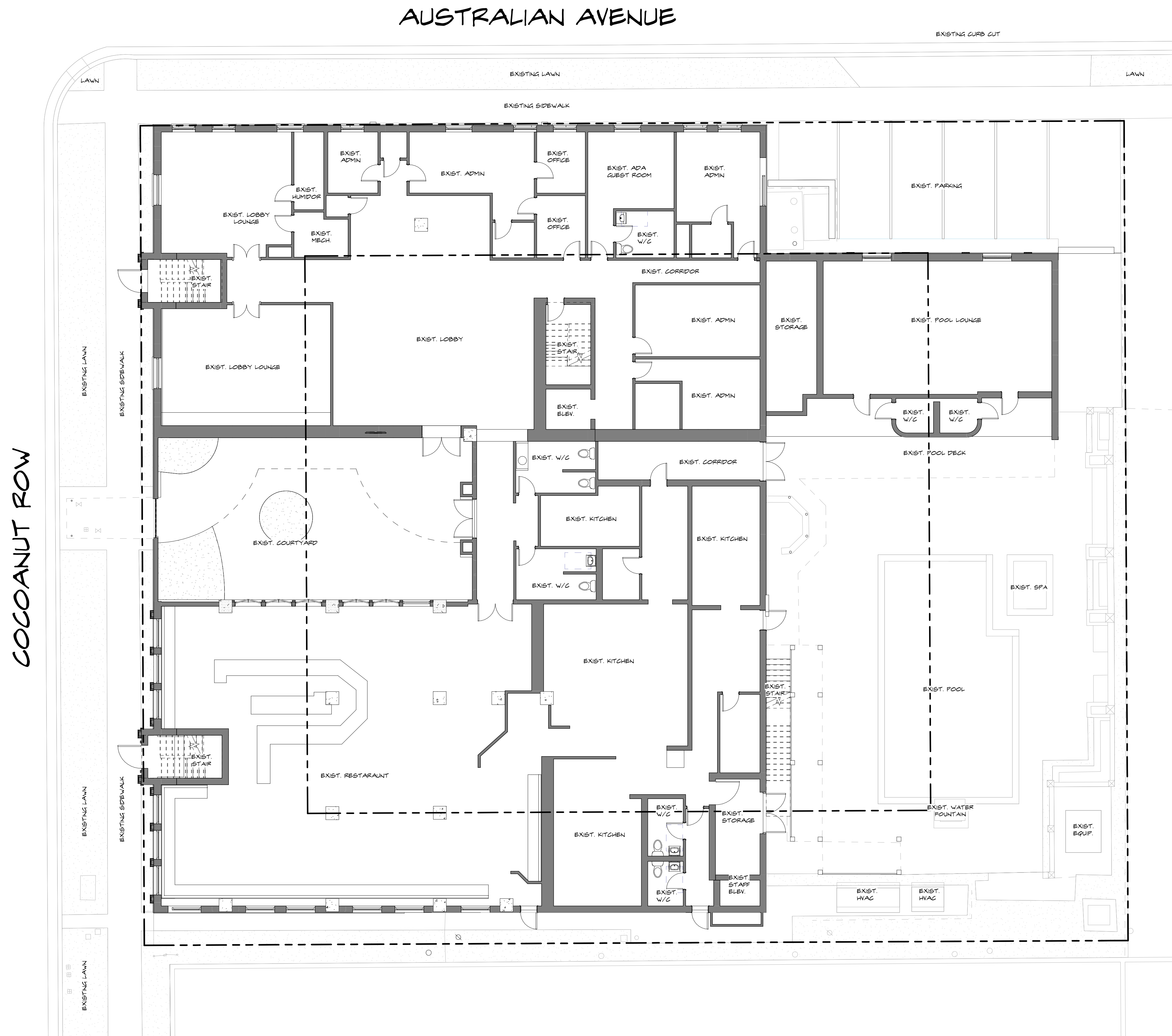
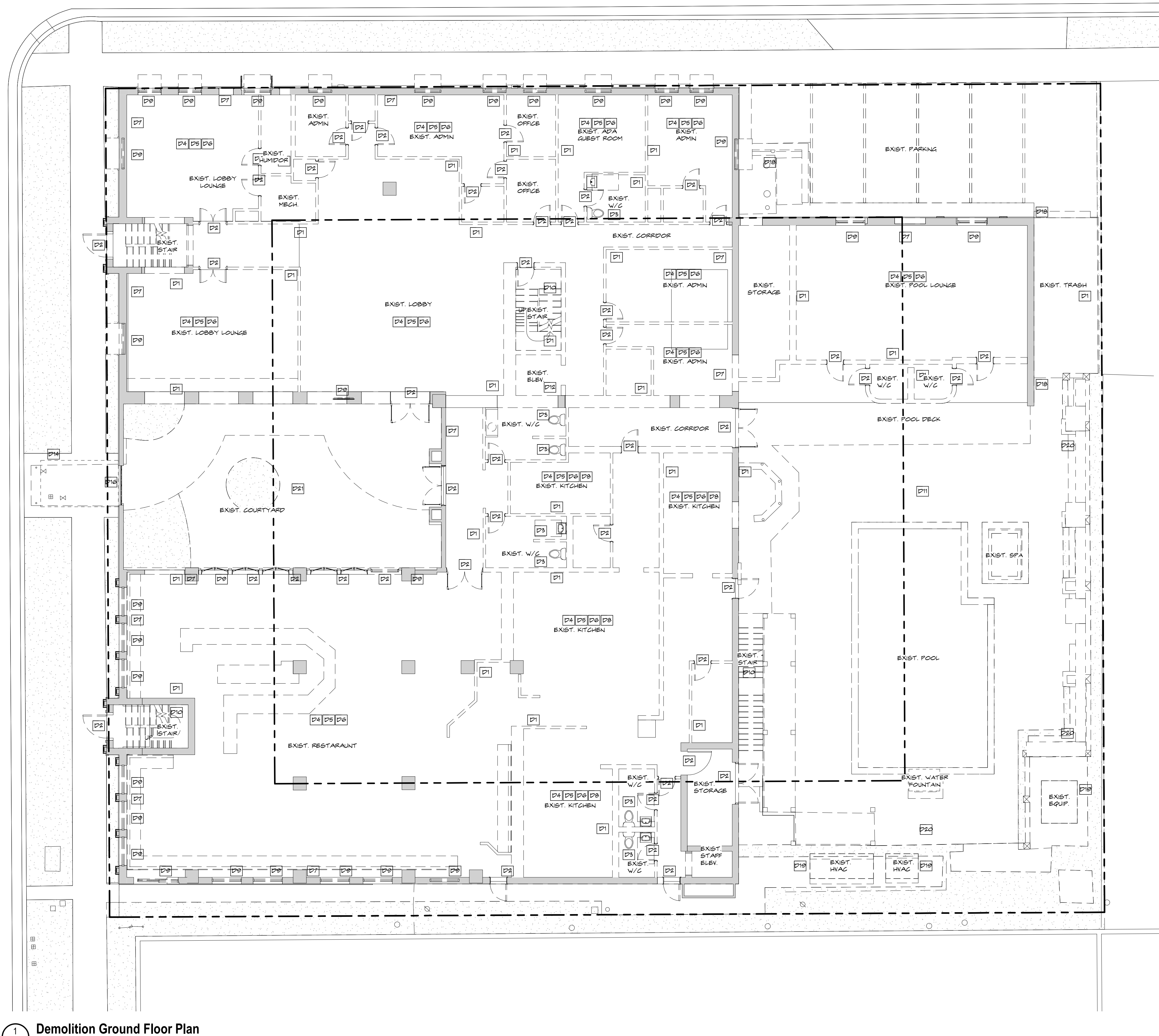




1 Overall Existing Ground Floor Plan
AC-2.1.0 SCALE: 1/8" = 1'-0"



1 Demolition Ground Floor Plan
SCALE: 1/8" = 1'-0"

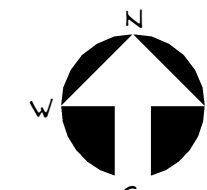
DEMOLITION LEGEND

- EXISTING ELEMENT TO REMAIN
ELEMENT TO BE REMOVED

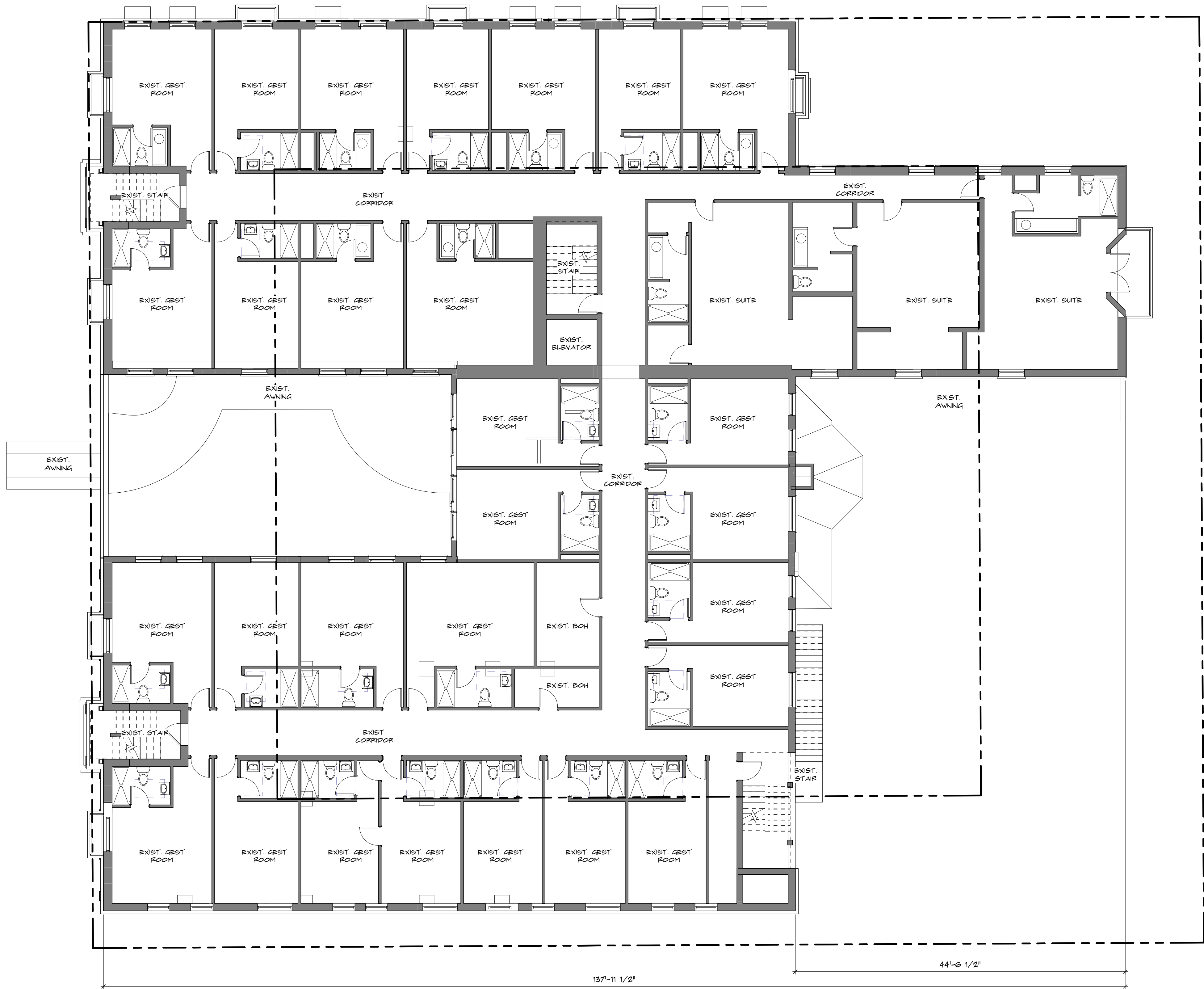
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- D2 REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ACCESSORIES.
- D3 REMOVE ALL EXISTING PLUMBING FIXTURES AND RELATED ACCESSORIES.
- D4 REMOVE ALL INTERIOR FINISHES, ALL MILLWORK, ELECTRICAL FIXTURES AND ALL RELATED ACCESSORIES.
- D5 REMOVE EXISTING AC EQUIPMENT, DUCTWORK AND ALL RELATED ACCESSORIES. SEE MECHANICAL DEMOLITION DRAWINGS.
- D6 REMOVE ALL EXISTING CEILING AND CEILING FIXTURES.
- D7 REMOVE EXIST. WALL AS REQUIRED BY NEW OPENING.
- D8 REMOVE ALL KITCHEN EQUIPMENT.
- D9 REMOVE EXISTING WINDOW, FRAME, HARDWARE, ALL RELATED ACCESSORIES, AND SILLS.
- D10 REMOVE EXISTING CONCRETE STAIR.
- D11 REMOVE EXISTING POOL DECK, WOOD PERGOLA, WATER FOUNTAIN, POOL AND SPA.
- D12 REMOVE EXISTING ELEVATOR.
- D13 REMOVE EXISTING FLOOR SLAB / BALCONY.
- D14 REMOVE EXISTING AWNING.
- D15 REMOVE EXISTING RAILING, BALCONY OR LANDING TO REMAIN.
- D16 REMOVE EXISTING GATE.
- D17 REMOVE EXISTING WALL RECESSED HVAC UNIT.
- D18 REMOVE EXISTING WOOD TRASH ENCLOSURE/ WOOD WALL & GATE.
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- D32 REMOVE EXISTING BARREL TILE SCREEN AND PARAPET AS REQUIRED TO REPAIR.
- D33 REMOVE EXISTING BARREL TILE AND SHEATHING.
- D34 REMOVE EXISTING FLOOR OR ROOF FRAMING AS REQUIRED BY NEW ELEVATOR AND STAIRS. REFER TO STRUCTURAL DRAWINGS.



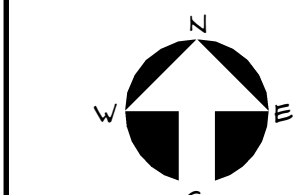




1
AC-2.2.0

Existing Second Floor Plan
SCALE: 1/8" = 1'-0"

EXISTING FLOOR PLAN - SECOND FLOOR



AC-2.2.0

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

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RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480



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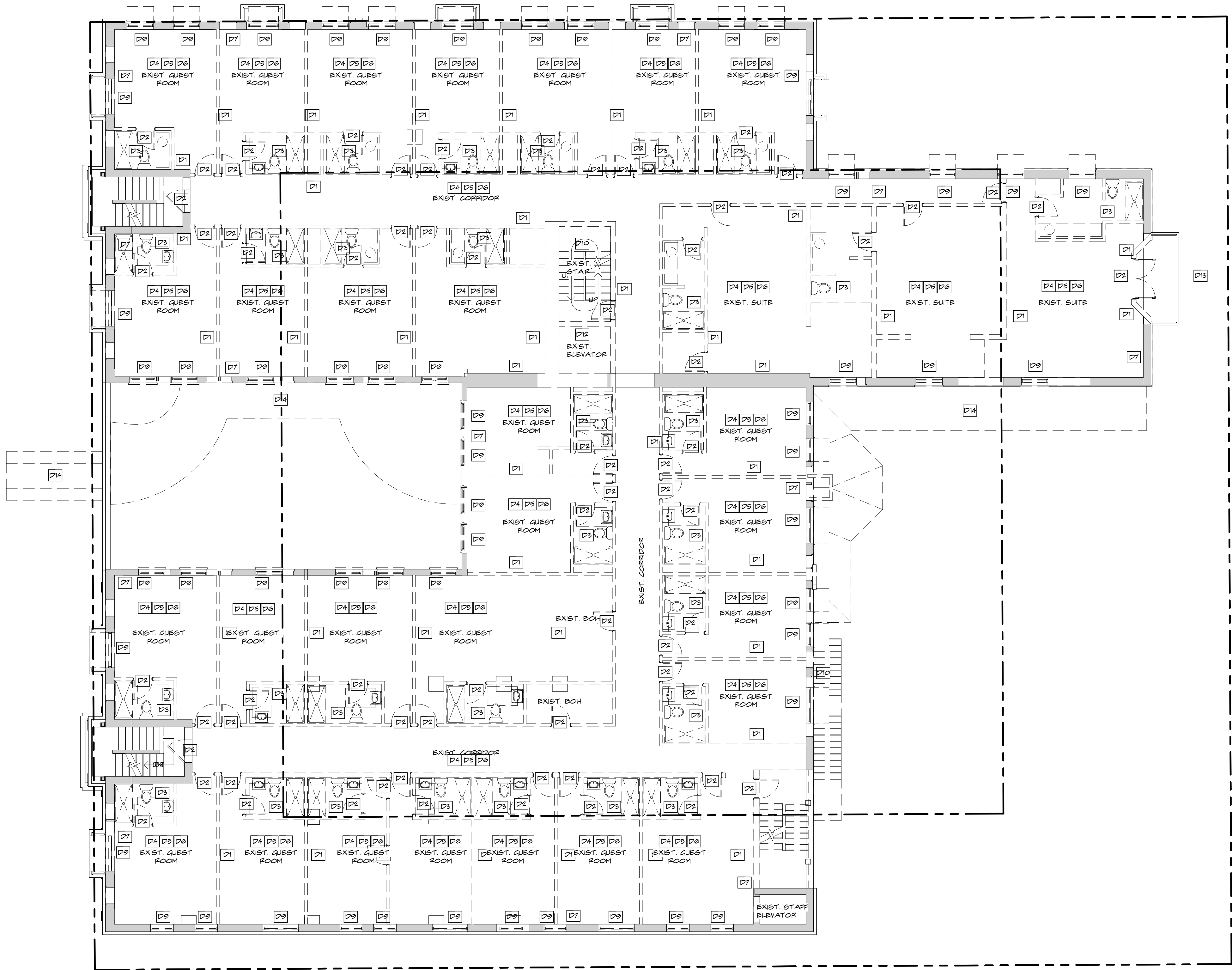
Kelith M. Spina #A13419

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spinaorourke.com
FL LIC #A26022899

1
AC-2.2

Demolition Second Floor Plan

SCALE: 1/8" = 1'-0"



DEMOLITION LEGEND

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- ELEMENT TO BE REMOVED

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- D3

REMOVE ALL EXISTING PLUMBING FIXTURES AND RELATED ACCESSORIES.
- D4

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- D5

REMOVE EXISTING AC EQUIPMENT, DUCTWORK AND ALL RELATED ACCESSORIES. SEE MECHANICAL DEMOLITION DRAWINGS.
- D6

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- D7

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- D8

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- D9

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- D20

REMOVE EXISTING EXTERIOR CONCRETE WALL, PLANTERS AND BENCHES
- D21

REMOVE EXISTING DECK, ELECTRICAL FIXTURES AND ALL RELATED ACCESSORIES
- D22

REMOVE EXISTING GUTTER
- D23

REMOVE EXISTING ASPHALT OR PAVING
- D24

REMOVE EXISTING FOUNTAIN
- D25

REMOVE EXISTING SPA
- D26

REMOVE EXISTING DECK AS REQUIRED BY NEW POOL FOOTPRINT
- D27

REMOVE EXISTING GREASE TRAP
- D28

REMOVE EXISTING ELECTRICAL PANELS
- D29

REMOVE EXISTING EXHAUST DUCT AND CHASE
- D30

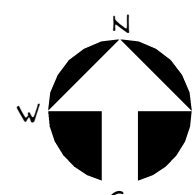
REMOVE EXISTING MECHANICAL EQUIPMENT
- D31

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- D32

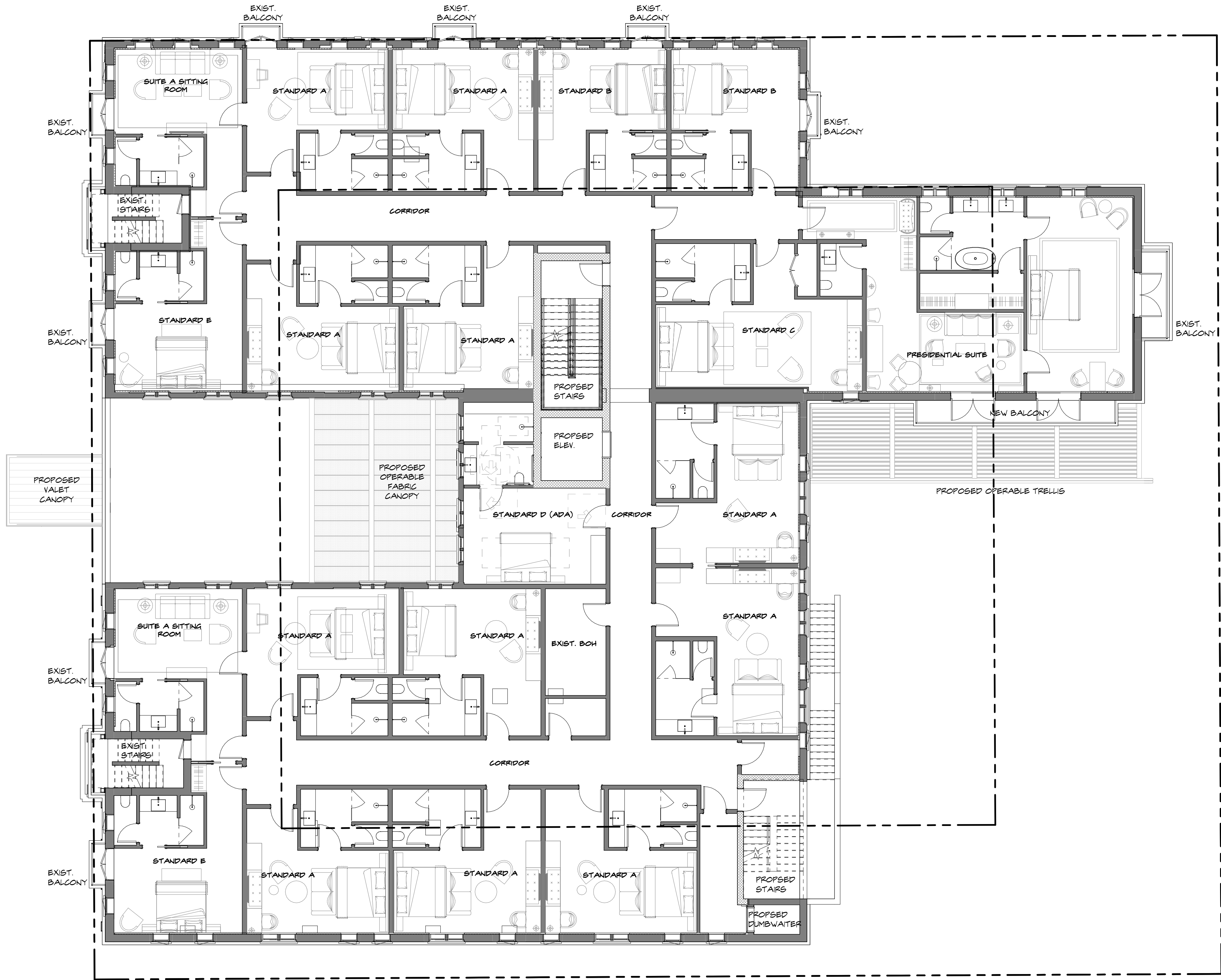
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1 Proposed Second Floor Plan
AC-2.2.2 SCALE: 1/8" = 1'-0"



ROOM KEY COUNT		
	EXISTING	PROPOSED
SECOND FLOOR	31	20
THIRD FLOOR	28	19
FOURTH FLOOR	2	2
TOTAL	61	41

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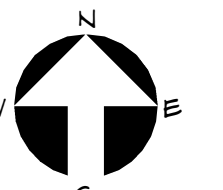
RENOVATION OF
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AC-2.2.2

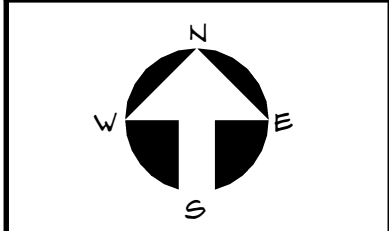
PROPOSED FLOOR PLAN - SECOND FLOOR

1
AC-2.3.0

Existing Third Floor Plan
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN - THIRD FLOOR



AC-2.3.0

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RENOVATION OF
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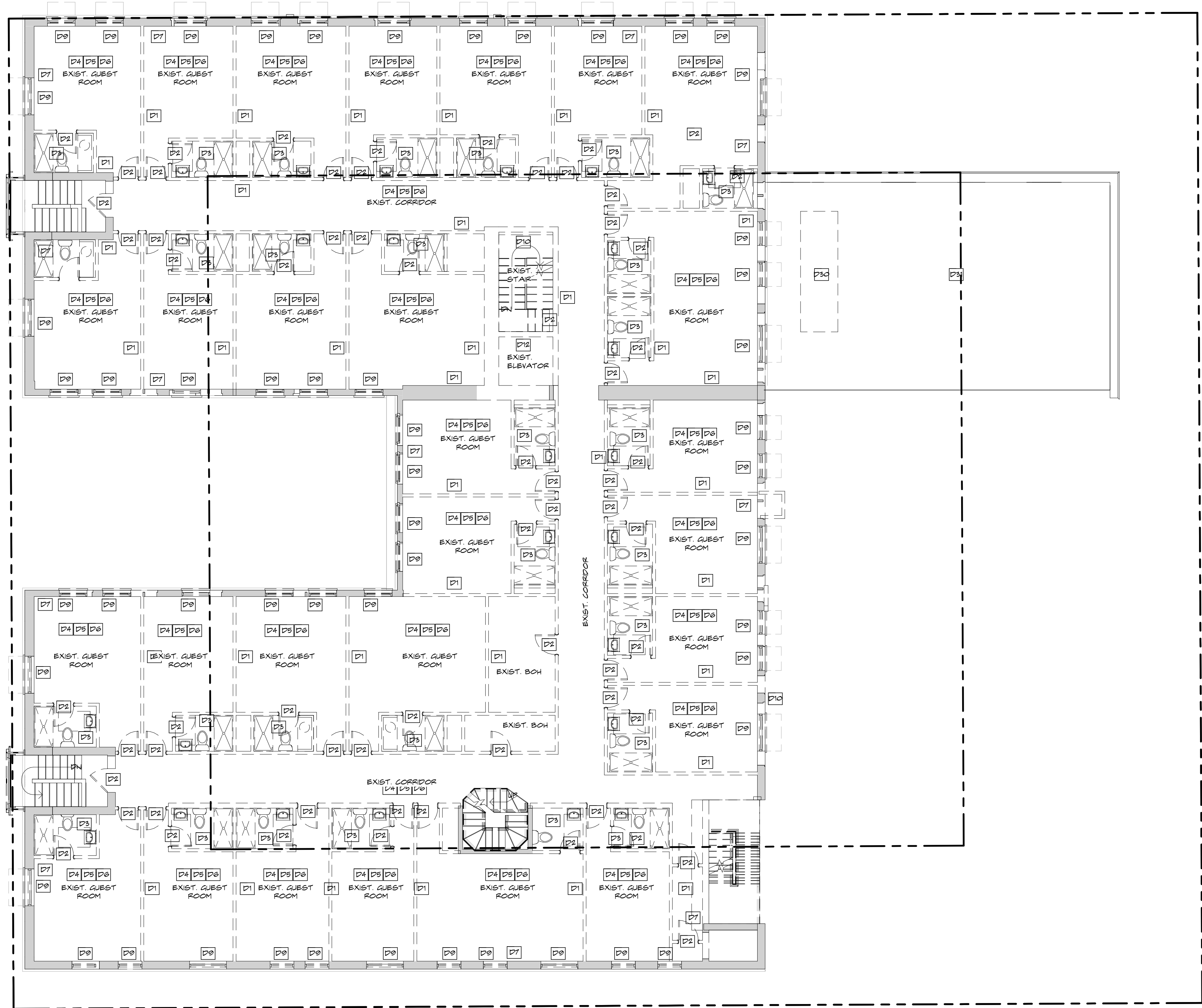
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1 Demolition Third Floor Plan
AC-2.3.1 SCALE: 1/8" = 1'-0"



DEMOLITION LEGEND

- EXISTING ELEMENT TO REMAIN
ELEMENT TO BE REMOVED

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Kenith M. Spina #A113419



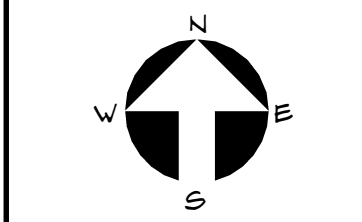
RENOVATION OF
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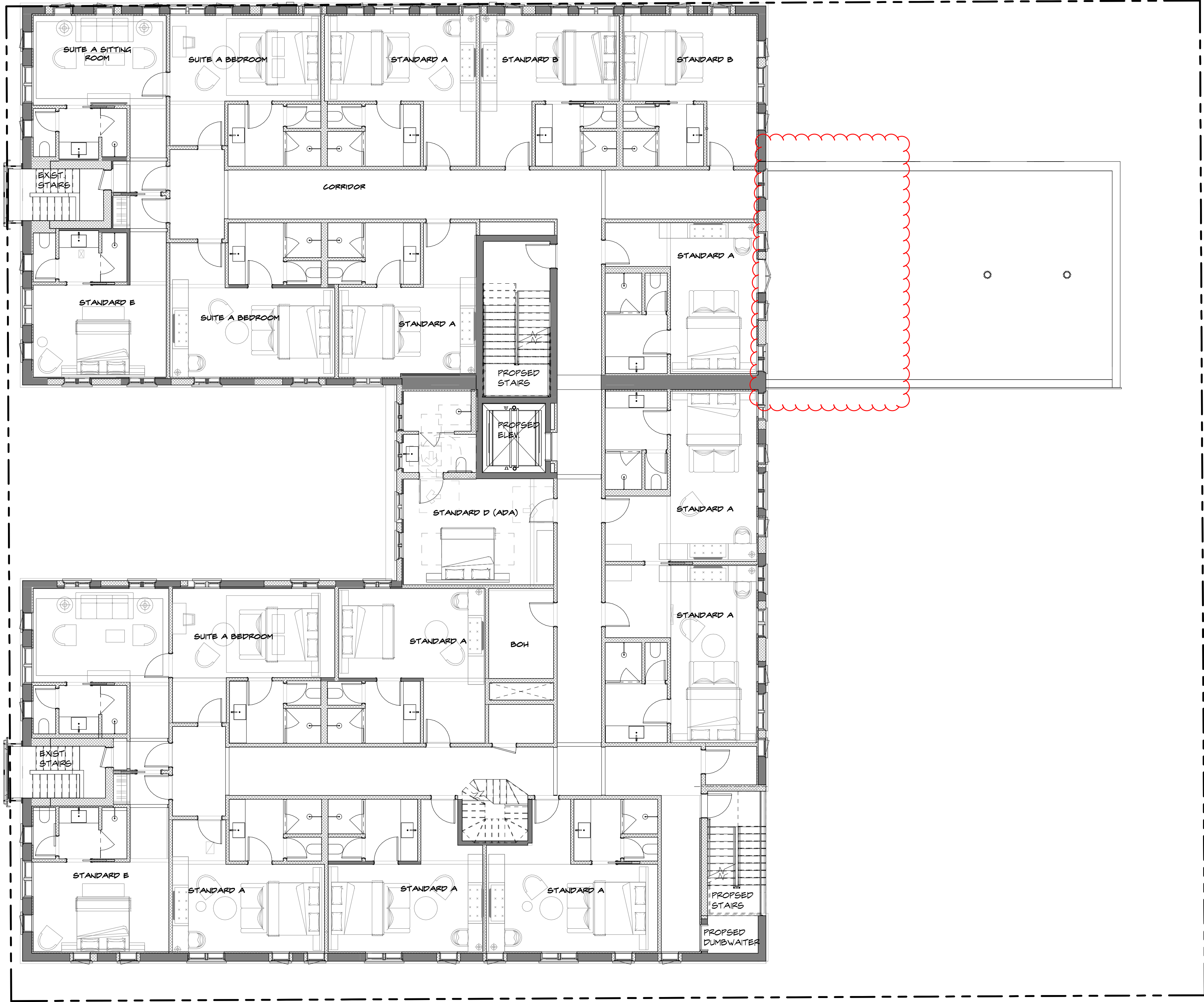
Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker



AC-2.3.1

DEMOLITION FLOOR PLAN - THIRD FLOOR

1 Proposed Third Floor Plan
AC-2.3.2 SCALE: 1/8" = 1'-0"



ROOM KEY COUNT		
	EXISTING	PROPOSED
SECOND FLOOR	31	20
THIRD FLOOR	28	19
FOURTH FLOOR	2	2
TOTAL	61	41

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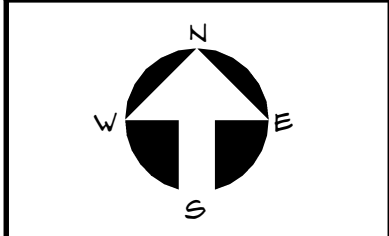


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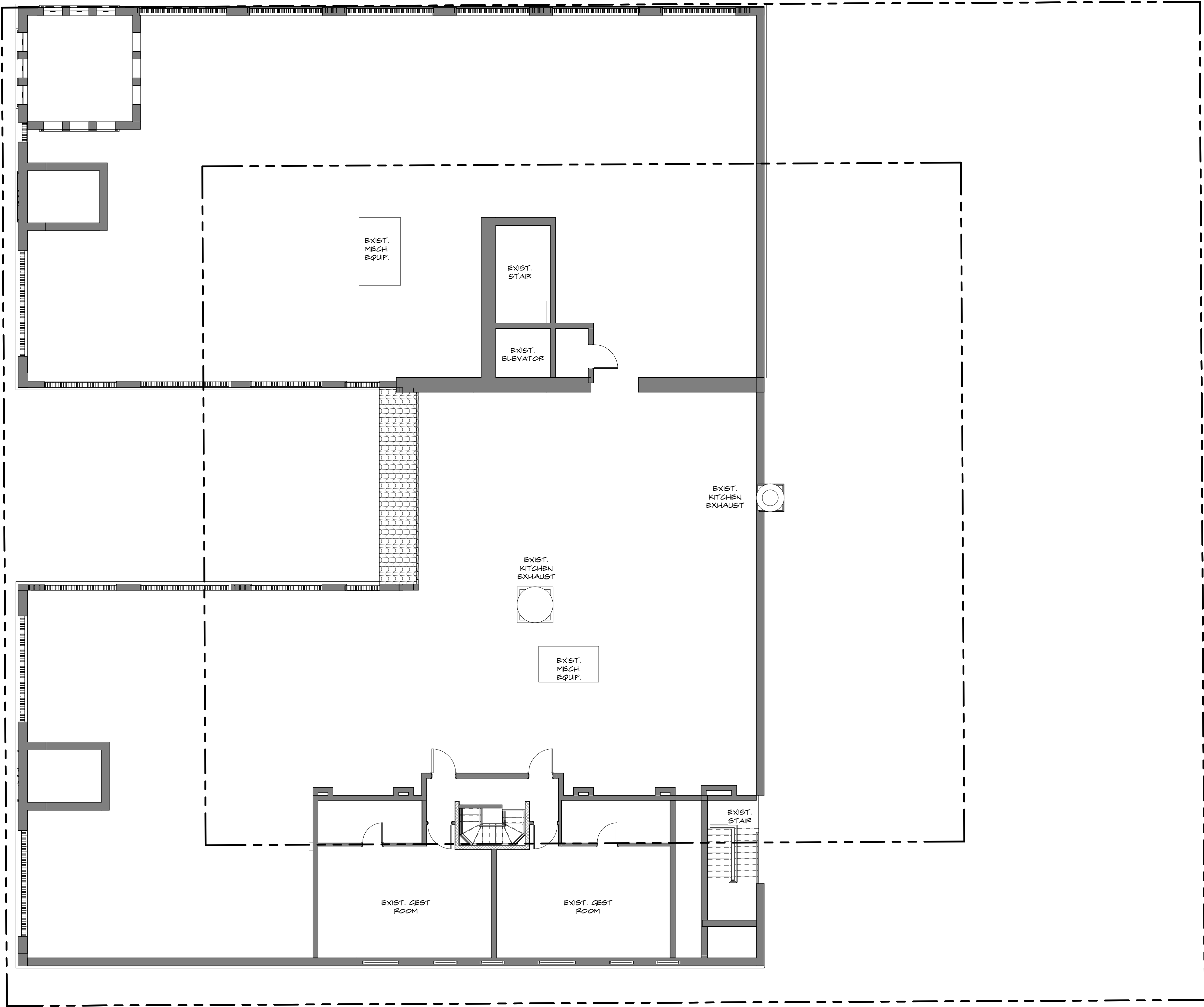
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Drawn by: Author
Project Manager: NF



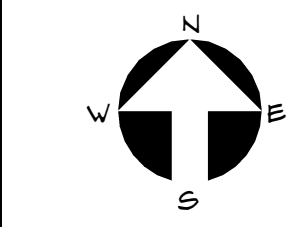
AC-2.3.2
CONSTRUCTION DOCUMENTS

PROPOSED FLOOR PLAN - THIRD FLOOR

1 Existing Fourth Floor & Roof Plan
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN - FOURTH FLOOR & ROOF PLAN



Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

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RENOVATION OF The Vineta Hotel

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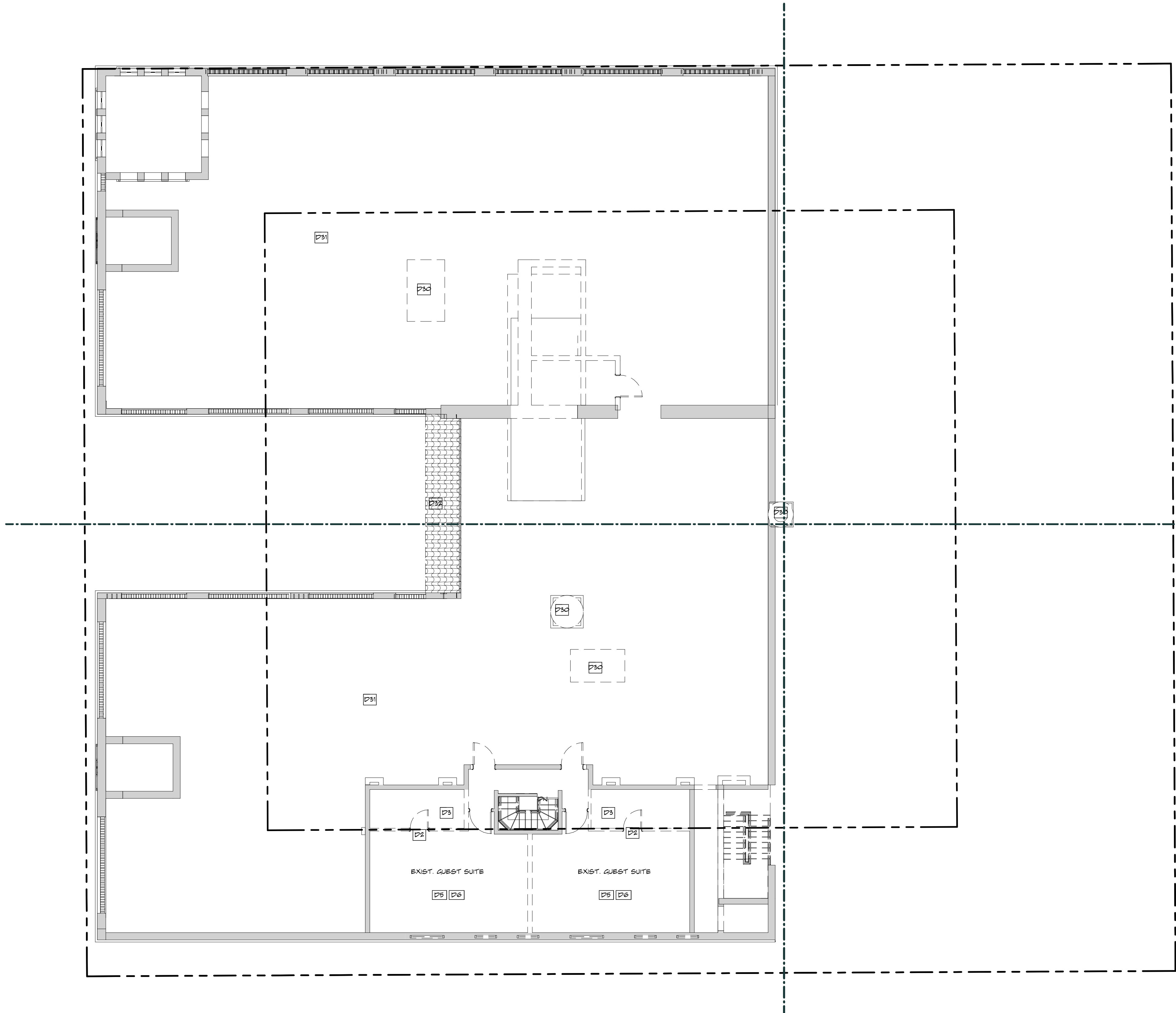
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1
AC-2.4.1

Demolition Fourth Floor & Roof Plan

SCALE: 1/8" = 1'-0"



DEMOLITION LEGEND

- EXISTING ELEMENT TO REMAIN
- ELEMENT TO BE REMOVED

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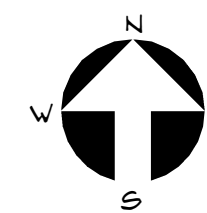
RENOVATION OF
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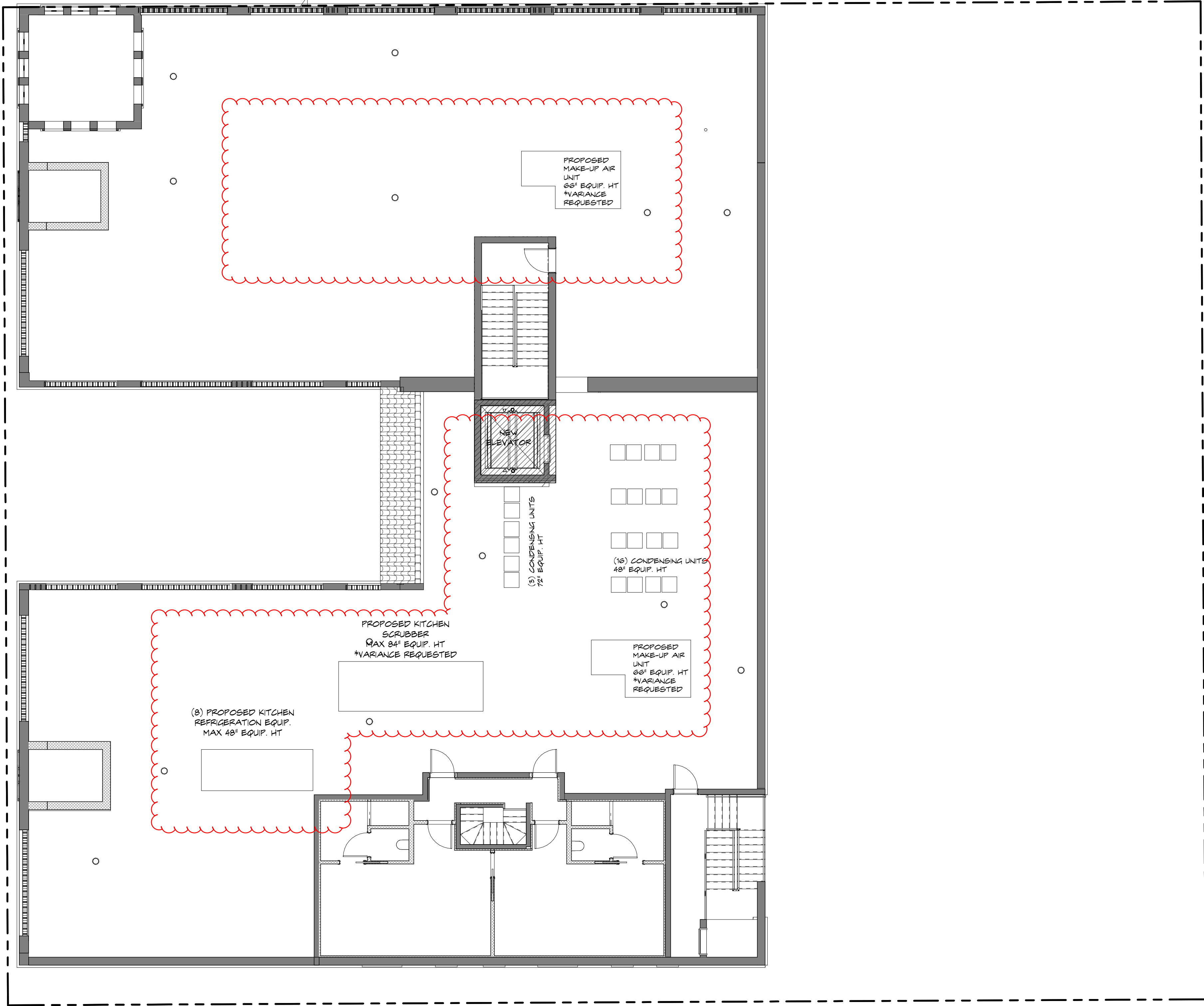
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DEMOLITION FLOOR PLAN - FOURTH FLOOR & ROOF PLAN

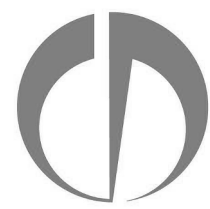
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VC-2.4.2

Proposed Fourth Floor & Roof Plan

SCALE: 1/8" = 1'-0"



ROOM KEY COUNT		
	EXISTING	PROPOSED
SECOND FLOOR	31	20
THIRD FLOOR	28	19
FOURTH FLOOR	2	2
TOTAL	61	41



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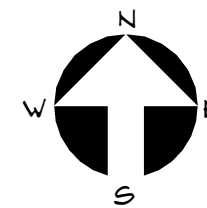
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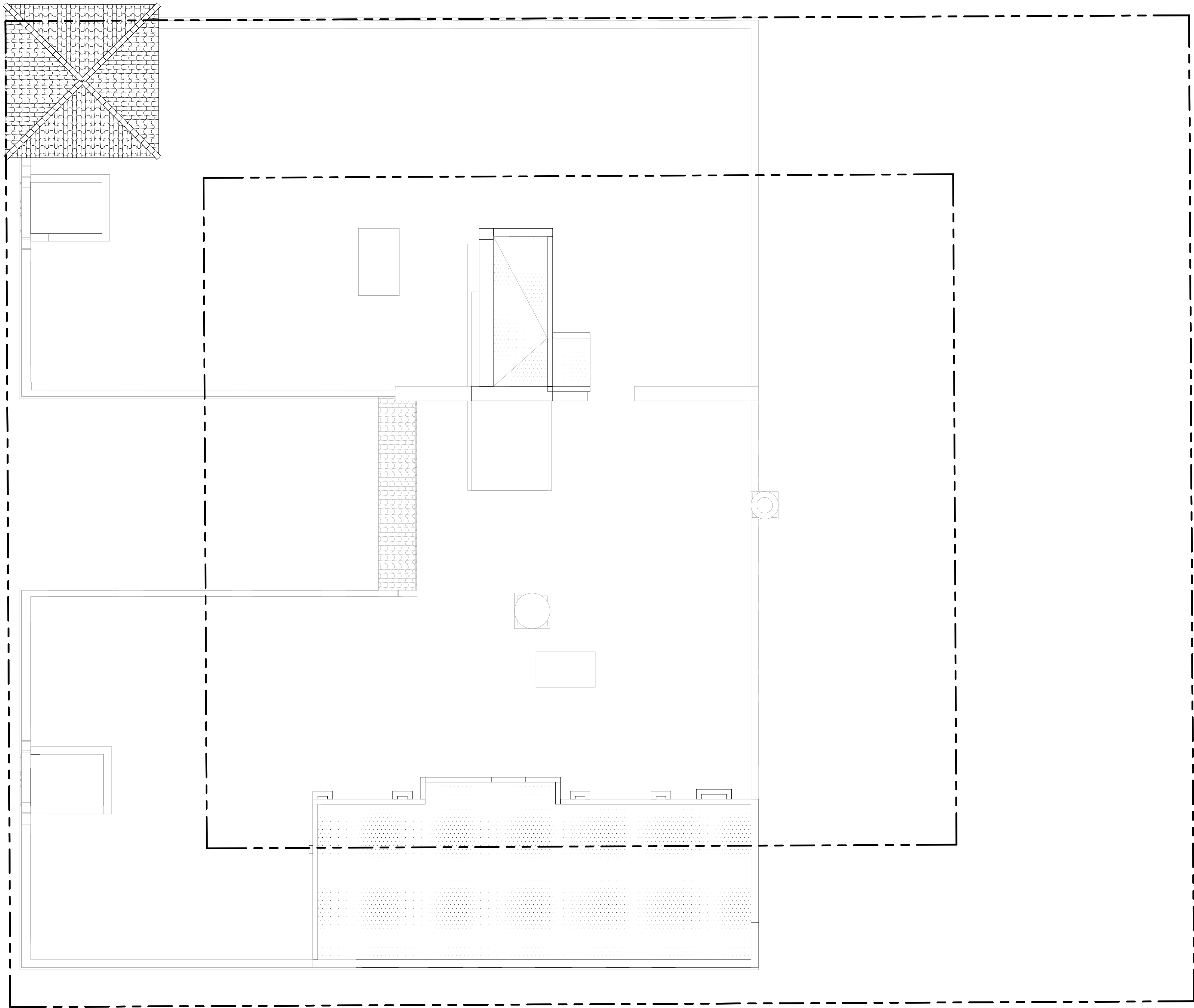
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CONSTRUCTION
DOCUMENTS

PROPOSED FLOOR PLAN - FOURTH FLOOR & ROOF PLAN

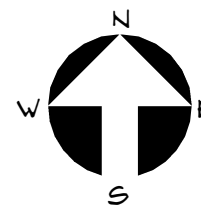
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AC-3.1.0

Existing High Roof Plan
SCALE: 1/8" = 1'-0"



EXISTING HIGH ROOF PLAN

AC-3.1.0



Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

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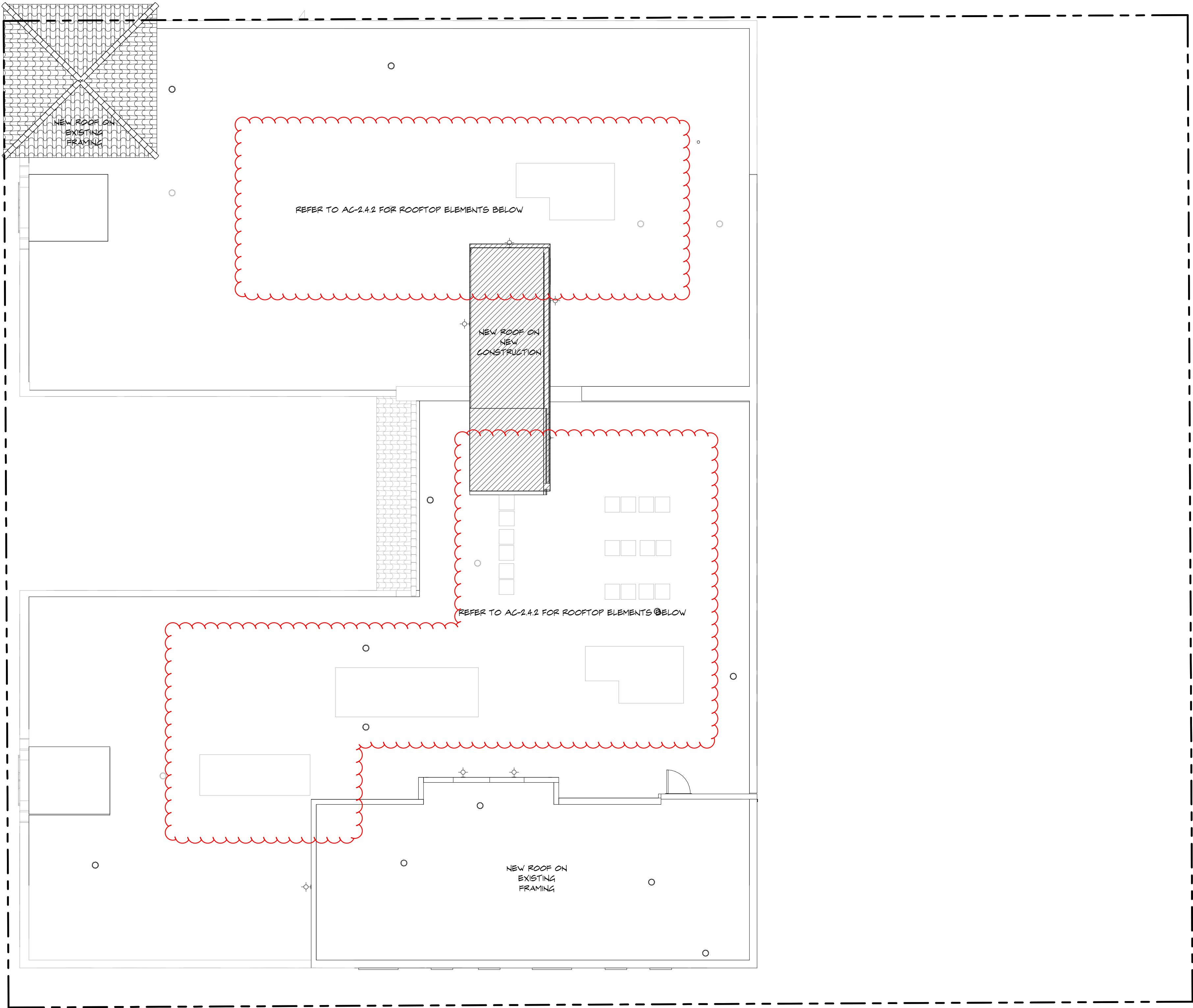
RENOVATION OF
The Vineta Hotel
363 Cocoanut Row, Palm Beach, FL 33480



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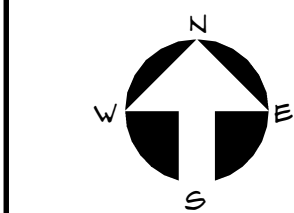
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1
AC-3.1.2
Proposed Roof Plan
SCALE: 1/8" = 1'-0"



PROPOSED HIGH ROOF PLAN

AC-3.1.2
CONSTRUCTION
DOCUMENTS



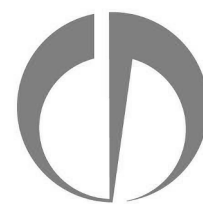
Project no: 22028
Date: 02.21.2023
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Project Manager: NF

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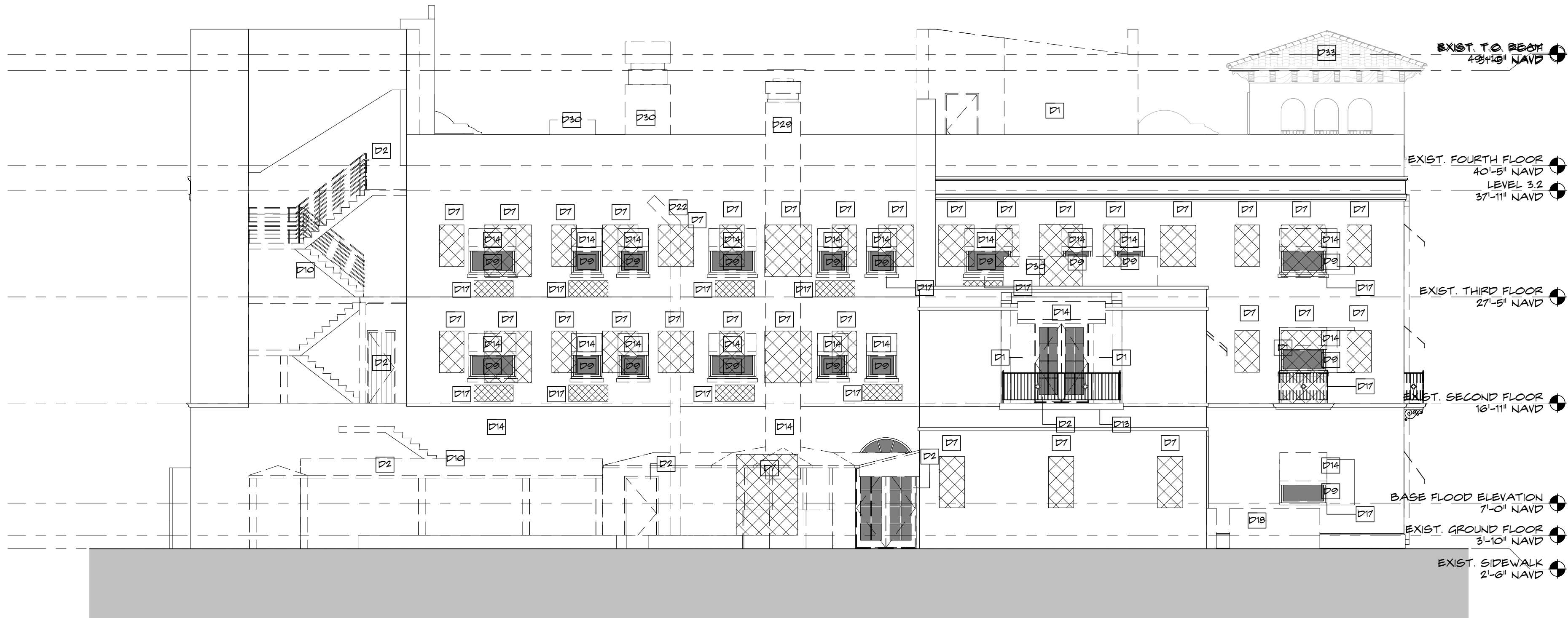
RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480



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1 DEMOLITION ELEVATION - EAST
SCALE: 1/8" = 1'-0"



2 DEMOLITION ELEVATION - WEST
SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND

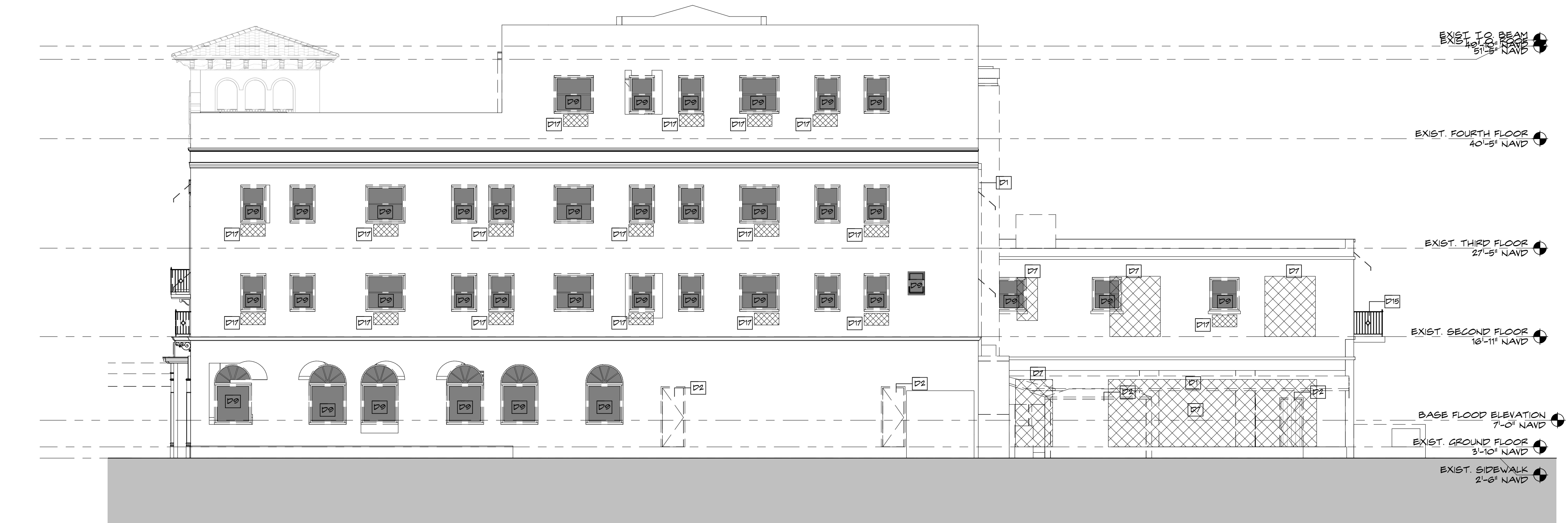
- EXISTING ELEMENT TO REMAIN
ELEMENT TO BE REMOVED

DRAWING IS INTENDED TO CONVEY CONCEPTUAL MATERIAL REMOVAL AND DOES NOT REFLECT A FINAL DEMOLITION PLAN FOR CONSTRUCTION. THIS DRAWING IS SUBJECT TO CHANGE DURING DEVELOPMENT OF CONSTRUCTION DOCUMENTS

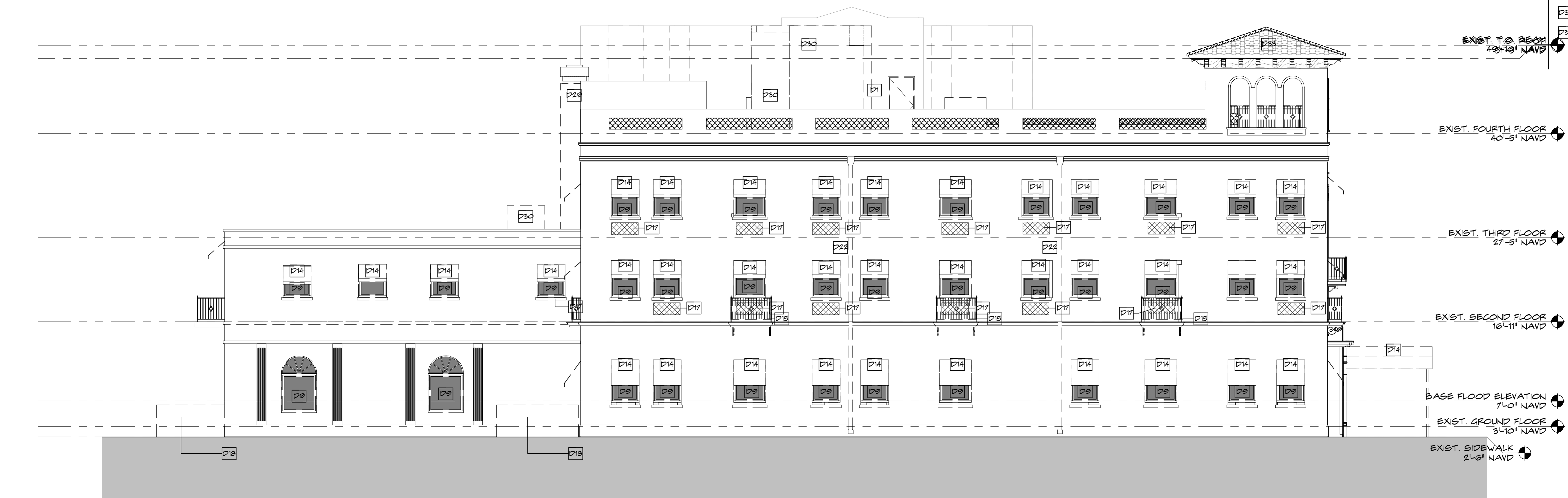
DEMOLITION KEY NOTES

- D1 REMOVE EXISTING WALL OR PORTION OF AS SHOWN ON PLAN. REMOVAL SHALL INCLUDE ANY AND ALL GYPSUM BOARD, BATT INSULATION, BASE AND TRIM STUDS, TOP AND BOTTOM RUNNERS AND ANY EXISTING BRACING AND BLOCKING THAT MAY BE PRESENT.
- D2 REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ACCESSORIES
- D3 REMOVE ALL EXISTING PLUMBING FIXTURES AND RELATED ACCESSORIES
- D4 REMOVE ALL INTERIOR FINISHES, ALL MILLWORK, ELECTRICAL FIXTURES AND ALL RELATED ACCESSORIES
- D5 REMOVE EXISTING AC EQUIPMENT, DUCTWORK AND ALL RELATED ACCESSORIES. SEE MECHANICAL DEMOLITION DRAWINGS
- D6 REMOVE ALL EXISTING CEILING AND CEILING FIXTURES
- D7 REMOVE EXIST. WALL AS REQUIRED BY NEW OPENING
- D8 REMOVE ALL KITCHEN EQUIPMENT
- D9 REMOVE EXISTING WINDOW, FRAME, HARDWARE, ALL RELATED ACCESSORIES, AND SILLS
- D10 REMOVE EXISTING CONCRETE STAIR
- D11 REMOVE EXISTING POOL DECK, WOOD PERGOLA, WATER FOUNTAIN, POOL AND SPA
- D12 REMOVE EXISTING ELEVATOR
- D13 REMOVE EXISTING FLOOR SLAB / BALCONY
- D14 REMOVE EXISTING AWNING
- D15 REMOVE EXISTING RAILING, BALCONY OR LANDING TO REMAIN
- D16 REMOVE EXISTING GATE
- D17 REMOVE EXISTING WALL RECESSED HVAC UNIT
- D18 REMOVE EXISTING WOOD TRASH ENCLOSURE/ WOOD WALL & GATE
- D19 REMOVE EXISTING POOL EQUIPMENT AND ALL RELATED ACCESSORIES
- D20 REMOVE EXISTING EXTERIOR CONCRETE WALL, PLANTERS AND BRACKETS
- D21 REMOVE EXISTING DECK, ELECTRICAL FIXTURES AND ALL RELATED ACCESSORIES
- D22 REMOVE EXISTING GUTTER
- D23 REMOVE EXISTING ASPHALT OR PAVING
- D24 REMOVE EXISTING FOUNTAIN
- D25 REMOVE EXISTING SPA
- D26 REMOVE EXISTING DECK AS REQUIRED BY NEW POOL FOOTPRINT
- D27 REMOVE EXISTING GREASE TRAP
- D28 REMOVE EXISTING ELECTRICAL PANELS
- D29 REMOVE EXISTING EXHAUST DUCT AND CHASE
- D30 REMOVE EXISTING MECHANICAL EQUIPMENT
- D31 REMOVE EXISTING ROOFING, DECK AND ROOF DRAINS
- D32 REMOVE EXISTING BARREL TILE SCREEN AND PARAPET AS REQUIRED TO REPAIR
- D33 REMOVE EXISTING BARREL TILE AND SHEATHING
- D34 REMOVE EXISTING FLOOR OR ROOF FRAMING AS REQUIRED BY NEW ELEVATOR AND STAIRS. REFER TO STRUCTURAL DRAWINGS





2 DEMOLITION ELEVATION - SOUTH
AC-4.1.1 SCALE: 1/8" = 1'-0"



1 DEMOLITION ELEVATION - NORTH
AC-4.1.1 SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND

- EXISTING ELEMENT TO REMAIN
ELEMENT TO BE REMOVED

DRAWING IS INTENDED TO CONVEY CONCEPTUAL MATERIAL REMOVAL AND DOES NOT REFLECT A FINAL DEMOLITION PLAN FOR CONSTRUCTION. THIS DRAWING IS SUBJECT TO CHANGE DURING DEVELOPMENT OF CONSTRUCTION DOCUMENTS

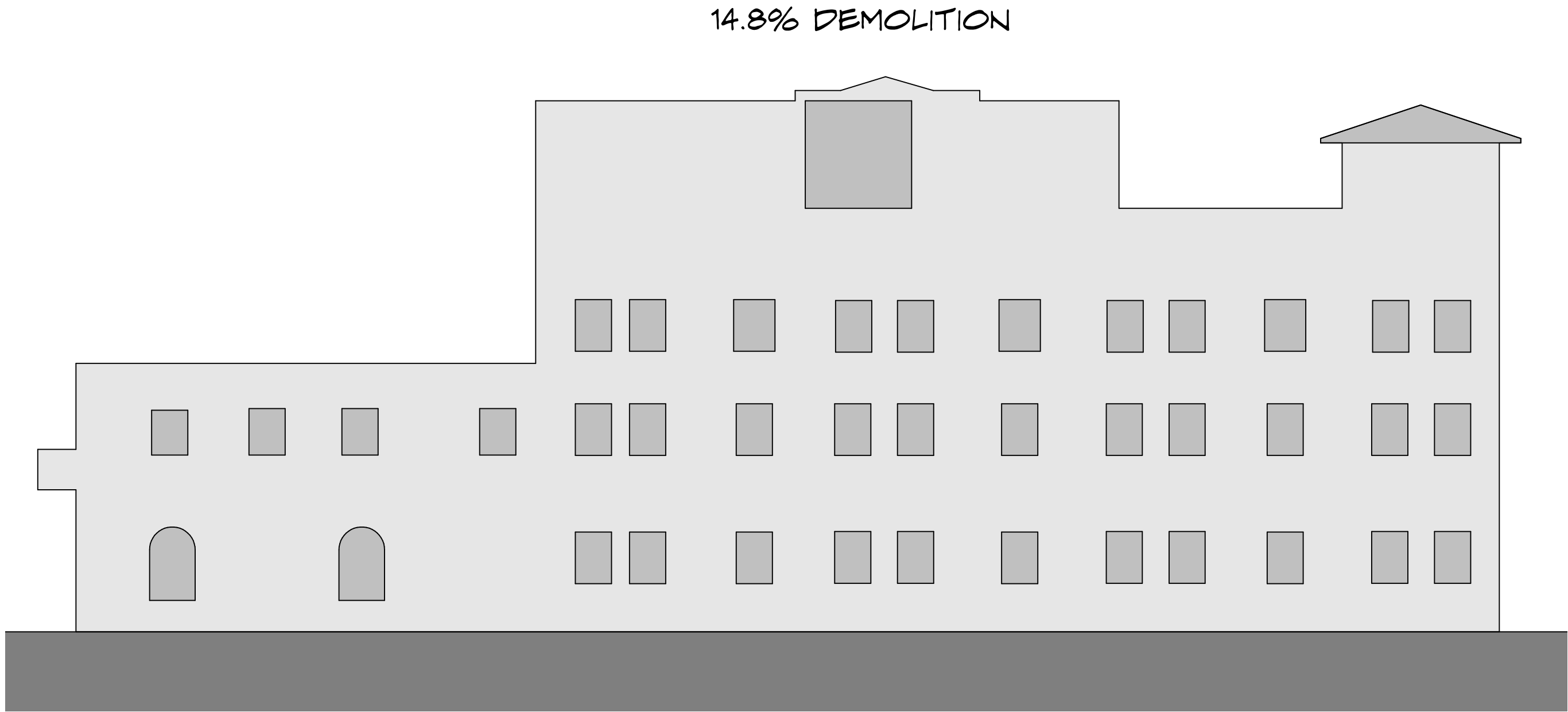
DEMOLITION KEY NOTES

- D1 REMOVE EXISTING WALL OR PORTION OF AS SHOWN ON PLAN. REMOVAL SHALL INCLUDE ANY AND ALL GYPSUM BOARD, BATT INSULATION, BASE AND TRIM STUDS, TOP AND BOTTOM RUNNERS AND ANY EXISTING BRACING AND BLOCKING THAT MAY BE PRESENT.
- D2 REMOVE EXISTING DOOR, FRAME, HARDWARE, AND ALL RELATED ACCESSORIES
- D3 REMOVE ALL EXISTING PLUMBING FIXTURES AND RELATED ACCESSORIES
- D4 REMOVE ALL INTERIOR FINISHES, ALL MILLWORK, ELECTRICAL FIXTURES, AND ALL RELATED ACCESSORIES
- D5 REMOVE EXISTING AC EQUIPMENT, DUCTWORK AND ALL RELATED ACCESSORIES, SEE MECHANICAL DEMOLITION DRAWINGS
- D6 REMOVE ALL EXISTING CEILING AND CEILING FIXTURES
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- D21 REMOVE EXISTING DECK, ELECTRICAL FIXTURES AND ALL RELATED ACCESSORIES
- D22 REMOVE EXISTING GUTTER
- D23 REMOVE EXISTING ASPHALT OR PAVING
- D24 REMOVE EXISTING FOUNTAIN
- D25 REMOVE EXISTING SPA
- D26 REMOVE EXISTING DECK AS REQUIRED BY NEW POOL FOOTPRINT
- D27 REMOVE EXISTING GREASE TRAP
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- D30 REMOVE EXISTING MECHANICAL EQUIPMENT
- D31 REMOVE EXISTING ROOFING, DECK AND ROOF DRAINS
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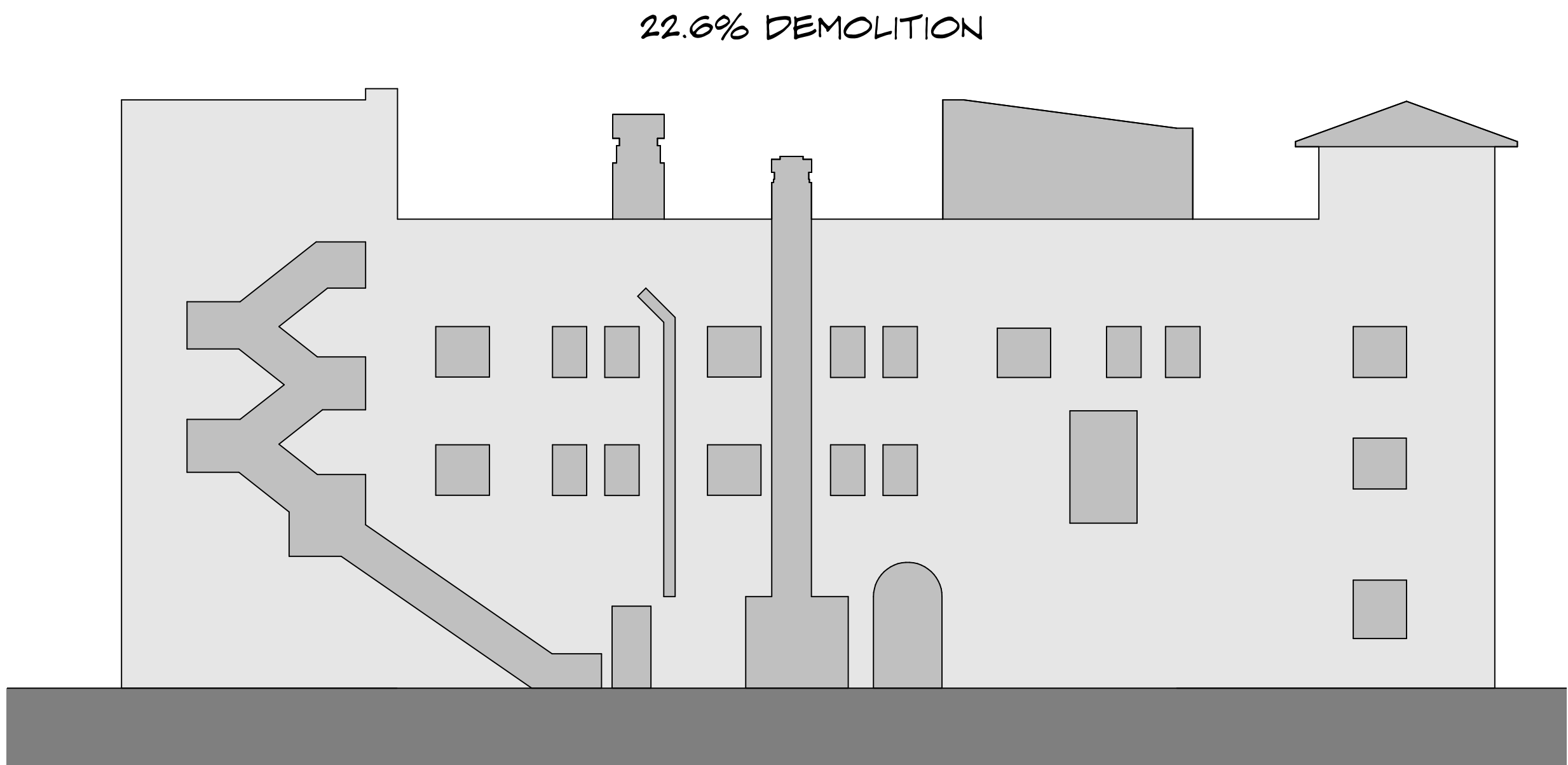




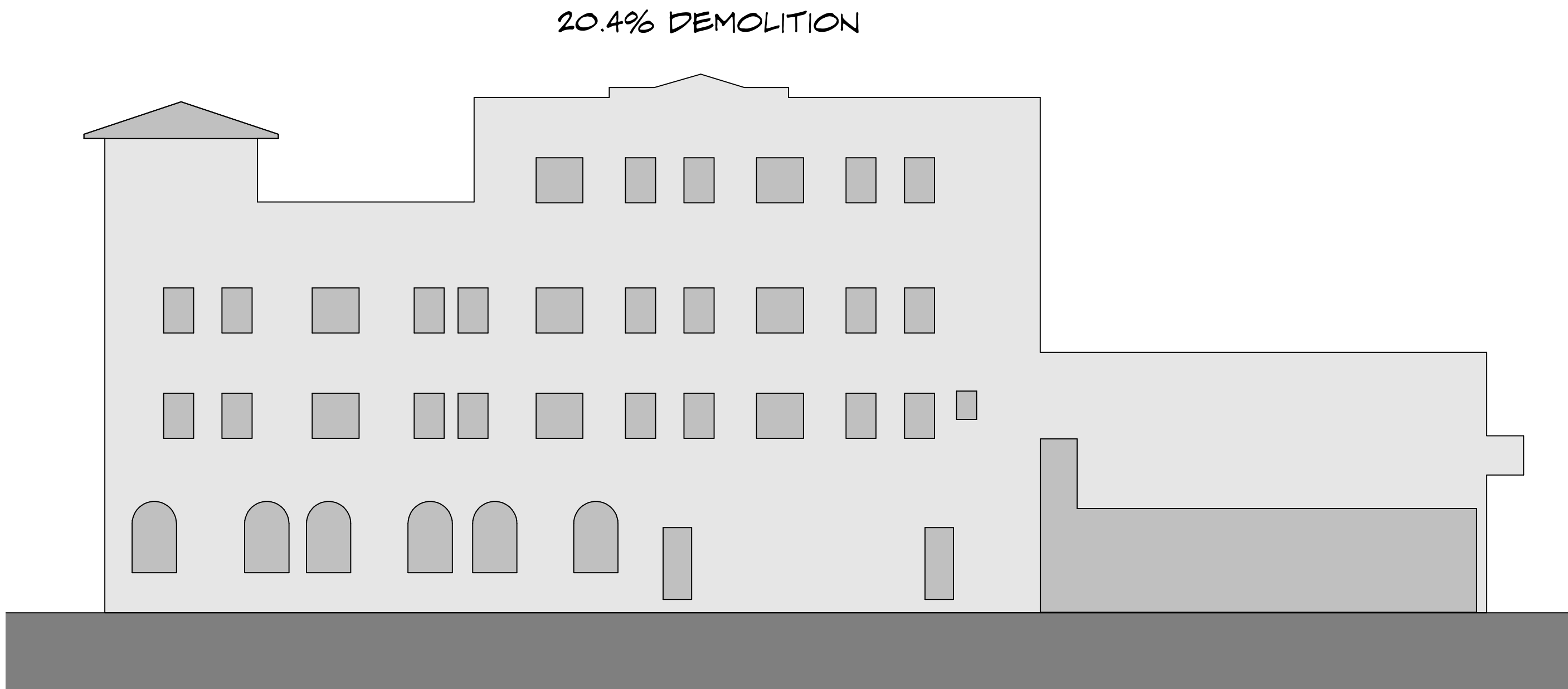
1 DEMOLITION DIAGRAM - WEST
AC-4.1.2 SCALE: 3/32" = 1'-0"



2 DEMOLITION DIAGRAM - NORTH
AC-4.1.2 SCALE: 3/32" = 1'-0"



3 DEMOLITION DIAGRAM - EAST
AC-4.1.2 SCALE: 3/32" = 1'-0"

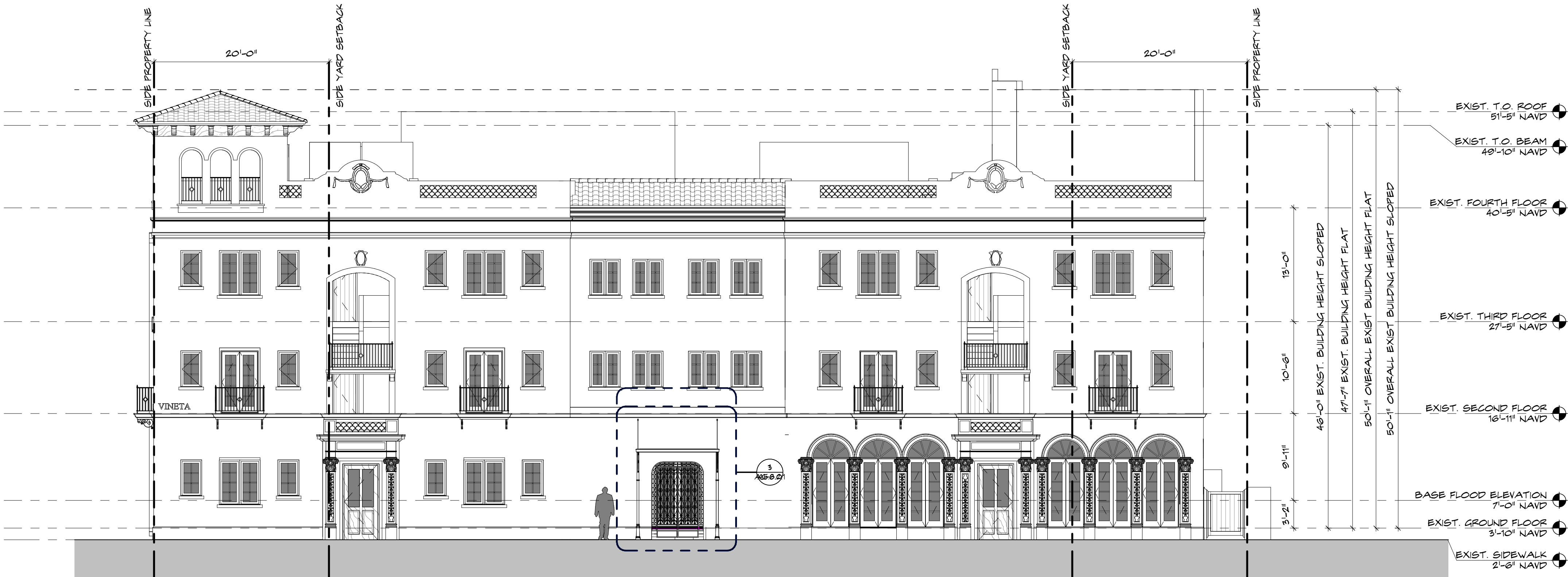


4 DEMOLITION DIAGRAM - SOUTH
AC-4.1.2 SCALE: 3/32" = 1'-0"





2 Existing West Elevation
AC-4.2 SCALE: 1/8" = 1'-0"



1 Proposed West Elevation
AC-4.2 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TINTED WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.10 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC13.0 & AC13.1 FOR HISTORIC REFERENCE IMAGES

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RENOVATION OF
The Vineta Hotel

363 Cocoanut Row, Palm Beach, FL 33480

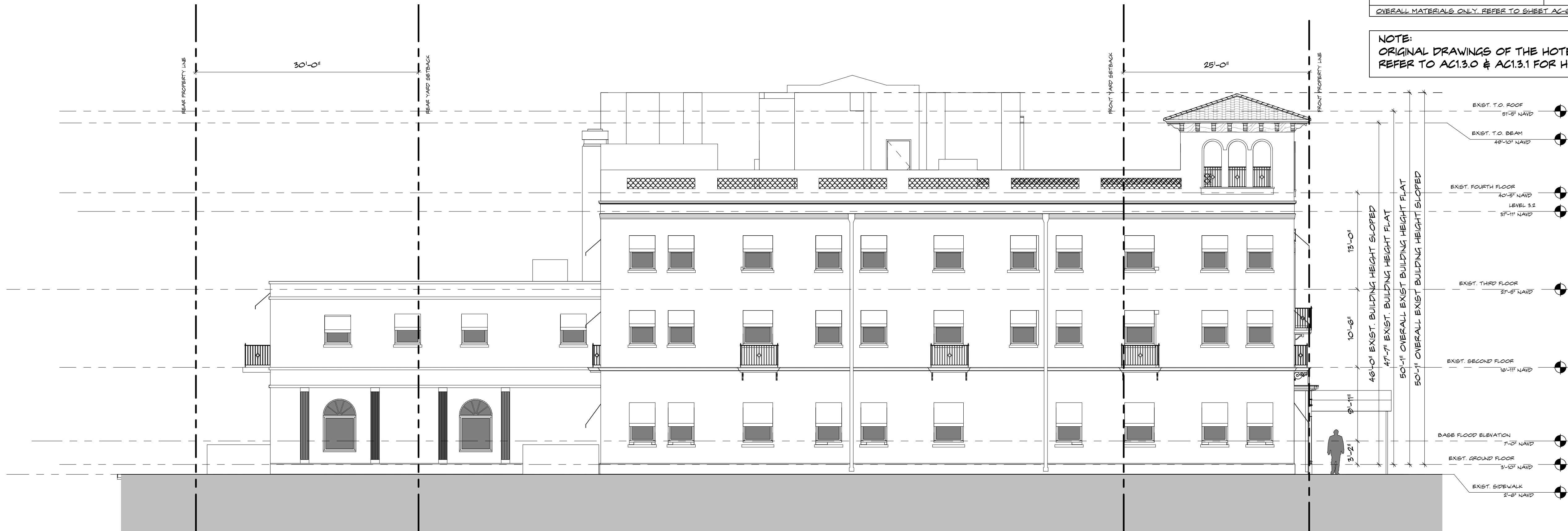
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Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

AC-4.2.1

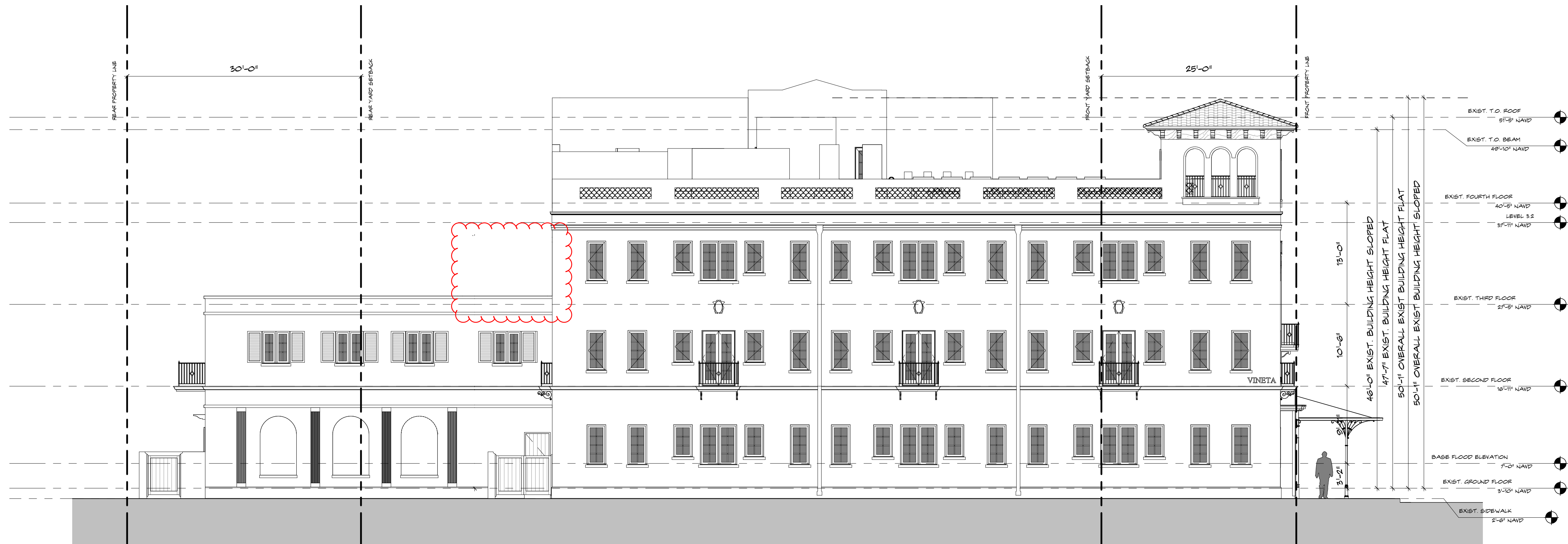
EXISTING & PROPOSED WEST ELEVATION



EXTERIOR MATERIAL LEGEND			
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	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

1
Existing North Elevation
SCALE: 1/8" = 1'-0"



2
Proposed North Elevation
SCALE: 1/8" = 1'-0"



Revisions:

Project no: 22028 Date: 10/24/2022 Drawn by: Author Project Manager: Checker

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AC-4.3.1

1
AC.4.1

Existing East Elevation
SCALE: 1/8" = 1'-0"

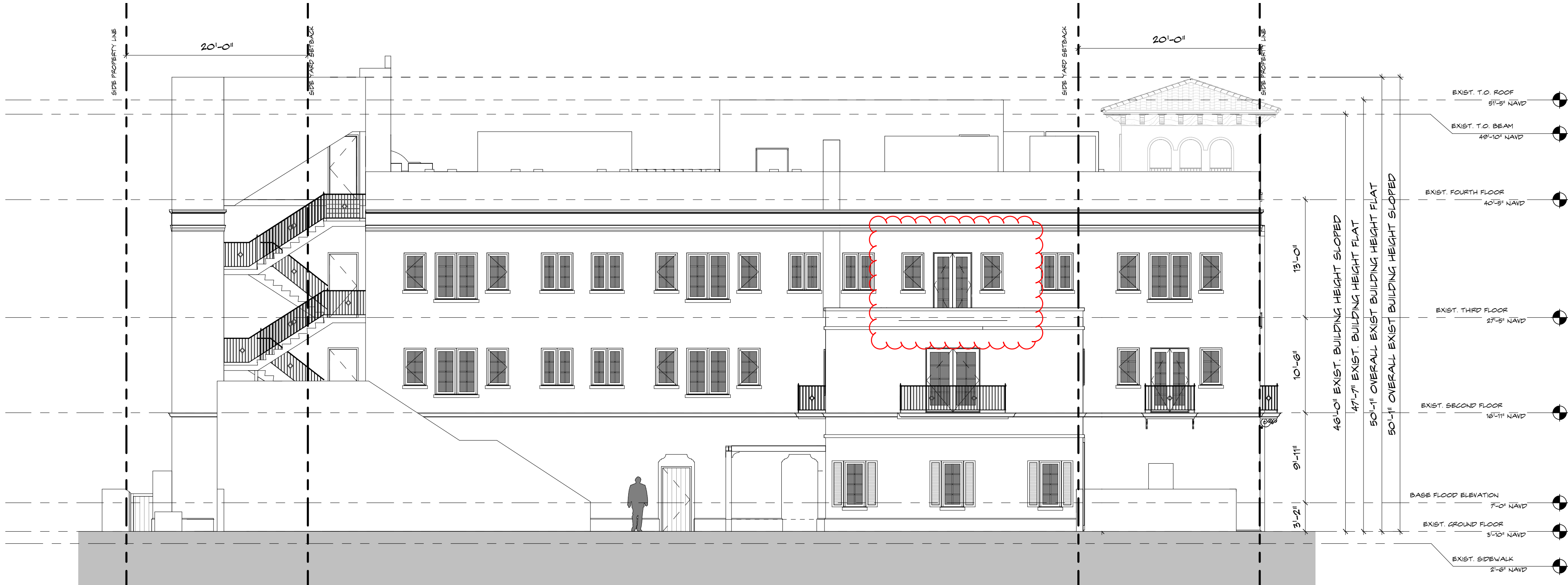


EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TMIP WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

2
AC.4.1

Proposed East Elevation
SCALE: 1/8" = 1'-0"



EXISTING & PROPOSED EAST ELEVATION

AC.4.1

Revisions:

Project no: 22028
Date: 10/24/2022
Drawn by: Author
Project Manager- Checker

RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480



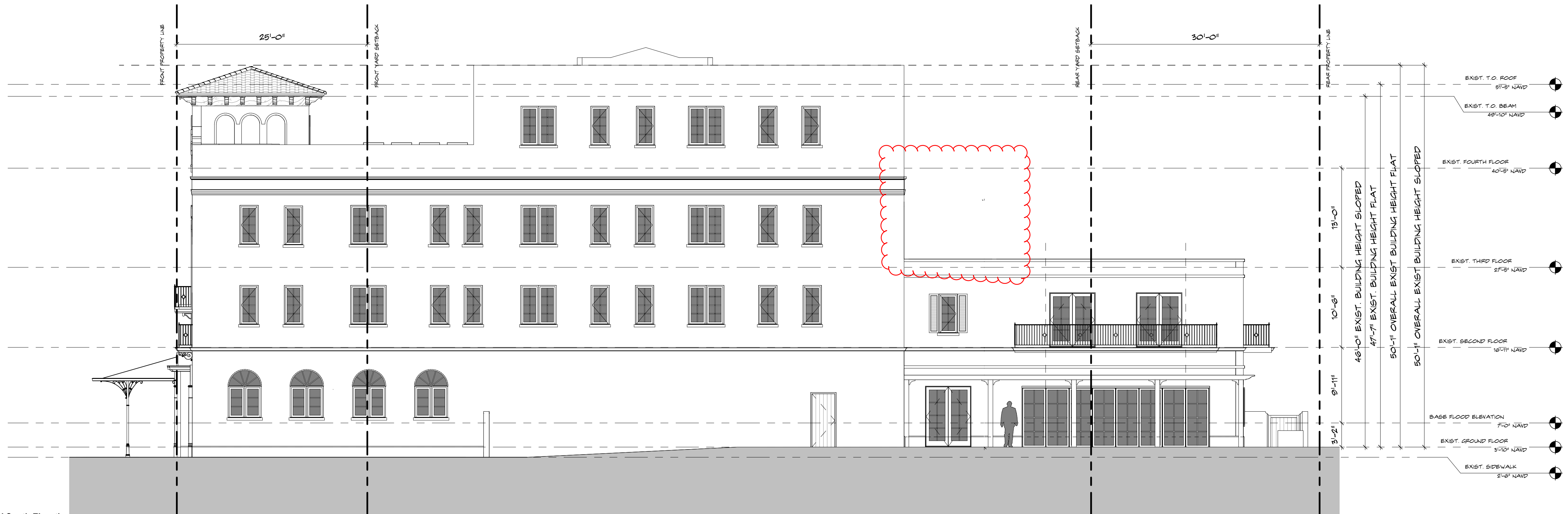
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2 Existing South Elevation
SCALE: 1/8" = 1'-0"



1 Proposed South Elevation
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, PTD TINTED WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.10 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
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EXISTING & PROPOSED SOUTH ELEVATION

AC-4.5.1

Revisions:

Project no: 22028
Date: 10/24/2022
Drawn by: Author
Project Manager: Checker

RENOVATION OF
The Vineta Hotel

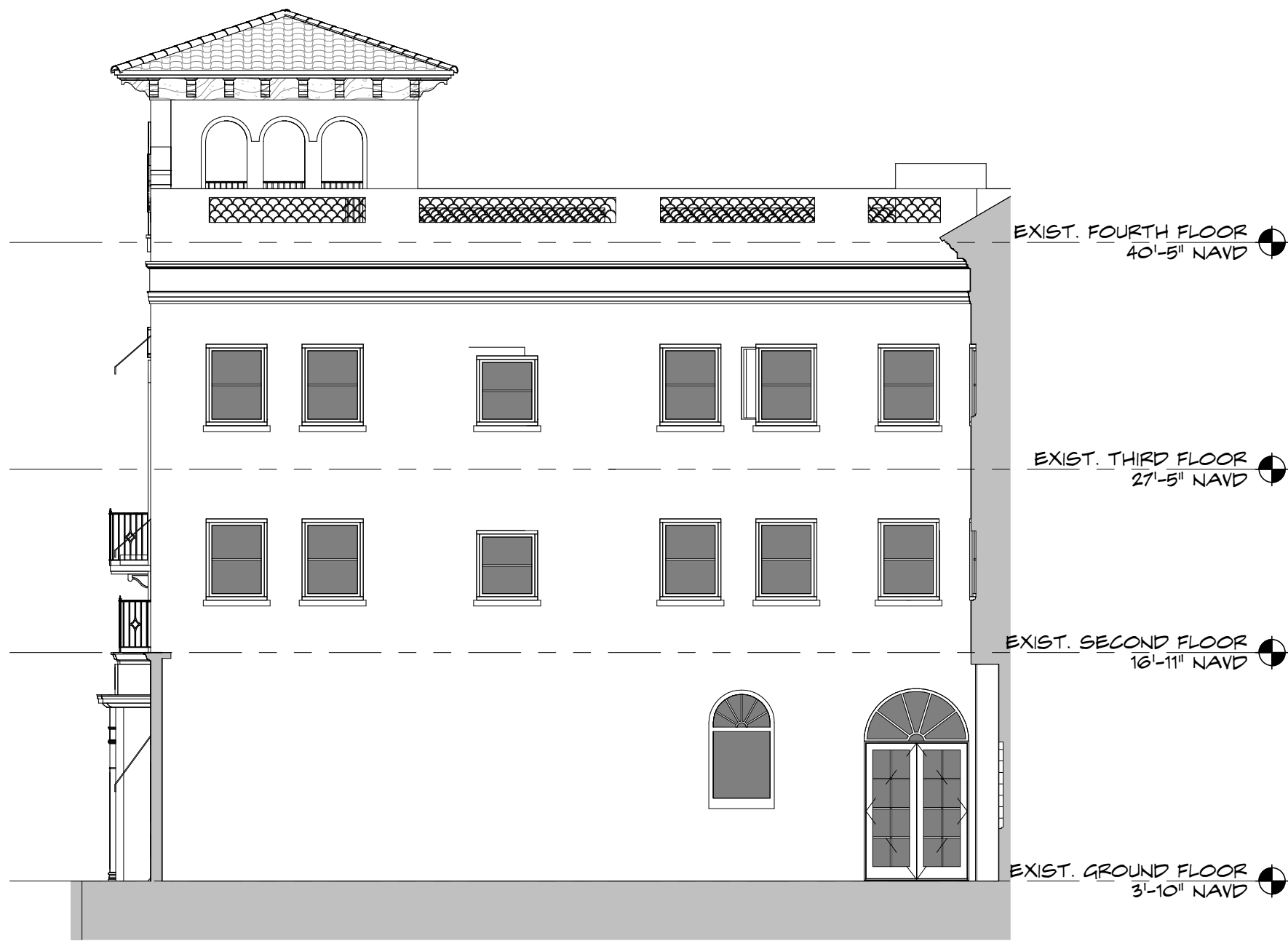
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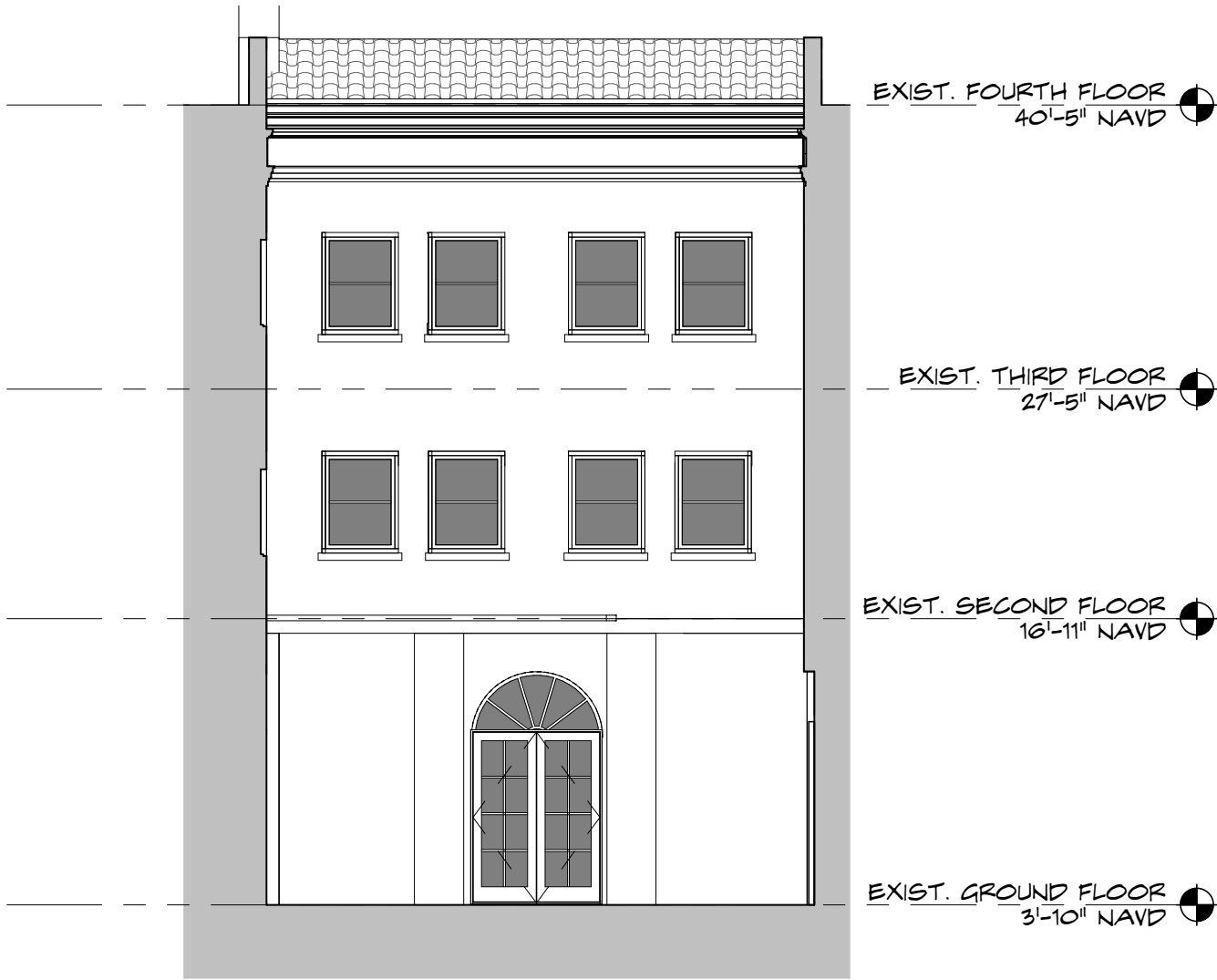
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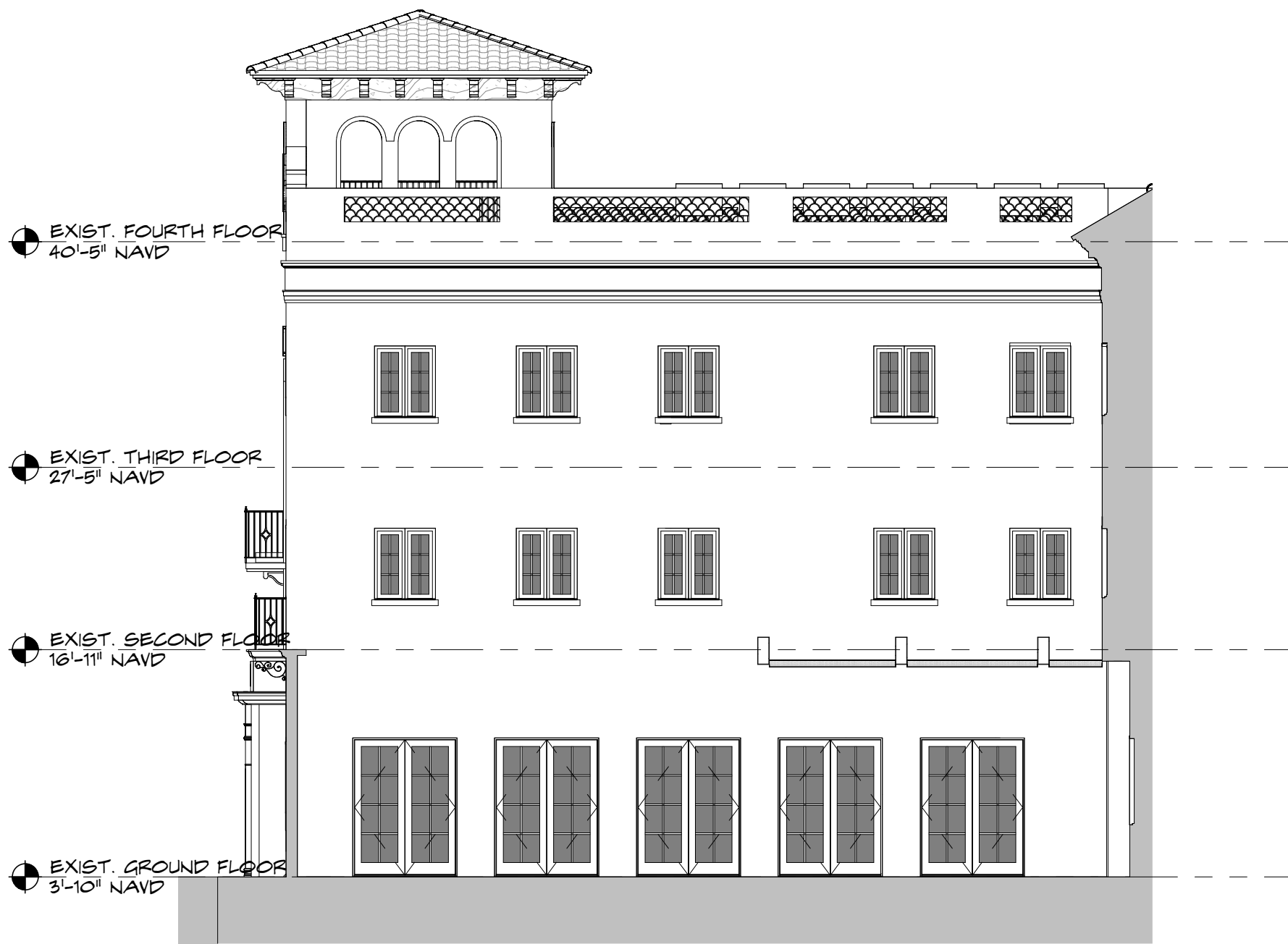
1 Existing Courtyard North Elevation
SCALE: 1/8" = 1'-0"



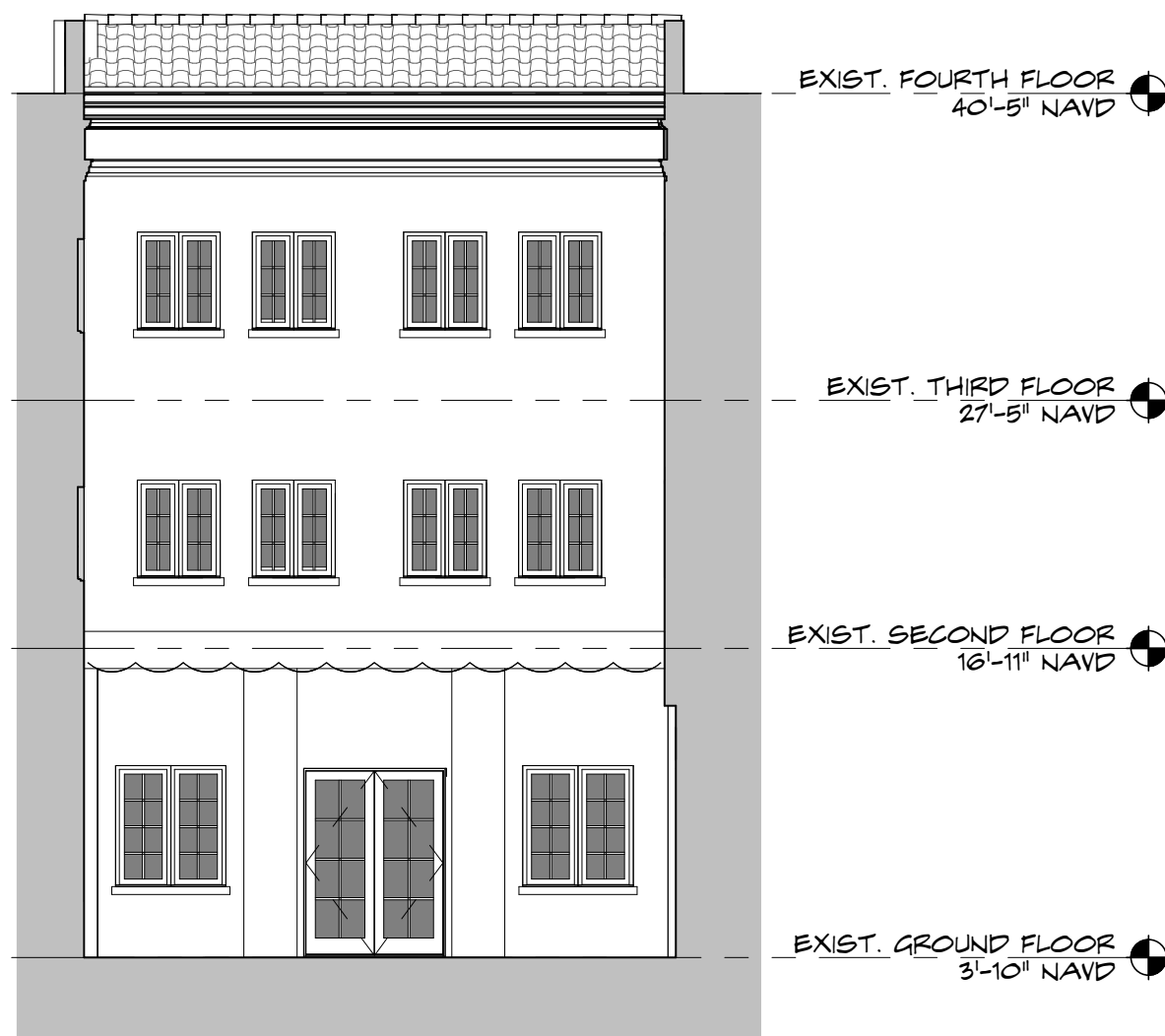
2 Existing Courtyard East Elevation
SCALE: 1/8" = 1'-0"



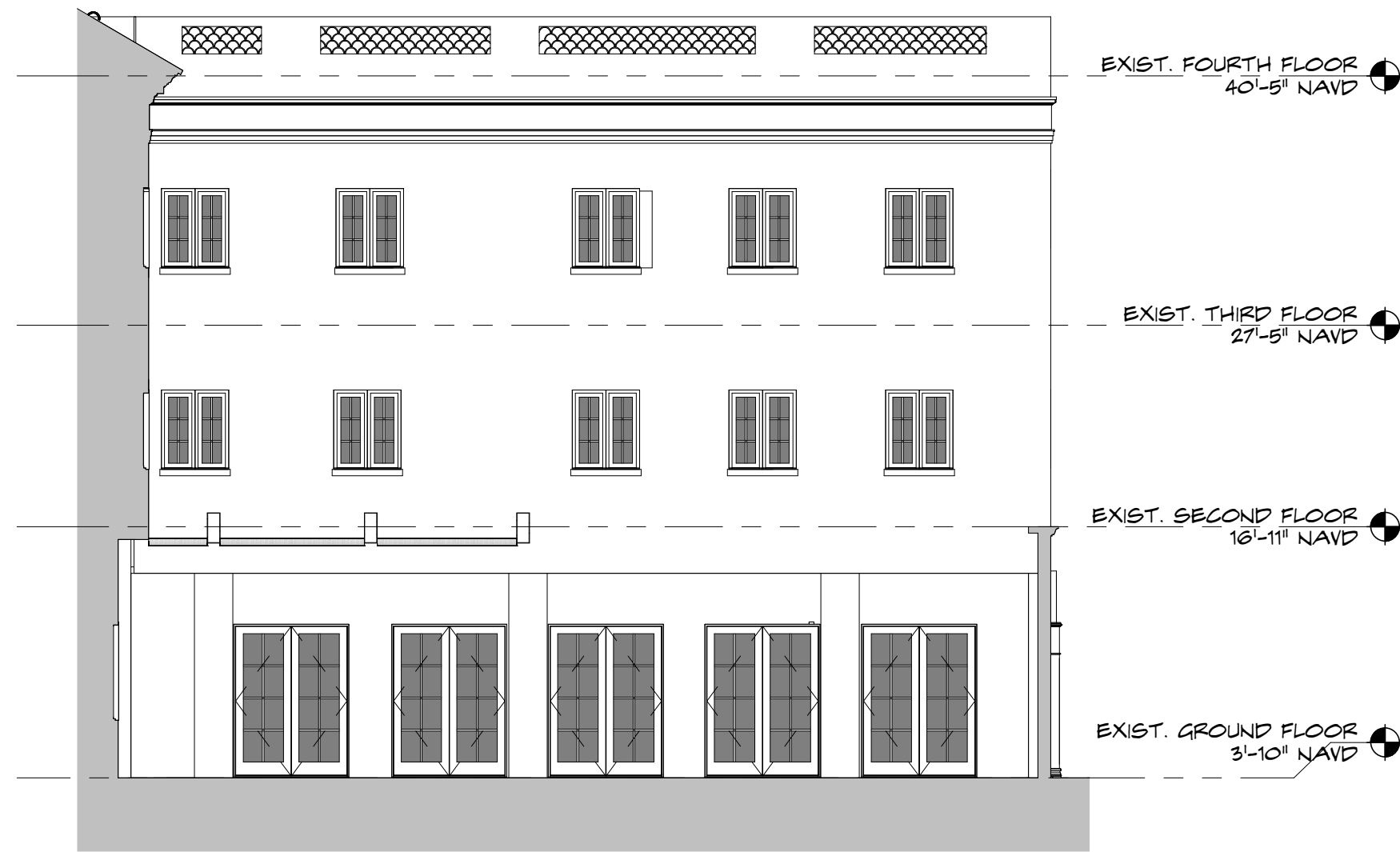
3 Existing Courtyard South Elevation
SCALE: 1/8" = 1'-0"



4 Proposed Courtyard North Elevation
SCALE: 1/8" = 1'-0"



5 Proposed Courtyard East Elevation
SCALE: 1/8" = 1'-0"



6 Proposed Courtyard South Elevation
SCALE: 1/8" = 1'-0"

