

# The Vineta Hotel

## 363 Cocoanut Row, Palm Beach, FL 33480

### SCOPE OF WORK

THE PROPOSED WORK INCLUDES THE RENOVATION OF THE EXISTING 4-STORY 32,758 SQUARE FOOT HOTEL. THE SCOPE OF WORK INCLUDES THE COMPLETE EXTERIOR AND INTERIOR RENOVATION INCLUDING THE REDUCTION OF ROOMS FROM 57 KEYS TO 41, THE RECONSTRUCTION OF HISTORIC DOOR AND WINDOW LOCATIONS AND ASSOCIATED HARDSCAPE/LANDSCAPE. THERE ARE NO PROPOSED MODIFICATIONS TO THE NUMBER OF EXISTING PARKING SPACES.



**SPINAOROURKE**  
+ PARTNERS  
Architecture + Interior Design  
Keith M. Spina # AR13419

285 BANYAN BLVD  
WEST PALM BEACH, FLORIDA 33401  
ph: 561.684.6844 • spinaorourke.com  
FL Lic. # AA26002399

**TINO ZERVUDACHI & ASSOCIES**  
ARCHITECTURE INTERIEURE ET DECORATION



RECEIVED

By Antonette Fabrizi at 8:53 am, Apr 07, 2023

SHEET	NAME
COVER	COVER
AC-0.1.0	VICINITY LOCATION MAP
AC-0.2.0	SUBJECT PROPERTY IMAGES
AC-0.2.1	SUBJECT PROPERTY IMAGES
AC-0.2.2	SUBJECT PROPERTY IMAGES
AC-0.2.3	SUBJECT PROPERTY IMAGES
AC-0.2.4	SUBJECT PROPERTY IMAGES
AC-0.2.5	SUBJECT PROPERTY IMAGES
AC-0.3.0	ADJACENT PROPERTY IMAGES
AC-0.3.1	ADJACENT PROPERTY IMAGES
AC-0.3.2	ADJACENT PROPERTY IMAGES
AC-0.3.3	ADJACENT PROPERTY IMAGES
AC-0.3.4	ADJACENT PROPERTY IMAGES
AC-1.0.0	ZONING LEGEND
AC-1.1.0	EXISTING OVERALL SITE PLAN
AC-1.1.1	PROPOSED OVERALL SITE PLAN
AC-1.2.0	ZONING DIAGRAMS
AC-1.2.1	VARIANCE DIAGRAMS
AC-1.3.0	HISTORIC REFERENCE IMAGES
AC-1.3.1	HISTORIC REFERENCE IMAGES
AC-1.3.2	HISTORIC REFERENCE IMAGES
AC-2.1.0	EXISTING FLOOR PLAN - GROUND FLOOR
AC-2.1.1	DEMOLITION FLOOR PLAN - GROUND FLOOR
AC-2.1.2	PROPOSED FLOOR PLAN - GROUND FLOOR
AC-2.2.0	EXISTING FLOOR PLAN - SECOND FLOOR
AC-2.2.1	DEMOLITION FLOOR PLAN - SECOND FLOOR
AC-2.2.2	PROPOSED FLOOR PLAN - SECOND FLOOR
AC-2.3.0	EXISTING FLOOR PLAN - THIRD FLOOR
AC-2.3.1	DEMOLITION FLOOR PLAN - THIRD FLOOR
AC-2.3.2	PROPOSED FLOOR PLAN - THIRD FLOOR
AC-2.4.0	EXISTING FLOOR PLAN - FOURTH FLOOR & ROOF PLAN
AC-2.4.1	DEMOLITION FLOOR PLAN - FOURTH FLOOR & ROOF PLAN
AC-2.4.2	PROPOSED FLOOR PLAN - FOURTH FLOOR & ROOF PLAN
AC-3.1.0	EXISTING HIGH ROOF PLAN
AC-3.1.1	DEMOLITION HIGH ROOF PLAN
AC-3.1.2	PROPOSED HIGH ROOF PLAN
AC-4.1.0	OVERALL DEMOLITION ELEVATIONS
AC-4.1.1	OVERALL DEMOLITION ELEVATIONS
AC-4.1.2	DEMOLITION ELEVATION DIAGRAMS
AC-4.2.1	EXISTING & PROPOSED WEST ELEVATION
AC-4.2.2	COLORLED WEST ELEVATIONS
AC-4.3.1	EXISTING & PROPOSED NORTH ELEVATION
AC-4.3.2	COLORLED NORTH ELEVATIONS
AC-4.4.1	EXISTING & PROPOSED EAST ELEVATION
AC-4.4.2	COLORLED EAST ELEVATIONS
AC-4.5.1	EXISTING & PROPOSED SOUTH ELEVATION
AC-4.5.2	COLORLED SOUTH ELEVATIONS
AC-4.6.1	EXISTING & PROPOSED COURTYARD ELEVATIONS
AC-4.6.2	COLORLED COURTYARD ELEVATIONS
AC-4.7.1	EXTERIOR RENDERINGS
AC-4.7.2	EXTERIOR RENDERINGS
AC-4.7.3	EXTERIOR RENDERINGS
AC-4.7.4	EXTERIOR RENDERINGS
AC-4.7.5	EXTERIOR RENDERINGS
AC-4.7.6	EXTERIOR RENDERINGS
AC-4.7.7	EXTERIOR RENDERINGS
AC-4.7.8	EXTERIOR RENDERINGS
AC-5.1.0	BUILDING & YARD SECTION DIAGRAM
AC-5.1.1	BUILDING & YARD SECTION DIAGRAM
AC-6.1.0	EXTERIOR MATERIAL & FINISH SHEET
AC-6.2.0	EXTERIOR DETAILS - TYPICAL
AC-6.2.1	EXTERIOR DETAILS - VALET CANOPY
AC-6.3.0	EXTERIOR DOOR & WINDOW DETAILS
AC-6.4.0	EXTERIOR WALL AND GATE PLAN AND DETAILS
AC-6.5.0	EXTERIOR SIGNAGE PLAN AND DETAILS
AC-7.1.0	EXISTING SEATING PLAN
AC-7.1.1	PROPOSED SEATING PLAN
L1.1	EXISTING GENERAL SITE PHOTOS
L2.0	EXISTING VEGETATION INVENTORY & ACTION PLAN
L4.0	CONSTRUCTION SCREENING PLAN
L6.0	CONSTRUCTION STAGING PLAN
L6.0	TRUCK LOGISTICS PLAN
L7.1	EXISTING VS PROPOSED SITE DATA
L8.0	LANDSCAPE PLAN
L8.2	PLANT SCHEDULE
L8.3	PLANTING DETAILS & SPECIFICATIONS
CIVIL 1	CONCEPTUAL DRAINAGE PLAN

## REVISED LANDMARKS 04-06-2023

LPC# COA-23-002 (JANUARY 2023)

ZONING# ZON-23-019 (FEBRUARY 2023)

**Landscape Architect**  
**EDG**

139 NORTH COUNTY ROAD, SUITE 20-B,  
PALM BEACH, FL 33480  
561-832-4600

**Civil Engineer**  
**S&W**

2581 METROCENTRE BLVD., SUITE 3,  
WEST PALM BEACH, FL 33407  
561478-7848

285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • spinaorourke.com  
FL Lic. # AA26002399

**SPINAOROURKE**  
+ PARTNERS  
Architecture • Interior Design  
Keith M. Spina # AR13419  
**TINO ZERVUDACHI & ASSOCIES**  
ARCHITECTURE INTERIEURE ET DECORATION

RENOVATION OF  
**The Vineta Hotel**  
363 Cocoanut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

Revisions:

Project no: 22028  
Date: 12.23.2022  
Drawn by: Author  
Project Manager: Checker

**COVER**

An architectural rendering of a large, multi-story building with a light-colored facade and numerous windows. The building is surrounded by tall palm trees and lush greenery. In the foreground, there are several cars parked along a street, and a few people are walking on the sidewalk. The sky is clear and blue, with a few birds flying in the distance.

SINCE THE JANUARY LPC MEETING, THE PROJECT HAS RECEIVED APPROVAL FROM TOWN COUNCIL OF ALL VARIANCES, SITE PLAN APPROVAL & SPECIAL EXCEPTIONS

AT JANUARY LPC MEETING, THE PROJECT & VARIANCES WERE APPROVED PENDING REVIEW OF THE FOLLOWING ITEMS:

EXTERIOR LIGHTING

MECHANICAL SCREEN WALLS

ADDITIONALLY, DURING TOWN COUNCIL REVIEW, MODIFICATIONS WERE MADE TO THE FOLLOWING ITEMS:

POOL LOUNGE FENESTRATION

















# EXTERIOR LIGHTING

LIGHTING GENERAL NOTES																						
GENERAL NOTES	BIDDING	FF&E & DECORATIVE LIGHTING	KEY LEGEND	SHEET INDEX																		
<div>1. THESE DRAWINGS PROVIDE THE INTENT OF THE LIGHTING DESIGN ONLY. LOCATIONS INDICATED ON DRAWINGS ARE RECOMMENDED LOCATIONS FOR OPTIMAL LIGHT DISTRIBUTION. FINAL LOCATIONS MUST BE COORDINATED WITH OTHER TRADES AND INCORPORATED INTO ARCHITECTURAL AND/OR ELECTRICAL DRAWINGS.</div> <div>2. THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR REVIEWING THE INFORMATION ON ALL DRAWINGS AND SPECIFICATIONS FOR INCLUDING ALL WORK SHOWN AS PART OF THEIR BIDS.</div> <div>3. ANY DISCREPANCIES, OMISSIONS, OR UNCERTAINTIES CONCERNING THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF LUCIFORMA FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS.</div> <div>4. THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR SHALL PROVIDE WORK NOT SPECIFICALLY SHOWN OR SPECIFIED, YET REQUIRED TO ENSURE PROPER AND COMPLETE OPERATIONS OF ALL SYSTEMS, SATISFY THE DESIGN INTENT, AND COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.</div> <div>5. THE GENERAL CONTRACTOR WILL NOTIFY LUCIFORMA OF ANY PROVISION OF THIS DOCUMENTATION THAT IS IN CONFLICT WITH LOCAL OR NATIONAL CODES AND AN ADDENDUM SHALL BE ISSUED TO CORRECT THE DOCUMENTATION.</div> <div>6. ALL DIMENSIONS INDICATED ARE TO FINISH FACE OF MATERIALS UNLESS OTHERWISE NOTED.</div> <div>7. LIGHTING DETAIL DRAWINGS SHALL TAKE PRECEDENT OVER LIGHTING PLAN AND ELEVATION DRAWINGS. LIGHTING DETAIL DRAWINGS SHOW CRITICAL DIMENSIONS FOR DESIGN INTENT ONLY.</div> <div>8. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS AND NOTIFY LUCIFORMA OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND LIGHTING AND/OR ARCHITECTURAL DRAWINGS AS IT PERTAINS TO LIGHTING PRIOR TO COMMENCING WORK.</div> <div>9. THE GENERAL CONTRACTOR SHALL NOTIFY LUCIFORMA OF ANY CONFLICTS WITH STRUCTURE, PLENUMS, HVAC, OR COMPONENTS FROM OTHER TRADES PRIOR TO THE ORDERING OF EQUIPMENT.</div> <div>10. LIGHTING IN ELECTRICAL, MECHANICAL, IDF, TELECOM, OR OTHER B.O.H EQUIPMENT ROOMS ARE SHOWN FOR QUANTITY ONLY. ACTUAL FIXTURE LOCATIONS TO BE DETERMINED AFTER COORDINATING WITH WORK OF ALL OTHER TRADES. FIXTURES TO BE LOCATED SO THAT MAINTENANCE AND LIGHT OUTPUT ARE NOT OBSTRUCTED.</div> <div>11. THE GENERAL CONTRACTOR MUST POWER ON AND DIM LIGHT FIXTURES TO VERIFY FIXTURE FUNCTIONALITY PRIOR TO INSTALLATION.</div> <div>12. ALL LIGHT FIXTURES SHALL BE LISTED BY A RECOGNIZED TESTING LABORATORY AS COMPLIANT WITH THE CONDITION TO WHICH THEY ARE BEING INSTALLED.</div> <div>13. THE GENERAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES AND MOUNTING CONDITIONS, COORDINATE WITH THE ARCHITECTURAL DRAWINGS PRIOR TO ORDERING LIGHT FIXTURES. GENERAL CONTRACTOR IS FULL RESPONSIBLE FOR PROVIDING ALL MOUNTING HARDWARE FOR THE SAFE MOUNTING OF LIGHT FIXTURES AT NO EXTRA COST TO THE OWNER. FIXTURE WEIGHTS MUST BE CONFIRMED WITH THE MANUFACTURER.</div> <div>14. LIGHT FIXTURE TRIMS, COLLARS, FLANGES, OR OTHER COMPONENTS MOUNTED FLUSH TO CEILING THAT ARE SPECIFIED AS PAINTED TO MATCH CEILING FINISHES MUST BE PAINTED AND DRIED PRIOR TO INSTALLATION TO ENSURE COMPONENTS DO NOT STICK TO CEILING.</div> <div>15. GENERAL CONTRACTOR TO FURNISH AND INSTALL ALL EQUIPMENT AND COMPONENTS INCLUDING LENSES, BLOCKING, PAINT TREATMENTS, AND OTHER ITEMS IDENTIFIED IN LIGHTING PLANS, DETAILS, AND SPECIFICATIONS.</div> <div>16. ELECTRICAL CONTRACTOR TO INSTALL ALL SPECIFIED LIGHT FIXTURE ACCESSORIES (I.E.: LOUVERS, LENSES, FILTERS, ETC.) PRIOR TO AIM AND ADJUST VISIT.</div> <div>17. ANY REQUIRED CALCULATIONS FOR CODE COMPLIANCE MUST BE CONFIRMED BY ELECTRICAL ENGINEER (OR OTHER PARTY SPECIFIED BY OWNER).</div> <div>18. THE ELECTRICAL CONTRACTOR'S BID SHALL INCLUDE LABOR ALLOWANCES FOR AIM AND ADJUST LABOR AS PER LIGHTING DESIGNER AGREEMENT, AS WELL AS REPAIRS AND REPLACEMENTS OF LIGHT FIXTURES AND THEIR COMPONENTS AS REQUIRED.</div> <div>19. ALL WARRANTY REPAIRS SHALL BE PERFORMED BY QUALIFIED PERSONNEL EMPLOYED OR AUTHORIZED BY THE MANUFACTURER AND SHALL NOT BE SUBCONTRACTED OR ASSIGNED WITHOUT THE WRITTEN CONSENT OF THE OWNER. IN NO CASE SHALL THE MANUFACTURER BE RELIEVED OF RESPONSIBILITY FOR THE PERFORMANCE OF WARRANTY REPAIRS.</div> <div>20. THE ELECTRICAL CONTRACTOR'S BID SHALL INCLUDE LABOR ALLOWANCES FOR CONTROL SYSTEM COMMISSIONING AS INDICATED IN CONTROL SYSTEM BILL OF MATERIALS.</div> <div>21. ALL EMERGENCY LIGHTING IS TO BE SPECIFIED AND CONFIRMED BY ELECTRICAL ENGINEER. IF ARCHITECTURAL LIGHTING FIXTURES ARE INCORPORATED INTO EMERGENCY CIRCUITS, IT IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER TO DETERMINE IF ADDITIONAL EMERGENCY LIGHTING WILL BE REQUIRED.</div> <div>22. LUMINARIES SHALL NOT BE USED AS WORK LIGHTS DURING CONSTRUCTION AND SHALL BE FULLY OPERATIONAL AT THE TIME OF ACCEPTANCE BY OWNER OR TENANT.</div> <div>23. THE GENERAL CONTRACTOR SHALL ALLOW SUFFICIENT ORDERING TIME FOR PROCUREMENT OF LIGHT FIXTURES. DESIGNER SHALL BE NOTIFIED OF ANY PRODUCT SUBSTITUTIONS AS A RESULT OF LEAD TIMES PRIOR TO ORDERING ALTERNATE PRODUCT. FAILURE TO ORDER LIGHT FIXTURES WITH ADEQUATE LEAD TIMES TO MEET THE INSTALLATION SCHEDULE DOES NOT RELIEVE THE GENERAL CONTRACTOR OF RESPONSIBILITY TO PROVIDE THE SPECIFIED PRODUCT WITHOUT COMPENSATION TO THE OWNER.</div> <div>24. SHOULD A MANUFACTURER FAIL TO DELIVER A PRODUCT THAT HAS BEEN ORDERED WITHIN REASONABLE LEAD-TIME, CONTRACTOR SHALL NOTIFY LUCIFORMA WITH A PROPOSED ALTERNATE LIGHT FIXTURE. LUCIFORMA SHALL MAINTAIN FINAL AUTHORITY FOR AUTHORIZATION OF ANY SUBSTITUTION.</div>	<div>1. INCLUDE WITH BID ADDITIVE AND DEDUCTIVE UNIT PRICES FOR EACH FIXTURE TYPE. PRICES TO INCLUDE:<div>1.1. ITEMIZED LABOR AND MATERIAL REQUIRED TO PERFORM WORK.</div><div>1.2. ANY REQUIRED ENGINEERING, LAYOUT, CLEANUP, TESTING, AND STARTUP.</div><div>1.3. UNIT PRICES SHALL INCLUDE SELECTED MANUFACTURER FOR EACH FIXTURE TYPE.</div></div> <div>2. BIDS THAT DO NOT INCLUDE UNIT PRICING SHALL BE REJECTED AS INCOMPLETE.</div>	<div>1. ALL LIGHTING DESIGNATED AS "DECORATIVE" OR "FF&amp;E" ARE TO BE DESIGNED OR SPECIFIED BY THE INTERIOR DESIGNER AND FURNISHED AS PART OF THE FF&amp;E OR INTERIORS PACKAGE UNLESS OTHERWISE INDICATED. ELECTRICAL ENGINEER TO REFER TO INTERIOR DESIGNER SPECIFICATIONS FOR FINAL WATTAGE LOADS.</div>	<div><div><div>(##)XX Z: ##</div><div>XX(C#)</div><div>(##)XX Z: ##(C#)</div><div>(##)EL-XX Z: ##</div><div>(##)XX CB:##</div><div>T</div><div>S<sup>##</sup><sub>XX</sub></div><div>S<sup>D##</sup><sub>XX</sub></div><div>S<sup>OC##</sup><sub>XX</sub></div><div>S<sup>J</sup><sub>XX</sub></div><div>S<sup>M</sup><sub>XX</sub></div><div>Z: XX SPARE</div><div>K##</div><div>T##</div><div>S</div><div>D</div><div>⊖</div><div>⊙</div><div>⊕</div><div>##</div><div>→</div><div>ⓐ</div><div>■ ■ ■</div></div><div><div>FIXTURE TAG: (XX) LETTERS DENOTE FIXTURE TYPE. (##) PRECEDING NUMBERS DENOTE QUANTITY OR LENGTH. (##) BOTTOM NUMBER INDICATES CONTROL ZONE.</div><div>TRACK MOUNTED FIXTURE TAG: (XX) LETTERS DENOTE FIXTURE TYPE. (C#) DENOTES CIRCUIT NUMBER.</div><div>LIGHTING TRACK TAG: (XX) LETTERS DENOTE FIXTURE TYPE. (##) PRECEDING NUMBERS DENOTE QUANTITY OR LENGTH. (##) BOTTOM NUMBER INDICATES CONTROL ZONE / (C#) DENOTES CIRCUIT NUMBER RELATED TO CONTROL ZONE.</div><div>EXISTING FIXTURE TAG: (EX) LETTERS DENOTE EXISTING FIXTURE. (XX) LETTERS DENOTE FIXTURE TYPE. PRECEDING NUMBERS DENOTE QUANTITY OR LENGTH. (##) BOTTOM NUMBER INDICATES CONTROL ZONE.</div><div>FIXTURE ON CIRCUIT BREAKER TAG: (XX) LETTERS DENOTE TYPE. PRECEDING NUMBERS DENOTE QUANTITY OR LENGTH. (##) BOTTOM NUMBER INDICATES CIRCUIT BREAKER GROUP.</div><div>REMOTE TRANSFORMER: FIXTURE REQUIRES REMOTE TRANSFORMER. FINAL QUANTITY AND LOCATIONS TBD BY E.C.</div><div>WALLBOX SWITCH: (XX) CORRESPONDS TO NUMBER IN ZONE SCHEDULE. (#) CORRESPONDS TO NUMBER OF CONNECTED SWITCHES. (EX. "3"= 3-WAY SWITCH).</div><div>WALLBOX DIMMER: (XX) CORRESPONDS TO NUMBER IN ZONE SCHEDULE. (#) CORRESPONDS TO NUMBER OF CONNECTED SWITCHES. (EX. "D3"= 3-WAY DIMMER).</div><div>WALLBOX SENSOR SWITCH: (XX) CORRESPONDS TO NUMBER IN ZONE SCHEDULE. (#) CORRESPONDS TO NUMBER OF CONNECTED SWITCHES. (EX. "OC3"= 3-WAY SWITCH/DIMMER).</div><div>JAMB SWITCH: (XX) CORRESPONDS TO NUMBER IN ZONE SCHEDULE.</div><div>MASTER SWITCH: (XX) CORRESPONDS TO NUMBER IN ZONE SCHEDULE.</div><div>SPARE ZONE: SPARE CIRCUIT FOR FUTURE USE OR EQUIPMENT SPECIFIED BY OTHERS. E.C. TO DETERMINE FINAL LOCATION AND DENOTE EXACT LOCATION ON AS-BUILT DRAWINGS.</div><div>CONTROL KEYPAD: FINAL LOCATIONS TBD BY E.C. WITH ARCHITECT. NUMBER CORRESPONDS TO ZONE SCHEDULE.</div><div>TOUCHSCREEN: FINAL LOCATIONS TBD BY E.C. WITH ARCHITECT. NUMBER CORRESPONDS TO ZONE SCHEDULE.</div><div>OCCUPANCY, VACANCY OR MOTION SENSOR: FIXTURE CONTROLLED BY OCCUPANCY, VACANCY OR MOTION SENSOR. FINAL QUANTITY AND LOCATIONS TBD BY E.E.</div><div>DAYLIGHT SENSOR: FIXTURE CONTROLLED BY DAYLIGHT SENSOR. FINAL QUANTITY AND LOCATIONS TBD BY E.E.</div><div>"RA" - DUPLEX WALL RECEPTACLE</div><div>"RB" - DUPLEX FLOOR RECEPTACLE</div><div>"RC" - DUPLEX CEILING RECEPTACLE</div><div>REVISION</div><div>LIGHT FIXTURE AIM DIRECTION</div><div>J-BOX</div><div>DAYLIGHT ZONE</div></div></div>	<table><tr><td>COVER SHEET</td><td>LT-000</td></tr><tr><td>LIGHTING GENERAL NOTES</td><td>LT-001</td></tr><tr><td>EXTERIOR LIGHT FIXTURE SCHEDULE</td><td>LT-400</td></tr><tr><td>EXTERIOR GF LIGHTING LAYOUT</td><td>LT-401</td></tr><tr><td>EXTERIOR ROOF LIGHTING LAYOUT</td><td>LT-402</td></tr><tr><td>EXTERIOR WEST FACADE LIGHTING</td><td>LT-403</td></tr><tr><td>EXTERIOR NORTH FACADE LIGHTING</td><td>LT-404</td></tr><tr><td>EXTERIOR LIGHTING DETAILS</td><td>LT-405</td></tr><tr><td>EXTERIOR GROUND FLOOR PHOTOMETRICS</td><td>LT-406</td></tr></table>	COVER SHEET	LT-000	LIGHTING GENERAL NOTES	LT-001	EXTERIOR LIGHT FIXTURE SCHEDULE	LT-400	EXTERIOR GF LIGHTING LAYOUT	LT-401	EXTERIOR ROOF LIGHTING LAYOUT	LT-402	EXTERIOR WEST FACADE LIGHTING	LT-403	EXTERIOR NORTH FACADE LIGHTING	LT-404	EXTERIOR LIGHTING DETAILS	LT-405	EXTERIOR GROUND FLOOR PHOTOMETRICS	LT-406
COVER SHEET	LT-000																					
LIGHTING GENERAL NOTES	LT-001																					
EXTERIOR LIGHT FIXTURE SCHEDULE	LT-400																					
EXTERIOR GF LIGHTING LAYOUT	LT-401																					
EXTERIOR ROOF LIGHTING LAYOUT	LT-402																					
EXTERIOR WEST FACADE LIGHTING	LT-403																					
EXTERIOR NORTH FACADE LIGHTING	LT-404																					
EXTERIOR LIGHTING DETAILS	LT-405																					
EXTERIOR GROUND FLOOR PHOTOMETRICS	LT-406																					
SUBMITTALS		EXTERIOR LIGHTING																				
<div>1. SUBMITTALS FOR ALL SPECIFIED LIGHT FIXTURES SHALL BE APPROVED BY LUCIFORMA PRIOR TO ORDERING OR PERFORMING ANY ROUGH-IN WORK.</div> <div>2. APPROVED SUBMITTALS SUPERSEDE ALL ORIGINAL SPECIFICATION DOCUMENTS.</div> <div>3. REQUESTS FOR APPROVAL OF LIGHT FIXTURE SUBSTITUTION MUST BE ACCOMPANIED BY THE FOLLOWING AT LEAST (5) BUSINESS DAYS IN ADVANCE OF THE BID SUBMITTAL DUE DATE:<div>3.1. SPECIFICATION DATA SHEET COMPLETE WITH MANUFACTURER NAME, CONTACT INFORMATION, AND SPECIFIED MODEL AND PART NUMBERS.</div><div>3.2. A WORKING SAMPLE OF SPECIFIED PRODUCT AND PROPOSED ALTERNATE.</div><div>3.3. CALCULATIONS REQUIRED FOR EGRESS OR OTHER KEY AREAS WHERE FIXTURE IS TO BE LOCATED.</div></div>		<div>1. LIGHTING FIXTURES DRAWN ON PLANS ARE FOR DESIGN INTENT ONLY AND ARE NOT INTENDED TO SHOW PRECISE MOUNTING LOCATIONS. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL FINAL FIXTURE LOCATIONS ON-SITE WITH LIGHTING DESIGNER AND ARCHITECT BASED ON FINAL LANDSCAPE AND HARDSCAPE PLANS AND SITE CONDITIONS.</div> <div>2. GENERAL CONTRACTOR TO FURNISH AND INSTALL STONE PAVER OR CMU BLOCK TO SECURE GROUND MOUNTED FIXTURES IN LOOSE SOIL AS DIRECTED BY LIGHTING CONSULTANT.</div> <div>3. EXTERIOR TRANSFORMERS MUST BE WEATHER/MOISTURE PROOF, OR HOUSED IN WEATHERPROOF ENCLOSURES. EXTERIOR TRANSFORMERS MUST BE LOCATED IN LOCATIONS HIDDEN FROM IMMEDIATE VIEW WITHIN THE LANDSCAPE. ELECTRICAL CONTRACTOR TO COORDINATE AND VERIFY TRANSFORMER LOCATIONS WITH ARCHITECT AND GENERAL CONTRACTOR AND MODIFY WIRING METHODS AS REQUIRED PER FINAL APPROVED MOUNTING LOCATIONS. REFER TO FIXTURE MANUFACTURER SPECIFICATIONS FOR MAXIMUM DISTANCE RECOMMENDATIONS AND WIRING/INSTALLATION INSTRUCTIONS.</div> <div>4. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ADEQUATE DRAINAGE AROUND ALL DIRECT BURIAL TRANSFORMERS AND RECESSED IN-GRADE LIGHTING FIXTURES.</div> <div>5. THE GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, AND LIGHTING SUPPLIER SHALL ENSURE THAT ALL UNDERWATER/SUBMERGED FIXTURES UNDERGO A FULL DIMMING AND CONTROL TEST TO CONFIRM THAT A FULLY FUNCTIONAL UNDERWATER LIGHTING SYSTEM PERFORMS AS EXPECTED BY LIGHTING DESIGNER PRIOR TO FINAL FIXTURE SUBMERSION. (THIS PRE-SUBMERSION TEST WILL PREVENT ADDITIONAL TIME AND LABOR THAT MAY BE REQUIRED TO UNINSTALL FIXTURES FROM AN UNDERWATER CONDITION IN THE EVENT THAT ACCESS/REPAIR OR MAINTENANCE IS REQUIRED.)</div> <div>6. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LENGTH OF TIME SUBMERSIBLE FIXTURES MAY BE POWERED IN A DRY ENVIRONMENT WITHOUT WATER REQUIRED TO DISSIPATE HEAT ACCUMULATION.</div>																				
INSTALLATION & MAINTENANCE																						
<div>1. THE ELECTRICAL CONTRACTOR SHALL CONFIRM TRANSFORMER SIZES AND CAPACITIES BASED ON DIMENSIONS SHOWN ON DRAWINGS AND AS VERIFIED IN THE FIELD.</div> <div>2. ELECTRICAL CONTRACTOR TO LOCATE ALL REMOTE TRANSFORMERS (LOW VOLTAGE TRANSFORMERS, BALLASTS, POWER SUPPLIES ETC. ) IN SAFE, DRY, VENTILATED, AND ACCESSIBLE LOCATION CONCEALED FROM VIEW.</div> <div>3. ELECTRICAL CONTRACTOR MUST LOCATE REMOTE WITHIN PROXIMITY TO LIGHT FIXTURE AS RECOMMENDED BY MANUFACTURER. A VOLTAGE DROP EXCEEDING 5% SHALL RESULT IN THE RE-INSTALLATION OF THE TRANSFORMER AND WIRING AT NO ADDITIONAL COST.</div> <div>4. LINEAR LEDS WITH ADHESIVE BACKING SHALL NEVER BE ATTACHED USING SOLELY ADHESIVE. MOUNTING COMPONENTS SUCH AS CLIPS, BRACKETS, SCREWS AS SPECIFIED BY LIGHTING DESIGNER AND/OR RECOMMENDED BY MANUFACTURER SHALL BE USED IN THESE INSTANCES. ALL LINEAR FIXTURES MUST BE INSTALLED IN STRAIGHT LINEAR RUNS AS INDICATED ON DRAWINGS. ANY WAVINESS IN LINEAR MOUNTING WILL REQUIRE REINSTALLATION OF LINEAR FIXTURES IN STRAIGHT RUNS AT NO ADDITIONAL COST.</div> <div>5. GENERAL CONTRACTOR TO FURNISH ALL NECESSARY COMPONENTS, CONNECTIONS, ACCESSORIES, ETC. REQUIRED FOR FIXTURE TO FUNCTION AS INTENDED BY LIGHTING DESIGNER.</div> <div>6. GENERAL CONTRACTOR TO COORDINATE COMPATIBILITY BETWEEN DIMMING CONTROL DEVICE AND LIGHT FIXTURE WITH LIGHTING MANUFACTURER PRIOR TO PURCHASE AND INSTALLATION.</div> <div>7. ELECTRICAL CONTRACTOR TO COORDINATE LOCATIONS OF DIMMED/SWITCHED RECEPTACLES, LIGHTING CONTROL STATIONS, AND ANY OTHER LIGHTING CONTROL INTERFACES WITH ARCHITECT PRIOR TO ELECTRICAL ROUGH-IN.</div> <div>8. RECEPTACLES SHALL BE CLEARLY MARKED ON INSIDE SURFACE OF COVER PLATE WITH CONTROL ZONE NUMBER AS SPECIFIED ON LUCIFORMA ZONE SCHEDULE ALONG WITH DIMMER NUMBER FROM CONTROL SYSTEM LAYOUT.</div> <div>9. AESTHETIC AND FACTORY LABELLING OF SWITCHES AND ALL OTHER LIGHTING CONTROL INTERFACES SHALL BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO ORDERING. GENERAL CONTRACTOR SHALL SUBMIT CUT SHEETS OF PROPOSED SWITCHES AND RECEPTACLES TO ARCHITECT AND LUCIFORMA FOR APPROVAL PRIOR TO ORDERING.</div> <div>10. MANUFACTURER LABELS AND STICKERS SHALL FACE AWAY FROM PUBLIC VIEW.</div> <div>11. LIGHT FIXTURE AND COMPONENT SPECIFICATIONS MAY BE SUBJECT TO CHANGE BETWEEN THE TIME OF INITIAL SPECIFICATION AND PROCUREMENT DUE TO RAPID ONGOING IMPROVEMENTS TO LED AND LIGHTING TECHNOLOGY.</div> <div>12. SENSOR QUANTITIES AND LOCATIONS ARE TO BE COORDINATED BY ELECTRICAL ENGINEER AND ELECTRICAL CONTRACTOR TO VERIFY PROPER OPERATION AND CODE COMPLIANCE.</div> <div>13. GENERAL CONTRACTOR TO PROVIDE ADDITIONAL MATERIALS MATCHING PRODUCTS INSTALLED FOR ATTIC STOCK. MATERIALS SHALL BE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND CLEARLY LABELLED FOR IDENTIFICATION.</div>																						
AIM & ADJUST REQUIREMENTS																						
<div>1. AIM AND ADJUST WILL TAKE PLACE AFTER ALL PROJECT AMENITIES HAVE BEEN INSTALLED AND LIGHTING CONTROL SYSTEM IS FULLY OPERATIONAL. AMENITIES INCLUDE BUT ARE NOT LIMITED TO: ARTWORK, GRAPHICS, SIGNAGE, FURNITURE, MILLWORK, WINDOW TREATMENTS, AND PLANTINGS.</div> <div>2. THE GENERAL CONTRACTOR MUST NOTIFY LUCIFORMA AND ARCHITECT A MINIMUM OF (2) WEEKS PRIOR TO AIM AND ADJUST. (3) WEEKS NOTICE WILL BE REQUIRED FOR PROJECTS REQUIRING MORE THAN (2) HOURS OF TRAVEL FROM NEW YORK CITY.</div> <div>3. ELECTRICAL CONTRACTOR TO PROVIDE LABOR AND EQUIPMENT FOR THE ADJUSTMENT OF ALL LIGHT FIXTURES AT THE DIRECTION OF THE LIGHTING DESIGNER. ADJUSTMENTS MAY INCLUDE RELAMPING FIXTURES, CHANGING FIXTURE ACCESSORIES AND LENSES, RELOCATING LIGHT FIXTURES WITH FLEXIBLE MOUNTINGS.</div> <div>4. AS AIM AND ADJUST IS COMPLETED, ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR TIGHTENING AND LOCKING ALL ADJUSTABLE COMPONENTS.</div> <div>5. WHEN POSSIBLE, AIM AND ADJUST SHALL TAKE PLACE DURING TYPICAL WORKING HOURS. FOR SPACES WITH SIGNIFICANT DAYLIGHT IMPACT, AIM AND ADJUST SHALL TAKE PLACE AFTER DUSK AT THE DIRECTION OF LUCIFORMA.</div> <div>6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LADDERS, LIFTS, POWER CORDS, HAND TOOLS, HEAT RESISTANT GLOVES, AND ANY OTHER SUPPLIES NECESSARY FOR THE AIMING AND ADJUSTING OF LIGHT FIXTURES.</div>																						

NOT FOR CONSTRUCTION

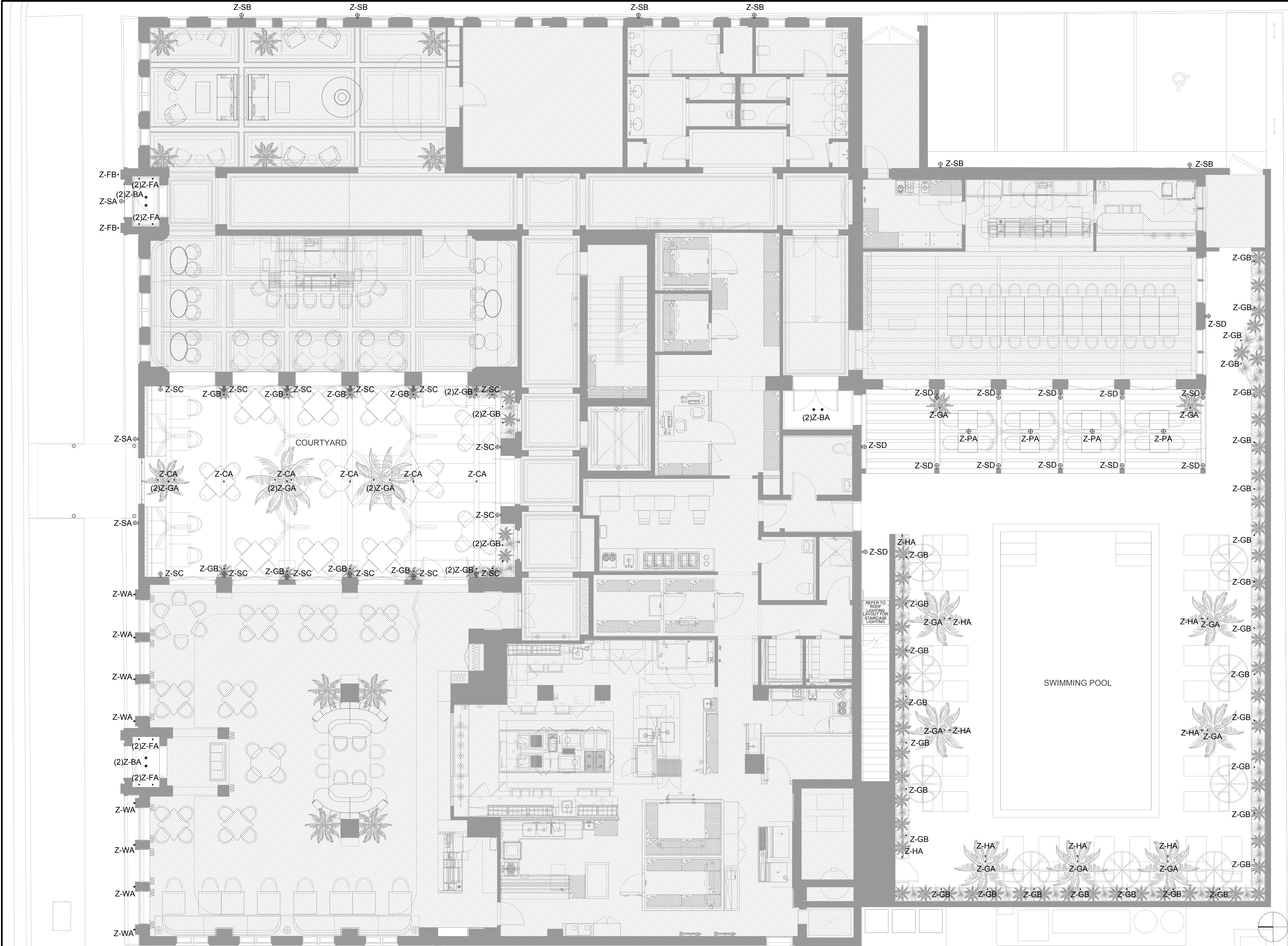
THE VINETA HOTEL		
PALM BEACH, FLORIDA		
LIGHTING DESIGNER		
<div>L U C I F O R M A</div> <div>1216 Broadway, 2nd Floor #1024 New York, NY 10001</div> <div>p: +1 646.883.4151 e: studio@luciforma.com www.luciforma.com</div>		
INTERIOR DESIGNER		
<div>MLINARIC, HENRY &amp; ZERVUDACHI</div> <div>38 Bourne St London SW1W 8JA, UK</div> <div>p: +44 (0) 20 7730 9072</div>		
ARCHITECT		
<div>SPINA OROURKE</div> <div>285 Banyan Blvd West Palm Beach Florida 33401</div> <div>p: 561.684.6844</div>		
REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: N/A		
SHEET NAME		
LIGHTING GENERAL NOTES		
SHEET NUMBER		
LT-001		
<small>FOR INTERNAL REVIEW PURPOSES ONLY   I. NOT FOR CONSTRUCTION ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA. © 2023 LUCIFORMA</small>		

EXTERIOR ARCHITECTURAL LIGHT FIXTURE SCHEDULE							
TYPE	SYMBOL	IMAGE	FIXTURE DESCRIPTION	LIGHT SOURCE CCT	FIXTURE WATTAGE	VOLTAGE / CURRENT	LOCATION
Z-BA	●		EXTERIOR RATED, DIMMABLE DOWNLIGHT WITH MEDIUM FLOOD OPTIC TO PROVIDE GENERAL LIGHTING. FIXTURE TO BE OUTFITTED WITH HONEYCOMB LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	13 W	120 V	GROUND FLOOR STREET SIDE & POOL SIDE ENTRY VESTIBULE CEILINGS
Z-CA	◦		EXTERIOR RATED, DIMMABLE, CEILING BEAM MOUNTED, DOWNLIGHT WITH MEDIUM FLOOD OPTIC TO PROVIDE GENERAL LIGHTING. FIXTURE TO BE OUTFITTED WITH SNOOT (NOT SHOWN) AND HONEYCOMB LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	5 W	24V	GROUND FLOOR COURTYARD CEILING BEAMS
Z-FA	◦		EXTERIOR RATED, DIMMABLE IN-GRADE UPLIGHT FIXTURE WITH ELLIPTICAL OPTIC TO PROVIDE WALL ACCENT UPLIGHTING. FIXTURE TO BE OUTFITTED WITH ANTI-GLARE LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2 W	24V	GROUND FLOOR STREET SIDE ENTRY VESTIBULE FLOORS
Z-FB	◦		EXTERIOR RATED, DIMMABLE IN-GRADE UPLIGHT FIXTURE WITH NARROW OPTIC TO PROVIDE MAIN ENTRY ENGAGED COLUMN ACCENT UPLIGHTING. FIXTURE TO BE OUTFITTED WITH ANTI-GLARE LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2 W	24V	GROUND FLOOR MAIN ENTRY PAVEMENT
Z-GA	◦		EXTERIOR RATED, DIMMABLE, STAKE MOUNTED, ADJUSTABLE UPLIGHT FIXTURE WITH NARROW OPTIC TO PROVIDE PLANT UPLIGHTING. FIXTURE TO BE OUTFITTED WITH SNOOT (NOT SHOWN) AND HONEYCOMB LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2.6 W	24V	GROUND FLOOR COURTYARD AND SWIMMING POOL PLANTERS
Z-GB	◦		EXTERIOR RATED, DIMMABLE, STAKE MOUNTED, ADJUSTABLE UPLIGHT FIXTURE WITH MEDIUM FLOOD OPTIC TO PROVIDE PLANT ACCENT LIGHTING. FIXTURE TO BE OUTFITTED WITH SNOOT (NOT SHOWN) AND HONEYCOMB LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2.6 W	24V	GROUND FLOOR COURTYARD AND SWIMMING POOL PLANTERS
Z-HA	8		EXTERIOR RATED, DIMMABLE, STAKE MOUNTED, ADJUSTABLE PATH LIGHT FIXTURE WITH MEDIUM FLOOD OPTIC TO PROVIDE PATH LIGHTING. FIXTURE TO BE OUTFITTED WITH SNOOT (NOT SHOWN) TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2.6 W	24V	GROUND FLOOR SWIMMING POOL PLANTERS
Z-LA	-----		EXTERIOR RATED, DIMMABLE, SURFACE MOUNTED, LINEAR LIGHT FIXTURE WITH DIFFUSE LENS TO PROVIDE UPLIGHT GLOW.	INTEGRAL LED 3000K	3 W/FT	24V	GROUND FLOOR STREET ENTRANCE DOOR TRANSOM
Z-WA	⌞		EXTERIOR RATED, DIMMABLE, WALL MOUNTED, UPLIGHT FIXTURE WITH NARROW OPTIC TO PROVIDE ENGAGED COLUMN ACCENT UPLIGHTING. FIXTURE TO BE OUTFITTED WITH SNOOT (NOT SHOWN) AND HONEYCOMB LOUVER TO SHIELD LIGHT SOURCE AND MINIMIZE GLARE.	INTEGRAL LED 3000K	2.6 W	24V	GROUND FLOOR WEST FACADE ENGAGED COLUMNS
Z-WB	⌞		EXTERIOR RATED, DIMMABLE, WALL MOUNTED, STEP LIGHT TO PROVIDE PATH LIGHTING.	INTEGRAL LED 3000K	2.6 W	700 mA	POOL SIDE STAIRCASE
Z-WC	⌞		EXTERIOR RATED, DIMMABLE, WALL MOUNTED, UPLIGHT FIXTURE WITH WIDE FLOOD OPTIC TO PROVIDE UPLIGHTING.	INTEGRAL LED 3000K	5 W	24V	WEST FACADE STAIRWELLS & ROOF TOWER

EXTERIOR DECORATIVE LIGHT FIXTURE SCHEDULE							
Z-PA	⊕		EXTERIOR RATED, DECORATIVE PENDANT.	LED BULB 2700K	16 W	120V	GROUND FLOOR POOL TRELLIS BEAMS
Z-SA	⊕		EXTERIOR RATED, DECORATIVE SCONCE.	LED BULB 2700K	12 W	120V	GROUND FLOOR WEST FACADE
Z-SB	⊕		EXTERIOR RATED, DECORATIVE SCONCE.	LED BULB 2700K	9 W	120V	GROUND FLOOR NORTH FACADE
Z-SC	⊕		EXTERIOR RATED, DECORATIVE SCONCE.	LED BULB 2700K	9 W	120V	GROUND FLOOR COURTYARD WALLS
Z-SD	⊕		EXTERIOR RATED, DECORATIVE SCONCE.	LED BULB 2700K	9 W	120V	GROUND FLOOR POOL WALLS AND TRELLIS COLUMNS
FINISHES TO BE DETERMINED							

NOT FOR CONSTRUCTION

THE VINETA HOTEL		
PALM BEACH, FLORIDA		
LIGHTING DESIGNER		
L U C I F O R M A 1216 Broadway, 2nd Floor #1024 New York, NY 10001  p: +1 646.883.4151 e: studio@luciforma.com www.luciforma.com		
INTERIOR DESIGNER		
MLINARIC, HENRY & ZERVUDACHI  38 Bourne St London SW1W 8JA, UK  p: +44 (0) 20 7730 9072		
ARCHITECT		
SPINA OROURKE  285 Banyan Blvd West Palm Beach Florida 33401  p: 561.684.6844		
REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: N/A		
SHEET NAME		
EXTERIOR LIGHT FIXTURE SCHEDULE		
SHEET NUMBER		
LT-400		
FOR INTERNAL REVIEW PURPOSES ONLY. NOT FOR CONSTRUCTION. ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA. ©2023 LUCIFORMA		



THE VINETA HOTEL

PALM BEACH, FLORIDA

LIGHTING DESIGNER

LUCIFORMA

1216 Broadway, 2nd Floor #1024  
New York, NY 10001

p: +1 646.883.4151  
e: studio@luciforma.com  
www.luciforma.com

INTERIOR DESIGNER

MLINARIC, HENRY & ZERVUDACHI

38 Bourne St  
London SW1W 8JA, UK

p: +44 (0) 20 7730 9072

ARCHITECT

SPINA OROURKE

285 Banyan Blvd  
West Palm Beach Florida 33401

p: 561.684.6844

REVISIONS

NO.	DATE	ISSUE NAME

ISSUE: LPC SUBMISSION

DATE: 03-31-2023

SCALE: 3/16"=1'-0"

SHEET NAME

EXTERIOR  
GROUND FLOOR  
LIGHTING LAYOUT

SHEET NUMBER

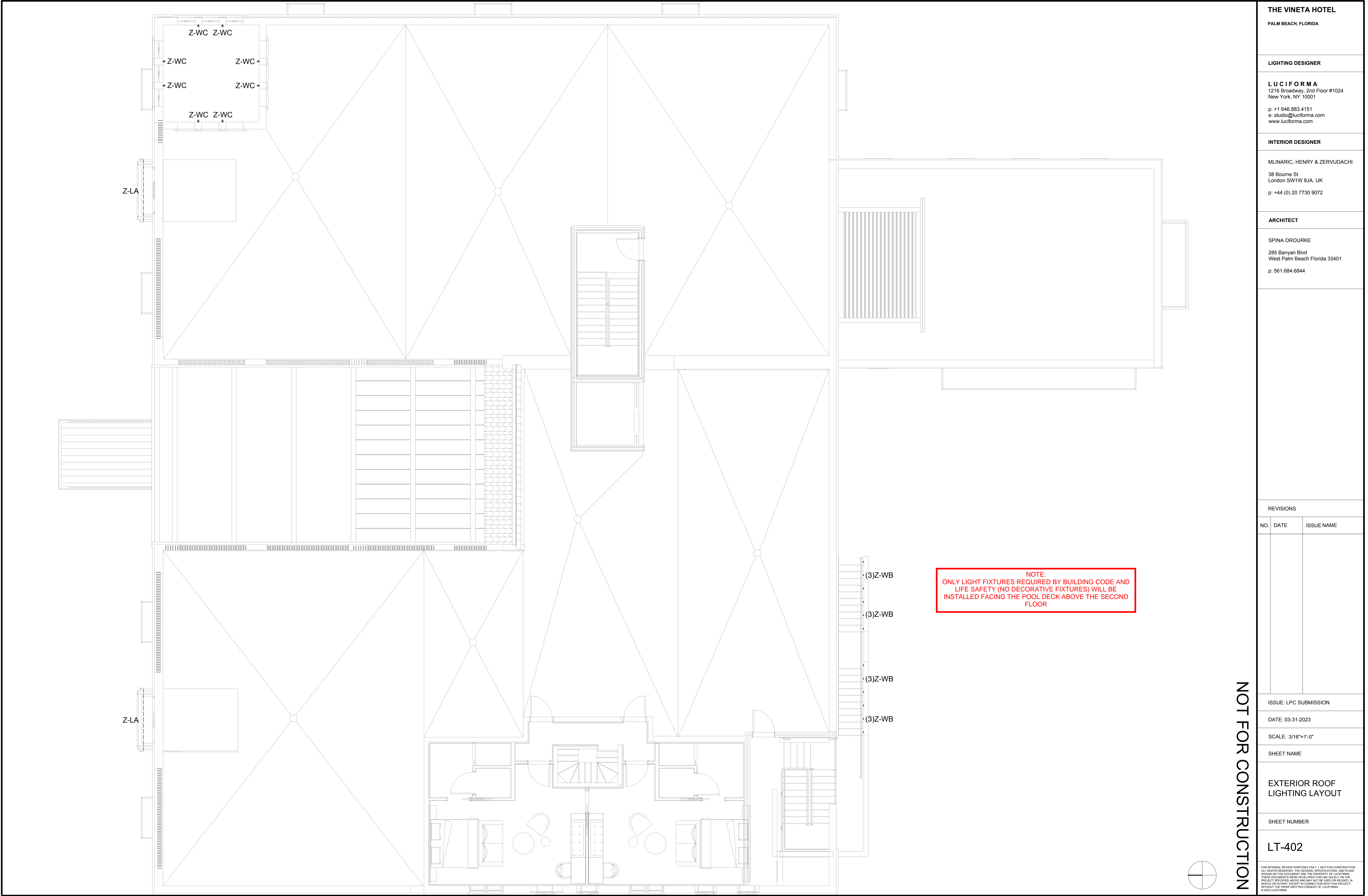
LT-401

FOR INTERNAL REVIEW PURPOSES ONLY. I, NOT FOR CONSTRUCTION.

ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA.

© 2023 LUCIFORMA

NOT FOR CONSTRUCTION



**THE VINETA HOTEL**  
PALM BEACH, FLORIDA

**LIGHTING DESIGNER**  
  
**L U C I F O R M A**  
1216 Broadway, 2nd Floor #1024  
New York, NY 10001  
p: +1 646.883.4151  
e: studio@luciforma.com  
www.luciforma.com

**INTERIOR DESIGNER**  
  
MLINARIC, HENRY & ZERVUDACHI  
38 Bourne St  
London SW1W 8JA, UK  
p: +44 (0) 20 7730 9072

**ARCHITECT**  
  
SPINA OROURKE  
285 Banyan Blvd  
West Palm Beach Florida 33401  
p: 561.684.6844

REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: 3/16"=1'-0"		
SHEET NAME		
EXTERIOR ROOF LIGHTING LAYOUT		
SHEET NUMBER		
LT-402		
<small>FOR INTERNAL REVIEW PURPOSES ONLY. I. NOT FOR CONSTRUCTION ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT. WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA. © 2023 LUCIFORMA</small>		



**THE VINETA HOTEL**  
PALM BEACH, FLORIDA

**LIGHTING DESIGNER**  
**LUCIFORMA**  
1216 Broadway, 2nd Floor #1024  
New York, NY 10001  
p: +1 646.883.4151  
e: studio@luciforma.com  
www.luciforma.com

**INTERIOR DESIGNER**  
MLINARIC, HENRY & ZERVUDACHI  
38 Bourne St  
London SW1W 8JA, UK  
p: +44 (0) 20 7730 9072

**ARCHITECT**  
SPINA OROURKE  
285 Banyan Blvd  
West Palm Beach Florida 33401  
p: 561.684.6844

REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: 3/16"=1'-0"		
SHEET NAME		
EXTERIOR WEST FACADE LIGHTING		
SHEET NUMBER		
LT-403		

FOR INTERNAL REVIEW PURPOSES ONLY. NOT FOR CONSTRUCTION.  
ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS  
SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA.  
THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE  
PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN  
WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT,  
WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA.  
© 2023 LUCIFORMA

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

THE VINETA HOTEL		
PALM BEACH, FLORIDA		
LIGHTING DESIGNER		
L U C I F O R M A 1216 Broadway, 2nd Floor #1024 New York, NY 10001  p: +1 646.883.4151 e: studio@luciforma.com www.luciforma.com		
INTERIOR DESIGNER		
MLINARIC, HENRY & ZERVUDACHI  38 Bourne St London SW1W 8JA, UK  p: +44 (0) 20 7730 9072		
ARCHITECT		
SPINA OROURKE  285 Banyan Blvd West Palm Beach Florida 33401  p: 561.684.6844		
REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: 3/16"=1'-0"		
SHEET NAME		
EXTERIOR NORTH FACADE LIGHTING		
SHEET NUMBER		
LT-404		
FOR INTERNAL REVIEW PURPOSES ONLY.   NOT FOR CONSTRUCTION ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA. © 2023 LUCIFORMA		



**THE VINETA HOTEL**  
PALM BEACH, FLORIDA

**LIGHTING DESIGNER**

**LUCIFORMA**  
1216 Broadway, 2nd Floor #1024  
New York, NY 10001  
p: +1 646.883.4151  
e: studio@luciforma.com  
www.luciforma.com

**INTERIOR DESIGNER**

MLINARIC, HENRY & ZERVUDACHI  
38 Bourne St  
London SW1W 8JA, UK  
p: +44 (0) 20 7730 9072

**ARCHITECT**

SPINA OROURKE  
285 Banyan Blvd  
West Palm Beach Florida 33401  
p: 561.684.6844

REVISIONS		
NO.	DATE	ISSUE NAME
ISSUE: LPC SUBMISSION		
DATE: 03-31-2023		
SCALE: 3/16"=1'-0"		
SHEET NAME		
EXTERIOR NORTH FACADE LIGHTING		
SHEET NUMBER		
LT-404		
<small>FOR INTERNAL REVIEW PURPOSES ONLY. NOT FOR CONSTRUCTION. ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA. THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF LUCIFORMA. © 2023 LUCIFORMA</small>		

NOT FOR CONSTRUCTION

THE VINETA HOTEL

PALM BEACH, FLORIDA

LIGHTING DESIGNER

**LUCIFORMA**  
1216 Broadway, 2nd Floor #1024  
New York, NY 10001  
p: +1 646.883.4151  
e: studio@luciforma.com  
www.luciforma.com

INTERIOR DESIGNER

MLINARIC, HENRY & ZERVUDACHI  
38 Bourne St  
London SW1W 8JA, UK  
p: +44 (0) 20 7730 9072

ARCHITECT

SPINA OROURKE  
285 Banyan Blvd  
West Palm Beach Florida 33401  
p: 561.684.6844

REVISIONS

NO.	DATE	ISSUE NAME
-----	------	------------

ISSUE: LPC SUBMISSION

DATE: 03-31-2023

SCALE: 3/20"=1'-0"

SHEET NAME

EXTERIOR  
GROUND FLOOR  
PHOTOMETRICS

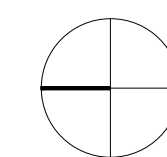
SHEET NUMBER

LT-406

FOR INTERNAL REVIEW PURPOSES ONLY. NOT FOR CONSTRUCTION.  
ALL RIGHTS RESERVED. THE DESIGN, SPECIFICATIONS, AND PLANS  
SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF LUCIFORMA.  
THESE DOCUMENTS WERE DEVELOPED FOR USE SOLELY ON THE  
PROJECT SPECIFIED ABOVE AND MAY NOT BE USED OR REUSED, IN  
WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT.  
©2023 LUCIFORMA

NOT FOR CONSTRUCTION

ALL VALUES ARE IN FOOTCANDLES (fc).  
CALCULATION POINTS ARE TAKEN AT  
GROUND FLOOR LEVEL.





View from NW Corner - Proposed

RENOVATION OF  
**The Vineta Hotel**  
363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE  
EXCLUSIVE USE OF SPINA OROURKE +  
PARTNERS, INC. AND MAY NOT BE  
DUPLICATED, REPRODUCED OR USED IN  
ANY MANNER WITHOUT THE EXPRESS  
WRITTEN CONSENT OF SPINA OROURKE  
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028  
Date: 12.23.2022  
Drawn by: Author  
Project Manager: Checker

EXTERIOR RENDERINGS

**AC-4.7.2**



View from NW Corner - Proposed

RENOVATION OF  
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028  
Date: 12.23.2022  
Drawn by: Author  
Project Manager: Checker

EXTERIOR RENDERINGS

AC-4.7.2



View from SW Corner - Proposed

285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • Fax: 561.684.5594  
spinaorourke.com  
FL LIC # A26202299

**SPINAOROURKE**  
+ PARTNERS  
Architecture • Interior Design  
Kelli M. Spina #A113419



RENOVATION OF  
**The Vineta Hotel**

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE  
EXCLUSIVE USE OF SPINA OROURKE +  
PARTNERS, INC. AND MAY NOT BE  
DUPLICATED, REPRODUCED OR USED IN  
ANY MANNER WITHOUT THE EXPRESS  
WRITTEN CONSENT OF SPINA OROURKE  
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028  
Date: 12.23.2022  
Drawn by: Author  
Project Manager: Checker

EXTERIOR RENDERINGS

**AC-4.7.4**



View from SW Corner - Proposed

285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • Fax: 561.684.5594  
spinaorourke.com  
FL LIC # A26202299

**SPINAOROURKE**  
+ PARTNERS  
Architecture • Interior Design  
Kelli M. Spina #A113419



RENOVATION OF  
**The Vineta Hotel**

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE  
EXCLUSIVE USE OF SPINA OROURKE +  
PARTNERS, INC. AND MAY NOT BE  
DUPLICATED, REPRODUCED OR USED IN  
ANY MANNER WITHOUT THE EXPRESS  
WRITTEN CONSENT OF SPINA OROURKE  
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028  
Date: 12.23.2022  
Drawn by: Author  
Project Manager: Checker

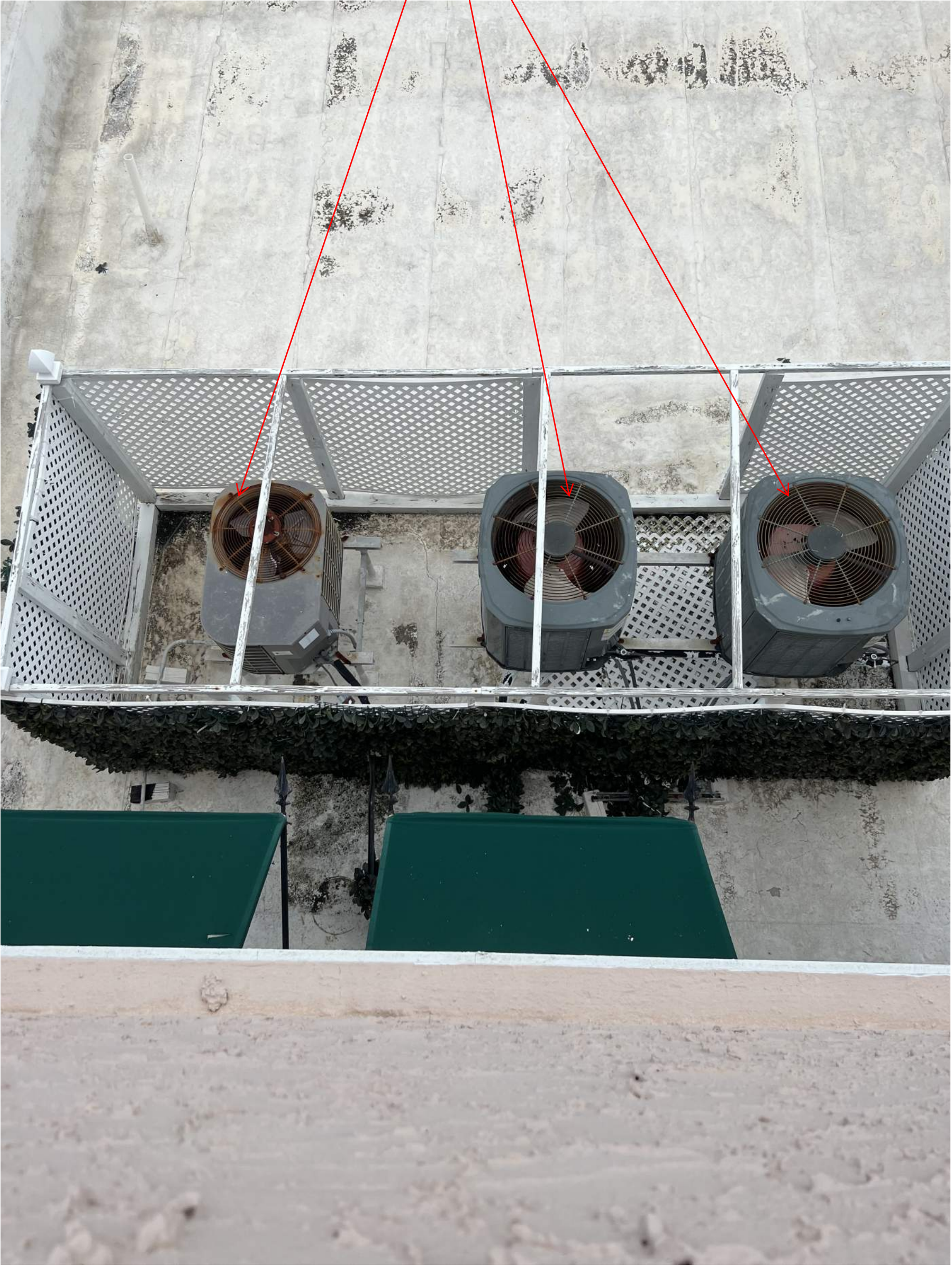
EXTERIOR RENDERINGS

**AC-4.7.4**

An architectural rendering of a large, multi-story building with a Mediterranean or Spanish architectural style. The building is light-colored with a red-tiled roof and a prominent corner tower with arched windows. The ground floor features a large section of the facade covered in green mechanical screen walls with purple flowers. The building is surrounded by palm trees and other tropical vegetation. In the foreground, there is a street with parked cars and a few people walking. The sky is blue with several birds flying. The title 'MECHANICAL SCREEN WALLS' is centered over the image, flanked by two horizontal lines.

# MECHANICAL SCREEN WALLS

EXISTING 54" HIGH  
UNSCREENED  
EQUIPMENT



EXISTING 54" HIGH  
UNSCREENED EQUIPMENT



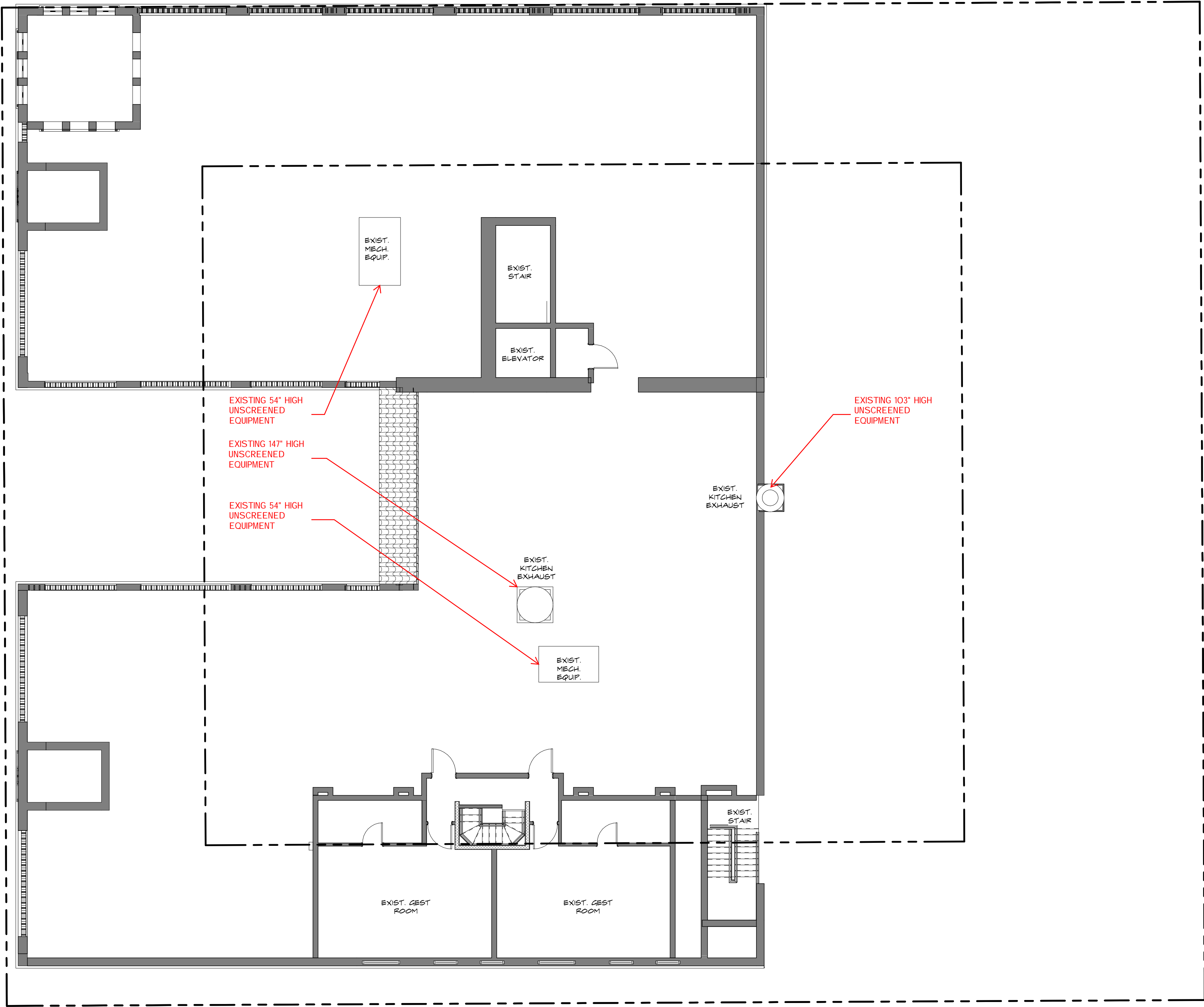
EXISTING 103" HIGH  
UNSCREENED EQUIPMENT

EXISTING 147" HIGH  
UNSCREENED  
EQUIPMENT

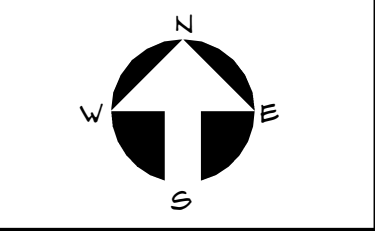


EXISTING 54" HIGH  
UNSCREENED  
EQUIPMENT

1 Existing Fourth Floor & Roof Plan  
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN - FOURTH FLOOR & ROOF PLAN



Project no: 22028  
Date: 10.24.2022  
Drawn by: Author  
Project Manager: Checker

Revisions:

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

RENOVATION OF  
The Vineta Hotel

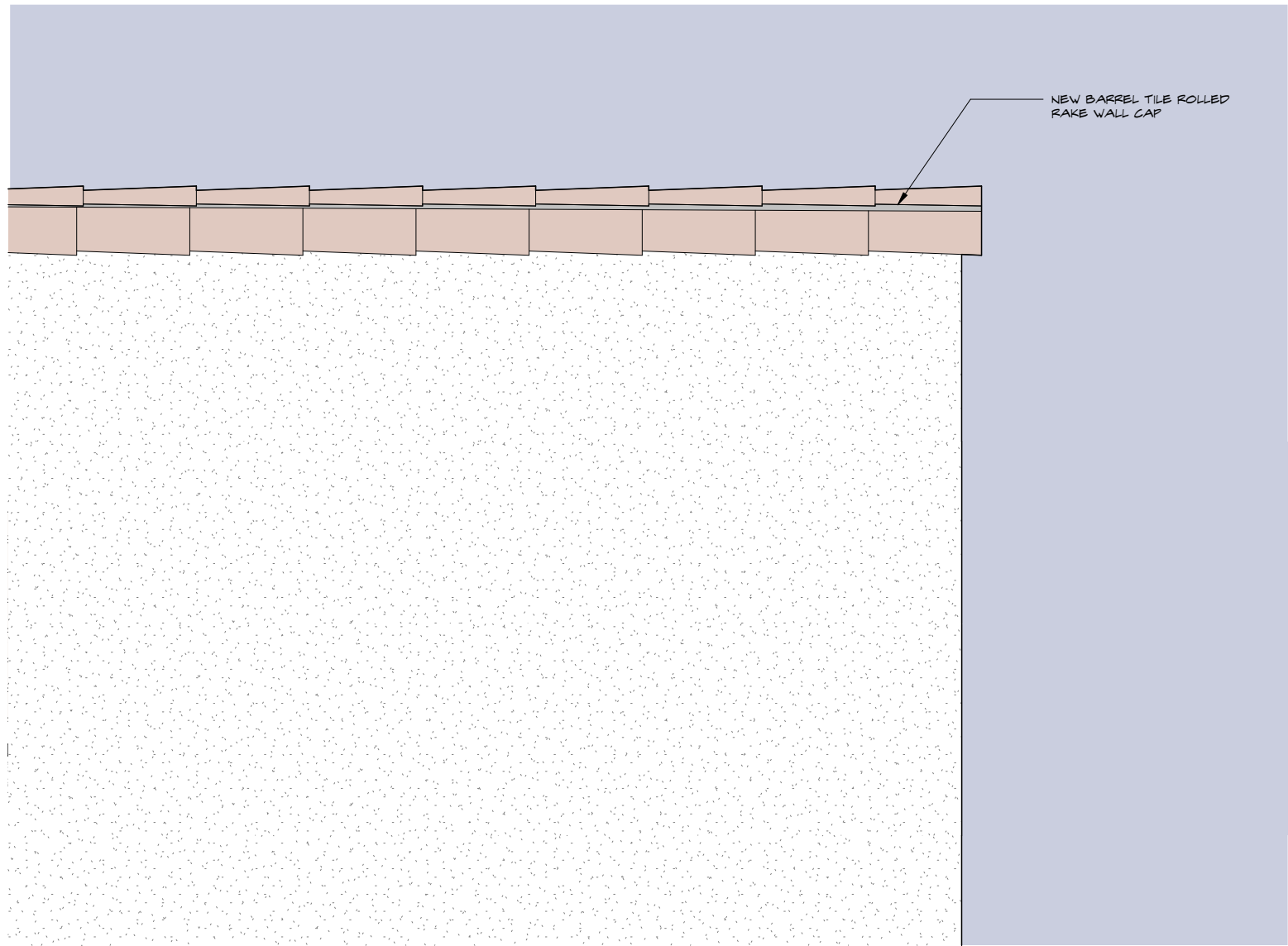
363 Coconut Row, Palm Beach, FL 33480



SPINAOROURKE  
+ PARTNERS  
Architecture • Interior Design  
Kelli M. Spina #ARI3419

285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • Fax: 561.684.5594  
spinaorourke.com  
FL LIC #A26202289

AC-2.4.0

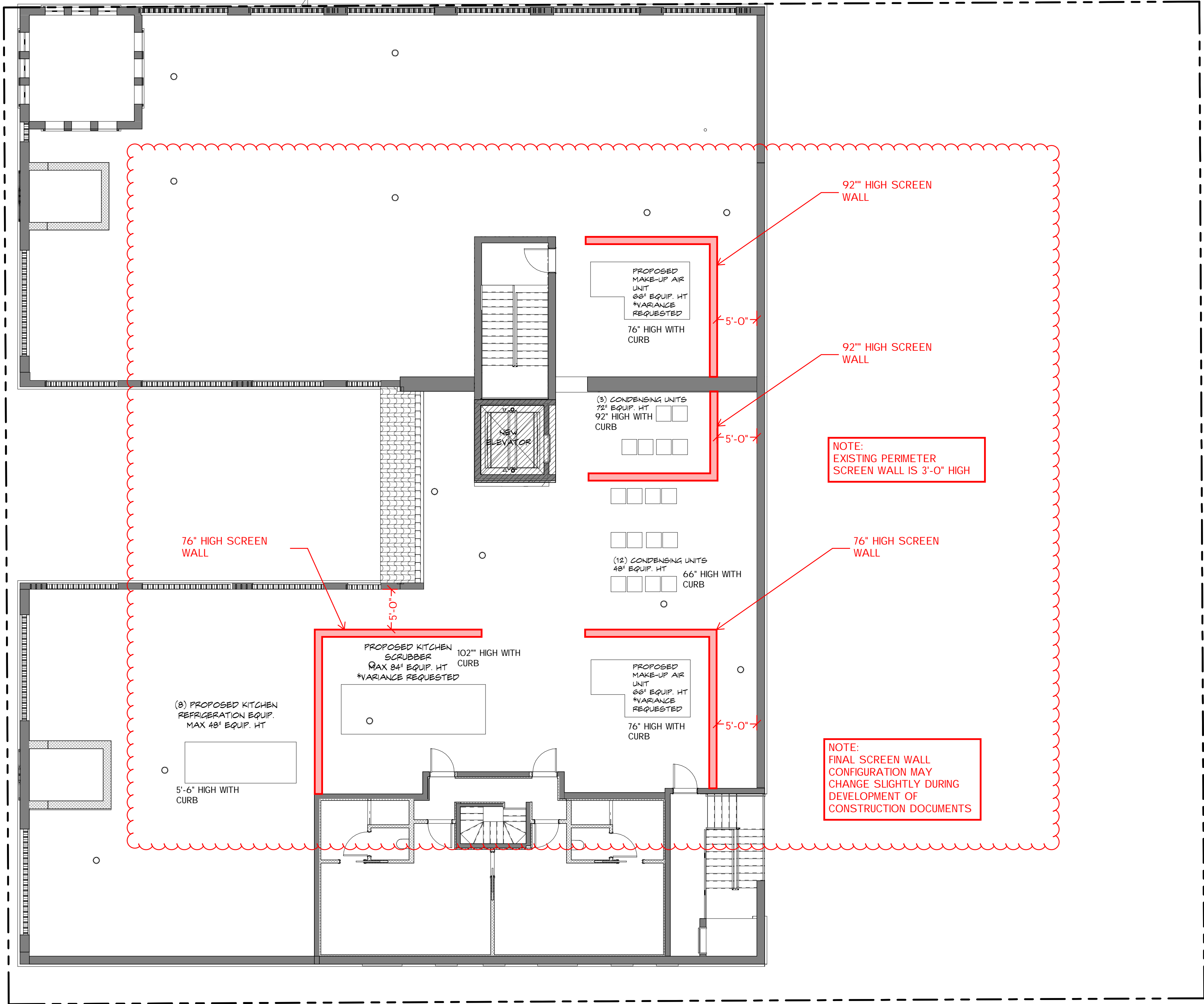


Elevation Detail

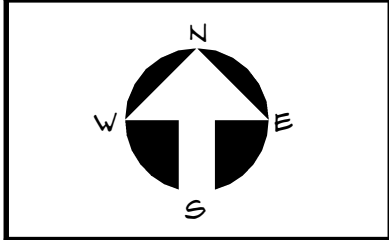


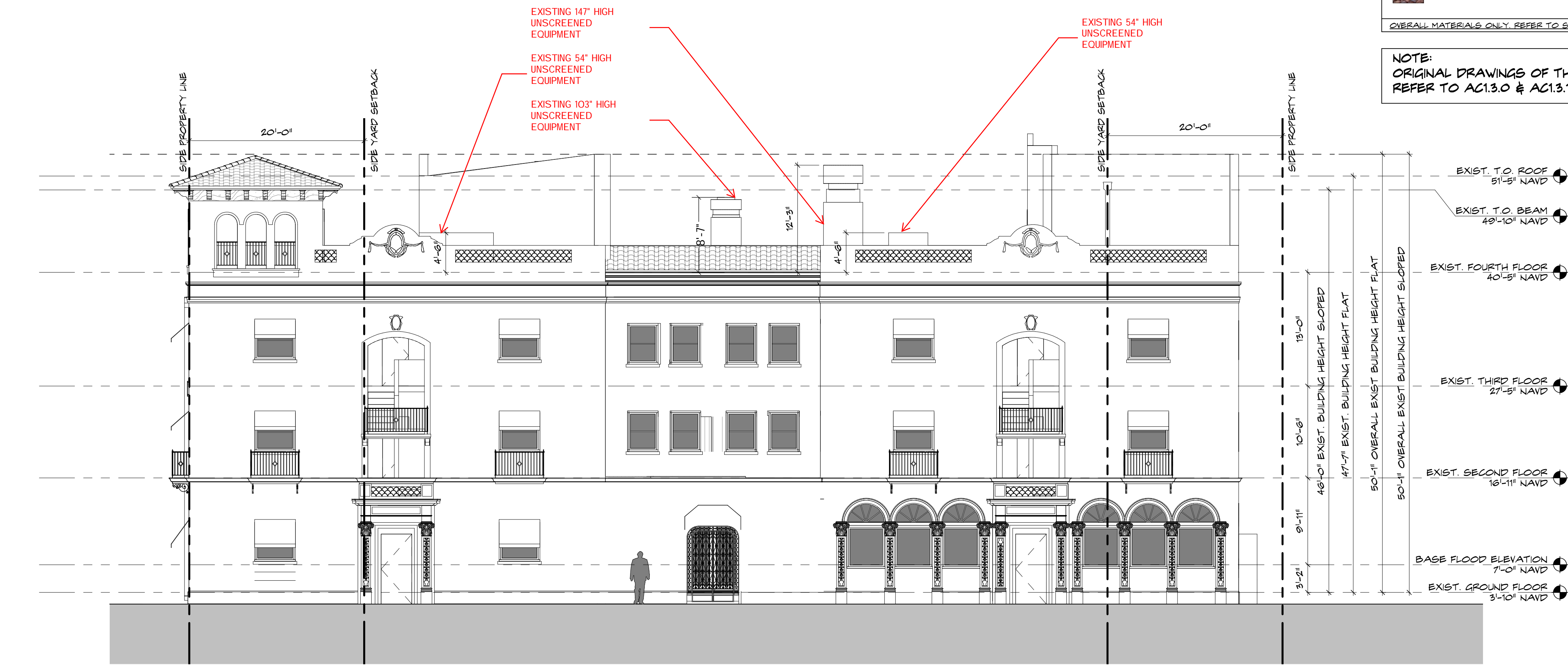
Example Image

ROOM KEY COUNT		
	EXISTING	PROPOSED
SECOND FLOOR	31	20
THIRD FLOOR	28	19
FOURTH FLOOR	2	2
TOTAL	61	41

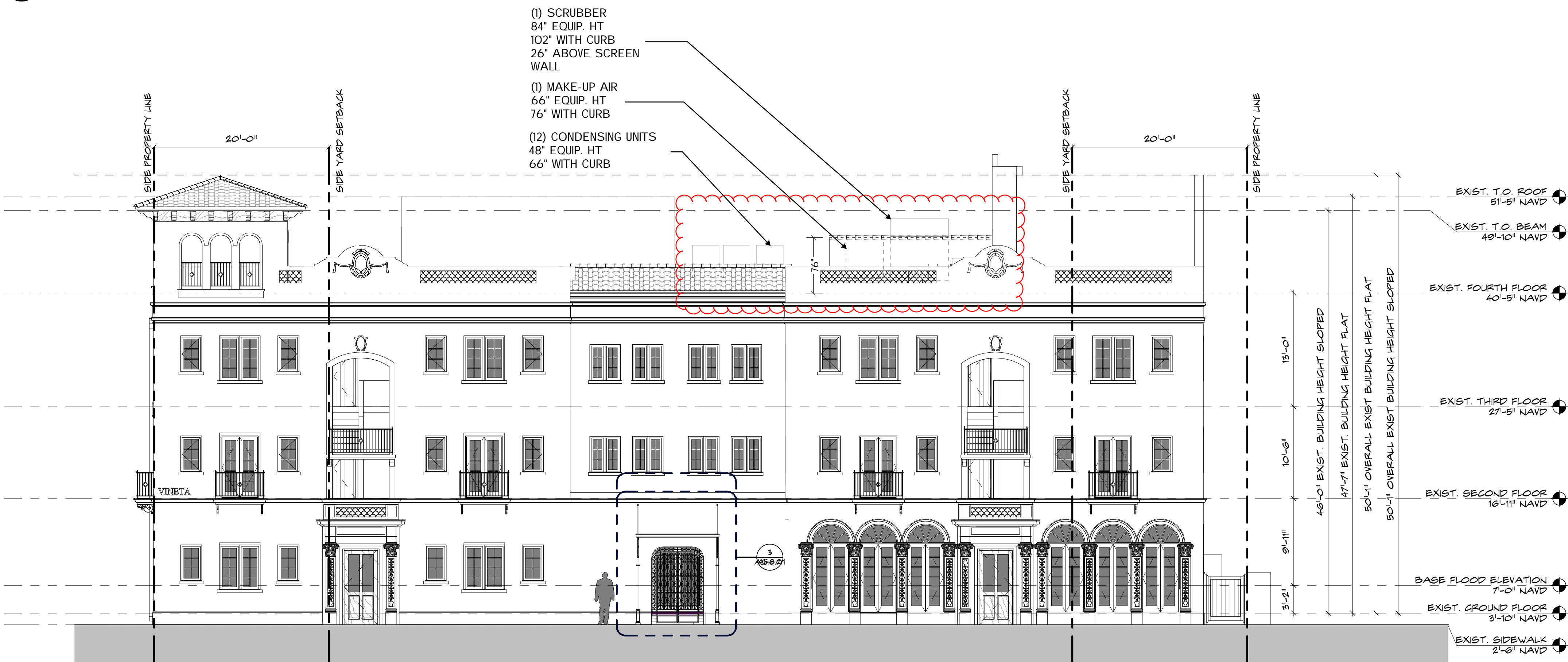


1 Proposed Fourth Floor & Roof Plan  
SCALE: 1/8" = 1'-0"





2 Existing West Elevation  
AC-4.2 SCALE: 1/8" = 1'-0"



1 Proposed West Elevation  
AC-4.2 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TINT: WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY. REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS.			

NOTE:  
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.  
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

EXISTING & PROPOSED WEST ELEVATION

RENOVATION OF  
The Vineta Hotel

363 Cocoanut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE  
EXCLUSIVE USE OF SPINAOROURKE +  
PARTNERS, INC. AND MAY NOT BE  
DUPLICATED, REPRODUCED OR USED IN  
ANY MANNER WITHOUT THE EXPRESS  
WRITTEN CONSENT OF SPINAOROURKE  
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028  
Date: 10.24.2022  
Drawn by: Author  
Project Manager: Checker

--

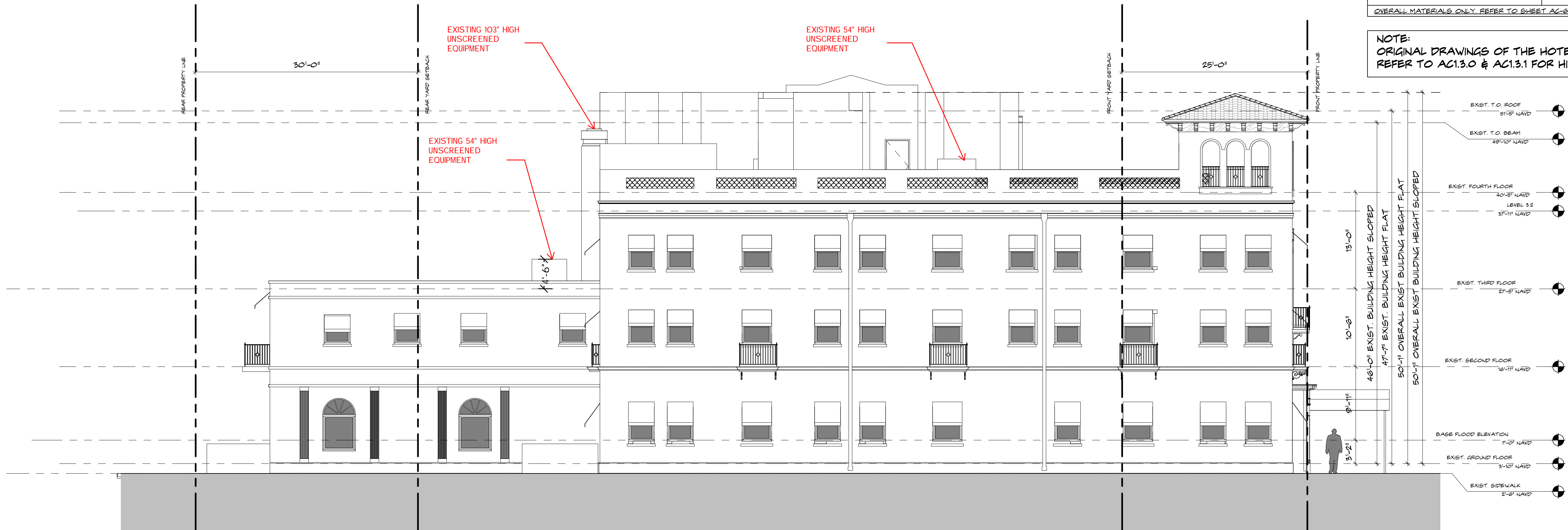
AC-4.2.1







SPINAOROURKE  
+ PARTNERS  
Architecture • Interior Design

Kelith M. Spina #ARI3419

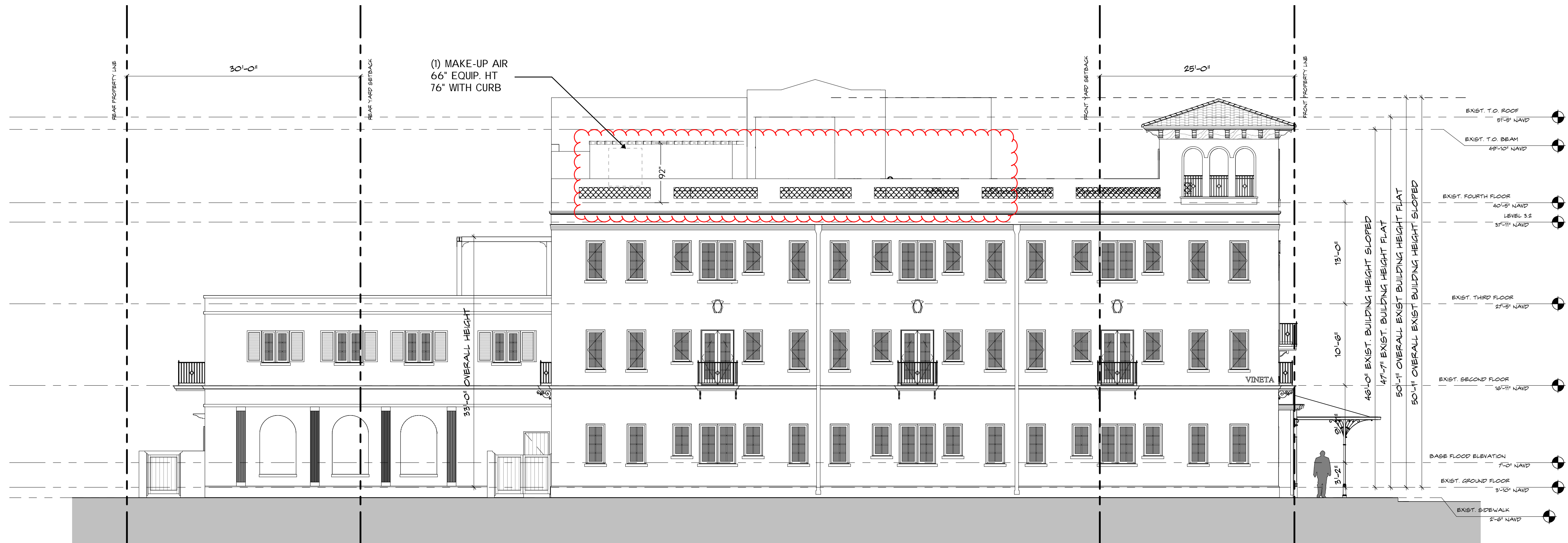
285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • Fax: 561.684.6594  
spinaorourke.com  
FL LIC #A26202299



EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TMDP WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY, STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:  
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.  
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

1  
Existing North Elevation  
SCALE: 1/8" = 1'-0"



2  
Proposed North Elevation  
SCALE: 1/8" = 1'-0"

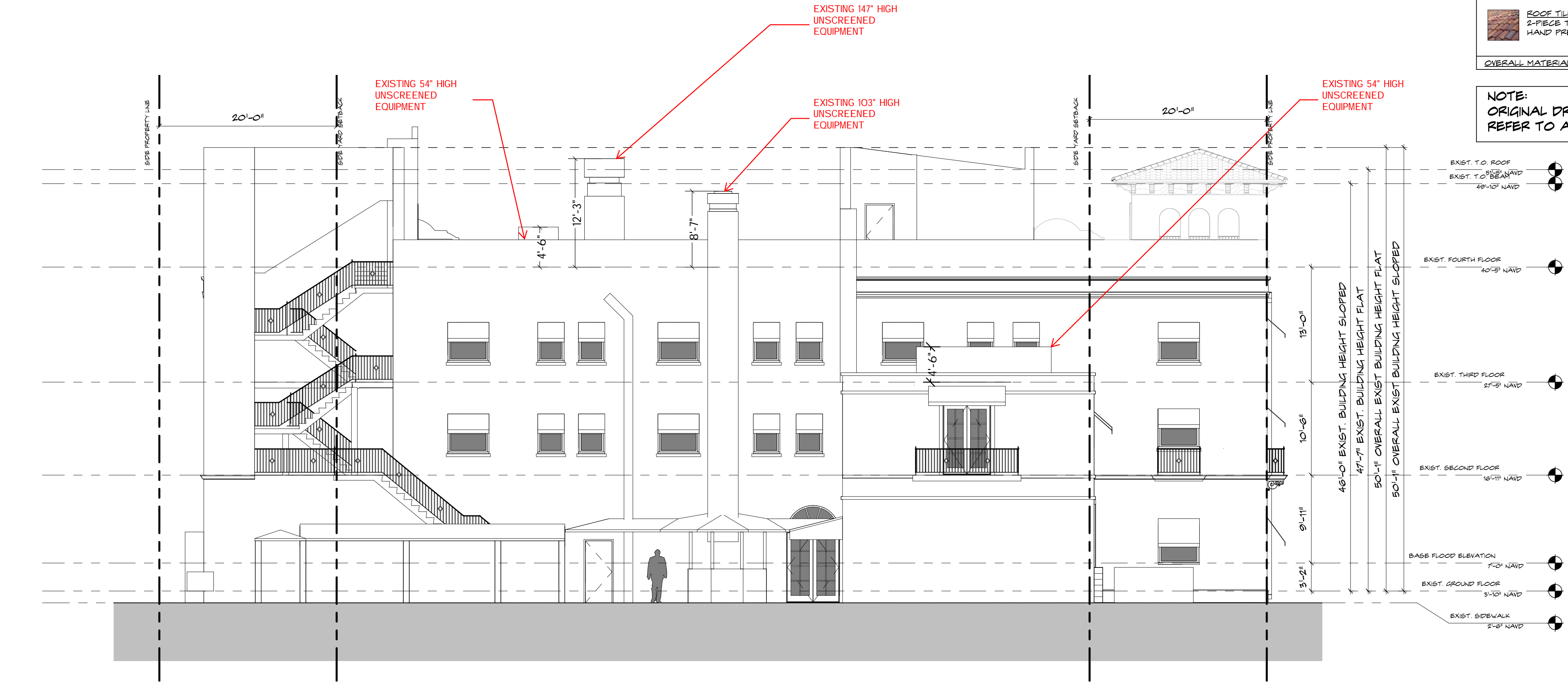


Revisions:

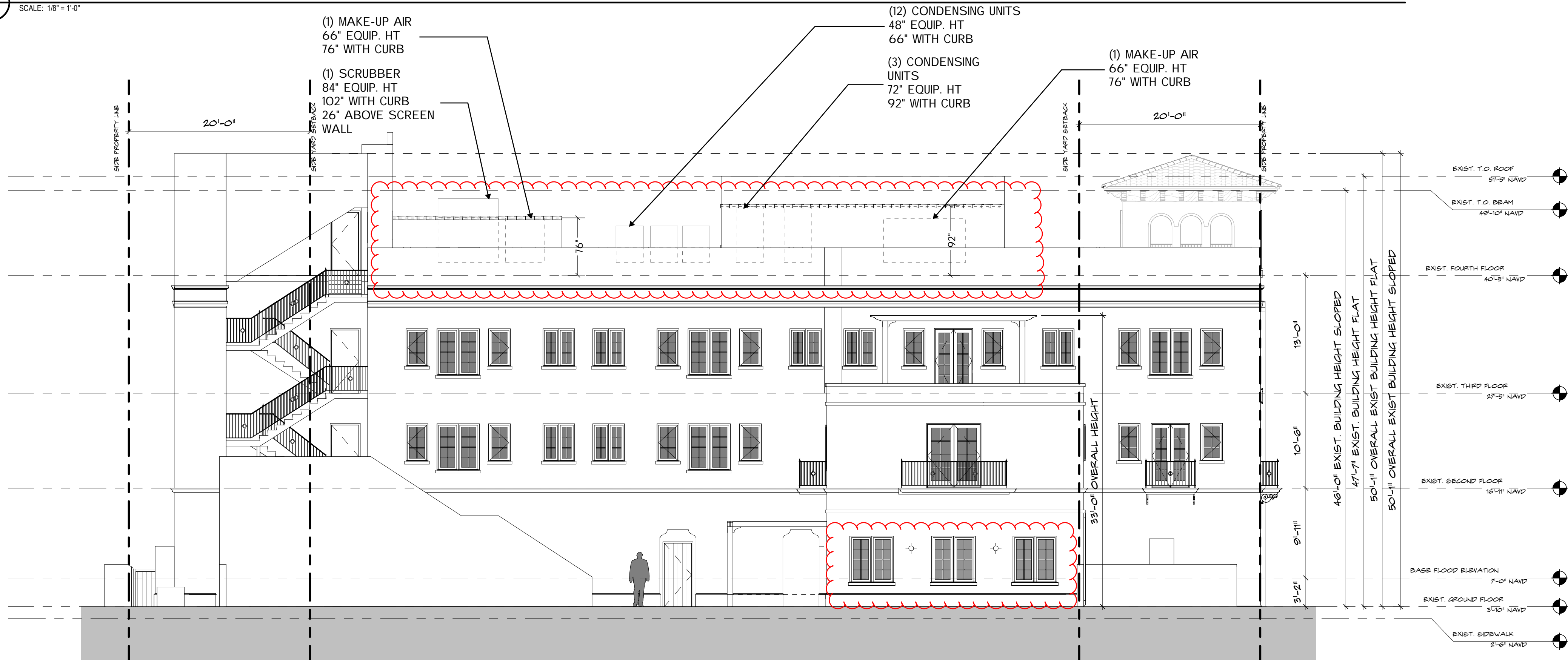
Project no: 22028 Date: 10.24.2022 Drawn by: Author Project Manager- Checker
---

--

AC-4.3.1
----------



1  
AC.4.1  
Existing East Elevation  
SCALE: 1/8" = 1'-0"



2  
AC.4.1  
Proposed East Elevation  
SCALE: 1/8" = 1'-0"

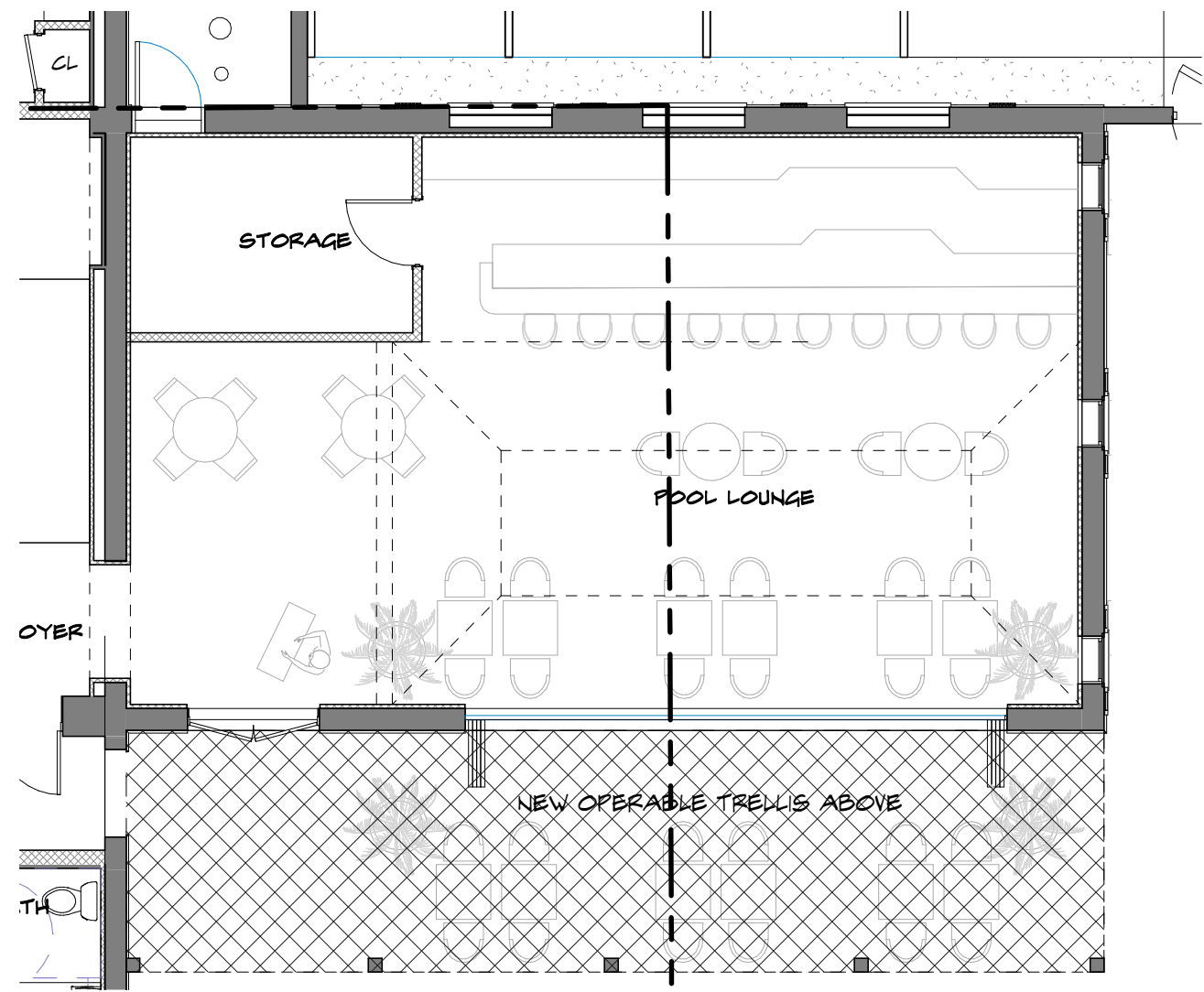
EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TMIP WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.10 FOR ALL EXTERIOR MATERIALS			

NOTE:  
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.  
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

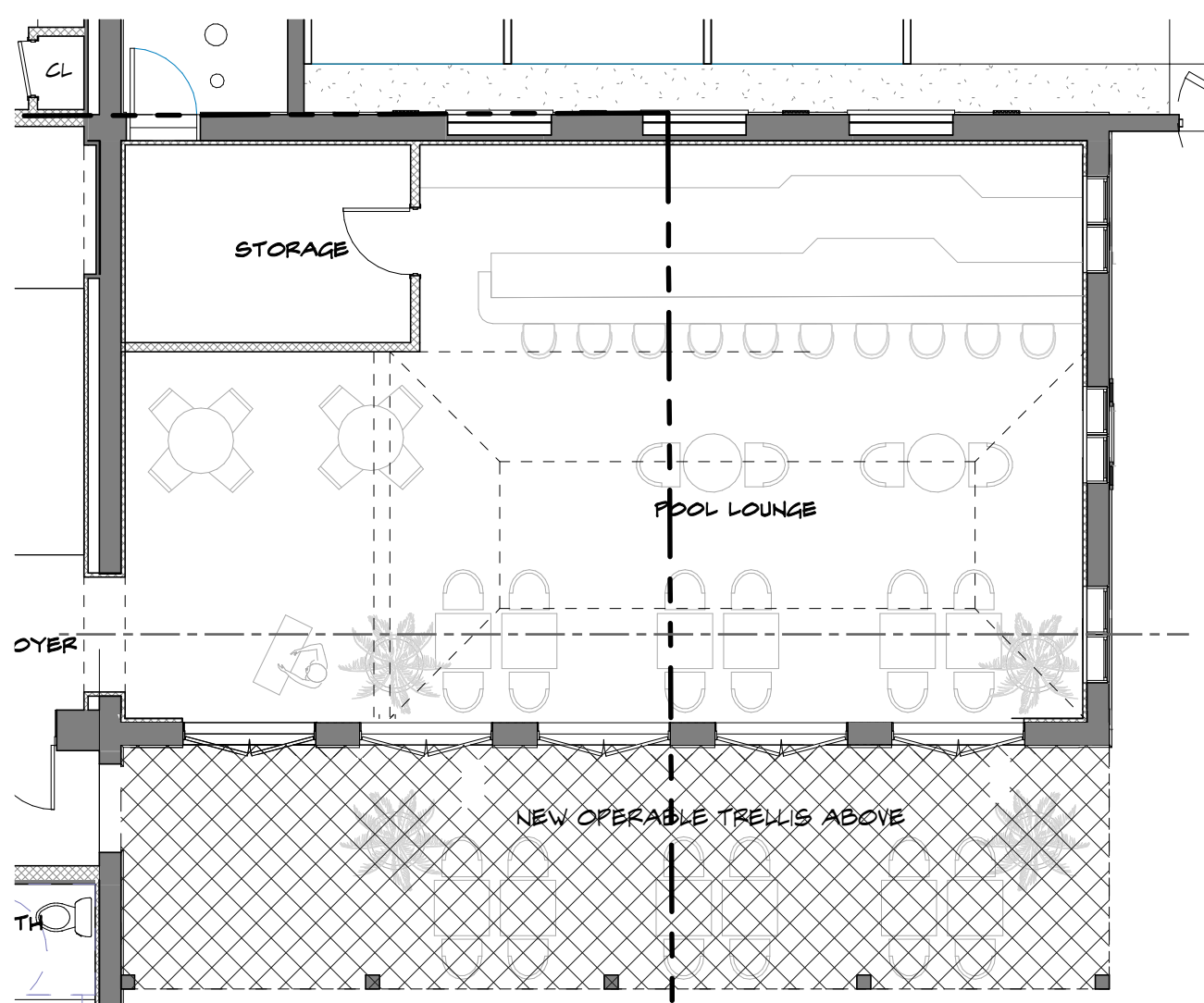


An architectural rendering of a large, multi-story white building with a Mediterranean or Spanish architectural style. The building features a prominent corner tower with arched windows and a red-tiled roof. The ground floor is partially covered in lush greenery and purple flowers. Several palm trees are planted around the building, and a few people are walking on the sidewalk. In the foreground, there are parked cars and a street. The sky is blue with a few birds flying. A large, bold title is overlaid on the center of the image, flanked by two horizontal lines.

# POOL LOUNGE FENESTRATION



PREVIOUSLY APPROVED FLOOR PLAN - NANAWALL



PROPOSED FLOOR PLAN - (5) FRENCH DOORS



PREVIOUSLY APPROVED SOUTH ELEVATION - NANAWALL



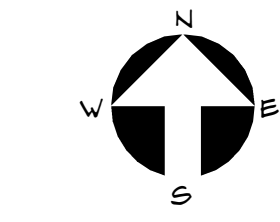
PROPOSED SOUTH ELEVATION - (5) FRENCH DOORS



PREVIOUSLY APPROVED EAST ELEVATION - SINGLE WINDOWS



PROPOSED EAST ELEVATION - DOUBLE WINDOWS



Project no: 22028  
Date: 10.24.2022  
Drawn by: Author  
Project Manager: Checker

Revisions:

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA CROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA CROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

RENOVATION OF  
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480



SPINAOROURKE  
+ PARTNERS  
Architecture • Interior Design  
Kenneth M. Spina #ARI13419

285 Banyan Blvd  
West Palm Beach, Florida 33401  
561.684.6844 • Fax: 561.684.6594  
spinaourke.com  
FL LIC #A26202299



---

# THANK YOU

---