDULE
CONT.	CONTINUOUS	S.F.	SQUARE FEET
CU	CONDENSING UNIT	SPEC.	SPECIFICATIONS
D/A/A	DIAMETER	SS/ST.	STAINLESS STEEL
DTL.	DETAIL	STD.	STANDARD
DWS.	DRAWINGS	STRUCT.	STRUCTURAL
DS	DOWNSPOUT	SYP.	SOUTHERN YELLOW PINE
D/W	DOOR/WINDOW	T.B.D.	TO BE DETERMINED
EA.	EACH	T.O.	TOP OF
EQ.	EQUAL	T.O.B.	TOP OF BEAM
EX/EXIST.	EXISTING	T.S.	TUBE STEEL
EXT.	EXTERIOR	TEMP.	TEMPERATURE
FIN.	FINISH	TYP.	TYPICAL
FLR.	FLOOR	U.C.	UNDER COUNTER
FTG.	FOOTING	U.O.N.L.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	VP	VAPOR BARRIER
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
G.T.	GIRDER TRUSS	W/	WITH
GYP.	GYPSUM	W.C.	WATER CLOSET
HB	HOSE BIBB	WP	WATER PROOFING
HD.	HEAD	W/F	WELDED WIRE FABRIC
HT./HST.	HEIGHT	WD.	WOOD
ID.	INTERIOR DESIGNER	WIN	WINDOW
INSUL.	INSULATION		
INT.	INTERIOR		
LAV.	LAVATORY		

SYMBOLS LEGEND

	• DETAIL BUBBLE		• SECTION CALLOUT
	• DOOR TAG		• ELEVATION CALLOUT
	• WINDOW TAG		• KEYNOTE
	• FINISH TAG		• ELEVATION TAG
	• WALL TAG		• REVISION TAG

PROPOSED IMPROVEMENTS AT THE BREAKERS PALM BEACH FOR:
THE MEDITERRANEAN AND VENETIAN BALLROOMS
PALM BEACH COUNTY, FLORIDA
TOWN OF PALM BEACH
DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-939-4101, LICENSE #AA-C00914

DATE: 02.21.2023

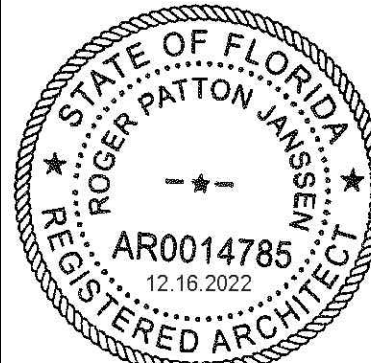
DRAWN: JKS

REVISIONS:

- PRE-APP 01.23.2023
- FIRST SUBMITTAL 02.04.23
- SECOND SUBMITTAL 02.21.23

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SEAL



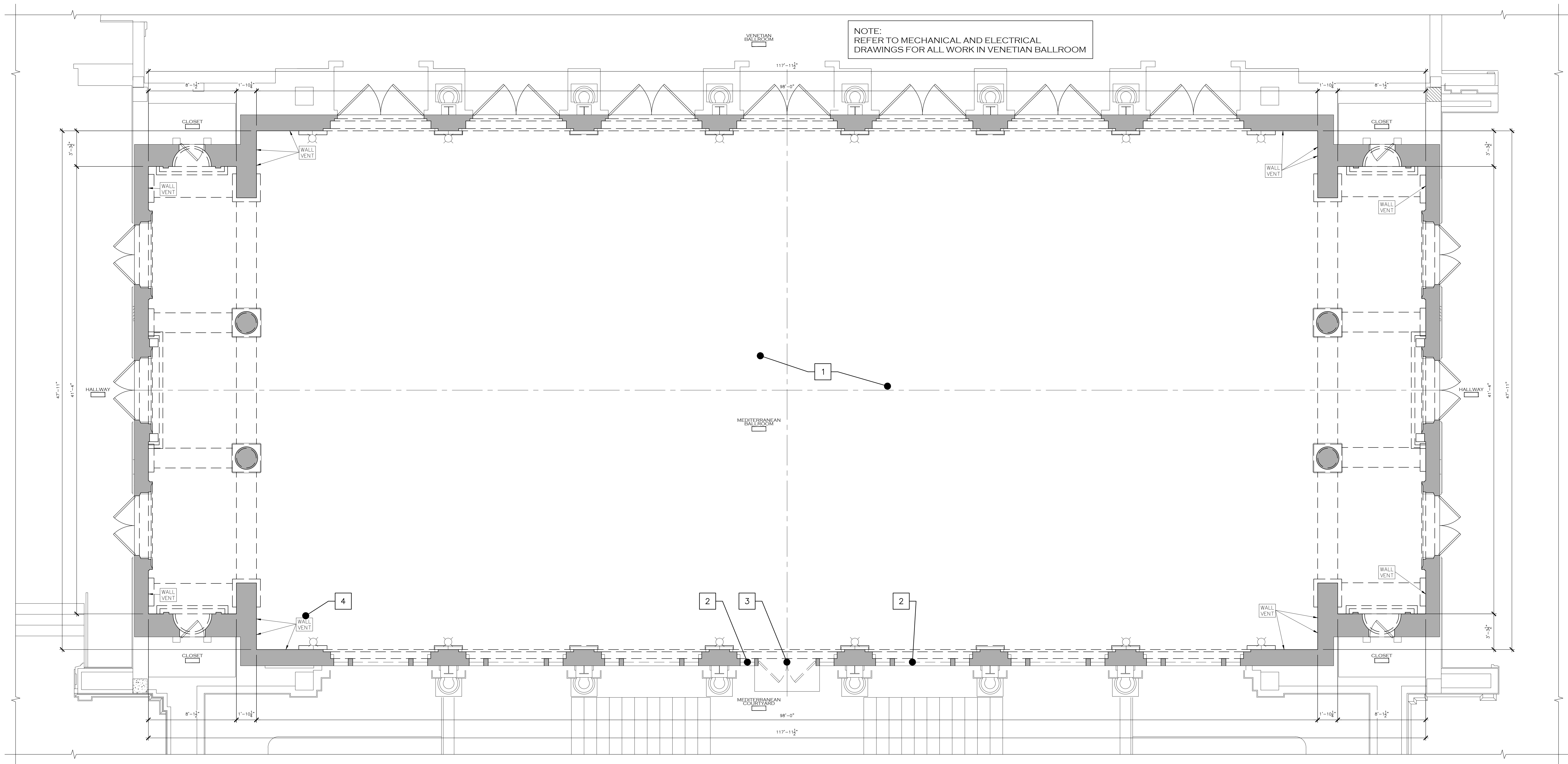
ROGER P. JANSSEN AR-14785

LANDMARKS # COA-23-014

DRAWING NO.

A-1.01

JOB NUMBER: 22-110



MEDITERRANEAN BALLROOM DEMOLITION PLAN

SCALE 1/4" = 1'-0"

DEMO KEY NOTES:

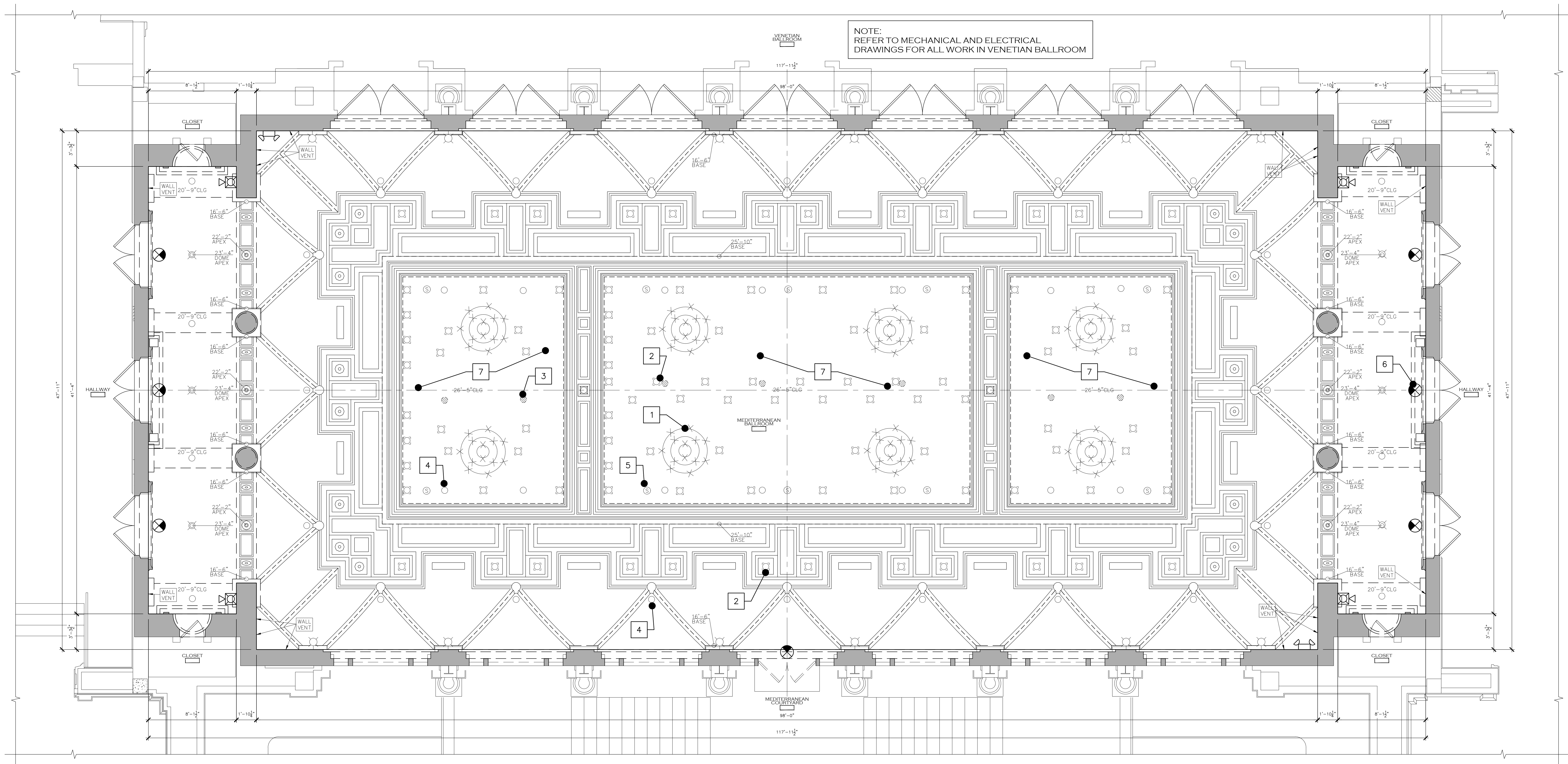
- | | |
|---|---|
| 1 | IDENTIFY DAMAGED FLOOR MATERIAL AND REVIEW WITH OWNER TO DETERMINE ITEMS TO BE PATCHED OR REPLACED. |
| 2 | REMOVE EXISTING WINDOWS AND SURROUNDING WOOD TRIM. |
| 3 | REMOVE EXISTING DOORS. |
| 4 | REMOVE EXISTING WALL VENTS WHERE NO LONGER IN USE. VERIFY WITH MECHANICAL ENGINEER. |

GENERAL DEMO NOTES:

- REMOVE WALLS, CEILINGS, FLOOR FINISHES, WALL FINISHES, AND OTHER MATERIAL OR COMPONENTS ONLY AS REQUIRED FOR INSTALLATION OF NEW WORK AND CONSISTENT WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS, ALTHOUGH SOME ITEMS MAY NOT BE SPECIFICALLY ADDRESSED.
- COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATION OF AUTHORITIES HAVING JURISDICTION.
- PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
- LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
- MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
- PROTECT BUILDING STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
- PROTECT REMAINING WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES. ERECT AND MAINTAIN DUSTPROOF PARTITIONS, COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS, AND EQUIPMENT.
- PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SUCH ARRANGEMENTS WITH THE LOCAL UTILITY PROVIDERS FOR THE PROPER DISCONNECTION OF THE SUPPLY OF ELECTRIC, COMMUNICATION, AND CABLE SERVICES.
- THE PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- ALL EXISTING STRUCTURAL ELEMENTS TO REMAIN.
- REMOVE EXISTING MECHANICAL DEVICES/DUCTWORK, PIPING, ETC., ONLY AS REQUIRED FOR NEW LAYOUT. NO DUCTWORK SHOULD BE LEFT EXPOSED UPON COMPLETION OF WORK. COVER EXISTING DUCT OPENINGS AND PROPERLY TERMINATE ELECTRIC CONNECTIONS. CLEAN MAIN TRUNK AND REPLACE FILTER (WHERE APPLICABLE) BEFORE START OF NEW CONSTRUCTION. CHANGE FILTERS AT LEAST WEEKLY DURING CONSTRUCTION.

EXISTING CONDITIONS:

THESE DRAWINGS ARE BASED ON A VISUAL INSPECTION OF THE EXISTING BUILDING SURFACES. SOME ASSUMPTIONS ABOUT THE CONSTRUCTION, MATERIALS AND METHODS USED FOR THE ORIGINAL CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS. THESE DRAWINGS ALSO ASSUME THAT ALL EXISTING MATERIALS ARE IN GOOD STRUCTURAL CONDITION, GOOD WORKING ORDER, AND MEET ALL APPLICABLE CODES. A COMPLETE INSPECTION OF THE EXISTING BUILDING SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CLIENT OF ANY SIGNS OF POTENTIAL PROBLEMS INCLUDING, BUT NOT LIMITED TO, WOOD DECAYING ORGANISMS, WATER PENETRATION, STRUCTURAL FRAGILITIES, STRESSED SURFACES, AND WEAR STRUCTURAL CONNECTIONS.



MEDITERRANEAN BALLROOM REFLECTED
CEILING DEMOLITION PLAN

SCALE 1/4" = 1'-0"

DEMO KEY NOTES:

- | | |
|---|---|
| 1 | REMOVE EXISTING SUPPLY DIFFUSER |
| 2 | REMOVE EXISTING RECESSED LIGHT FIXTURE |
| 3 | REMOVE EXISTING FIRE SPRINKLER HEAD |
| 4 | FIRE SPRINKLER HEAD TO BE REPLACED / RELOCATED - SEE A-111 |
| 5 | EXISTING SPEAKER TO BE REMOVED |
| 6 | EXIT SIGN TO BE REPLACED |
| 7 | EXISTING FLAT PLASTER CEILING FRAMING TO BE REPLACED - SEE STRUCTURAL |

GENERAL DEMO NOTES:

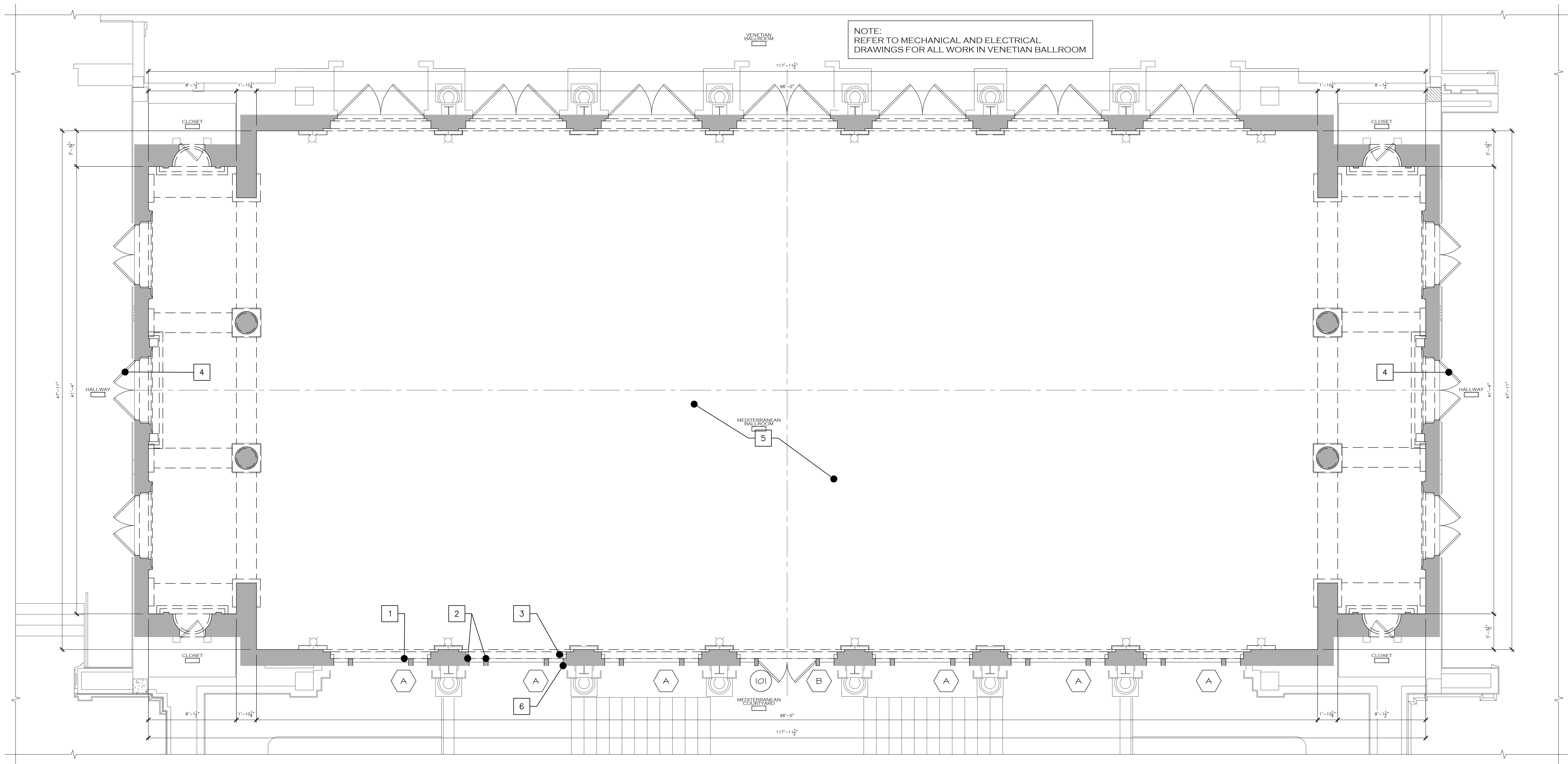
1. REMOVE WALLS, CEILINGS, FLOOR FINISHES, WALL FINISHES, AND OTHER MATERIAL OR COMPONENTS ONLY AS REQUIRED FOR INSTALLATION OF NEW WORK AND CONSISTENT WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS, ALTHOUGH SOME ITEMS MAY NOT BE SPECIFICALLY ADDRESSED.
2. COMPLY WITH EPA REGULATIONS AND DISPOSAL REGULATION OF AUTHORITIES HAVING JURISDICTION.
3. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
4. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
5. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
6. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
7. PROTECT BUILDING STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
8. PROTECT REMAINING WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES. ERECT AND MAINTAIN DUSTPROOF PARTITIONS, COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS, AND EQUIPMENT.
9. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SUCH ARRANGEMENTS WITH THE LOCAL UTILITY PROVIDERS FOR THE PROPER DISCONNECTION OF THE SUPPLY OF ELECTRIC, COMMUNICATION, AND CABLE SERVICES.
11. THE PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
12. ALL EXISTING STRUCTURAL ELEMENTS TO REMAIN.
13. REMOVE EXISTING MECHANICAL DEVICES/DUCTWORK, PIPING, ETC., ONLY AS REQUIRED FOR NEW LAYOUT. NO DUCTWORK SHOULD BE LEFT EXPOSED UPON COMPLETION OF WORK. COVER EXISTING DUCT OPENINGS AND PROPERLY TERMINATE ELECTRIC CONNECTIONS. CLEAN MAIN TRUNK AND REPLACE FILTER (WHERE APPLICABLE) BEFORE START OF NEW CONSTRUCTION. CHANGE FILTERS AT LEAST WEEKLY DURING CONSTRUCTION.

EXISTING CEILING
FIXTURE SCHEDULE:

- | | |
|--|--|
| | EXISTING RECESSED LIGHT FIXTURE TO BE REMOVED |
| | EXISTING DECORATIVE PENDANT |
| | EXISTING DECORATIVE WALL SCONCE |
| | EXISTING SUPPLY DIFFUSER TO BE REMOVED |
| | EXISTING FIRE SPRINKLER HEAD TO BE REPLACED OR RELOCATED - REFER TO PROPOSED PLAN ON SHEET A-111 |
| | EXISTING FIRE SPRINKLER HEAD TO BE REMOVED |
| | EXISTING SPEAKER TO BE REMOVED |
| | EXISTING EXIT SIGN TO BE REPLACED |
| | EXISTING HORN STROBE TO BE REPLACED |
| | EXISTING WALL MOUNTED EMERGENCY LIGHT TO BE REPLACED |

EXISTING CONDITIONS:

THESE DRAWINGS ARE BASED ON A VISUAL INSPECTION OF THE EXISTING BUILDING SURFACES. SOME ASSUMPTIONS ABOUT THE CONSTRUCTION, MATERIALS AND METHODS USED FOR THE ORIGINAL CONSTRUCTION, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS. THESE DRAWINGS ALSO ASSUME THAT ALL EXISTING MATERIALS ARE IN GOOD STRUCTURAL CONDITION, GOOD WORKING ORDER, AND MEET ALL APPLICABLE CODES. A COMPLETE INSPECTION OF THE EXISTING BUILDING SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CLIENT OF ANY SIGNS OF POTENTIAL PROBLEMS INCLUDING, BUT NOT LIMITED TO, WOOD DECAYING ORGANISMS, WATER PENETRATION, STRUCTURAL FRACTURES, STRESSED SURFACES, AND WEAR STRUCTURAL CONNECTIONS.



PROPOSED MEDITERRANEAN BALLROOM
FLOOR PLAN

SCALE 1/4" = 1'-0"

FLOOR PLAN KEY NOTES:

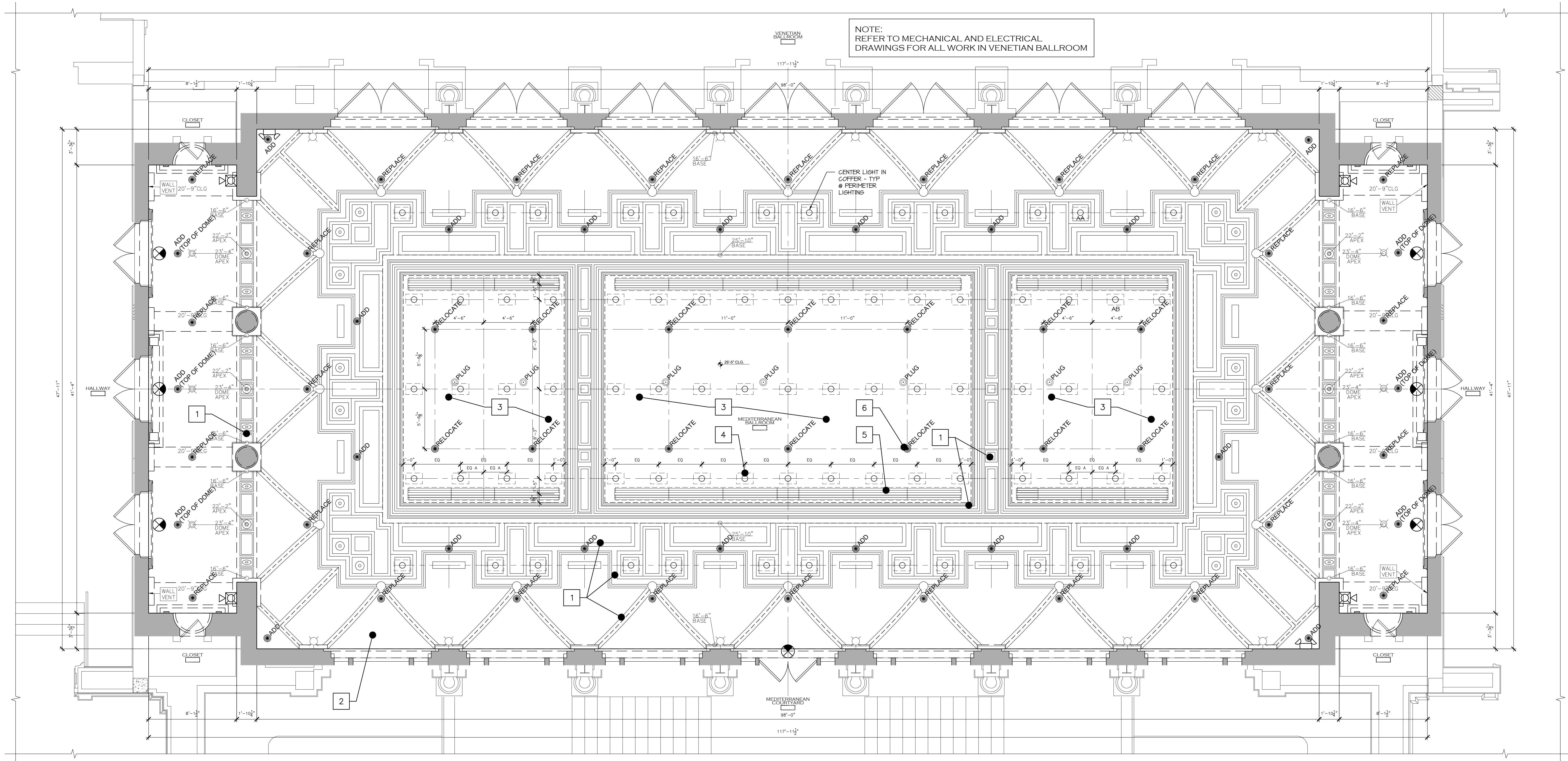
1. NEW IMPACT RESISTANT EXTERIOR WINDOWS AND DOORS ALONG WEST WALL.
2. NEW STRUCTURAL STEEL FRAME SET INTO OPENING FOR INSTALLATION OF NEW FENESTRATION - SEE STRUCTURAL.
3. INSTALL NEW WOOD MILLWORK AROUND WINDOWS AND DOORS.
4. REFINISH EXISTING WOOD INTERIOR DOORS TO PROVIDE AS-NEW APPEARANCE.
5. REPAIR / REPLACE TERRAZO AS DIRECTED BY OWNER.
6. REPAIR STUCCO FINISH AS REQ. PROFILE WORK SHALL MATCH EXISTING.

FLOOR PLAN NOTES:

1. ALL CONSTRUCTION SHALL FOLLOW THE "FLORIDA BUILDING CODE 2020" WITH AMENDMENTS, AS ADOPTED BY THE TOWN OF PALM BEACH AND PALM BEACH COUNTY, FLORIDA.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING ANY WORK AND NOTIFY THE ARCHITECT IMMEDIATELY VIA PHONE CALL AND IN WRITING OF DISCREPANCIES, OR THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS/OMISSIONS. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
4. ALL DIMENSIONS ARE TO EXISTING FINISHES.
5. ISOLATE DISSIMILAR METALS TO PROTECT AGAINST GALVANIC ACTION.
6. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS AND SUBCONTRACTORS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
7. ALL WORK INDICATED ON PLANS IS INTENDED TO BE A COMPLETE AND WORKABLE SYSTEM IN ACCORDANCE WITH ALL PRODUCT SPECS, EXISTING AND/OR NEW BUILDING DESIGN, FIELD CONDITIONS, ETC. ALL MISCELLANEOUS MATERIALS, PARTS, APPLICABLE DIMENSIONS AND INFERRRED CONDITIONS, WHETHER INDICATED OR NOT ON DRAWINGS, SHALL BE INCLUDED AS PART OF THIS DOCUMENT.
8. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE PRESSURE TREATED. PROVIDE AN APPROPRIATE MOISTURE BARRIER BETWEEN THE CONCRETE OR OTHER CEMENTITIOUS MATERIALS AND THE WOOD.
9. THE CONTRACTOR OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & LICENSES AS WELL AS PAYMENT OF REQUIRED FEES.
10. ALL MILLWORK / PLASTER WORK TO BE REPAIRED SHALL MATCH EXISTING PROFILES.
11. CONTRACTOR TO PROVIDE SOLID WOOD BACKING FOR ALL WALL-MOUNTED CABINETRY, MILLWORK, LIGHT FIXTURES, PLUMBING ACCESSORIES, ETC.
12. ANY DEVICE OR ALARM INSTALLED AT EGRESS DOORS SHALL BE DESIGNED AND INSTALLED SO THAT IT CANNOT, EVEN IN CASE OF FAILURE, IMPEDE OR PREVENT EMERGENCY USE.
13. THICKNESS OF GYPSUM BOARD AT AREAS TO BE REPAIRED SHALL MATCH EXISTING TO CREATE FLUSH FINISH WITH AS-NEW APPEARANCE.
14. NEW INTERIOR PARTITION FRAMING SHALL BE 22 GAUGE MINIMUM.
15. PROVIDE FIREBLOCKING AT ALL NEW PARTITION / CEILING INTERSECTIONS.
16. REPAIR INTERIOR DOORS TO PROVIDE AS-NEW APPEARANCE.
17. ALL EDGES OF WOOD DOORS TO BE SEALED.
18. ALL BATT INSULATION SHALL BE NON-COMBUSTIBLE.

EXISTING CONDITIONS:

THESE DRAWINGS ARE BASED ON A VISUAL INSPECTION OF THE EXISTING BUILDING SURFACES. SOME ASSUMPTIONS ABOUT THE CONSTRUCTION, MATERIALS AND METHODS USED FOR THE ORIGINAL CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS. THESE DRAWINGS ALSO ASSUME THAT ALL EXISTING MATERIALS ARE IN GOOD STRUCTURAL CONDITION, GOOD WORKING ORDER, AND MEET ALL APPLICABLE CODES. A COMPLETE INSPECTION OF THE EXISTING BUILDING SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CLIENT OF ANY SIGNS OF POTENTIAL PROBLEMS INCLUDING, BUT NOT LIMITED TO, WOOD DECAYING ORGANISMS, WATER PENETRATION, STRUCTURAL FRAGILITIES, STRESSED SURFACES, AND WEAR STRUCTURAL CONNECTIONS.



PROPOSED MEDITERRANEAN BALLROOM
REFLECTED CEILING PLAN

SCALE 1/4" = 1'-0"

CEILING KEY NOTES:

- EXISTING PLASTER MOLDINGS TO REMAIN THROUGHOUT.
- EXISTING PLASTER GROIN VAULTS TO REMAIN.
- NEW 5/8" MIN. TYPE 'X' GYPSUM BOARD CEILING ON NEW FRAMING. SEE STRUCTURAL FOR FRAMING.
- NEW RECESSED LIGHT FIXTURE - SEE LIGHTING DESIGN DRAWINGS.
- NEW LINEAR SUPPLY DIFFUSER - SEE MECHANICAL.
- REPLACED / RELOCATED / NEW SPRINKLER HEADS - SEE FIRE SPRINKLER DRAWINGS.

GENERAL CEILING NOTES:

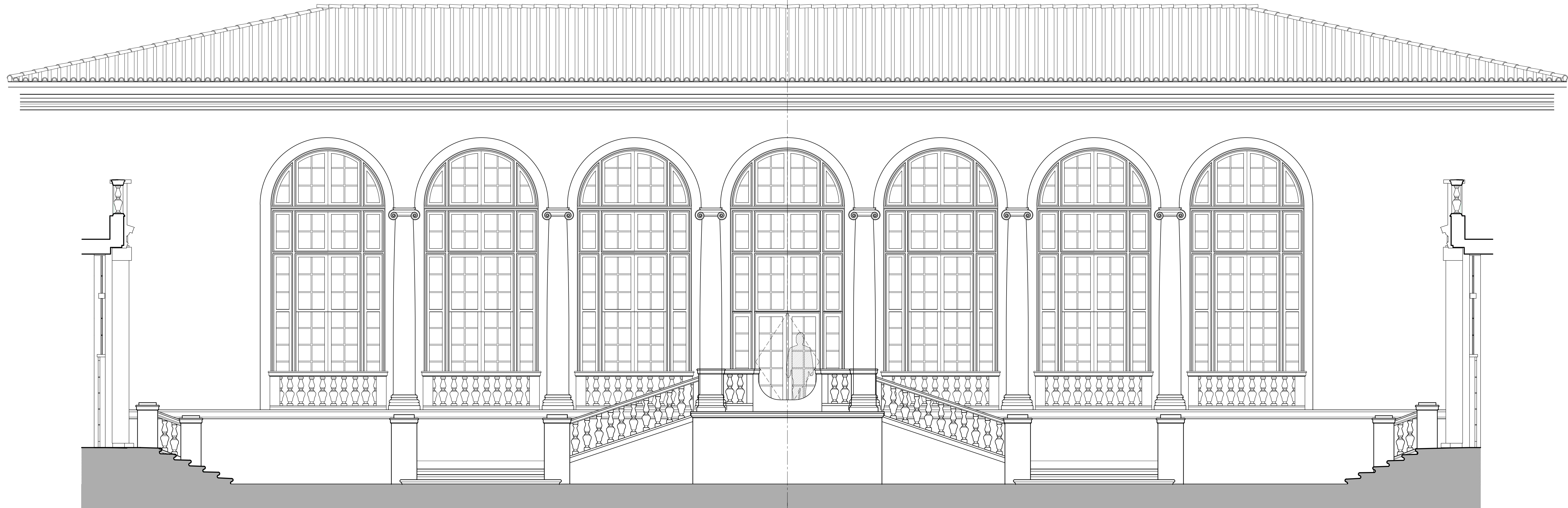
- CEILING LAYOUT AND DESIGN ARE BASED ON THE COORDINATED DESIGN OF NEW MECHANICAL, ELECTRICAL, AND FIRE SPRINKLER. PLACEMENT WITHIN CONFINES OF EXISTING PLASTER CEILING DESIGN. LIFE SAFETY DEVICES ARE SHOWN FOR COORDINATION PURPOSES. PLACEMENT OF SUCH DEVICES SHALL NOT IMPACT THE DESIGN LAYOUT OF LIGHTING AND MECHANICAL GRILLES.
- LOW VOLTAGE CONSULTANT TO PROVIDE LAYOUT FOR CEILING SPEAKERS AND CAMERAS. PLACEMENT SHALL NOT IMPACT LAYOUT OF LIGHTING OR MECHANICAL GRILLES.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES DUE TO EXISTING CONDITIONS.
- WHERE EXISTING PLASTER CEILING IS REMOVED, REPLACE WITH 5/8" MIN. TYPE 'X' GYPSUM BOARD. VERIFY IN FIELD TO DETERMINE EXACT THICKNESS NEEDED.
- ALL LIGHTS TO BE FULLY DIMMABLE.
- ALL HEIGHTS ARE EXISTING FROM TOP OF FINISH FLOOR.
- ENSURE INSTALLATION OF ALL NEW WORK IS IN COMPLIANCE WITH ENGINEERED FIRE PROTECTION THAT IS EXISTING IN HOTEL.
- SPRINKLER HEADS AT GYPSUM BOARD CEILINGS MUST BE FULLY RECESSED AND COVERED WITH METAL PLATES FINISHED TO MATCH ADJACENT CEILING.
- EXIT SIGNAGE SHALL MATCH HOTEL STANDARDS.
- INSULATION ABOVE CEILING TO REMAIN WHERE POSSIBLE. WHERE NEW INSULATION IS REQUIRED, INSTALL PER BUILDING STANDARD.
- WOOD SPECIFIED ABOVE THE CEILING SHALL BE FIRE RETARDANT TREATED. WHERE POSSIBLE, USE NONCOMBUSTIBLE FRAMING MEMBERS FOR BACKING, BLOCKING, AND LATERAL BRACING.
- ALL WOOD MEMBERS USED FOR PURPOSES OF BACKING AND BLOCKING IN AN APPROVED MANNER SHALL BE FIRE RETARDANT TREATED.
- ALL EXISTING STRUCTURE TO REMAIN UNLESS NOTED OTHERWISE.
- LIGHTING FIXTURES AND CEILING-MOUNTED DEVICES ARE SHOWN FOR LOCATION ONLY. SEE ELECTRICAL AND LIGHTING DESIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- NEW GYPSUM BOARD CEILING TO HAVE LEVEL 3' FINISH. REFER TO STRUCTURAL FOR NEW CEILING FRAMING.
- PROVIDE FIRE SPRINKLER SHOP DRAWINGS FOR RELOCATION OF SPRINKLER HEADS TO ACCOMMODATE NEW LAYOUT.
- ALL PLASTER MOLDINGS TO REMAIN. REPAIR ANY MOLDING THAT IS DAMAGED OR MISSING TO PROVIDE AS-NEW APPEARANCE.

CEILING FIXTURE SCHEDULE:

- | | |
|--|--|
| | TYPE AA / AB: NEW RECESSED ACCENT LIGHT, DASHED LINE INDICATES HOUSING - REFER TO LIGHTING DESIGN DRAWINGS |
| | EXISTING DECORATIVE PENDANT TO REMAIN |
| | EXISTING DECORATIVE WALL SCONCE TO REMAIN |
| | NEW LINEAR SUPPLY DIFFUSER - DASHED LINE INDICATES PLENUM BOX |
| | NEW FIRE SPRINKLER HEAD |
| | RELOCATED FIRE SPRINKLER HEAD |
| | NEW FIRE SPRINKLER HEAD AT EXISTING LOCATION |
| | PLUG HOLE FROM RELOCATED FIRE SPRINKLER HEAD |
| | NEW EXIT SIGN |
| | NEW HORN STROBE |
| | NEW WALL MOUNTED EMERGENCY LIGHT |

EXISTING CONDITIONS:

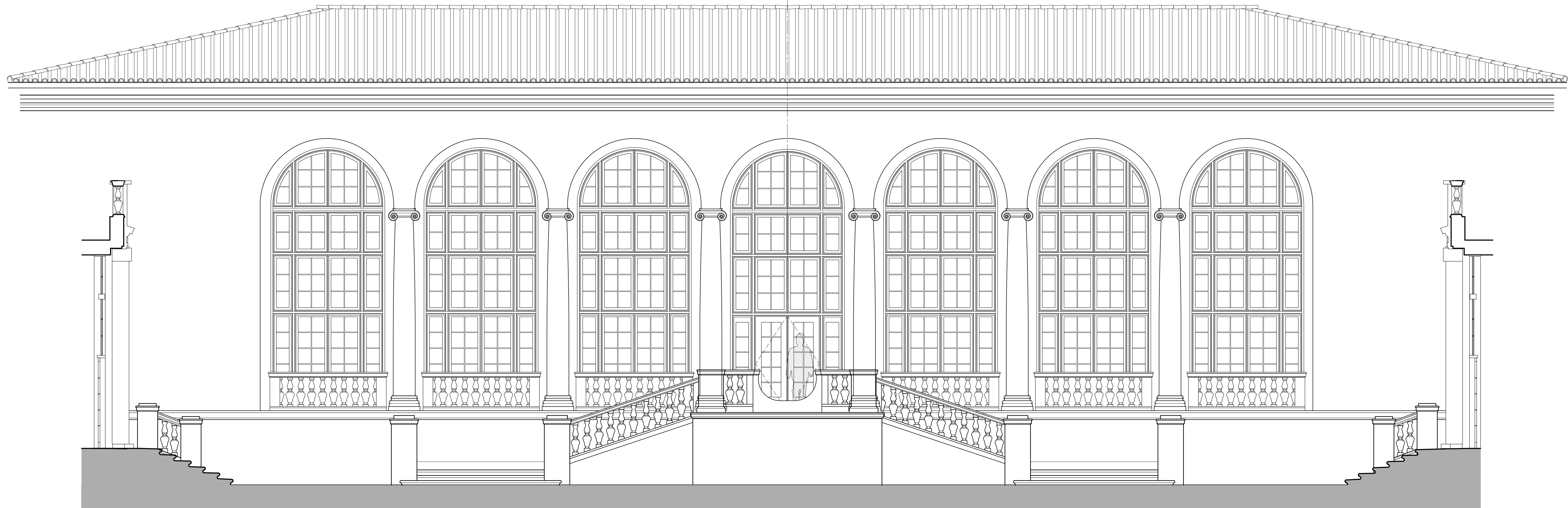
THESE DRAWINGS ARE BASED ON A VISUAL INSPECTION OF THE EXISTING BUILDING SURFACES. SOME ASSUMPTIONS ABOUT THE CONSTRUCTION, MATERIALS AND METHODS USED FOR THE ORIGINAL CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS OR UNFORESEEN CONDITIONS. THESE DRAWINGS ALSO ASSUME THAT ALL EXISTING MATERIALS ARE IN GOOD STRUCTURAL CONDITION, GOOD WORKING ORDER, AND MEET ALL APPLICABLE CODES. A COMPLETE INSPECTION OF THE EXISTING BUILDING SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CLIENT OF ANY SIGNS OF POTENTIAL PROBLEMS INCLUDING, BUT NOT LIMITED TO, WOOD DECAYING ORGANISMS, WATER PENETRATION, STRUCTURAL FRAGILITIES, STRESSED SURFACES, AND WEAR STRUCTURAL CONNECTIONS.



1
A-2.01

EXISTING WEST EXTERIOR ELEVATION WITH BALUSTRADE

SCALE 1/4" = 1'-0"

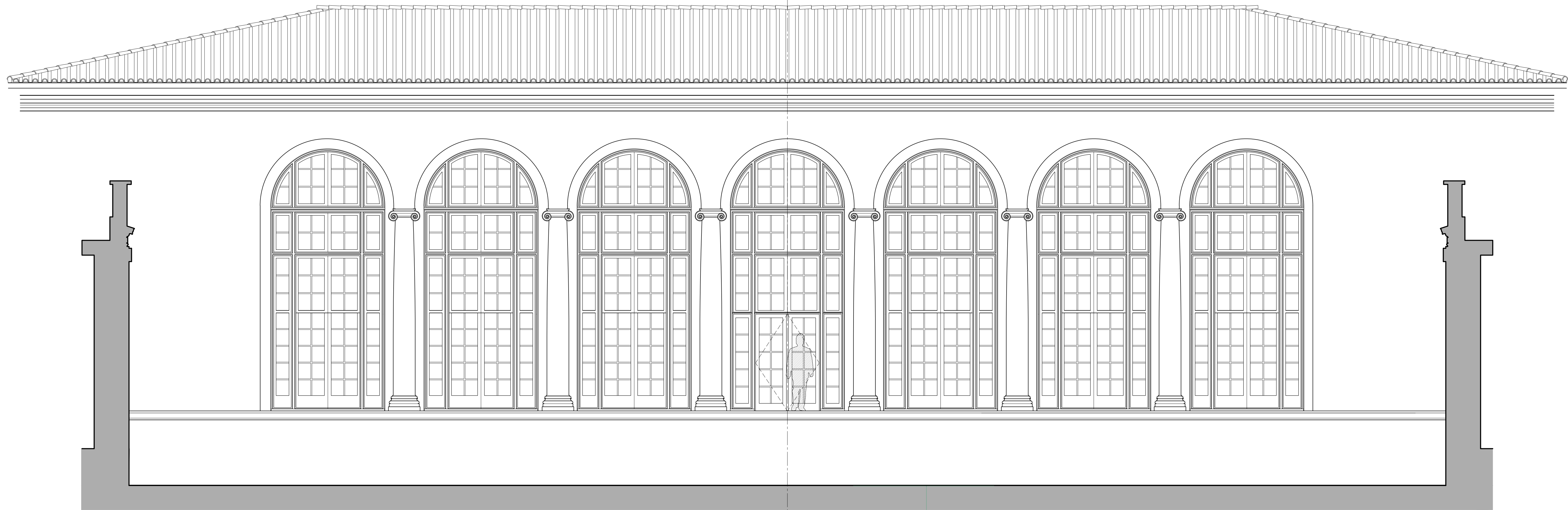


2
A-2.01

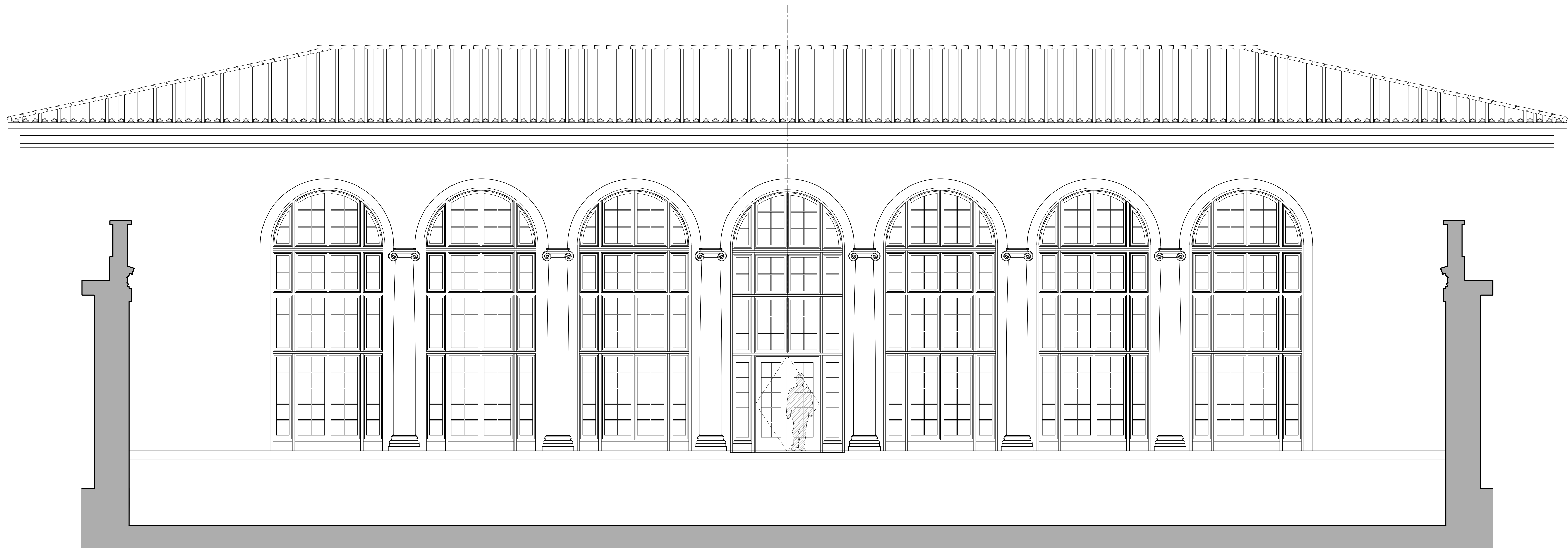
PROPOSED WEST EXTERIOR ELEVATION WITH BALUSTRADE

SCALE 1/4" = 1'-0"

THE REPLACEMENT OF THE EXTERIOR
WINDOWS AND DOORS ON THE WEST
ELEVATION OF THE MEDITERRANEAN
BALLROOM ARE ALSO PART OF THIS
TAX ABATEMENT PROJECT. THE
WINDOW AND DOOR REPLACEMENT
WAS PREVIOUSLY APPROVED AT
LANDMARKS COA#22-058

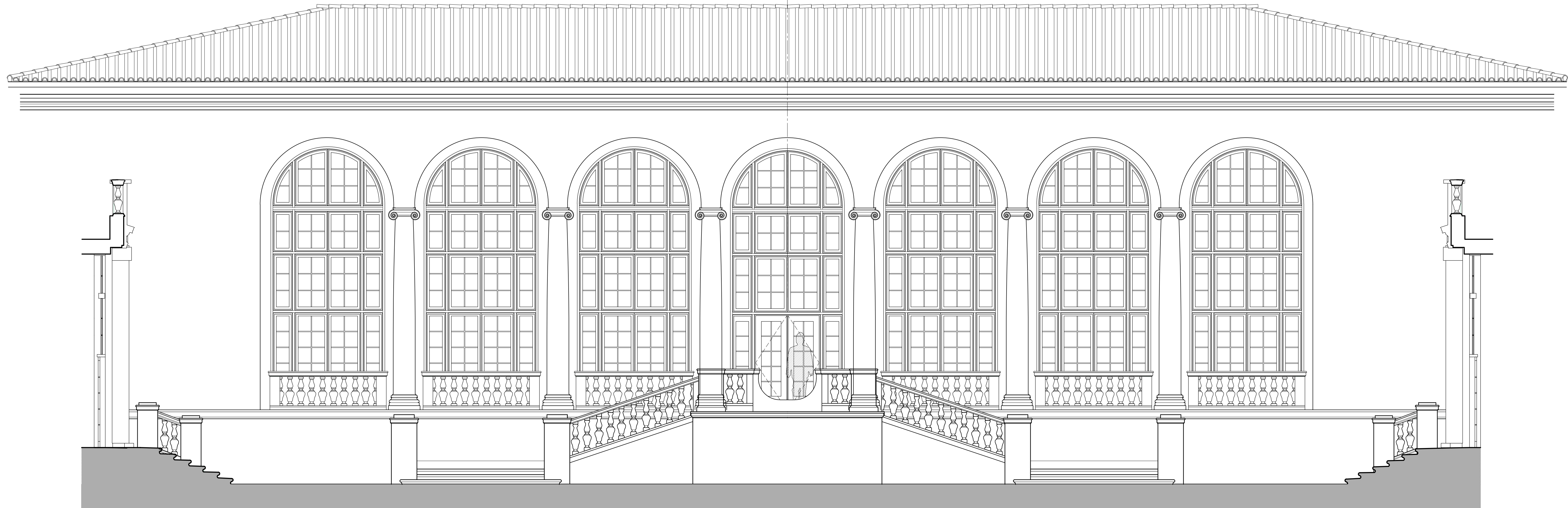


3 EXISTING WEST EXTERIOR ELEVATION WITHOUT BALUSTRADE
A-2.02 SCALE 1/4" = 1'-0"



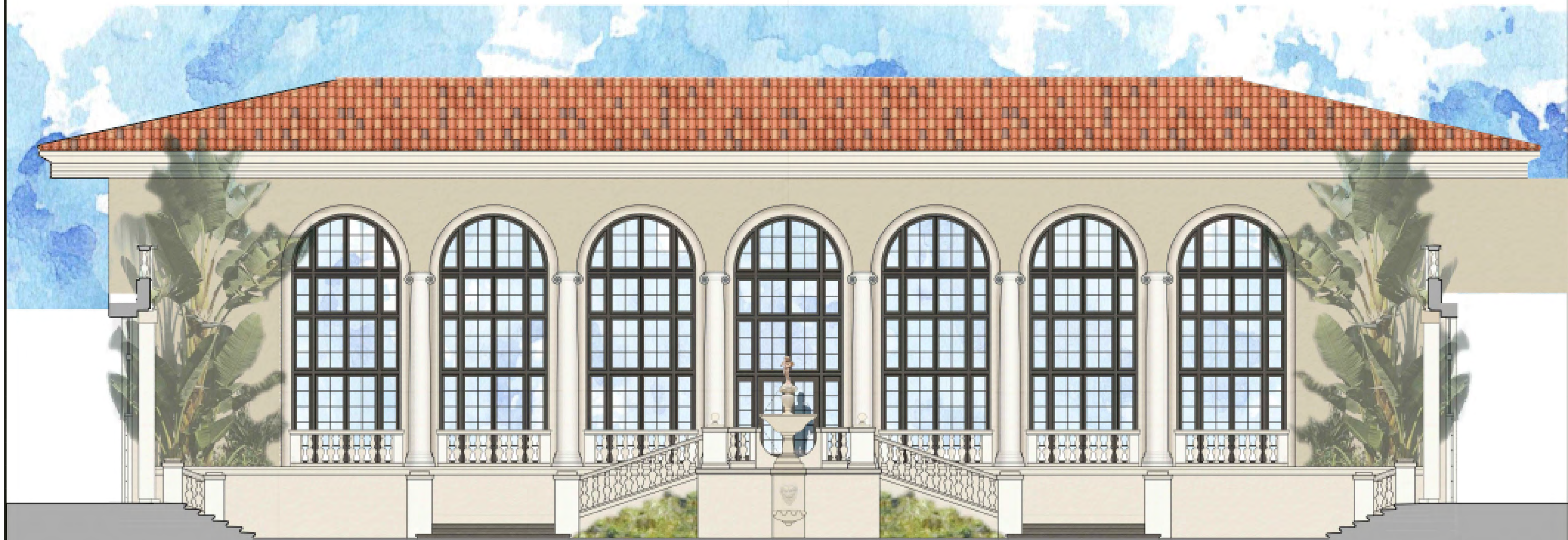
4 PROPOSED WEST EXTERIOR ELEVATION WITHOUT BALUSTRADE
A-2.02 SCALE 1/4" = 1'-0"

THE REPLACEMENT OF THE EXTERIOR
WINDOWS AND DOORS ON THE WEST
ELEVATION OF THE MEDITERRANEAN
BALLROOM ARE ALSO PART OF THIS
TAX ABATEMENT PROJECT. THE
WINDOW AND DOOR REPLACEMENT
WAS PREVIOUSLY APPROVED AT
LANDMARKS COA#22-058



1 PROPOSED WEST EXTERIOR ELEVATION WITH BALUSTRADE
A-2.01A

SCALE 1/4" = 1'-0"



2 PROPOSED COLORED WEST EXTERIOR ELEVATION WITH BALUSTRADE
A-2.01A

SCALE 1/4" = 1'-0"

THE REPLACEMENT OF THE EXTERIOR WINDOWS AND DOORS ON THE WEST ELEVATION OF THE MEDITERRANEAN BALLROOM ARE ALSO PART OF THIS TAX ABATEMENT PROJECT. THE WINDOW AND DOOR REPLACEMENT WAS PREVIOUSLY APPROVED AT LANDMARKS COA#22-058



1 PHOTOGRAPH OF EXISTING COURTYARD FACADE
A-2.20



2 PHOTOGRAPH OF EXISTING COURTYARD FACADE
A-2.20



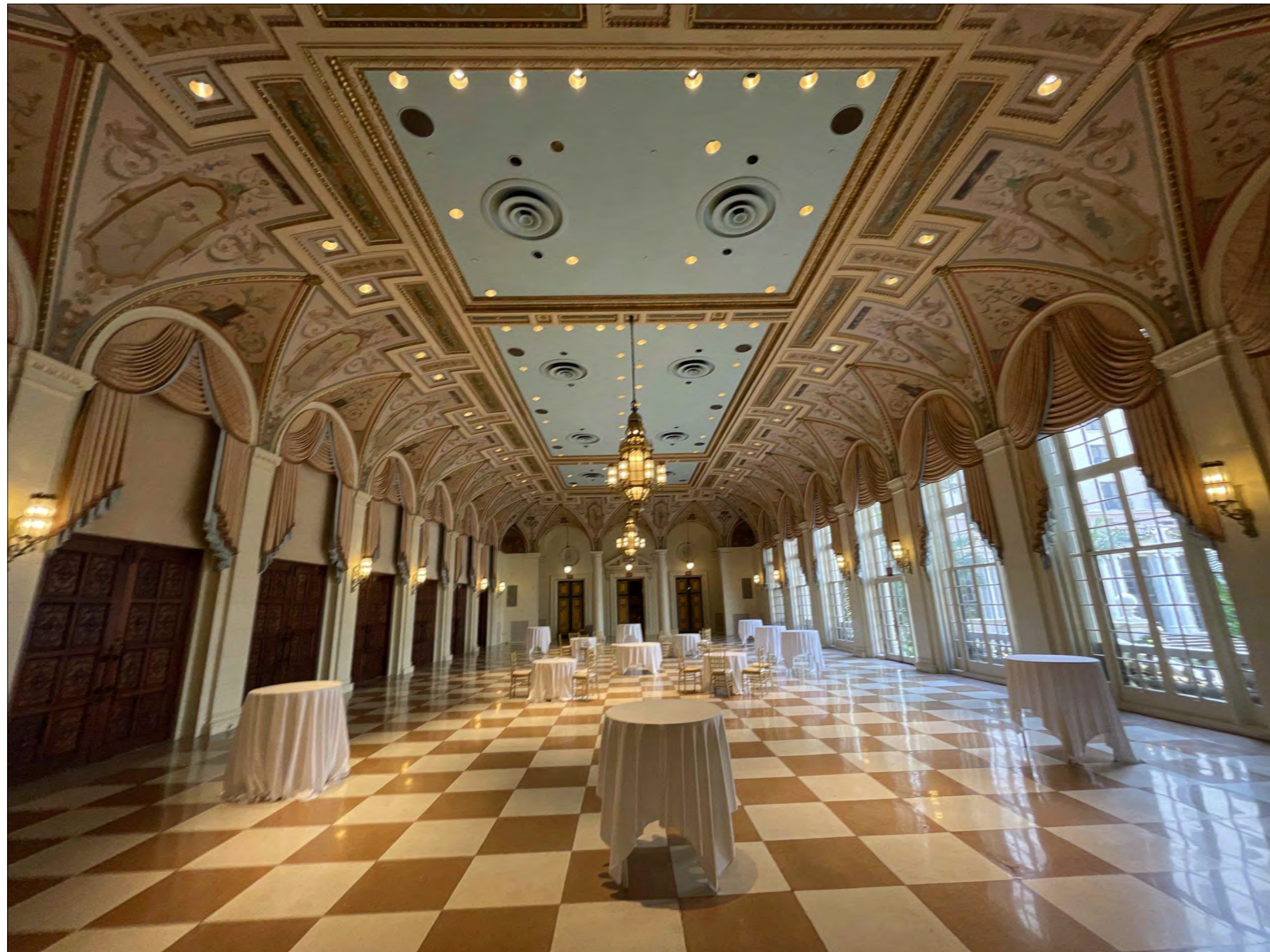
3 PHOTOGRAPH OF EXISTING DOOR
A-2.20



4 PHOTOGRAPH OF EXISTING BALLROOM WINDOWS AND DOORS
A-2.20



5 PHOTOGRAPH OF EXISTING WINDOW
A-2.20



1 MEDITERRANEAN BALLROOM FACING SOUTH
A-2.21



2 MEDITERRANEAN BALLROOM FACING WEST
A-2.21



3 MEDITERRANEAN BALLROOM DOOR
A-2.21



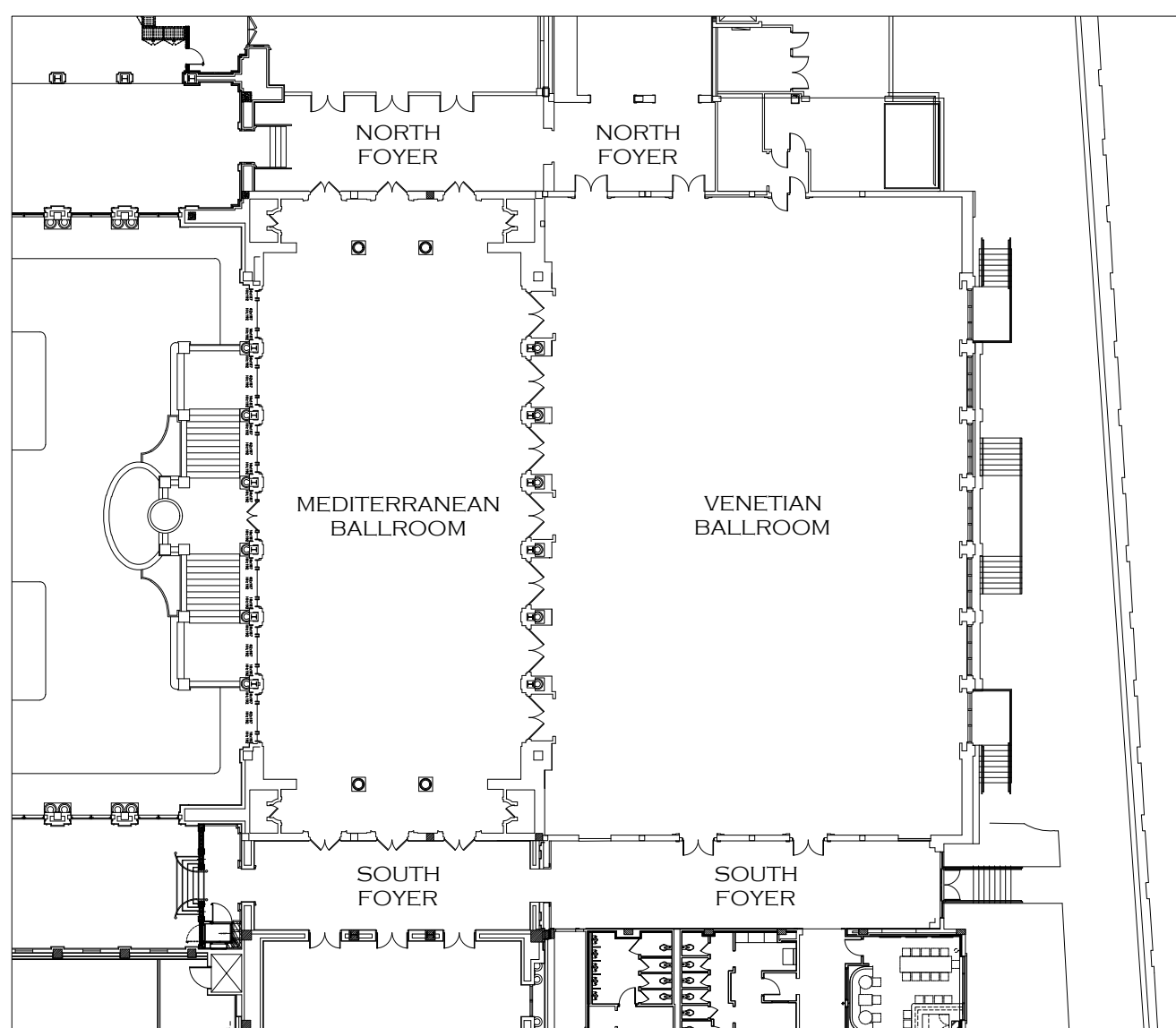
4 MEDITERRANEAN BALLROOM FACING EAST
A-2.21



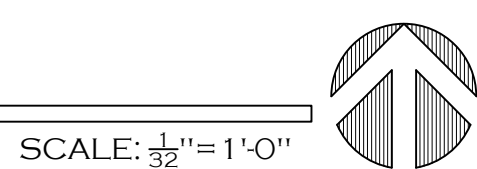
5 MEDITERRANEAN BALLROOM FACING EAST
A-2.21



6 MEDITERRANEAN BALLROOM FACING NORTH
A-2.21



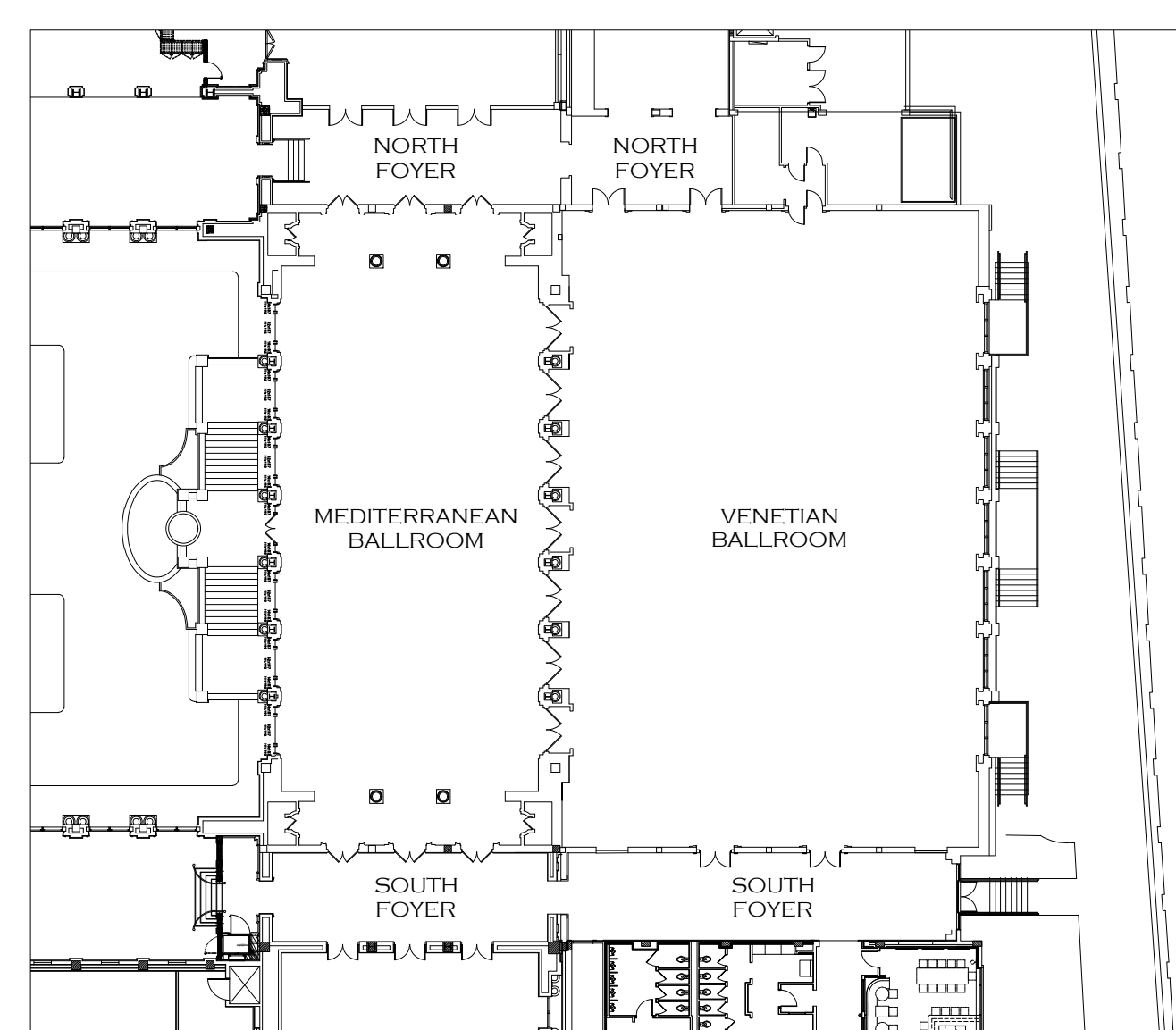
KEY PLAN



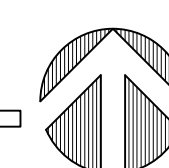
GENERAL NOTES FOR MEDITERRANEAN BALLROOM

1. GROIN VAULTED CEILING TO REMAIN.
2. PLASTER MOLDINGS TO REMAIN.
3. EXISTING DAMAGED CASINGS AND DOORS TO BE REPAIRED AND RESTORED TO ORIGINAL APPEARANCE.
4. DAMAGES TERRAZZO FLOORS TO BE REPAIRED, THEN CLEANED AND POLISHED.
- .. NEW MECHANICAL EQUIPMENT TO BE INSTALLED IN THE SAME LOCATION AS OLD UNITS.
6. ALL NEW DUCTWORK WILL BE REPLACED, ROUND GRILLES WILL BE REPLACED WITH LINEAR GRILLES.
7. ALL RECESSED LIGHTING WILL BE REMOVED. NEW RECESSED LIGHTING LAYOUT PROVIDED; REFER TO SHEET E-01 FOR PROPOSED DEMO AND LIGHTING LAYOUT.
8. PAINT COLOR TO MATCH EXISTING CONDITIONS.
9. STEEL CEILING SUPPORT TIES ABOVE THE CEILING WILL BE REPLACED DUE TO YEARS OF CORROSION.
10. THE FLAT PORTION OF THE CEILING WILL BE REPLACED WITH NEW FRAMING TO ALLOW FOR INSTALLATION OF NEW LIGHTING, MECH GRILLES, AND FIRE SPRINKLERS.
11. THIS WORK WILL NOT IMPACT THE ROOF STRUCTURE OR THE INTEGRITY OF THE VAULTED CEILING ARTWORK IN THE BALLROOM.

EXISTING CONDITIONS AT MEDITERRANEAN BALLROOM



SCALE: $\frac{1}{32}'' = 1'-0''$



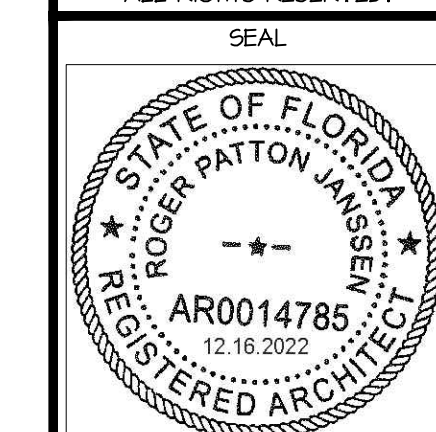
EXISTING CONDITIONS AT MEDITERRANEAN BALLROOM

PROPOSED IMPROVEMENTS AT THE BREAKERS PALM BEACH FOR
THE MEDITERRANEAN AND
VENETIAN BALLROOMS
PALM BEACH COUNTY, FLORIDA
TOWN OF PALM BEACH

DAILY JANSSEN ARCHITECTS
4002 N. PALM IS. SUITE 207, WEST PALM BEACH, FLORIDA 33411, TEL: 561-833-1701 / FAX: 561-833-0024

DATE: 02.27.2023
DRAWN: JKS
REVISIONS:
• PRE-APP 01.23.2023 • FIRST SUBMITTAL 02.09.23 • SECOND SUBMITTAL 02.27.23

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ROGER P. LANGGEN AP-147A

LANDMARKS #
COA-23-014

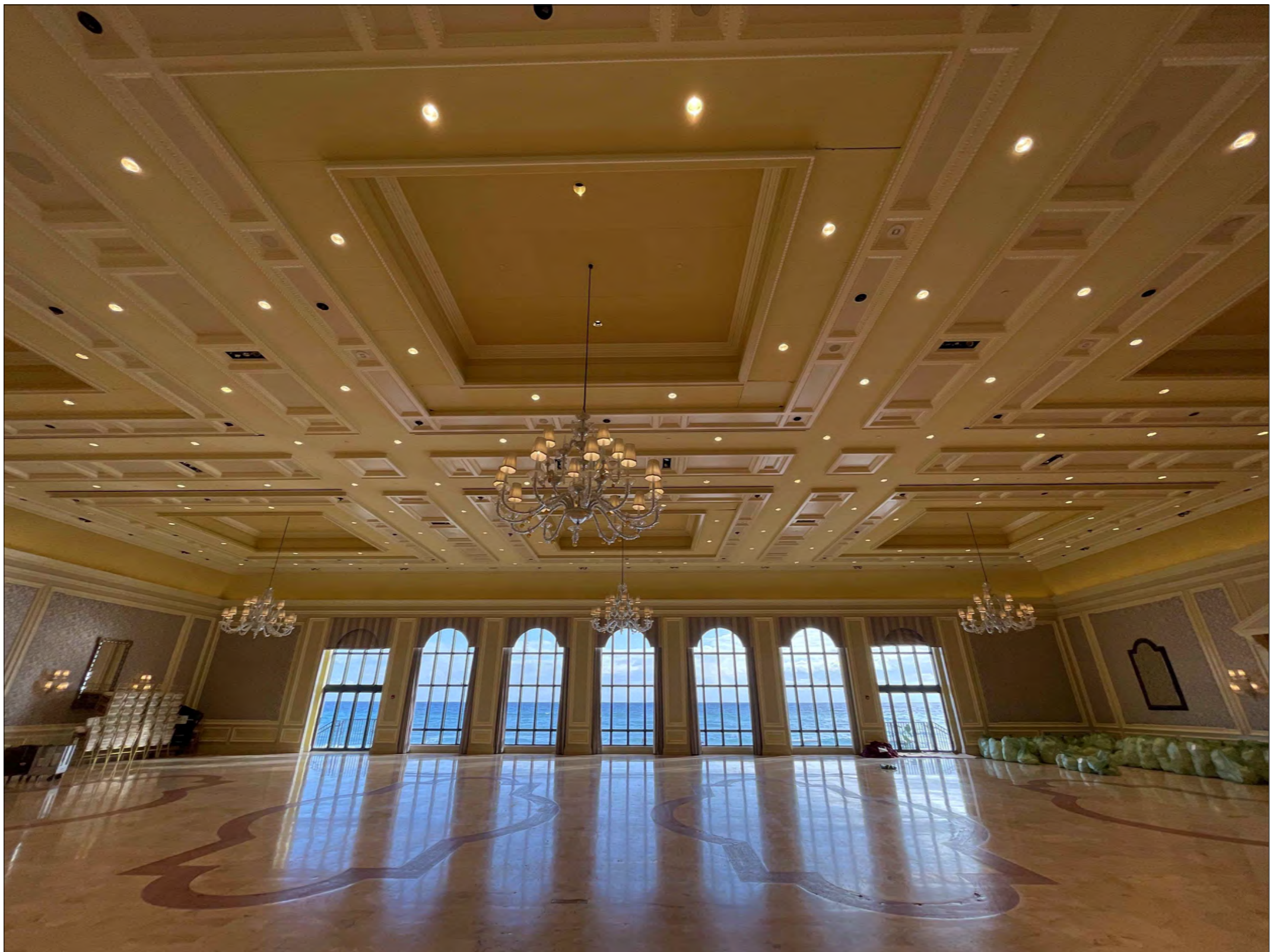
DRAWING NO.

A-2.22

JOB NUMBER: 22-111



1 VENETIAN BALLROOM FACING SOUTH
A-2.23



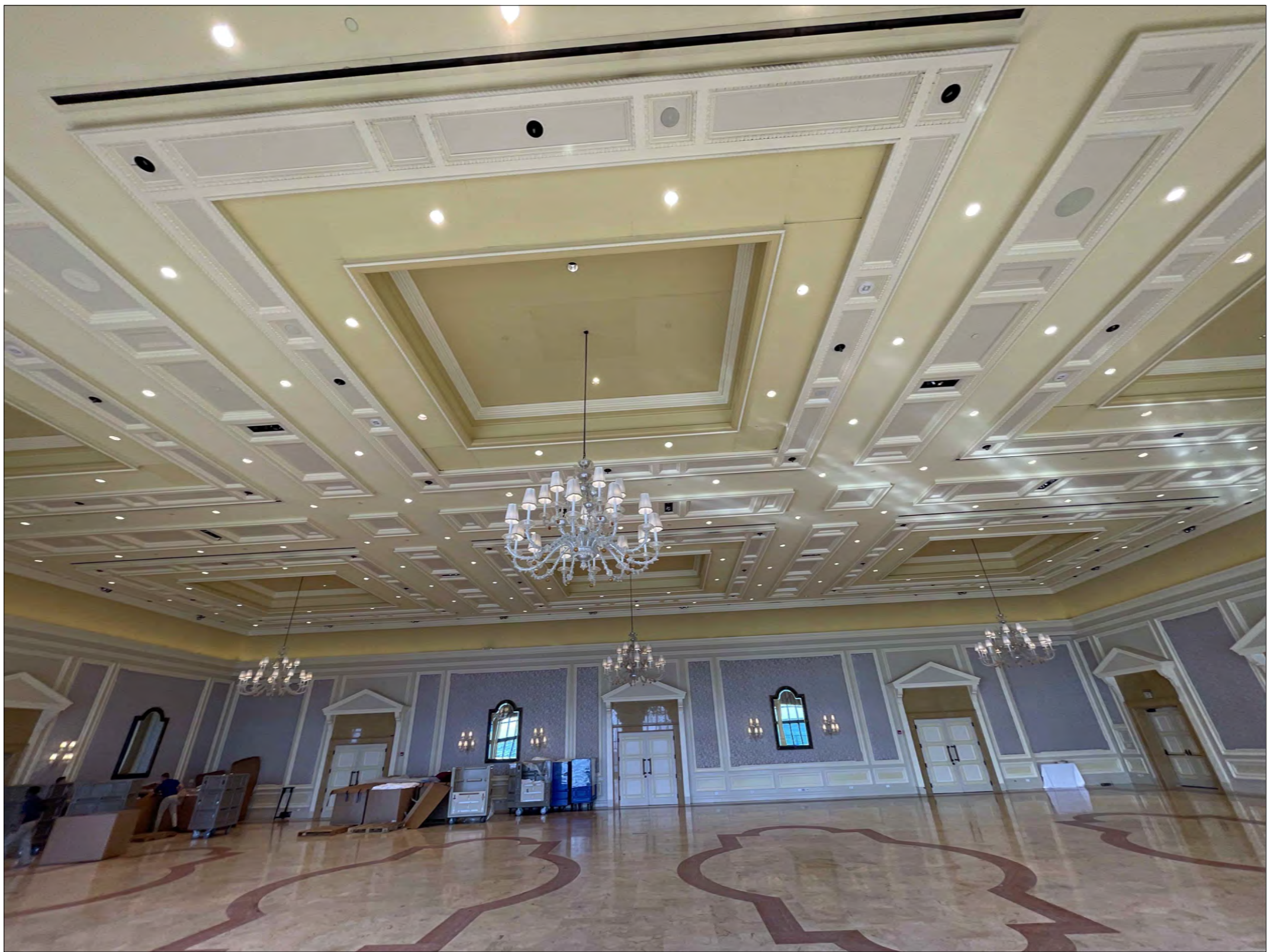
2 VENETIAN BALLROOM FACING EAST
A-2.23



3 VENETIAN BALLROOM - CEILING
A-2.23

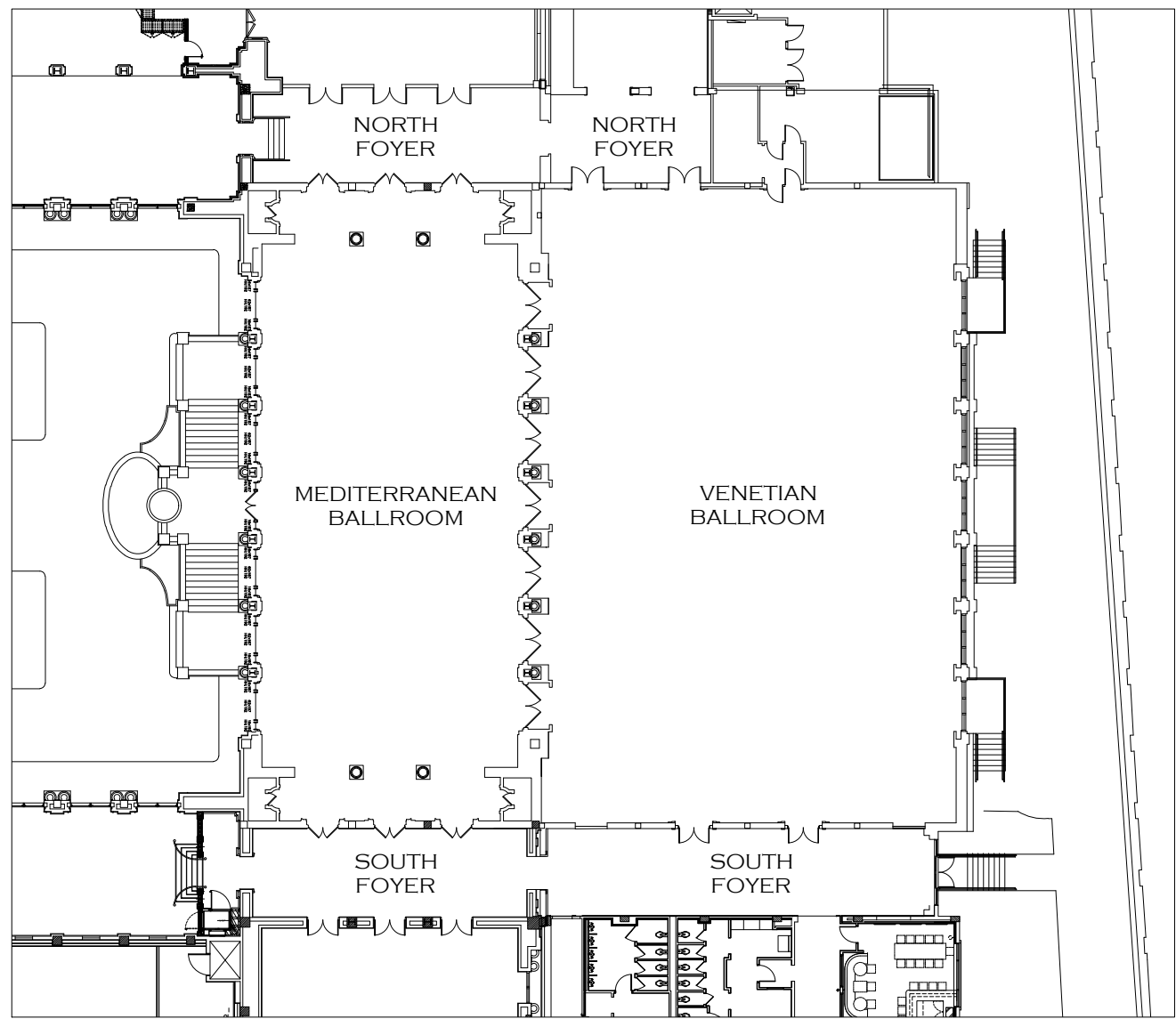


4 VENETIAN BALLROOM FACING NORTH
A-2.23



5 VENETIAN BALLROOM FACING WEST
A-2.23

- GENERAL NOTES FOR
VENETIAN BALLROOM
1. EXISTING MILLWORK TO REMAIN.
 2. PLASTER MOLDINGS TO REMAIN.
 3. ALL 500 WATT LIGHT FIXTURES LOCATED IN VENETIAN BALLROOM CEILING WILL BE REPLACED WITH LED FOR BETTER ENERGY SAVINGS AND A TRACK HEAD TO HELP WITH BETTER LIGHTING CONTROL COMBINED WITH A NEW LIGHTING CONTROL SYSTEM.
 4. NEW MECHANICAL EQUIPMENT TO BE INSTALLED IN THE SAME LOCATION AS OLD UNITS. REFER TO SHEETS M-01 THRU M-05 FOR PROPOSED DUCTWORK.
 5. ALL NEW DUCTWORK WILL BE REPLACED, ROUND GRILLES WILL BE REPLACED WITH LINEAR GRILLES.
 6. ALL RECESSED LIGHTING WILL BE REMOVED. NEW RECESSED LIGHTING LAYOUT PROVIDED; REFER TO SHEETS E-01 THRU E-04 FOR PROPOSED DEMO AND LIGHTING LAYOUT.
 7. PAINT COLOR TO MATCH EXISTING CONDITIONS.
 8. THIS WORK WILL NOT IMPACT THE ROOF STRUCTURE OR THE INTEGRITY OF THE VAULTED CEILING ARTWORK IN THE BALLROOM.



KEY PLAN

SCALE: 1/32" = 1'-0"

EXISTING CONDITIONS AT
VENETIAN BALLROOM



1
A-2.24
MEDITERRANEAN DOOR DAMAGE
- FOYER SIDE



2
A-2.24
MEDITERRANEAN DOOR
DAMAGE - FOYER SIDE



3
A-2.24
MEDITERRANEAN DOOR -
BALLROOM SIDE



4
A-2.24
MEDITERRANEAN DOOR DAMAGE -
BALLROOM SIDE



5
A-2.24
MEDITERRANEAN DOOR DAMAGE -
BALLROOM SIDE



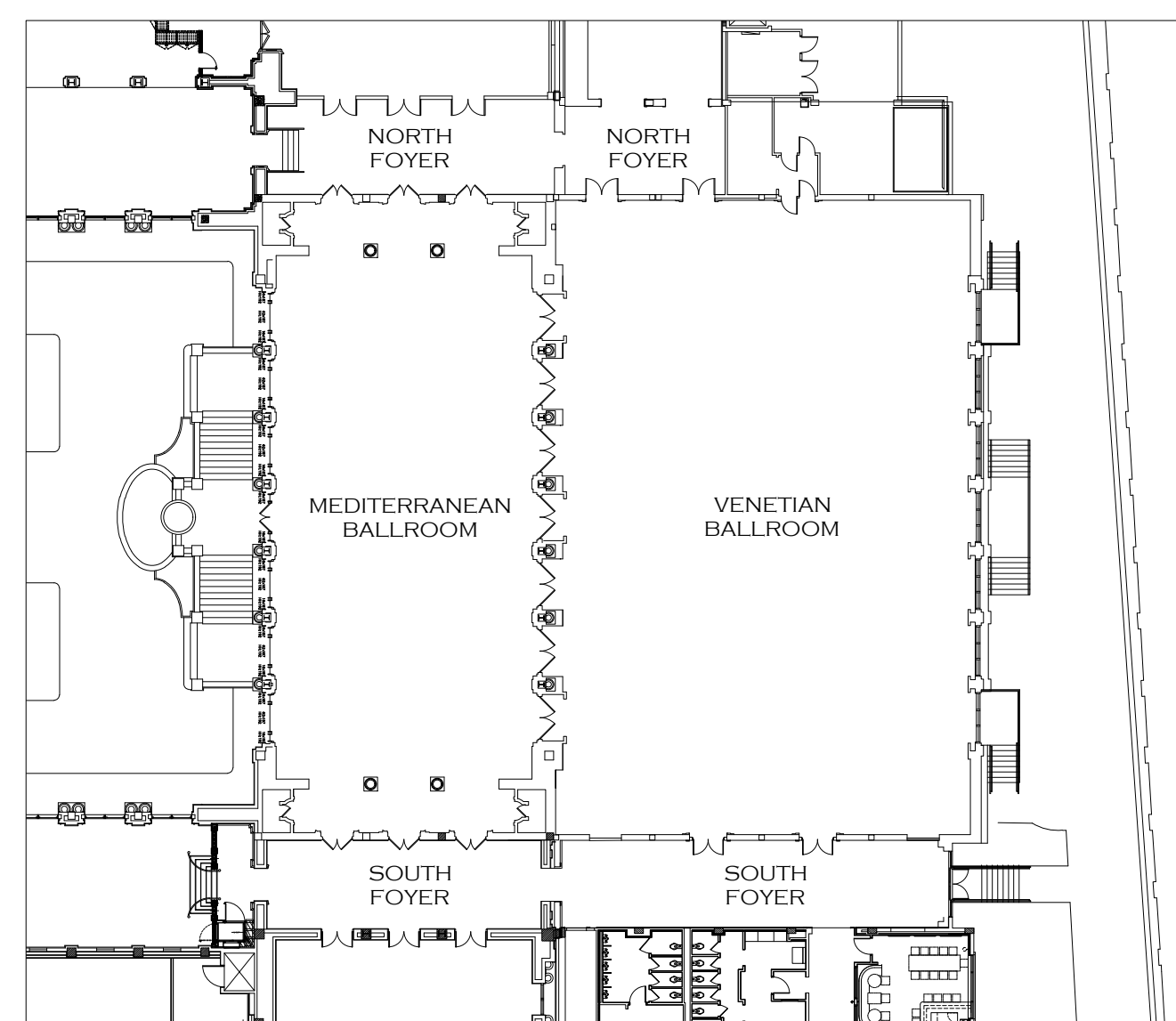
6
A-2.24
MEDITERRANEAN BALLROOM
FLOOR DAMAGE



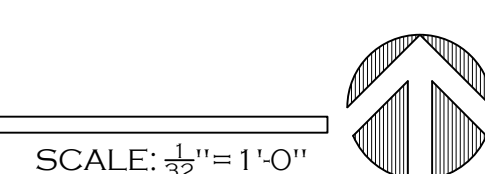
7
A-2.24
MEDITERRANEAN BALLROOM
FLOOR DAMAGE



8
A-2.24
MEDITERRANEAN BALLROOM
FLOOR DAMAGE



KEY PLAN

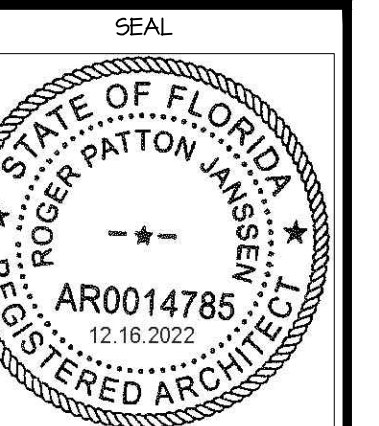


DOOR AND FLOOR DAMAGE AT
MEDITERRANEAN BALLROOM

PROPOSED IMPROVEMENTS AT THE BREAKERS PALM BEACH FOR:
**THE MEDITERRANEAN AND
VENETIAN BALLROOMS**
PALM BEACH COUNTY, FLORIDA
TOWN OF PALM BEACH
DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C00914

DATE: 02.21.2023
DRAWN: JKS
REVISIONS:
• PRE-APP 01.25.2023
• FIRST SUBMITTAL 02.04.23
• SECOND SUBMITTAL 02.21.23

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ROGER P. JANSSEN AR-14785

LANDMARKS #
COA-23-014

DRAWING NO.

A-2.24

JOB NUMBER: 22-110



1
A-2.25
NORTH FOYER - MEDITERRANEAN AND MAGNOLIA BALLROOMS



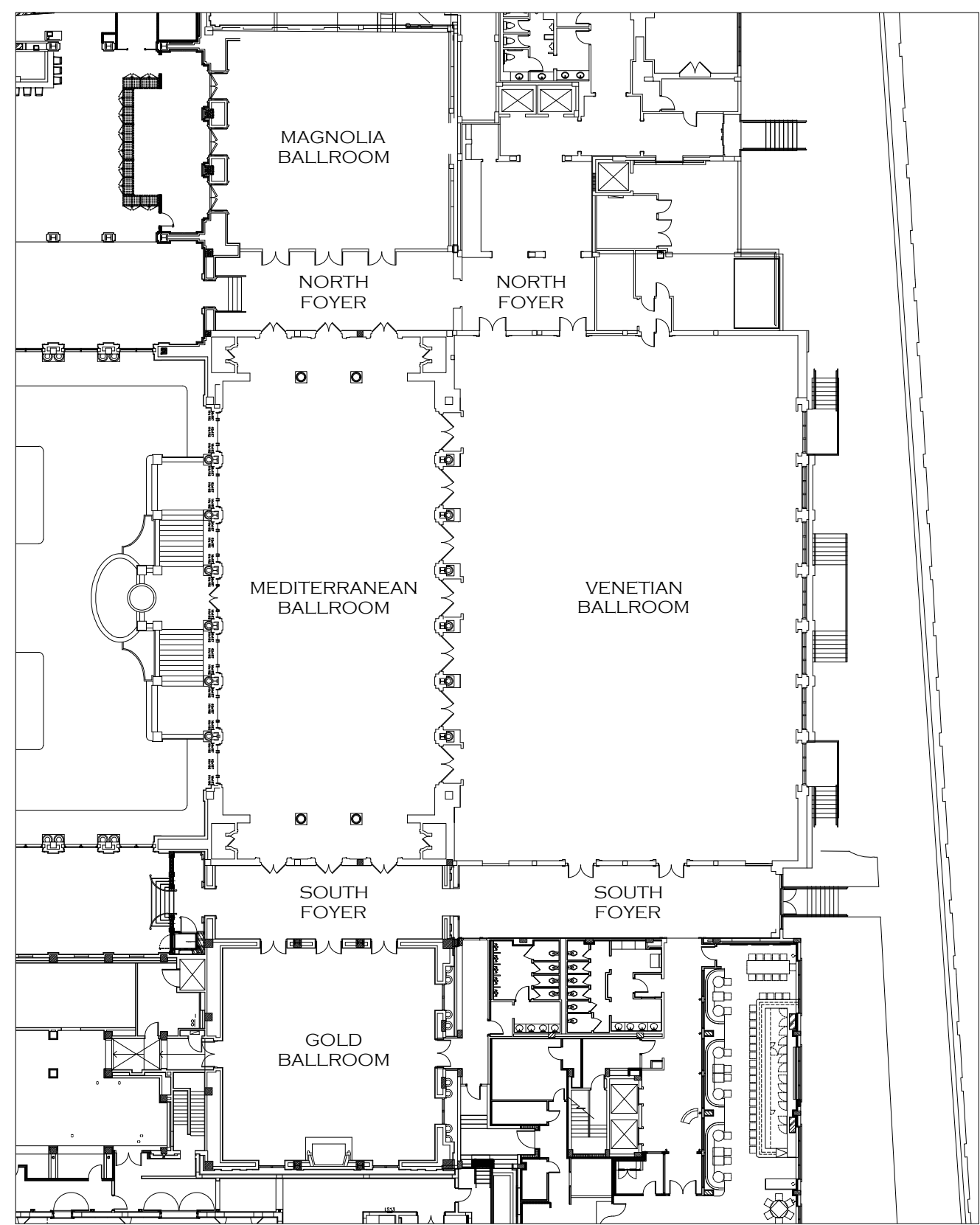
2
A-2.25
EXISTING SIGNAGE AT NORTH FOYER - MEDITERRANEAN AND MAGNOLIA BALLROOMS



3
A-2.25
SOUTH FOYER - MEDITERRANEAN AND GOLD BALLROOMS



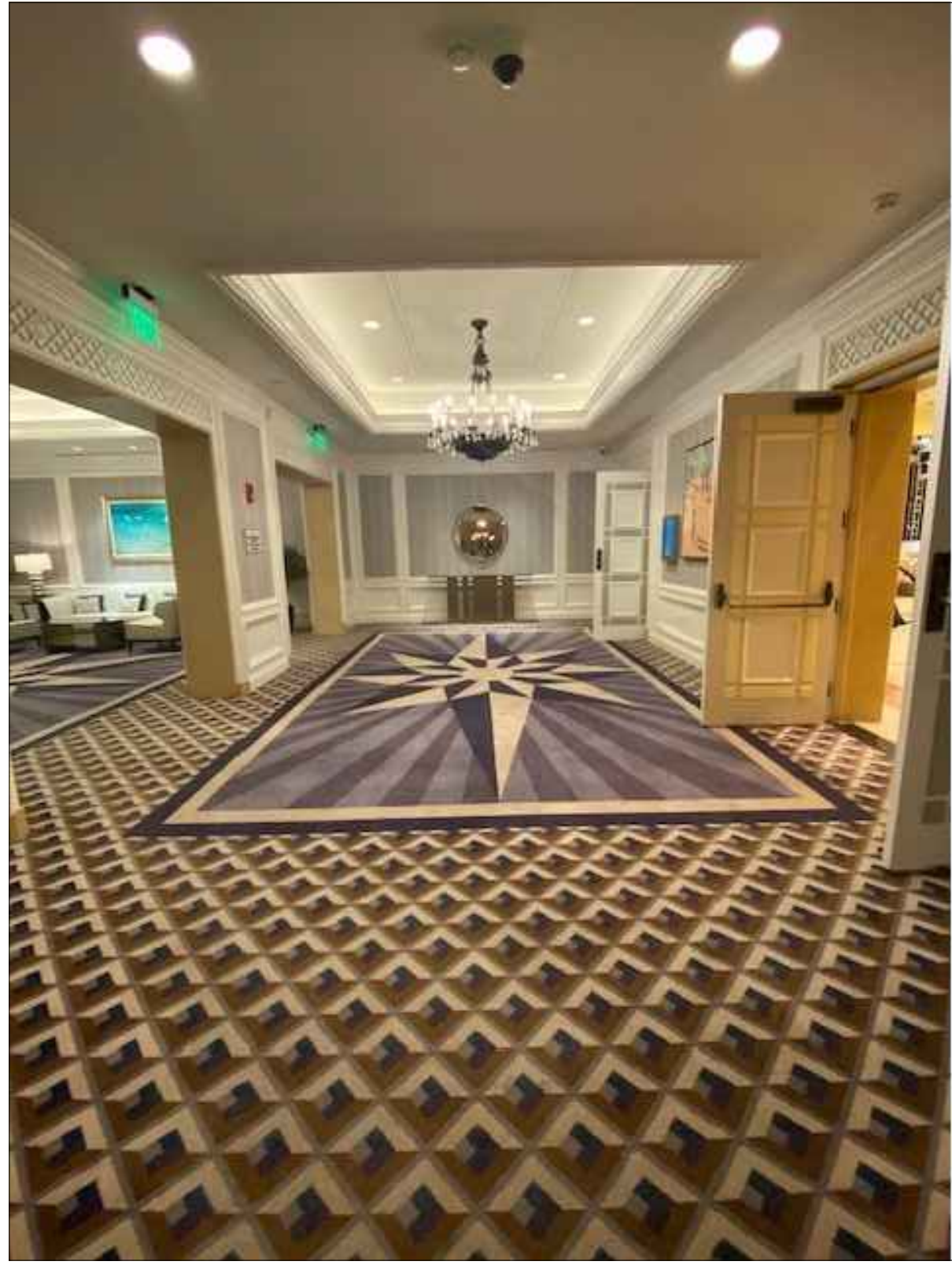
4
A-2.25
EXISTING SIGNAGE AT SOUTH FOYER - MEDITERRANEAN AND GOLD BALLROOMS



KEY PLAN

SCALE: 1/32" = 1'-0"

EXISTING CONDITIONS AT
NORTH AND SOUTH FOYERS OF
MEDITERRANEAN BALLROOM



1 NORTH FOYER - VENETIAN BALLROOM
A-2.26



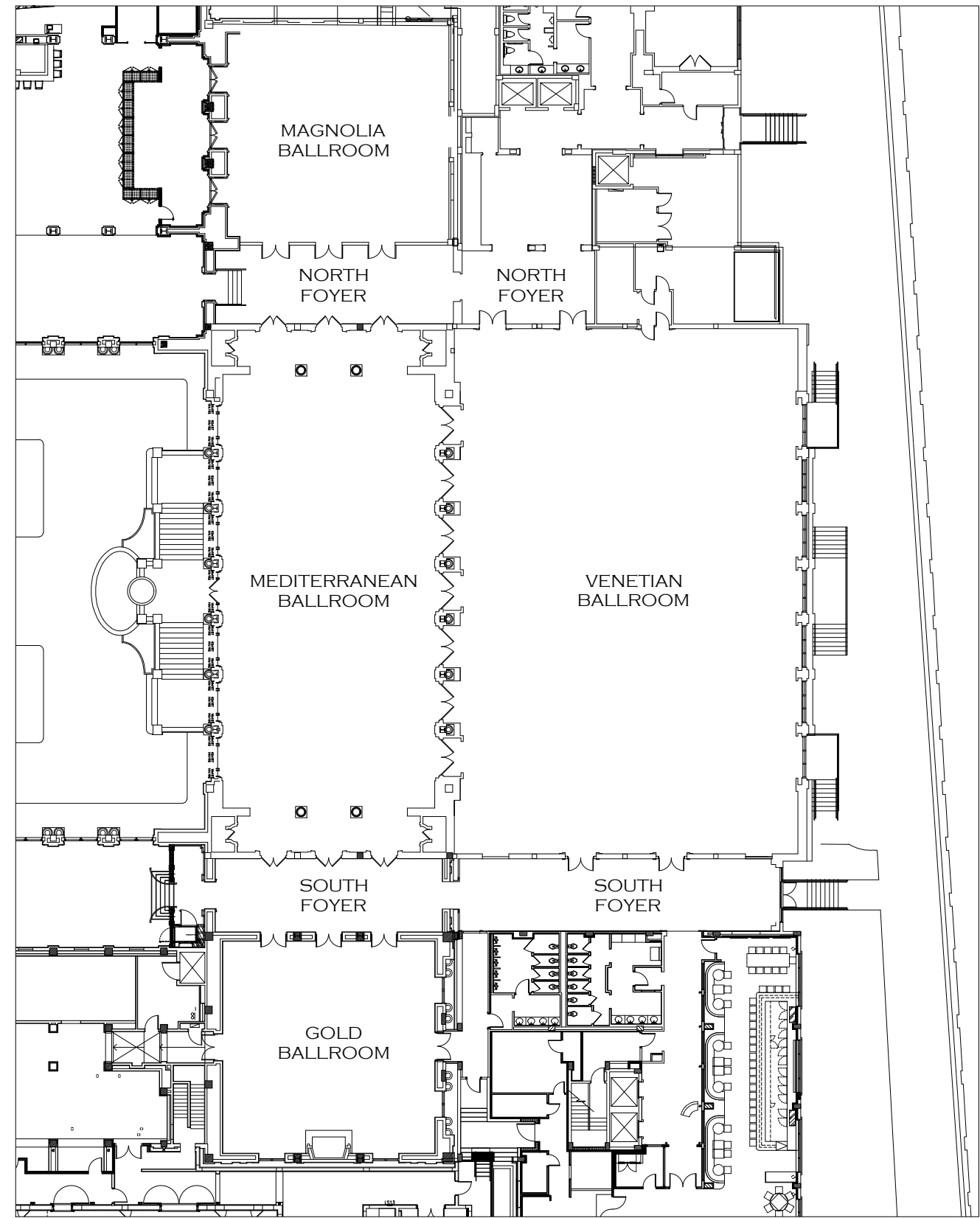
2 EXISTING SIGNAGE AT NORTH FOYER -
VENETIAN BALLROOM
A-2.26



3 SOUTH FOYER - VENETIAN BALLROOM
A-2.26



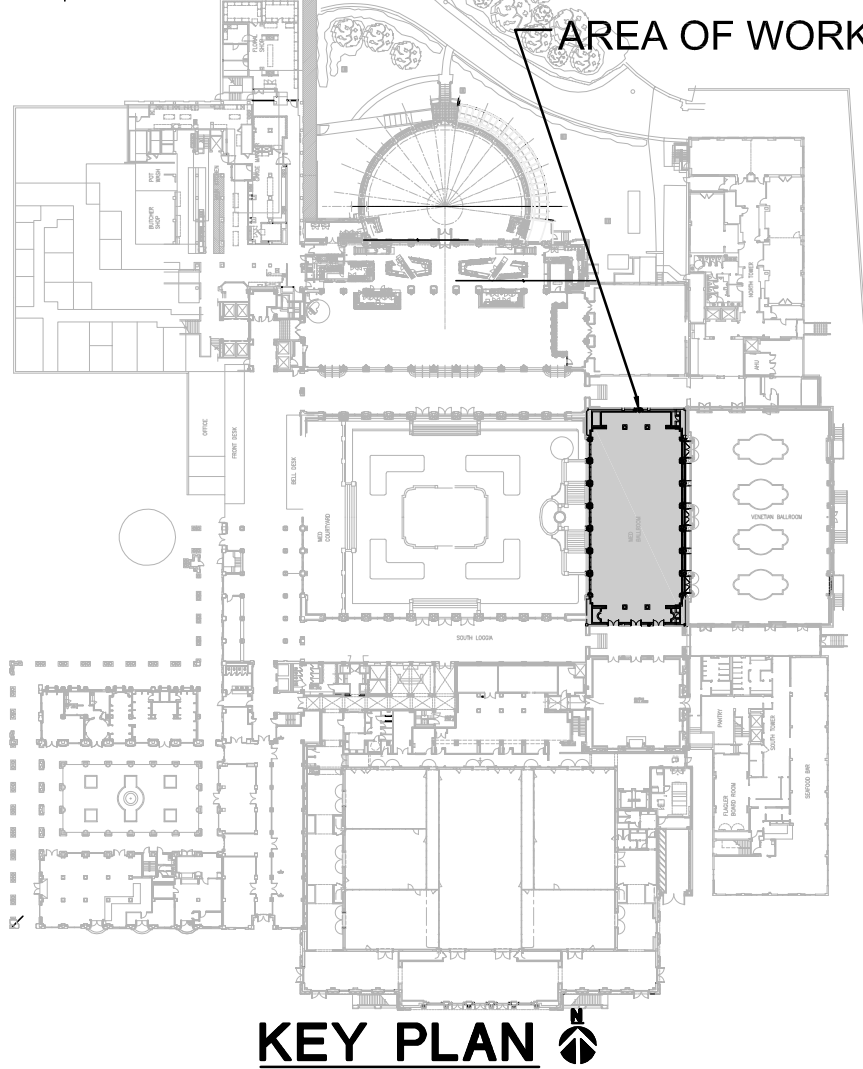
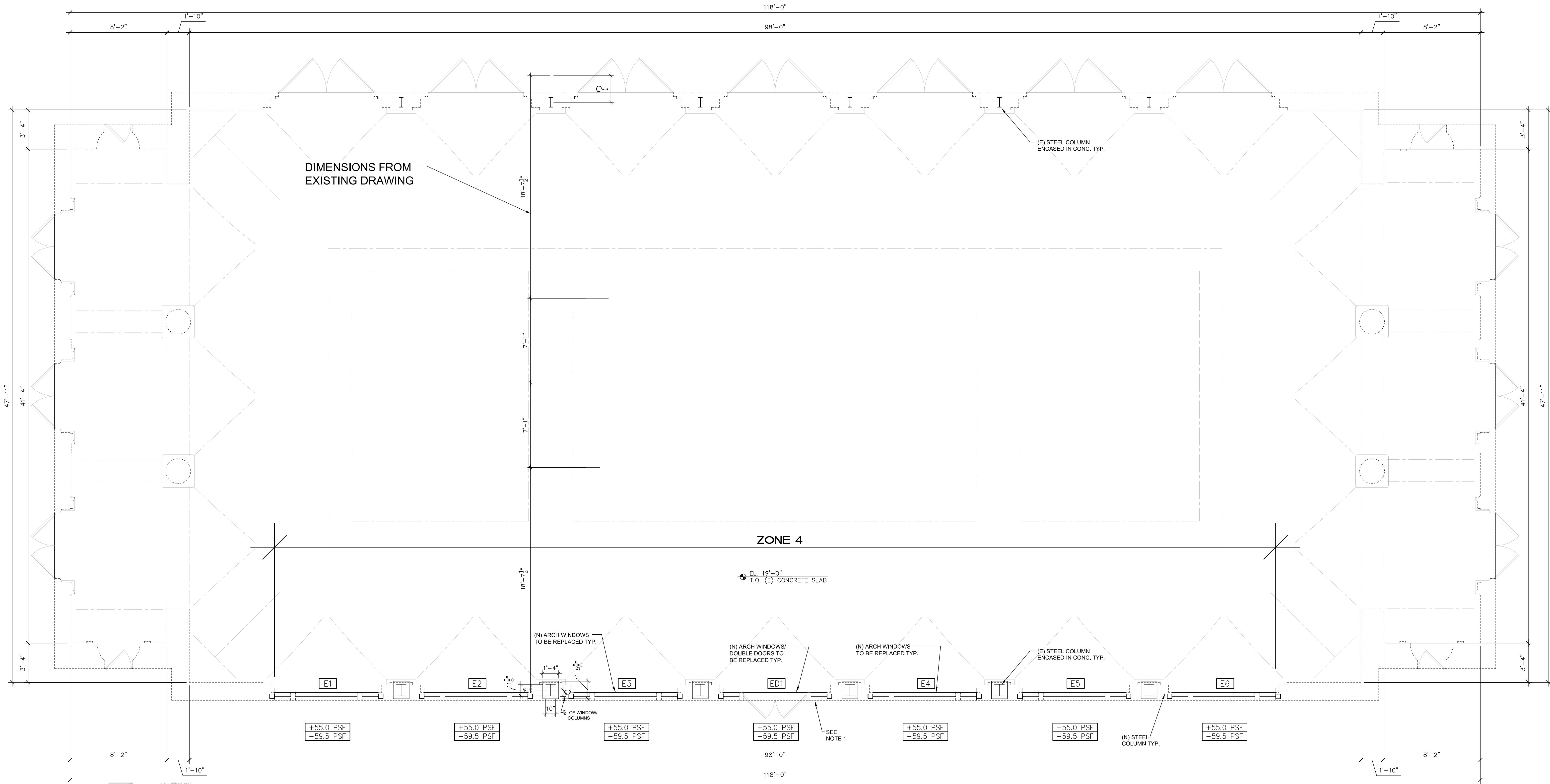
4 EXISTING SIGNAGE AT SOUTH FOYER -
VENETIAN BALLROOM
A-2.26



KEY PLAN

SCALE: 1/32" = 1'-0"

EXISTING CONDITIONS AT
NORTH AND SOUTH FOYERS OF
VENETIAN BALLROOM



GROUND FLOOR
1/4"=1'-0"

- NOTES: 1)  INDICATES EXISTING WINDOW OPENINGS (SEE ARCH FOR TYPE AND SIZES).
2) SEE "TYPICAL ARCH WINDOW OPENING REPAIR DETAIL" AND "ARCH WINDOW DOUBLE DOOR OPENING REPAIR DETAIL" ON S-3

Structural Drawing Updated
Based on Architectural Backgrounds Dated

PROGRESS PRINT

07-25-2022

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ONM
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(561) 835-9994 FAX (561) 835-8555

UC: #0004386
JOB # 1241.178

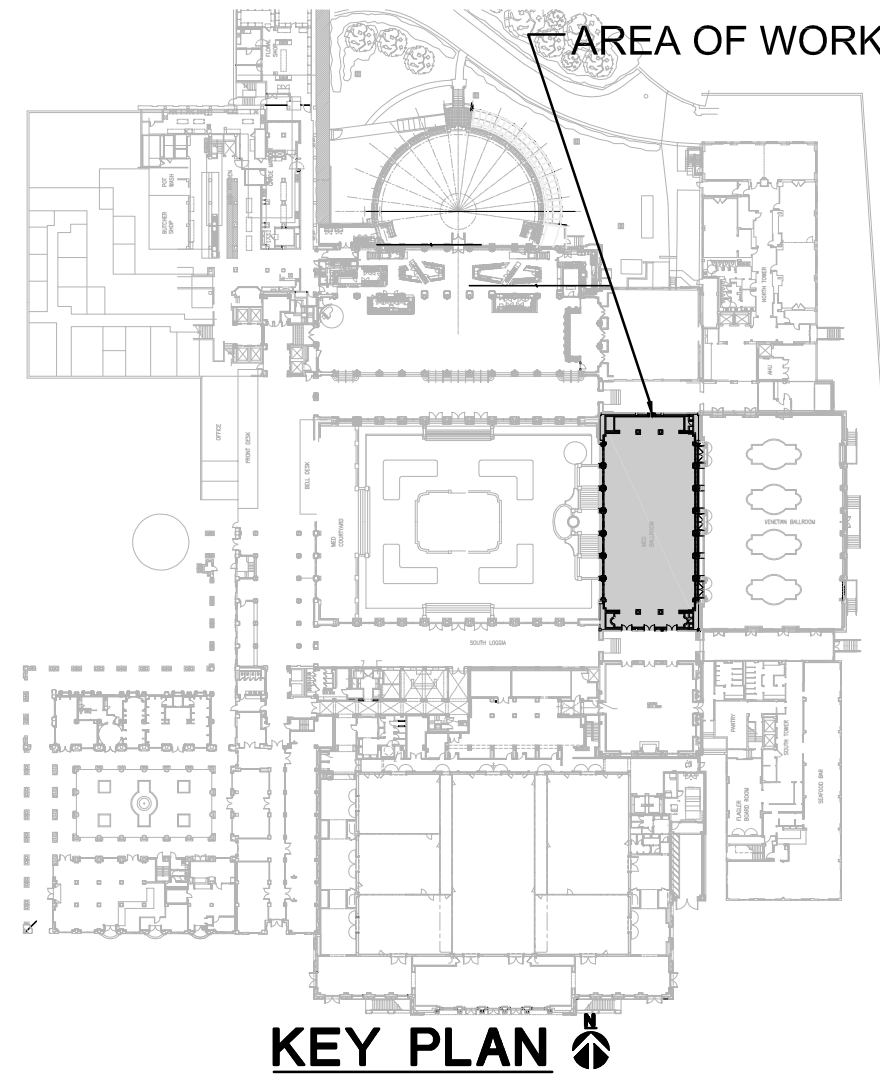
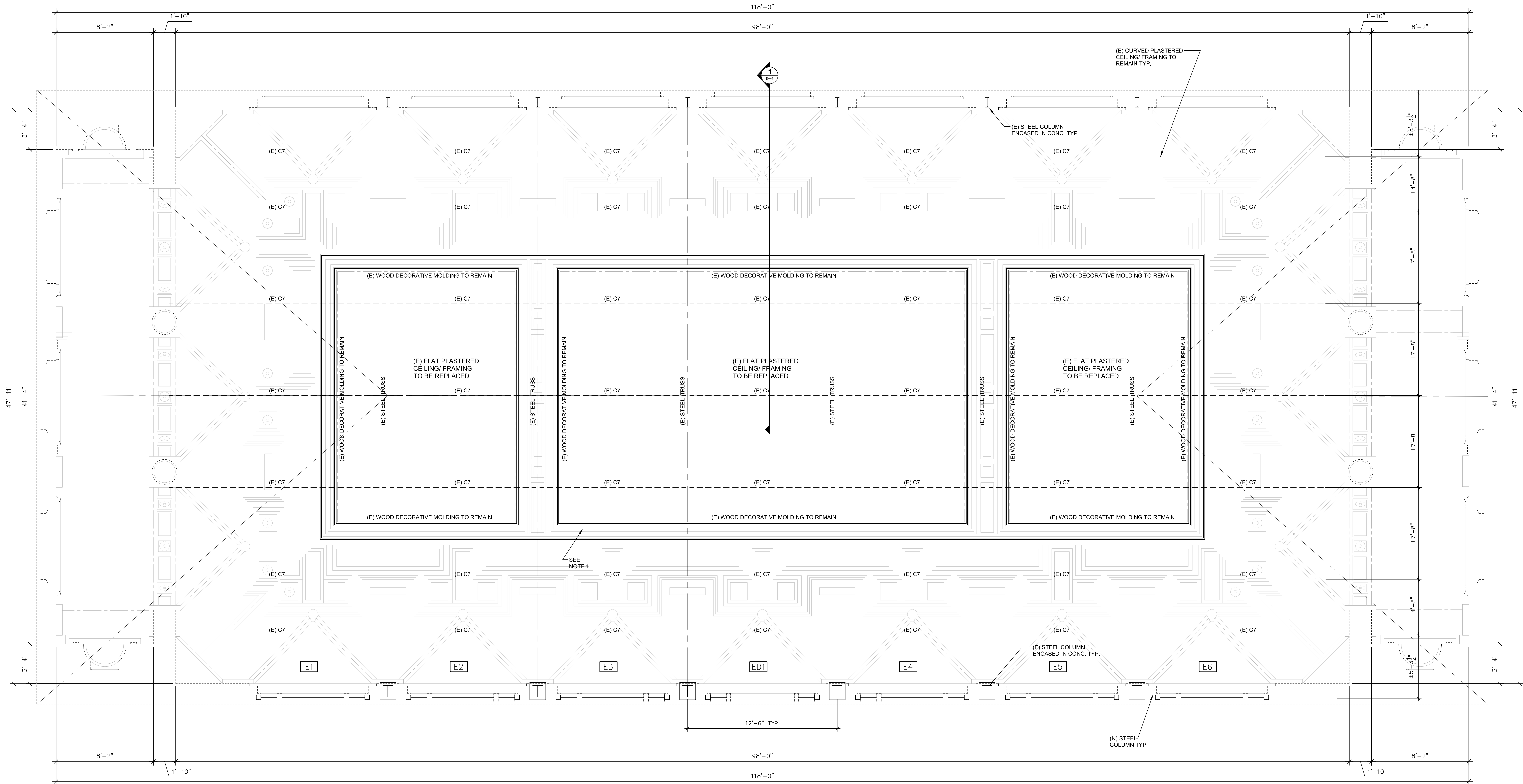
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JOB # 1241.178

BREAKERS MEDITERRANEAN BALLROOM
AND FLAT CEILING RENOVATION
WEST PALM BEACH, FL

DRAWN DG	S-1
CHECKED JM	
DATE 07/25/2022	
SCALE AS NOTED	
JOB NO. 1241.178	
SHEET	SHEETS



CEILING FRAMING PLAN
1/4"=1'-0"

- 1) CONTRACTOR TO PROVIDE SHORING AS NECESSARY TO BE DESIGNED BY A DELEGATED SHORING ENGINEER.
- 2) (E) C7 - INDICATES EXISTING STEEL CHANNEL (7" DEEP) F.V.
- 3) SEE "TYPICAL ARCH WINDOW OPENING REPAIR DETAIL" AND "ARCH WINDOW DOUBLE DOOR OPENING REPAIR DETAIL" ON S-3.

PROGRESS PRINT

07-25-2022

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ONM & J
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JOB # 1241.178

Structural Drawing Updated
Based on Architectural Backgrounds Dated

REVISIONS	BY

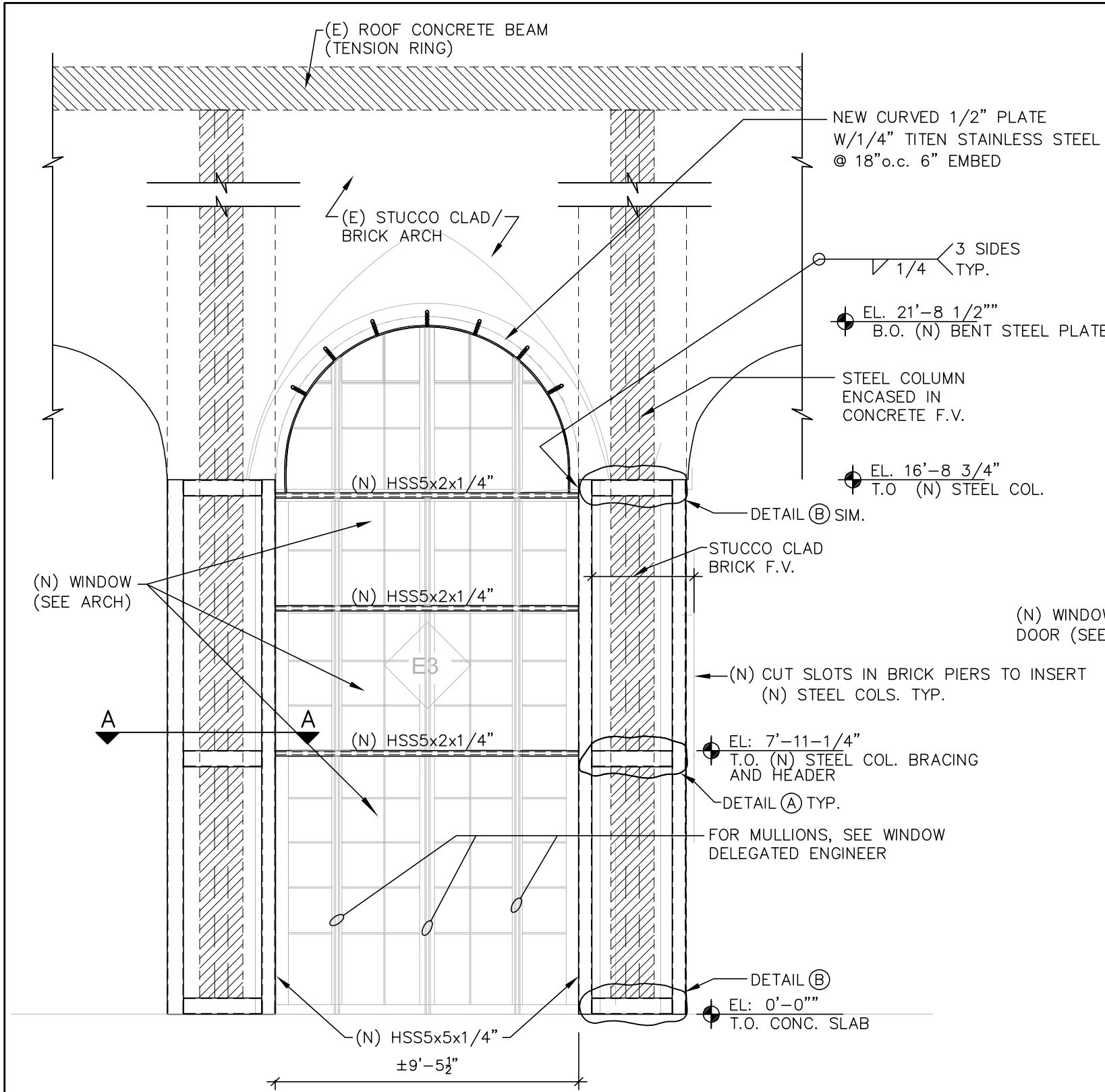
ONM & J
O'Donnell, Naccarato, Mignogna Jackson
STRUCTURAL ENGINEERS
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JOB # 1241.178

**BREAKERS MEDITERRANEAN BALLROOM
AND FLAT CEILING RENOVATION**
WEST PALM BEACH, FL

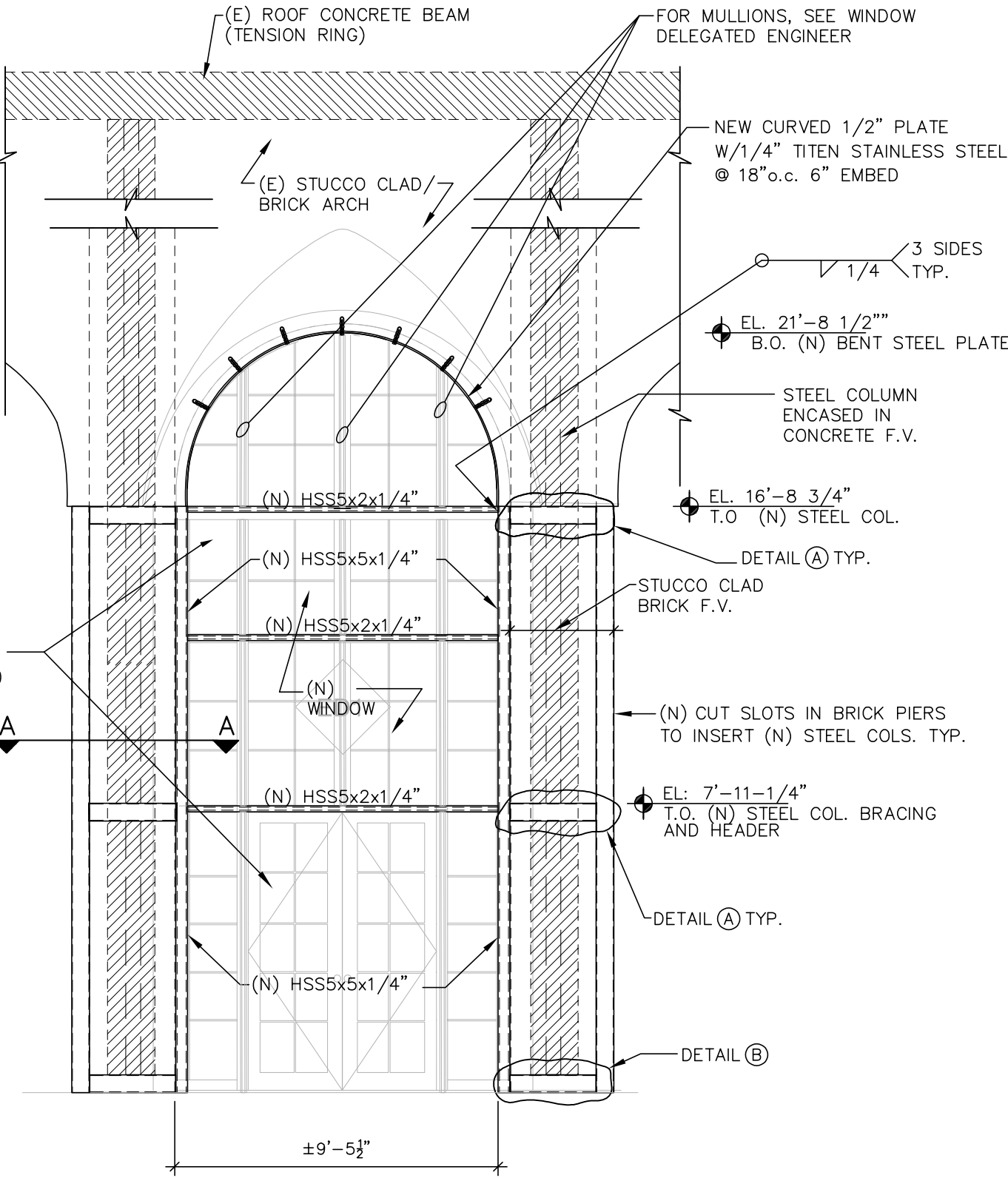
S-2

OF SHEETS



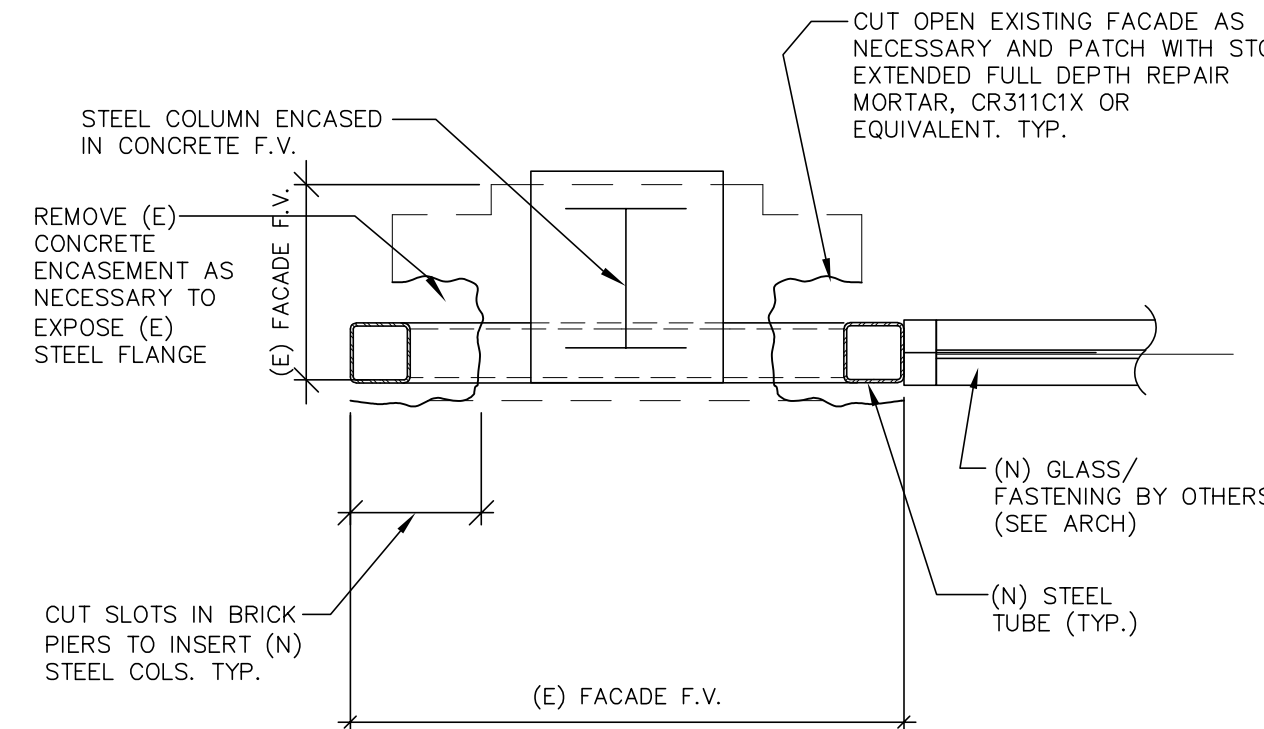
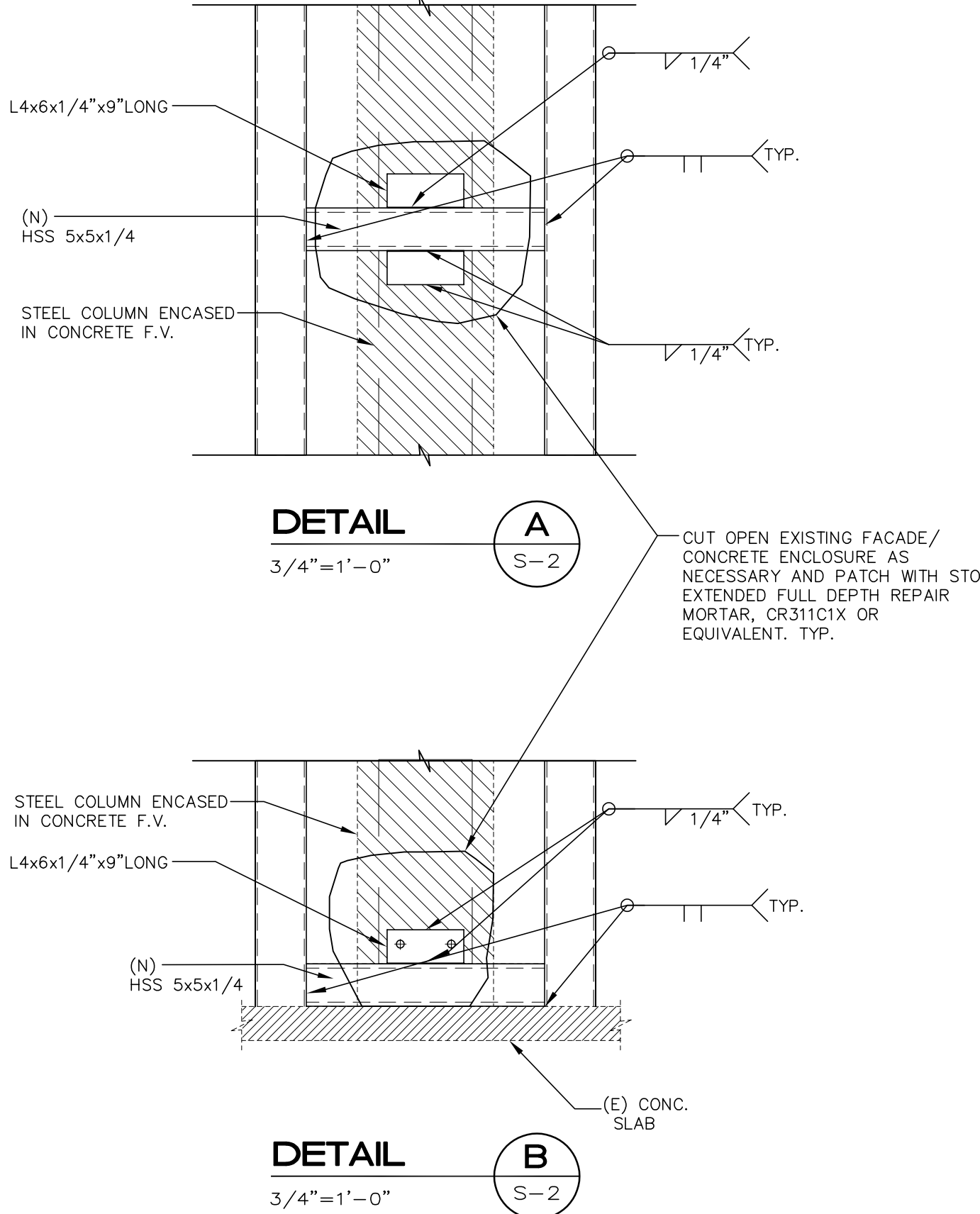
"TYPICAL ARCH WINDOW OPENING
REPAIR DETAIL"

N.T.S.



"ARCH WINDOW/ DOUBLE
DOOR OPENING REPAIR DETAIL"

N.T.S.



SECTION A-A

PLAN VIEW

3/4"=1'-0"

STEEL COLUMN SCHEDULE				
MARK	SIZE	BASE PL	A.B.	CAP PLATE
SC-1	HSS5x2 1/4"x4"	6x10x1/2"	(2) 1/2"Ø EXP. A.B.	5x11x5/8" W/ (2) 3/4" x6" LONG STUDS

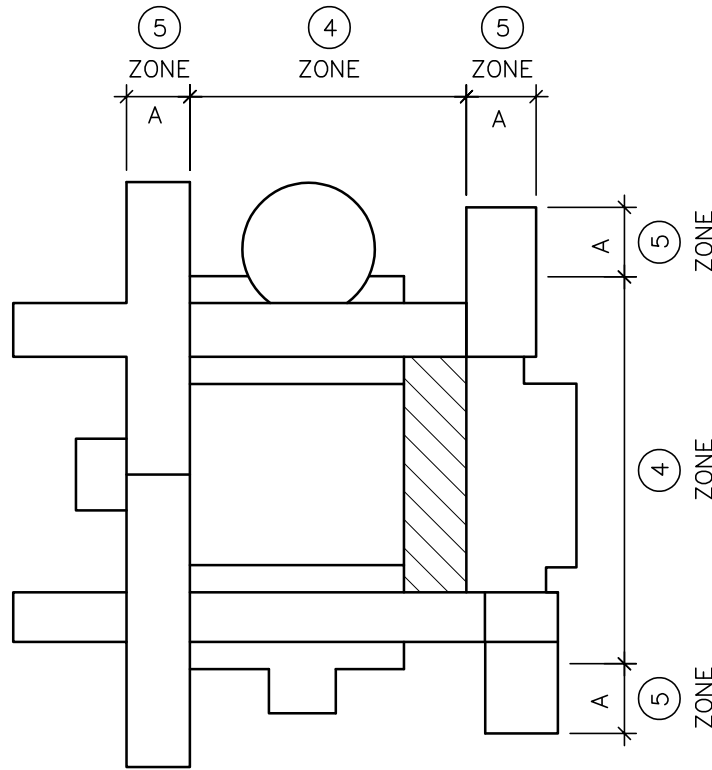
BEAM SCHEDULE					
MARK	SIZE BxH (inches)	REINFORCING		STIRRUPS	
		BOTT	TOP	TIES	SPACING
B-1	8x16	2 #5	2 #5	-	#3 12"o.c.

NOTES :
B-1 CAST-IN-PLACE CURVED BEAM

DOOR & WINDOW WIND PRESSURE (PSF)

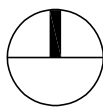
SIZE OF WALL OPENING (SQ. FT.)	WALL AREA	
	4	5
0-10	+61.2 / -61.2	+61.2 / -112.1
11-20	+58.5 / -59.4	+58.5 / -104.9
21-50	+56.3 / -58.0	+56.3 / -99.2
51-100+	+51.2 / -54.5	+51.2 / -85.4

MEAN ROOF HEIGHT = 130', EXP. D, OR A=45'-6" DENOTES ZONE 5 AREA



Key Plan :

PROPOSED WORK AREA
(ZONE 4 WIND PRESSURE)



PROGRESS PRINT

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ONM
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UC: #0004386

JOB # 1241.178

REVISIONS	BY

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O'Donnell, Naccarato, Mignogna & Jackson
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(561) 835-9994 WWW.ONMUNET

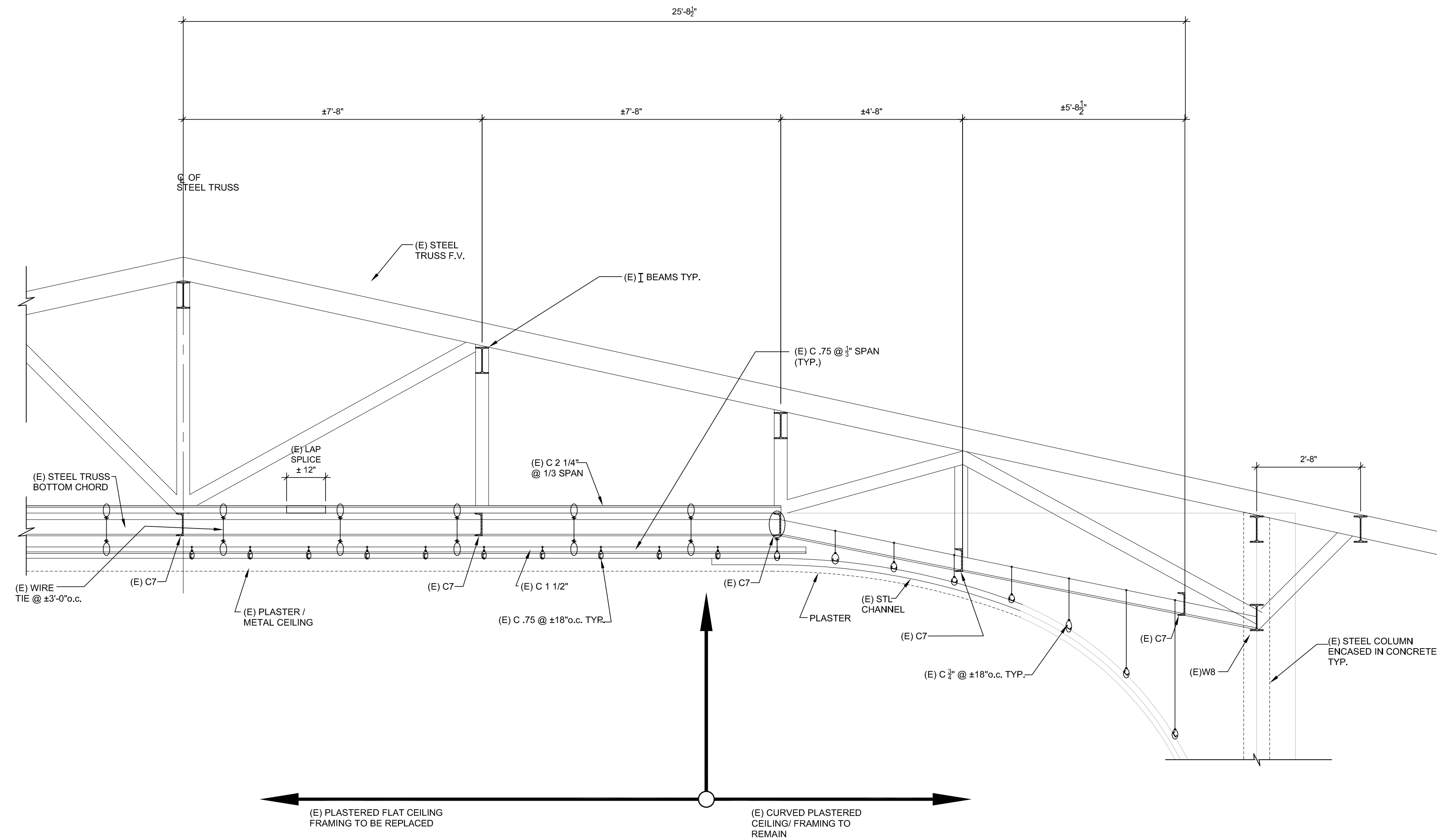
JOB # 1241.178

BREAKERS MEDITERRANEAN BALLROOM
AND FLAT CEILING RENOVATION
WEST PALM BEACH, FL

S-3

OF SHEETS

Structural Drawing Updated
Based on Architectural Backgrounds Dated



SECTION 1
1/2"=1'-0" S-3

Structural Drawing Updated
Based on Architectural Backgrounds Dated

PROGRESS PRINT

07-25-2022

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UC: #0004386

JOB # 1241.178

REVISIONS	BY

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O'Donnell, Naccarato, Mignogna & Jackson
STRUCTURAL ENGINEERS
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(561) 835-9994 WWW.ONMJ.NET

JOB # 1241.178

BREAKERS MEDITERRANEAN BALLROOM
AND FLAT CEILING RENOVATION
WEST PALM BEACH, FL

DRAWN

DG

CHECKED

JM

DATE

07/25/2022

SCALE

AS NOTED

JOB NO.

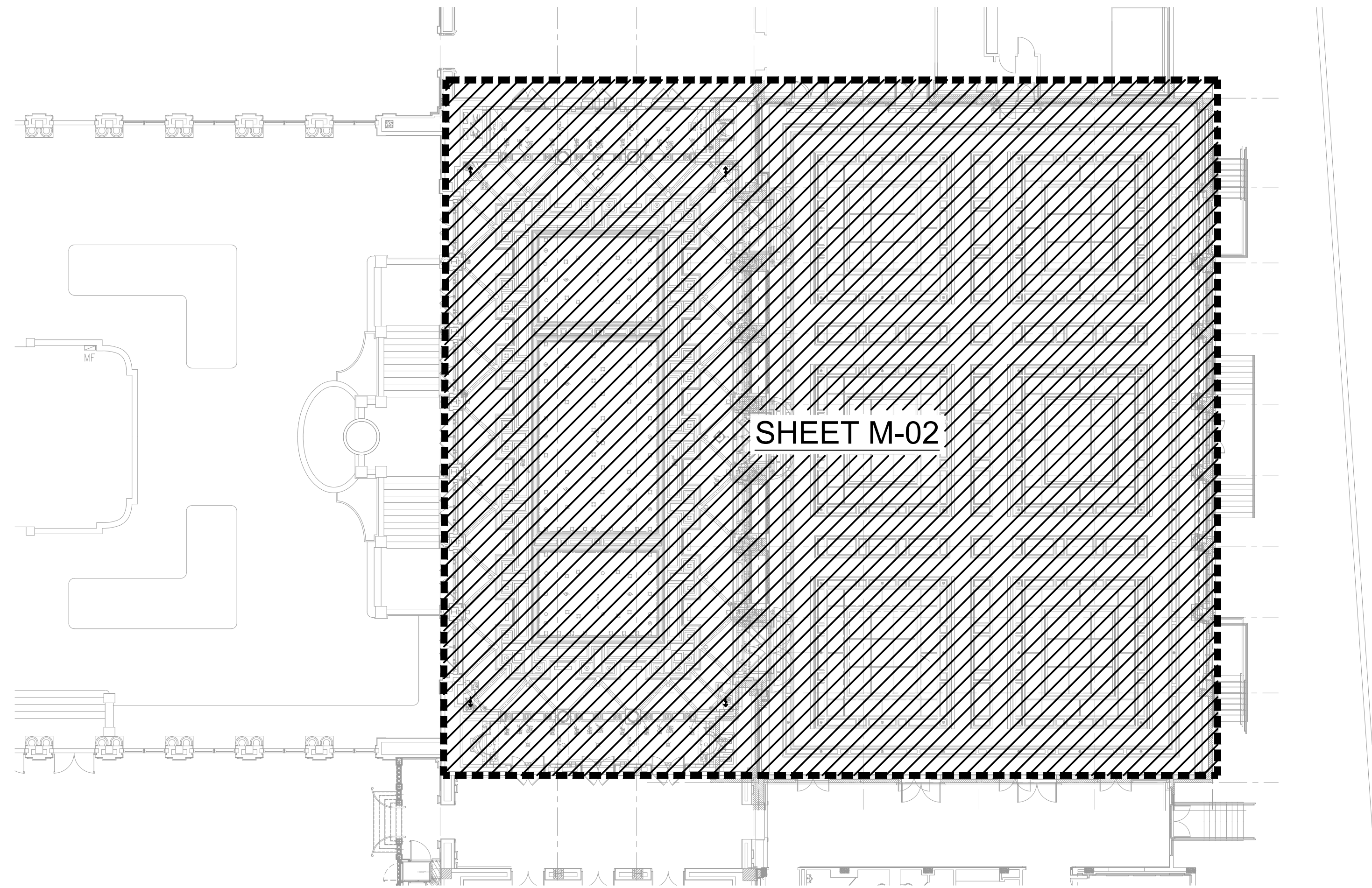
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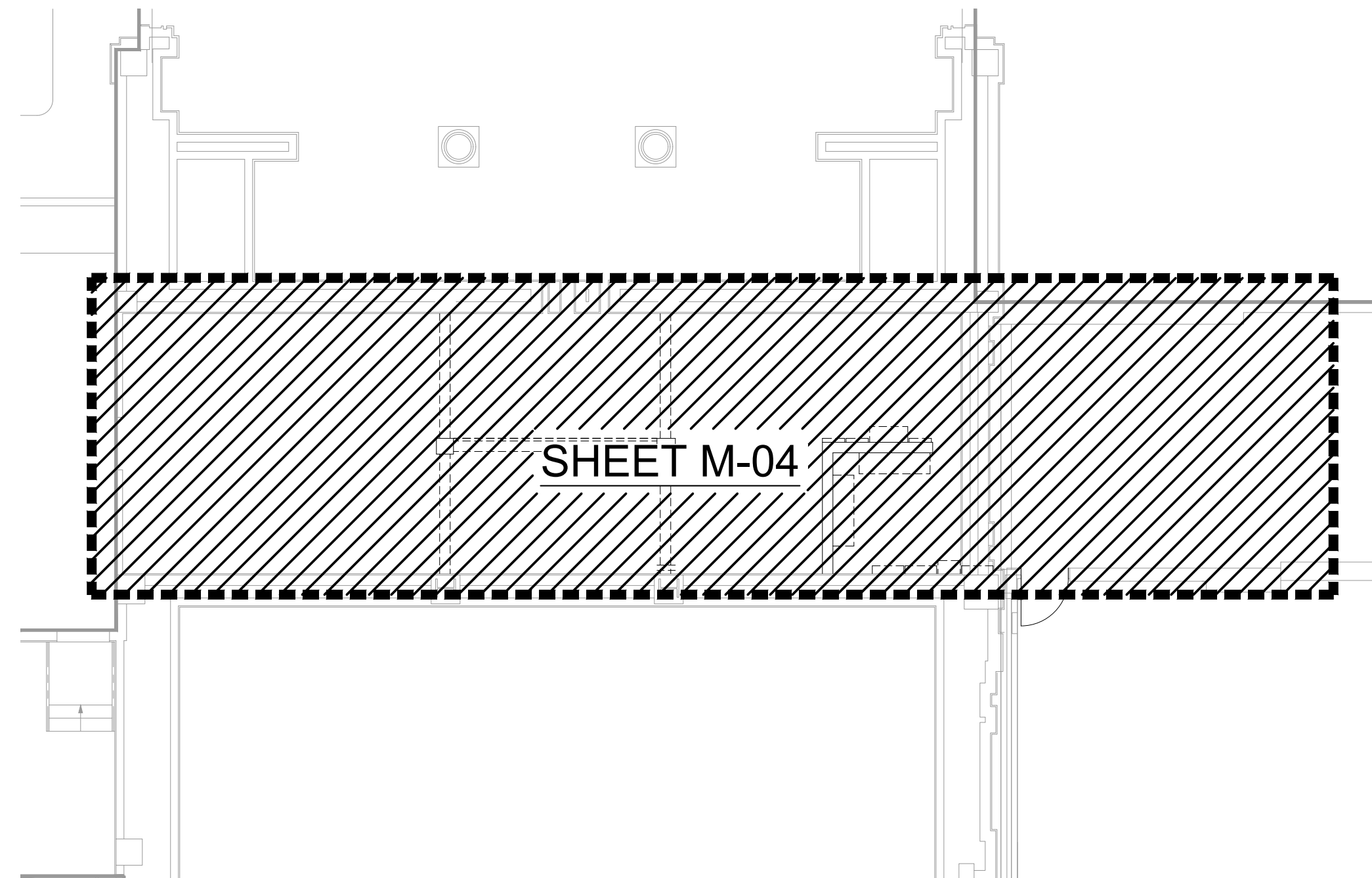
S-4

OF

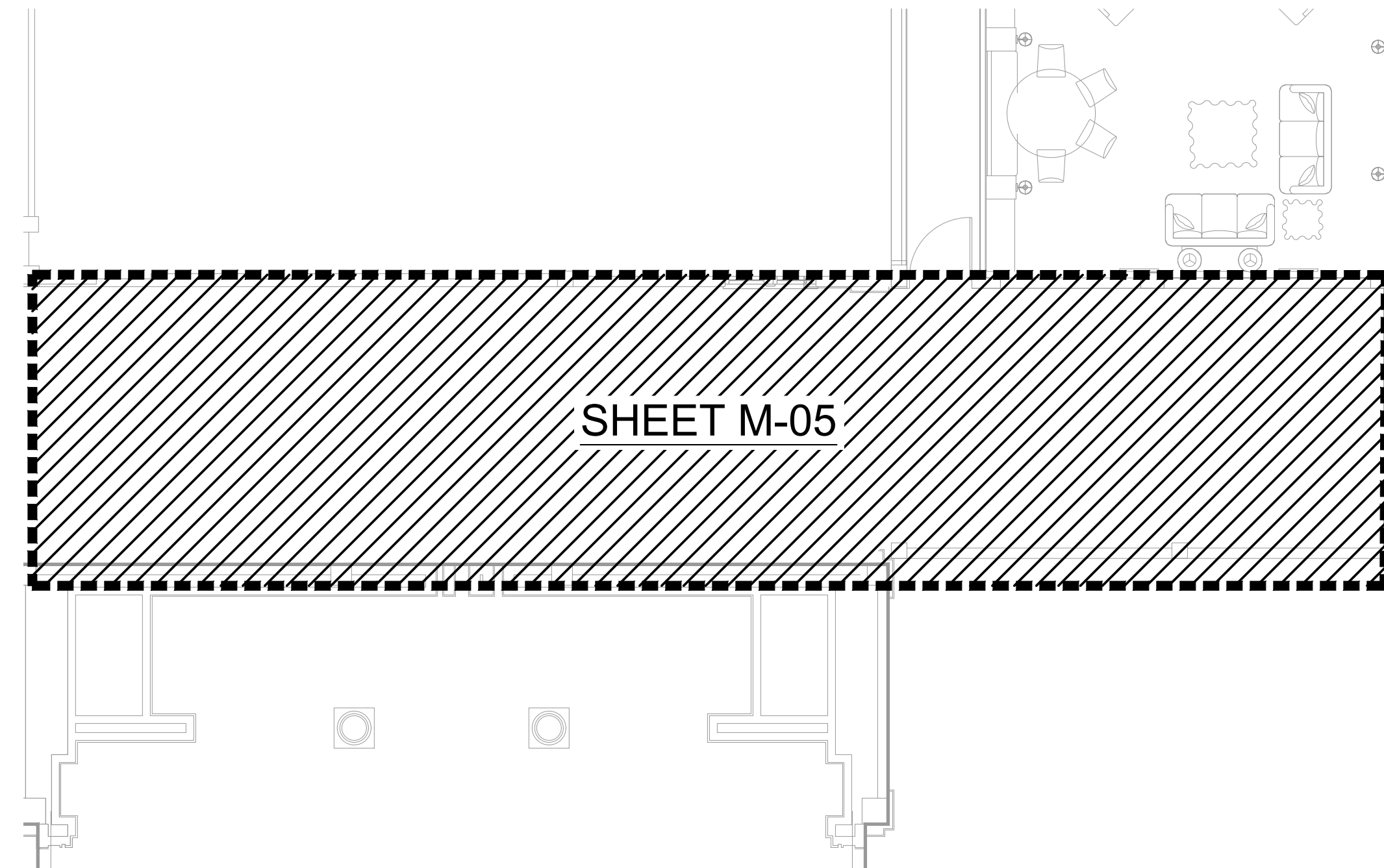
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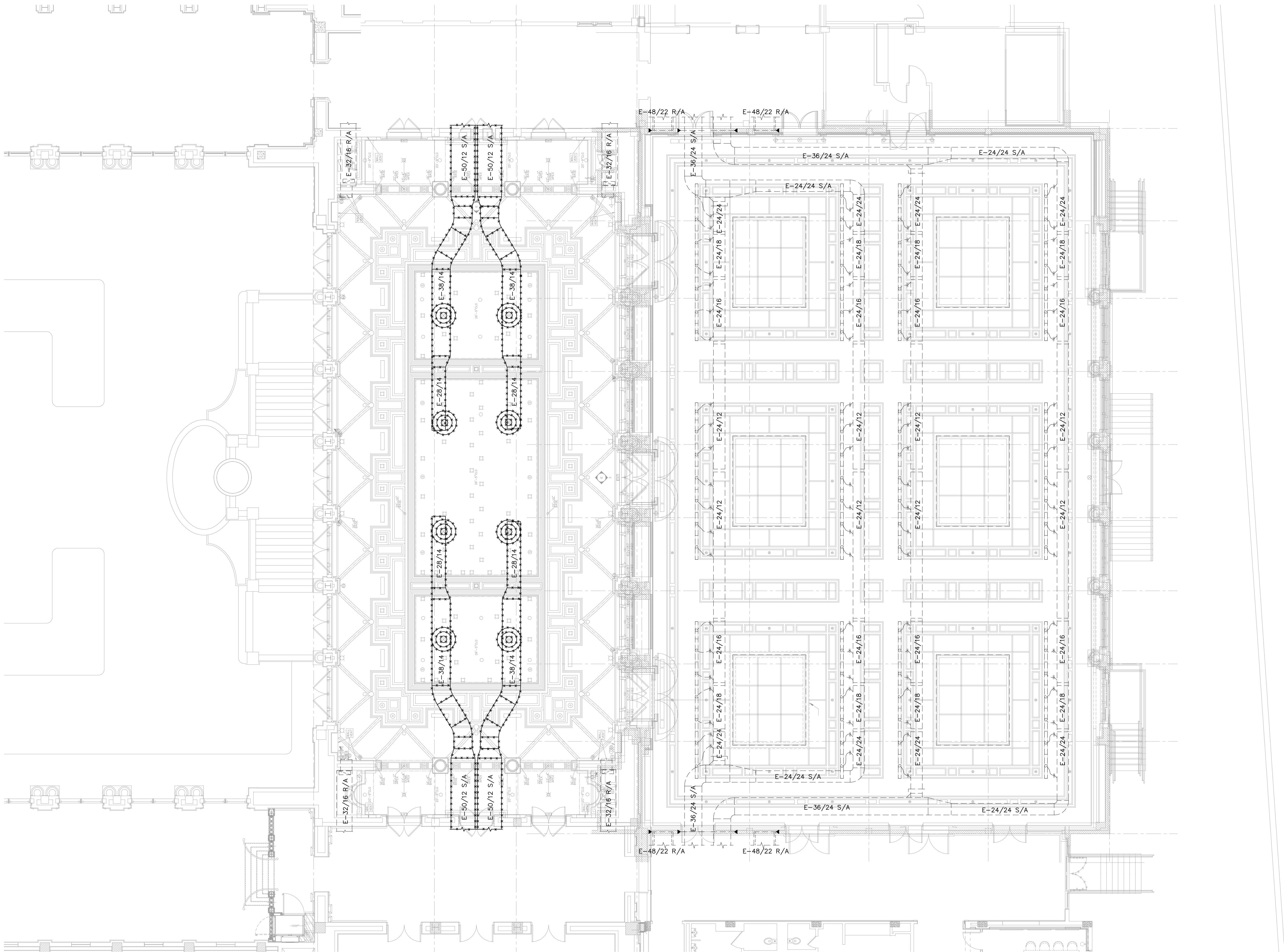
MECHANICAL - MEDITERRANEAN/VENETIAN LOBBY LEVEL - AREA OF WORK PLAN
SCALE: 1/16" = 1'-0"



MECHANICAL - MEZZANINE LEVEL - SOUTH AREA OF WORK PLAN
SCALE: 1/8" = 1'-0"



MECHANICAL - MEZZANINE LEVEL - NORTH AREA OF WORK PLAN
SCALE: 1/8" = 1'-0"



MECHANICAL - LOBBY LEVEL - DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



DRAWING NOTES:

- 1 REMOVE ALL EXISTING DETERIORATED GALVANIZED STEEL O/A DUCTWORK ABOVE CEILING AS SHOWN, EXCEPT AS SHOWN AS BEING RE-USED OR SERVING OTHER AREAS.
- 2 REMOVE ALL EXISTING CONTROLS, MOTORIZED DAMPERS, SENSORS, WIRING, ETC.

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PALM BEACH

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VENETIAN
BALLROOM
MED BALLROOM
HVAC
REPLACEMENT

DESIGN
DEVELOPMENT

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PE # 17285
SEAL

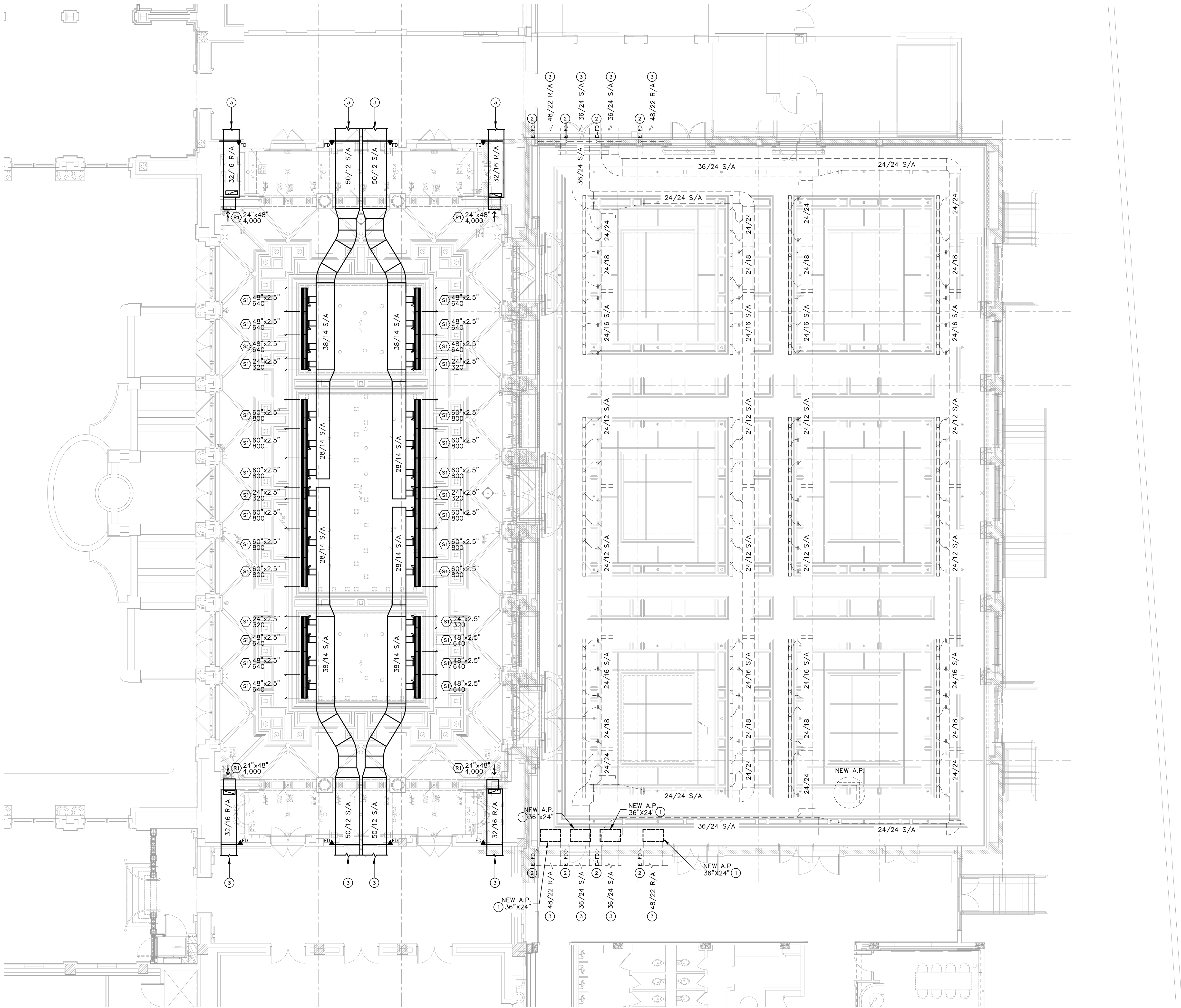
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OF 11
MECHANICAL SHEETS



MECHANICAL - LOBBY LEVEL - NEW WORK PLAN

SCALE: 1/8" = 1'-0"

DRAWING NOTES:

1. INSTALL NEW CEILING ACCESS PANELS AND DUCT ACCESS DOORS IN VENETIAN BALL ROOM CEILING TO ACCESS FIRE DAMPERS. NEW UNIT WILL NOT ALLOW ACCESS FROM THE OTHER SIDE.
2. EXISTING FIRE DAMPER TO REMAIN, VERIFY DAMPER IS IN OPERABLE CONDITION AND REPLACE FUSIBLE LINK, IF FIRE DAMPER IS RACKED OR INOPERABLE REPAIR OR REPLACE WITH NEW.
3. FOR CONTINUATION, SEE MEZZANINE NEW WORK PLAN.

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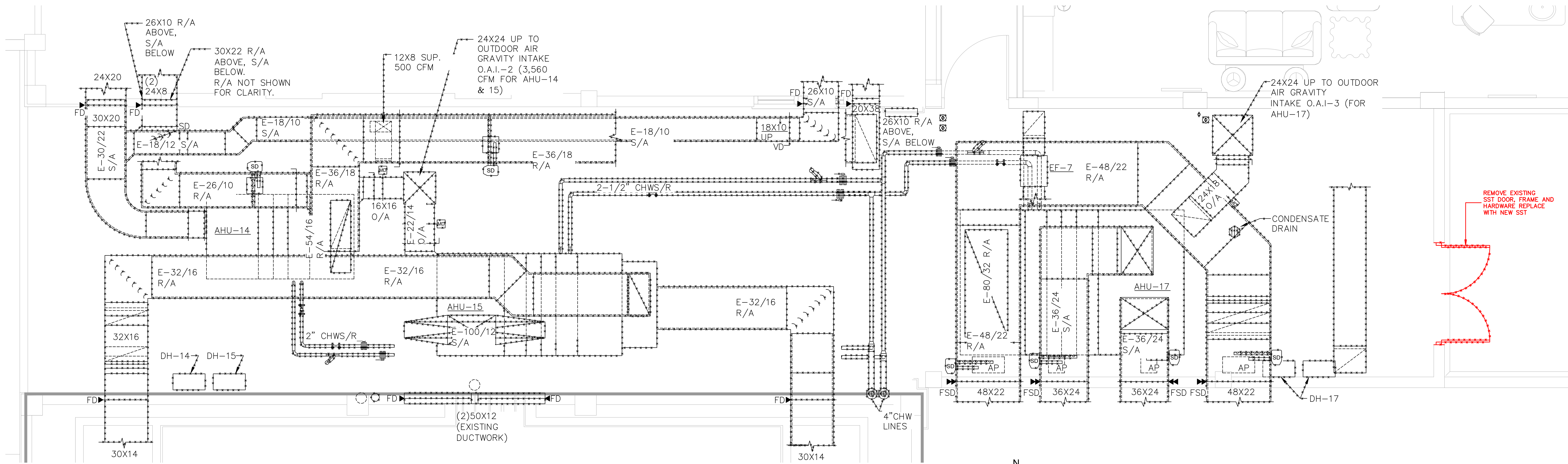
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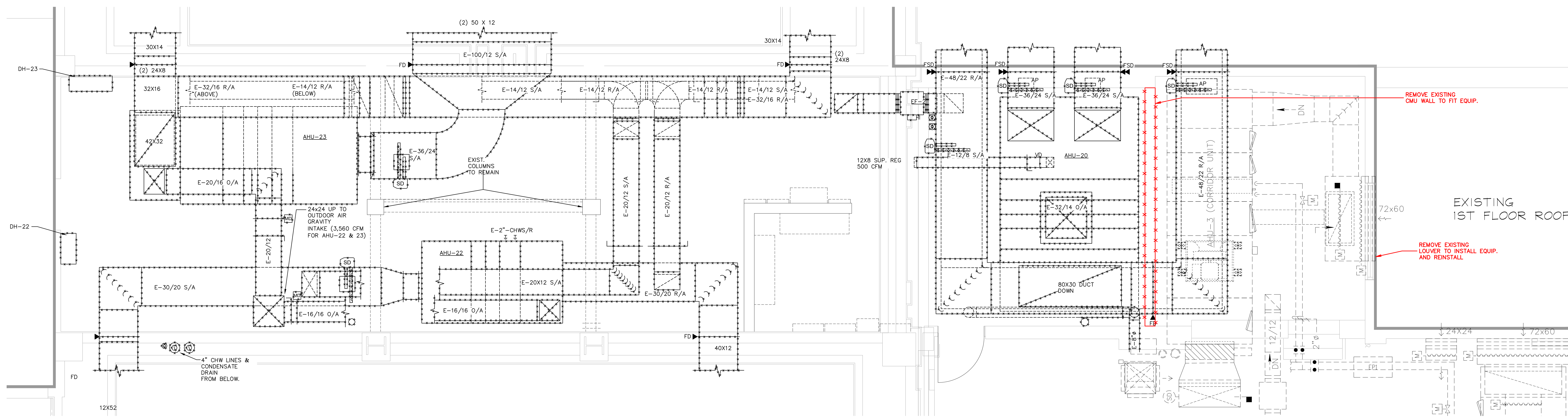
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M-03
OF 11
MECHANICAL SHEETS



MECHANICAL - NORTH SIDE MEZZANINE LEVEL - DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



MECHANICAL - SOUTH SIDE MECHANICAL ROOM - DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

- DRAWING NOTES:**
- 1 REMOVE ALL EXISTING MECHANICAL ITEMS WITHIN THE SCOPE OF WORK, INCLUDING ALL AIR REGISTERS, DUCTWORK, EQUIPMENT, CONTROLS, PIPING, EXCEPT AS NOTED AS BEING RE-USED OR SERVING OTHER AREAS. ALL EXISTING AIR REGISTERS AND MECHANICAL EQUIPMENT TO BE PRESENTED TO THE OWNER TO BE AUTHORIZED TO BE DISCARDED AT THE OWNER'S DISCRETION BY THE MECHANICAL CONTRACTOR. PATCH ALL WALLS, FLOORS, AND CEILINGS TO MATCH EXISTING ADJACENT SURFACES IN COLOR, CONSTRUCTION AND TEXTURE.
 - 2 NEW VFD FACTORY MOUNTED TO AIR HANDLER, ALLOW FOR CLEAR SERVICE ACCESS.
 - 3 NEW EXHAUST FAN, ALLOW FOR CLEAR SERVICE ACCESS.
 - 4 NEW AIR HANDLING UNIT, ALLOW FOR CLEAR SERVICE ACCESS.
 - 5 NEW VAV TERMINAL, ALLOW FOR CLEAR SERVICE ACCESS.
 - 6 NEW ELECTRIC DUCT HEATER WITH REMOTE PANEL, LOCATE REMOTE PANEL IN MECHANICAL ROOM AS NEEDED TO HAVE CLEAR SERVICE ACCESS, SEE SCHEDULE.

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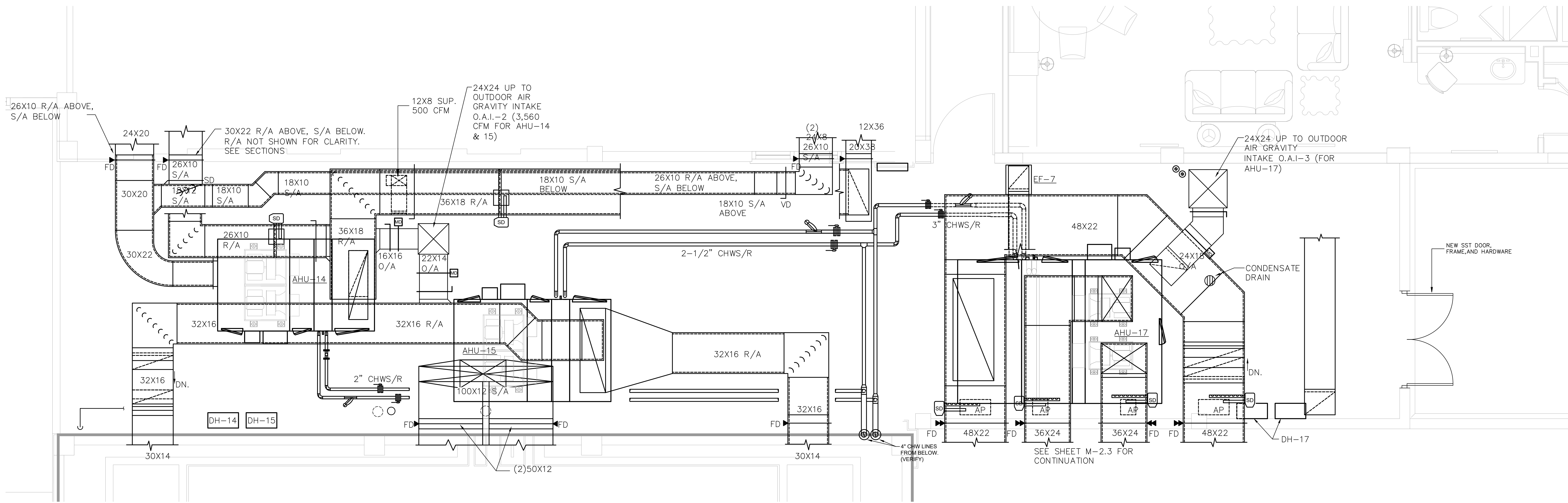
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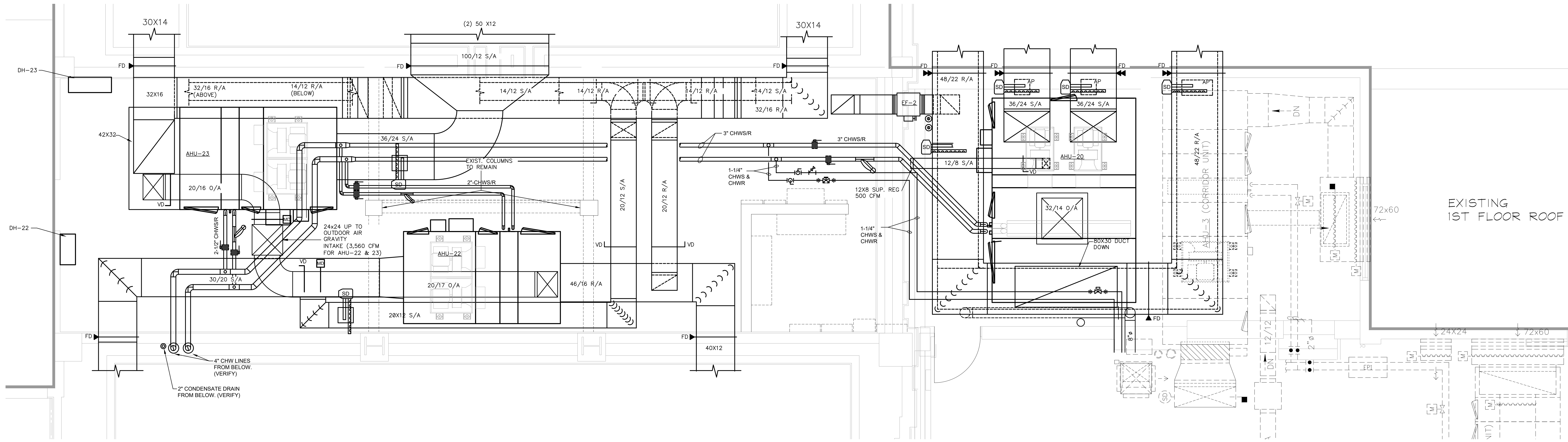
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M-04
OF 11
MECHANICAL SHEETS



MECHANICAL - NORTH SIDE MEZZANINE LEVEL - NEW WORK PLAN

SCALE: 3/8" = 1'-0"



MECHANICAL - SOUTH SIDE MEZZANINE LEVEL - NEW WORK PLAN

SCALE: 3/8" = 1'-0"

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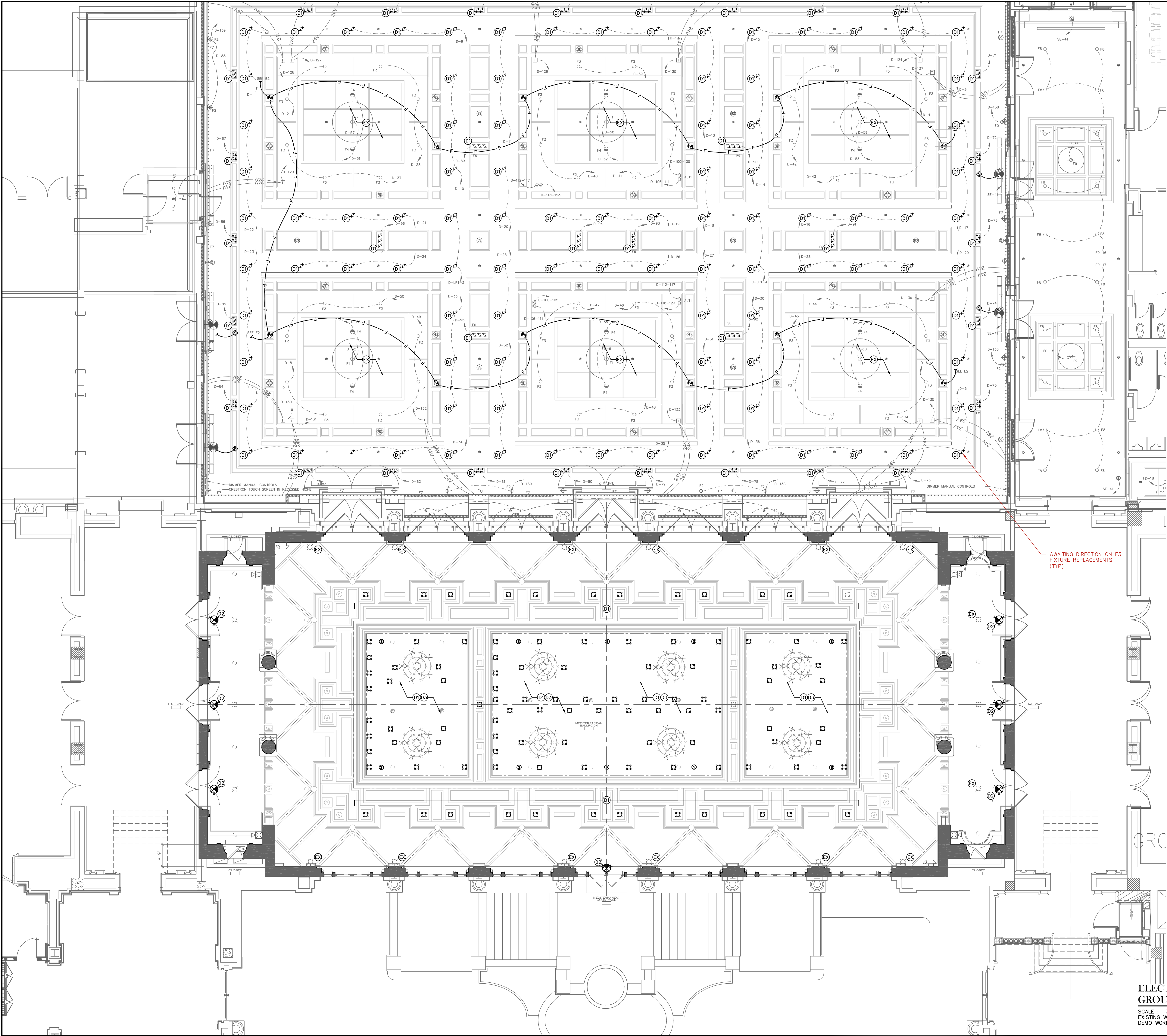
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FOR
CONSTRUCTION
M-05
OF 11
MECHANICAL SHEETS

CARDINAL ENGINEERING ASSOCIATES INC. 22-01-02-00 BREAKERS MED BALLROOM THU, 06 OCT 2022 - 10:49am



GENERAL NOTES THIS DRAWING

- CONTRACTOR WILL DISCONNECT AND SEAL APPLICABLE UTILITIES SERVING AREAS TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK WITHOUT INTERRUPTION TO OWNER'S OPERATIONS. MAINTAIN AND KEEP IN SERVICE EXISTING UTILITIES AND LIFE SAFETY SYSTEM TO ADJACENT OCCUPIED AREA OF FACILITY AND PROTECT AGAIN DAMAGE DURING DEMOLITION OPERATIONS.
- REMOVE ALL ABANDONED ELECTRICAL NOT IN USE.
- COORDINATION: COORDINATE DEMOLITION WITH ALL TRADES TO ASSURE COMPLETE REMOVAL OF ITEMS TO BE DEMOLISHED AND COMPLETE PROTECTIONS OF AREAS NOT IN DEMOLITION.
- FIRE SAFETY: MAINTAIN EXISTING FIRE SEPARATION SEALANT AND CAULKING AT ALL FLOOR, CEILING AND WALL PENETRATIONS INTO ADJACENT OCCUPIED SPACES. PROVIDE NEW FIRE SAFING AND CAULKING WHERE REQUIRED.
- UNFORESEEN CONDITIONS: IF UNANTICIPATED ELECTRICAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE OWNER'S REPRESENTATIVE AND ELECTRICAL ENGINEER.

REFER TO MECHANICAL DRAWINGS OR ADDITIONAL INFORMATION

DEMOLITION KEYED NOTES (DX)

- (EX) EXISTING TO REMAIN UNLESS NOTED OTHERWISE
- (D1) EXISTING LIGHTING DEVICE TO BE REMOVED. CIRCUIT TO BE RE-USED
- (D2) EXISTING EXIT SIGN TO BE REPLACED.
- (D3) TRACE OUT AND IDENTIFY CIRCUITS FEEDING LIGHTING LOADS IN AREA OF RENOVATION. RE-USE CIRCUITS TO FEED NEW LIGHTING LAYOUT. REDLINE AS-BUILT SET AND TURN OVER TO ENGINEER FOR OWNER'S RECORD.

ELECTRICAL -
GROUND LEVEL - DEMOLITION PLAN

SCALE : 3/16" = 1'-0"
EXISTING WORK SHOWN DASHED
DEMO WORK SHOWN BOLD

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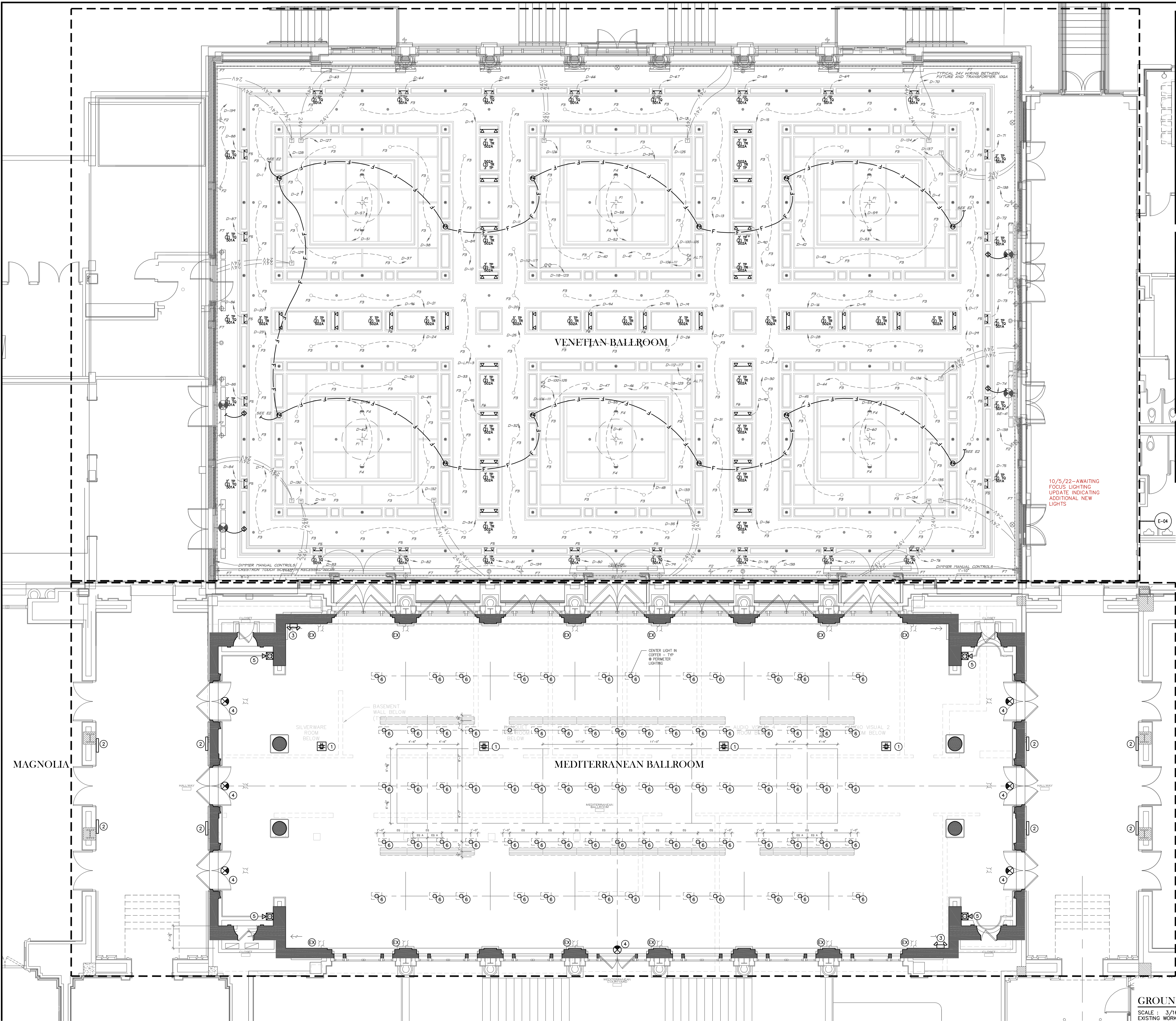
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E-01
OF 15
ELECTRICAL SHEETS



GENERAL NOTES THIS DRAWING

- MAINTAIN 42" CLEAR IN FRONT OF ALL ELECTRICAL COMPONENTS, AND AS REQUIRED BY NFPA-70 (N.E.C.), VERIFY CONDITIONS IN FIELD, COORDINATE WITH ALL TRADES, SUBJECT TO REVIEW BY ARCHITECT/ENGINEER.
- DO NOT INSTALL DUCTWORK OR ANY HVAC TRADE ITEM IN SPACE ABOVE ANY ELECTRICAL PANEL AND/OR SENSITIVE ELECTRONIC EQUIPMENT, TYPICAL THROUGHOUT JOB.
- CONTRACTOR SHALL PROVIDE SERVICE CLEARANCE AND ACCESS AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL ALL EQUIPMENT.
- INSTALL ENGRAVED PHENOLIC CIRCUIT IDENTIFICATION PLACARD ON EACH VFD SHOWING VOLTAGE, PANEL AND CIRCUIT NUMBER OF POWER SOURCE, NORMAL POWER, PLACARDS ARE TO BE BLACK WITH WHITE LETTERS AND EMERGENCY POWER PLACARDS ARE TO BE RED WITH WHITE LETTERS.
- UNFORSEEN CONDITIONS: IF UNANTICIPATED ELECTRICAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE OWNER'S REPRESENTATIVE AND ELECTRICAL ENGINEER.

KEYED NOTES (X)

- EXISTING TO REMAIN
- FLOOR RECEPS, FULLY RECESSED PLUG, SAW CUT AS REQUIRED, COORDINATE EXACT STUB UP LOCATIONS WITH ARCHITECT AND OWNER.
- JANUS DISPLAY, COORDINATE EXACT HEIGHT AND LOCATIONS WITH ARCHITECT AND OWNER.
- NEW WALL MOUNTED EMERGENCY LIGHT
- NEW EXIT LIGHT IN EXISTING LOCATION.
- NEW HORN STROBE, PROVIDE AND INSTALL NEW FIRE ALARM COMBINATION AUDIBLE NOTIFICATION DEVICE AND 1500 STROBE IN RENOVATED BREAK ROOM, EXTEND NEW WIRING TO EXISTING FIRE ALARM NOTIFICATION CIRCUIT, VERIFY WIRING IN FIELD WITH BUILDING FIRE ALARM RENOVATION PROJECT
- NEW FIXTURE ON EXISTING CIRCUIT, REFER TO E-03 FOR ADDITIONAL INFORMATION.

ALL LOW VOLTAGE SYSTEMS (WIFI, AUDIO/VISUAL, SECURITY, TELECOM, ACCESS CONTROL, BDA, ETC.) SHALL BE PROVIDED BY THE OWNER'S SUBCONTRACTOR, GENERAL CONTRACTOR TO COORDINATE LOCATIONS AND INFRASTRUCTURE REQUIREMENTS (I.E. LINE VOLTAGE, CONDUIT, ETC.) COORDINATE AND PROVIDE WIRING ACCESS AND NETWORK CONNECTIVITY AS REQUIRED IN ACCORDANCE WITH APPROVED SHOP DRAWINGS.

10/5/22-AWAITING
FOCUS LIGHTING
UPDATE INDICATING
ADDITIONAL NEW
LIGHTS

GROUND LEVEL - NEW WORK PLAN

SCALE : 3/16" = 1'-0"
EXISTING WORK SHOWN DASHED

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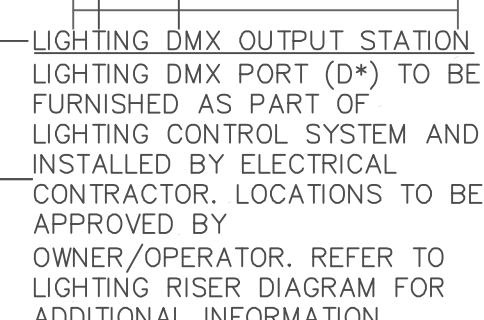
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E-02
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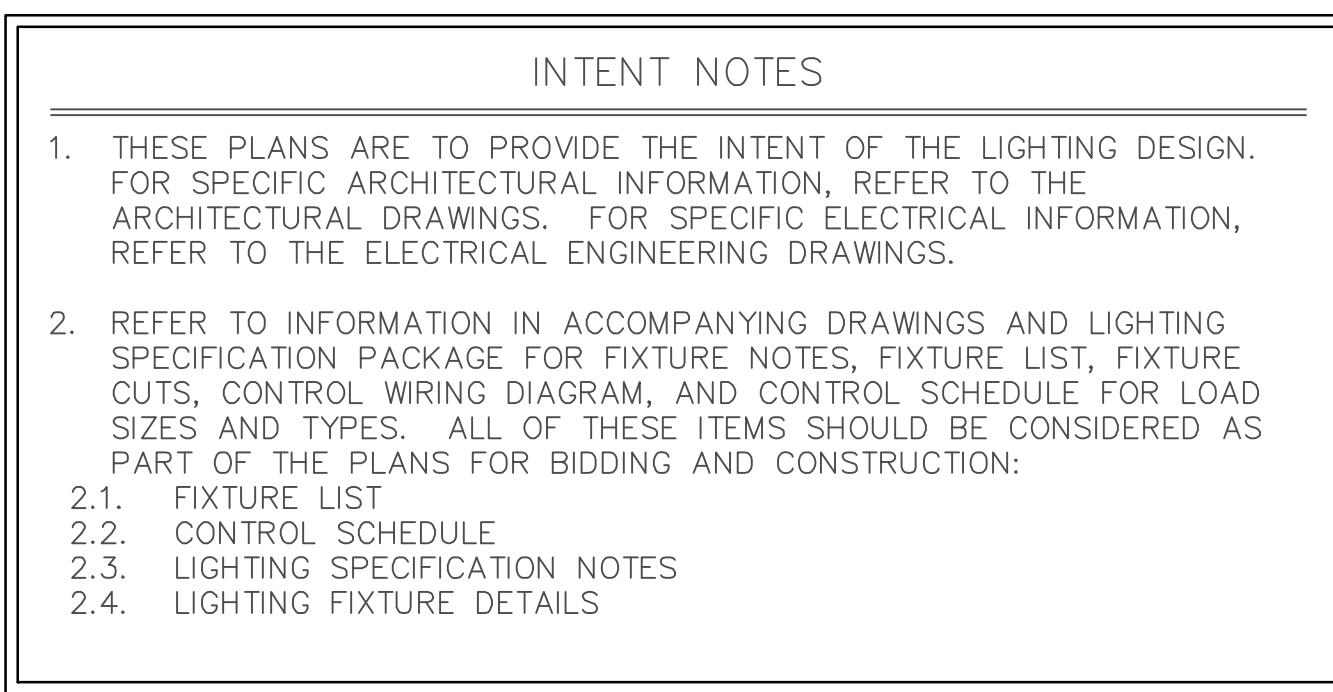


ARCOM # ARC-22-100
TC # ZON-22-100

DRAWING NO.

MEDITERRANEAN
LIGHTING PLAN
LD201B

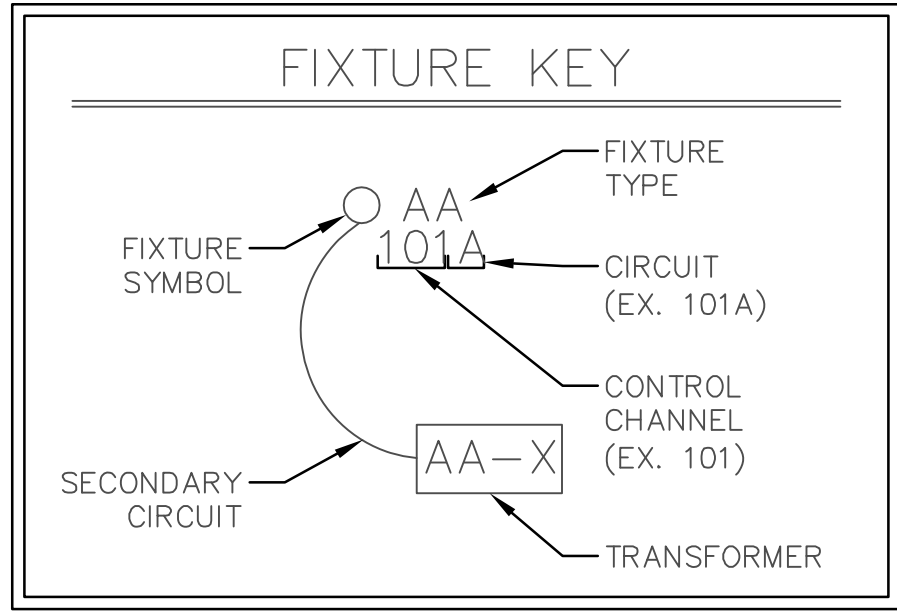
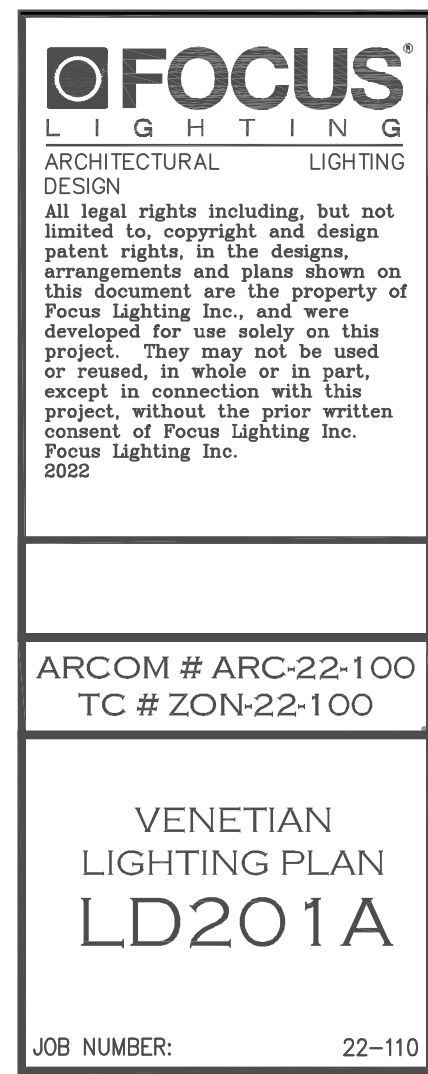
JOB NUMBER: 22-110



LIGHTING -
GROUND LEVEL - NEW WORK PLAN

SCALE : 1/4" = 1'-0"
EXISTING WORK SHOWN DASHED — — — — —
NEW WORK SHOWN BOLD —————

N 

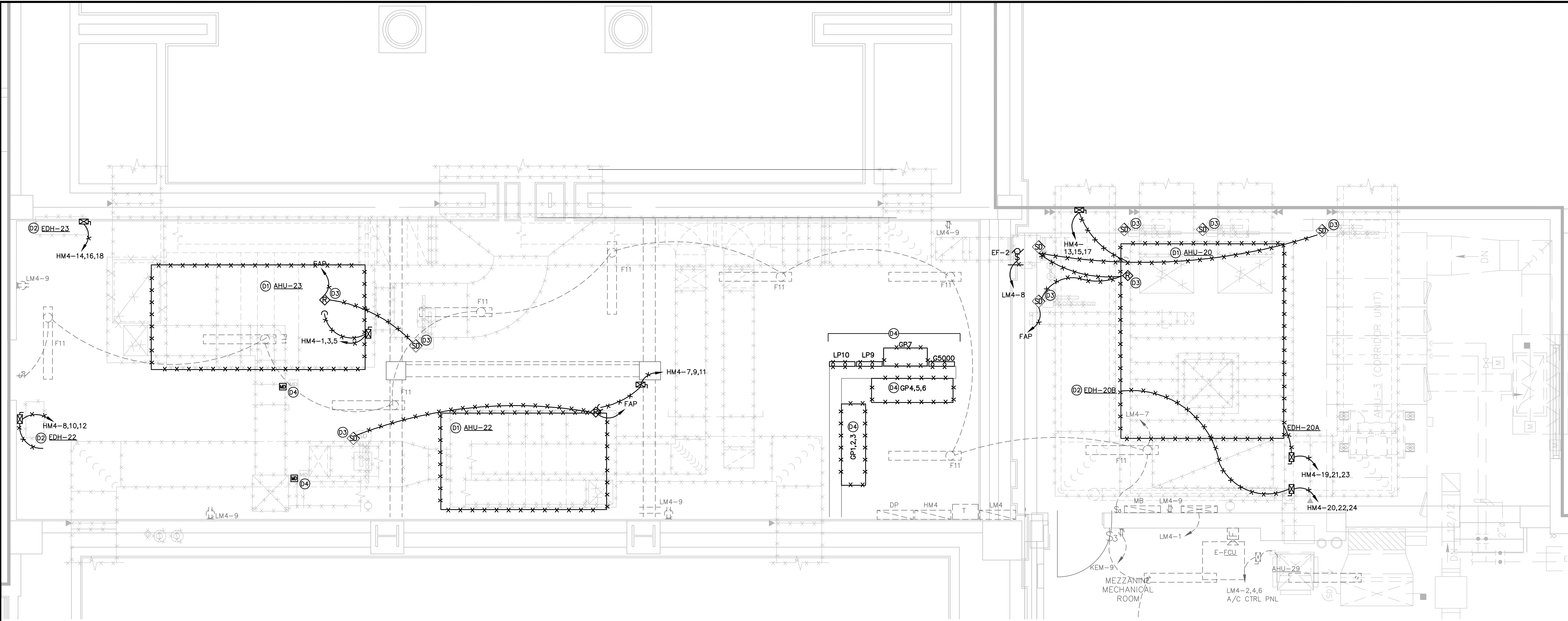


- ## INTENT NOTES
-
1. THESE PLANS ARE TO PROVIDE THE INTENT OF THE LIGHTING DESIGN. SPECIFIC ELECTRICAL INFORMATION IS REFERRED TO ARCHITECTURAL DRAWINGS. FOR SPECIFIC ELECTRICAL INFORMATION, REFER TO THE ELECTRICAL ENGINEERING DRAWINGS.
 2. REFER TO INFORMATION IN ACCOMPANYING DRAWINGS AND LIGHTING SPECIFICATION PACKAGE FOR FIXTURE NOTES, FIXTURE LIST, FIXTURE CUTS, CONTROL WIRING DIAGRAM, AND CONTROL SCHEDULE FOR LOAD SIZES AND TYPES. ALL OF THESE ITEMS SHOULD BE CONSIDERED AS PART OF THE PLANS FOR BIDDING AND CONSTRUCTION:
 - 2.1. FIXTURE LIST
 - 2.2. CONTROL SCHEDULE
 - 2.3. LIGHTING SPECIFICATION NOTES
 - 2.4. LIGHTING FIXTURE DETAILS

VENETIAN BALLROOM
LIGHTING -
GROUND LEVEL - NEW WORK PLAN

SCALE : 3/16" = 1'-0"
EXISTING WORK SHOWN DASHED - - - - -
NEW WORK SHOWN BOLD _____

CARDINAL ENGINEERING ASSOCIATES INC. 22-01-02-00 BREAKERS MED BALLROOM: Thu, 06 Oct 2022 - 10:53am



ELECTRICAL-SOUTH SIDE MECHANICAL ROOM - DEMOLITION PLAN

SCALE : 3/8" = 1'-0"
EXISTING WORK SHOWN DASHED
DEMO WORK SHOWN BOLD

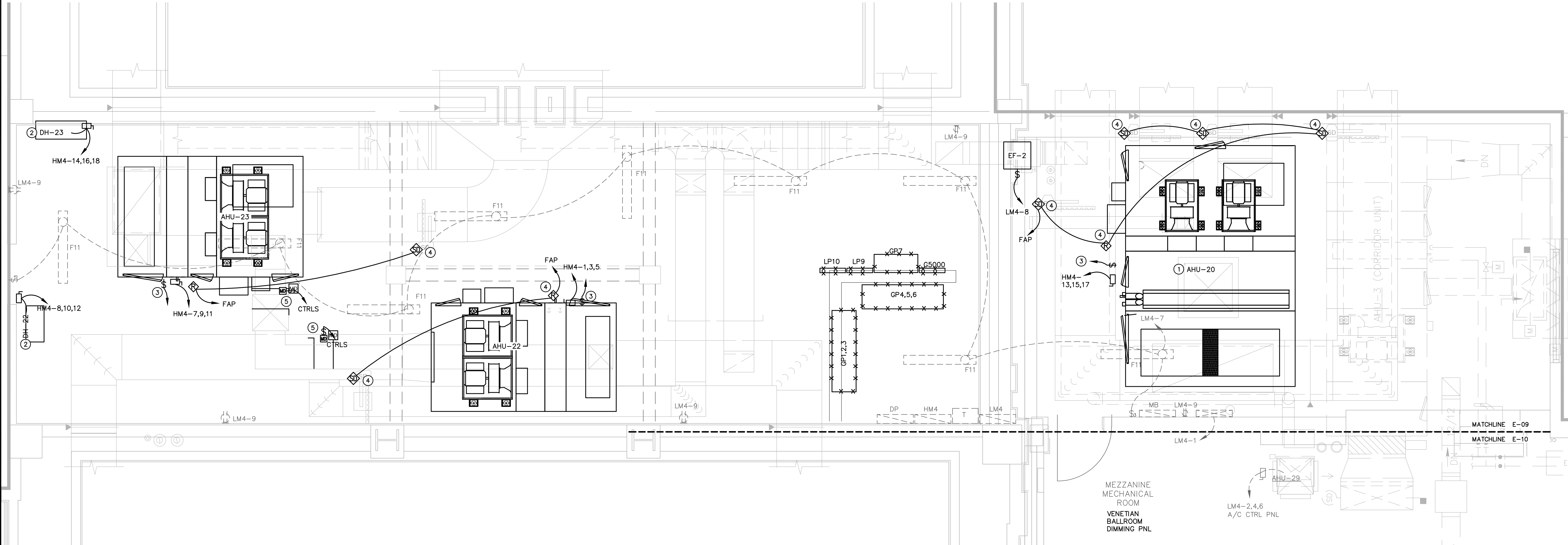
GENERAL NOTES THIS DRAWING

- CONTRACTOR WILL DISCONNECT AND SEAL APPLICABLE UTILITIES SERVING AREAS TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK WITHOUT INTERRUPTION TO OWNER'S OPERATIONS. MAINTAIN AND KEEP IN SERVICE EXISTING UTILITIES AND LIFE SAFETY SYSTEM TO ADJACENT OCCUPIED AREA OF FACILITY AND PROTECT AGAIN DAMAGE DURING DEMOLITION OPERATIONS.
- REMOVE ALL ABANDONED ELECTRICAL NOT IN USE.
- COORDINATION: COORDINATE DEMOLITION WITH ALL TRADES TO ASSURE COMPLETE REMOVAL OF ITEMS TO BE DEMOLISHED AND COMPLETE PROTECTIONS OF AREAS NOT IN DEMOLITION.
- FIRE SAFETY: MAINTAIN EXISTING FIRE SEPARATION SEALANT AND CAULKING AT ALL FLOOR, CEILING AND WALL PENETRATIONS INTO ADJACENT OCCUPIED SPACES. PROVIDE NEW FIRE SAFING AND CAULKING WHERE REQUIRED.
- UNFORESEEN CONDITIONS: IF UNANTICIPATED ELECTRICAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE OWNER'S REPRESENTATIVE AND ELECTRICAL ENGINEER.

REFER TO MECHANICAL DRAWINGS OR ADDITIONAL INFORMATION

DEMOLITION KEYED NOTES (DX)

- EXISTING AHU TO BE REPLACED. EXISTING CIRCUIT TO BE RE-USED FOR NEW UNIT.
- EXISTING DUCT HEATER TO BE REPLACED. EXISTING CIRCUIT TO BE RE-USED.
- EXISTING TO BE REPLACED AND EXISTING CONNECTION TO FA SYSTEM TO BE RE-USED.
- EXISTING PANEL TO BE REMOVED.



ELECTRICAL-SOUTH SIDE MECHANICAL ROOM - NEW WORK PLAN

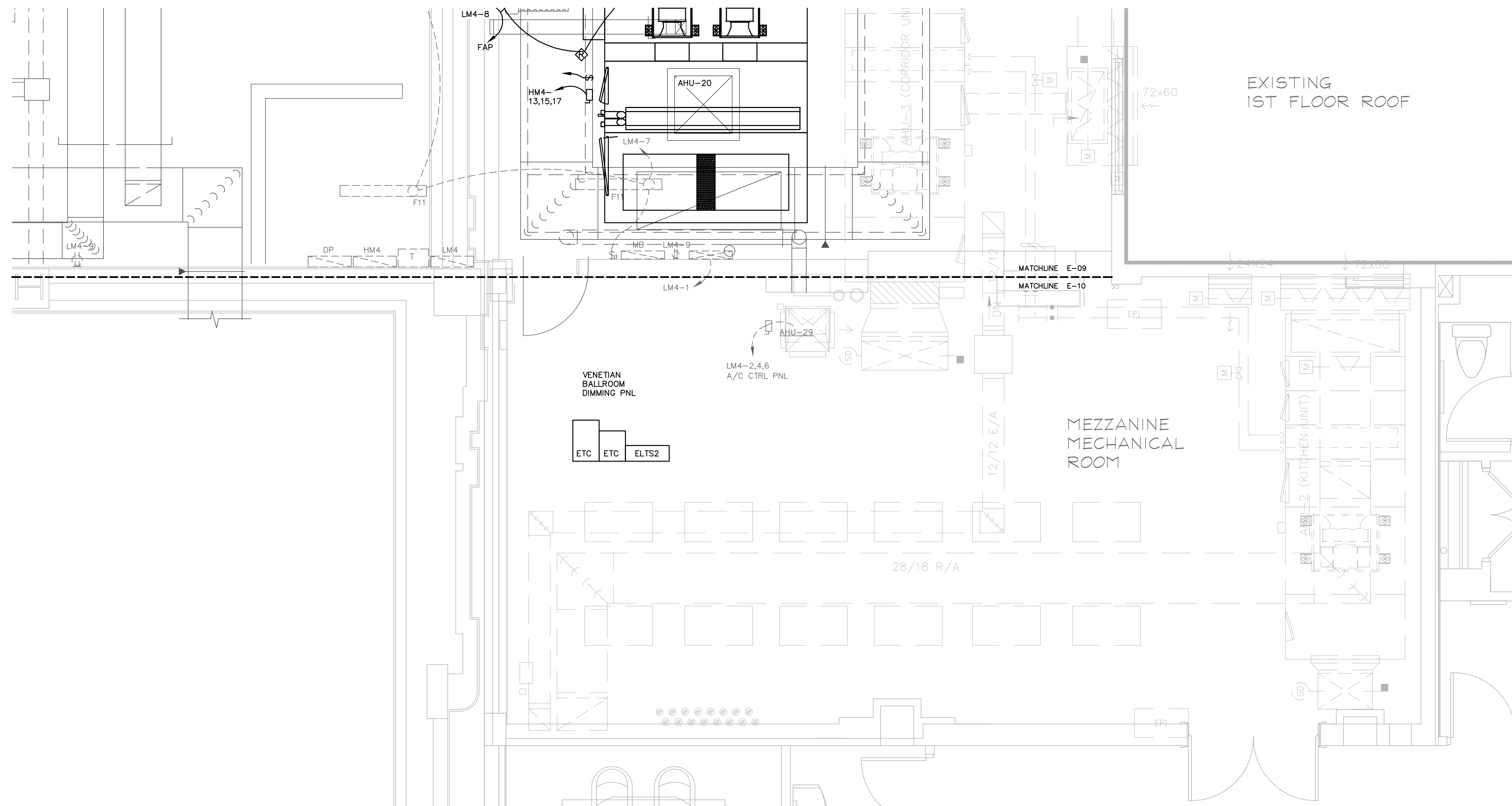
SCALE : 3/8" = 1'-0"
EXISTING WORK SHOWN DASHED
NEW WORK SHOWN BOLD

GENERAL NOTES THIS DRAWING

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- DO NOT INSTALL DUCTWORK OR ANY HVAC TRADE ITEM IN SPACE ABOVE ANY ELECTRICAL PANEL AND/OR SENSITIVE ELECTRONIC EQUIPMENT, TYPICAL THROUGHOUT JOB.
- CONTRACTOR SHALL PROVIDE SERVICE CLEARANCE AND ACCESS AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL ALL EQUIPMENT.
- INSTALL ENGRAVED PHENOLIC CIRCUIT IDENTIFICATION PLACARD ON EACH VFD SHOWING VOLTAGE, PANEL AND CIRCUIT NUMBER OF POWER SOURCE. NORMAL POWER PLACARDS ARE TO BE BLACK WITH WHITE LETTERS AND EMERGENCY POWER PLACARDS ARE TO BE RED WITH WHITE LETTERS.

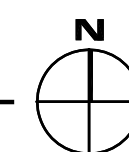
KEYED NOTES (X)

- NEW AHU ON EXISTING CIRCUIT.
- NEW DUCT HEATER ON EXISTING CIRCUIT.
- CONNECT GPS BI-POLAR IONIZATION SYSTEM IN AIR HANDLER. PROVIDE DOOR INTERLOCK SWITCH SO THAT SYSTEM AUTOMATICALLY TURNS OFF WHEN UNIT SERVICE DOOR IS OPEN.
- FIRE ALARM DEVICE REPLACES EXISTING DEVICE REMOVED.
- NEW MOTORIZED DAMPER. ASSIST MECHANICAL TRADE AS REQUIRED.

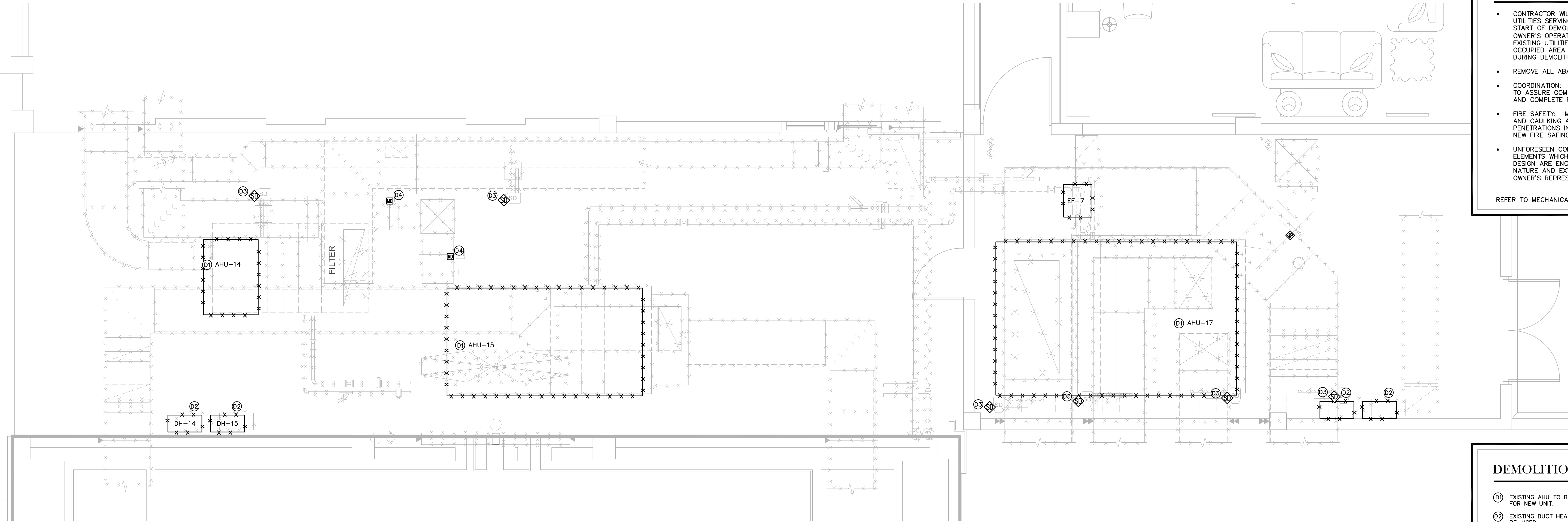


ELECTRICAL - SOUTH SIDE MEZZANINE MECHANICAL ROOM - NEW WORK PLAN

SCALE : 3/8" = 1'-0"
EXISTING WORK SHOWN DASHED
NEW WORK SHOWN BOLD



CARDINAL ENGINEERING ASSOCIATES INC. 22-01-02-00 BREAKERS MED BALLROOM THU, 06 OCT 2022 - 10:54am



ELECTRICAL - NORTH SIDE MECHANICAL ROOM - DEMOLITION PLAN

SCALE : 3/4" = 1'-0"
EXISTING WORK SHOWN DASHED
DEMO WORK SHOWN BOLD



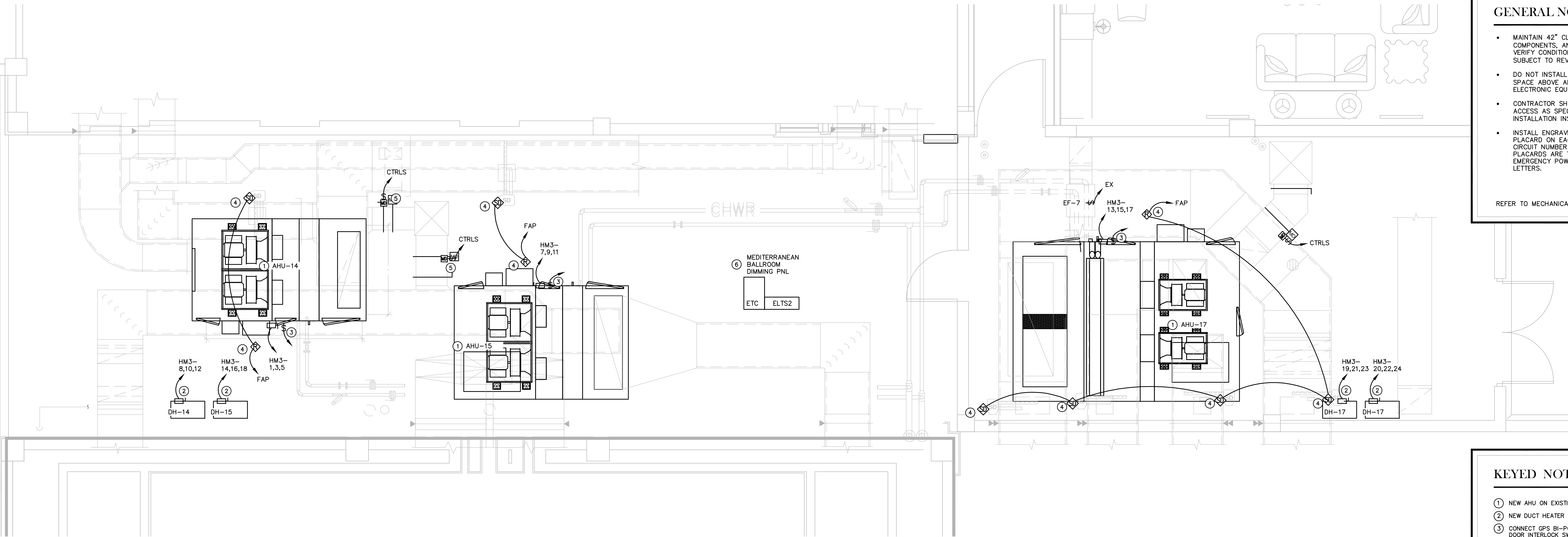
GENERAL NOTES THIS DRAWING

- CONTRACTOR WILL DISCONNECT AND SEAL APPLICABLE UTILITIES SERVING AREAS TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK WITHOUT INTERRUPTION TO OWNER'S OPERATIONS. MAINTAIN AND KEEP IN SERVICE EXISTING UTILITIES AND LIFE SAFETY SYSTEM TO ADJACENT OCCUPIED AREA OF FACILITY AND PROTECT AGAIN DAMAGE DURING DEMOLITION OPERATIONS.
- REMOVE ALL ABANDONED ELECTRICAL NOT IN USE.
- COORDINATION: COORDINATE DEMOLITION WITH ALL TRADES TO ASSURE COMPLETE REMOVAL OF ITEMS TO BE DEMOLISHED AND COMPLETE PROTECTIONS OF AREAS NOT IN DEMOLITION.
- FIRE SAFETY: MAINTAIN EXISTING FIRE SEPARATION SEALANT AND CAULKING AT ALL FLOOR, CEILING AND WALL PENETRATIONS INTO ADJACENT OCCUPIED SPACES. PROVIDE NEW FIRE SAFING AND CAULKING WHERE REQUIRED.
- UNFORESEEN CONDITIONS: IF UNANTICIPATED ELECTRICAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE OWNER'S REPRESENTATIVE AND ELECTRICAL ENGINEER.

REFER TO MECHANICAL DRAWINGS OR ADDITIONAL INFORMATION

DEMOLITION KEYED NOTES

- EXISTING AHU TO BE REPLACED. EXISTING CIRCUIT TO BE RE-USED FOR NEW UNIT.
- EXISTING DUCT HEATER TO BE REPLACED. EXISTING CIRCUIT TO BE RE-USED.
- EXISTING TO BE REPLACED AND EXISTING CONNECTION TO FA SYSTEM TO BE RE-USED.
- EXISTING MOTOR DAMPER TO BE REMOVED. ASSIST MECH TRADE AS REQUIRED.



ELECTRICAL - NORTH SIDE MECHANICAL ROOM - NEW WORK PLAN

SCALE : 3/8" = 1'-0"
EXISTING WORK SHOWN DASHED
NEW WORK SHOWN BOLD



GENERAL NOTES THIS DRAWING

- MAINTAIN 42" CLEAR IN FRONT OF ALL ELECTRICAL COMPONENTS, AND AS REQUIRED BY NFPA-70 (N.E.C.), VERIFY CONDITIONS IN FIELD, COORDINATE WITH ALL TRADES, SUBJECT TO REVIEW BY ARCHITECT/ENGINEER.
- DO NOT INSTALL DUCTWORK OR ANY HVAC TRADE ITEM IN SPACE ABOVE ANY ELECTRICAL PANEL AND/OR SENSITIVE ELECTRONIC EQUIPMENT, TYPICAL THROUGHOUT JOB.
- CONTRACTOR SHALL PROVIDE SERVICE CLEARANCE AND ACCESS AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, TYPICAL ALL EQUIPMENT.
- INSTALL ENGRAVED PHENOLIC CIRCUIT IDENTIFICATION PLACARD ON EACH VFD SHOWING VOLTAGE, PANEL AND CIRCUIT NUMBER OF POWER SOURCE. NORMAL POWER PLACARDS ARE TO BE BLACK WITH WHITE LETTERS AND EMERGENCY POWER PLACARDS ARE TO BE RED WITH WHITE LETTERS.

REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

KEYED NOTES

- NEW AHU ON EXISTING CIRCUIT.
- NEW DUCT HEATER ON EXISTING CIRCUIT.
- CONNECT GPS BI-POLAR IONIZATION SYSTEM IN AIR HANDLER. PROVIDE DOOR INTERLOCK SWITCH SO THAT SYSTEM AUTOMATICALLY TURNS OFF WHEN UNIT SERVICE DOOR IS OPEN.
- FIRE ALARM DEVICE REPLACES EXISTING DEVICE REMOVED.
- NEW MOTORIZED DAMPER. ASSIST MECHANICAL TRADE AS REQUIRED.
- NEW DIMMING PANELS.

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The Breakers
PALM BEACH

BREAKERS
VENETIAN
BALLROOM
MED BALLROOM
HVAC
REPLACEMENT

DESIGN
DEVELOPMENT

1 SOUTH COUNTY RD.
PALM BEACH, FL

NOT FOR
CONSTRUCTION

JOSEPH L. LAMMERS, PE
PE # 78477
SEAL

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E-11
OF 15
ELECTRICAL SHEETS