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By yfigueroa at 11:35 am, Feb 09, 2023

REGISTERED LANDSCAPE ARCHITECT
DONALD J. SKOWRON
No. 0666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

LANDSCAPE, HARDSCAPE, & POOL

2773 SOUTH OCEAN BOULEVARD PALM BEACH, FLORIDA

SHEET INDEX:

S1	Boundary, Topographic, & Tree Survey
V1	Vicinity Location Map & Location Plan
P1	Current Photographs of Site
P2	Photographs of Surrounding Properties
SP1	Existing & Proposed Site Plans
Z1	Town of Palm Beach Zoning Legend
EX1	Existing Conditions Inventory
L1	Proposed Landscape & Hardscape Plan (1/16")
L2	Proposed Landscape & Hardscape Plan (1/8")
L3	Pool Elevations/Sections
LL1	Landscape Lighting Plan
LL2	Landscape Lighting Specifications
NL1	Native Landscape Diagram and Calculations
Z2	Landscape Open Space Diagram & Calculations
LR1	Proposed Rendering
LR2	Proposed Rendering
M1	Materials & Finishes
C1	Site Grading & Drainage Plan
C2	Drainage Specifications & Details
CS1	Construction Screening Plan
CS2	Construction Staging & Truck Logistics Plan

ARC-22-162
ZON-22-110

MARCH 29, 2023 MEETING

SCOPE OF WORK:

- Demolish Existing Pool and Terrace
- New Pool, Pool Terrace, and Sunset Promenade
- New Landscaping at Proposed Terraces and Promenade
- Landscape Lighting
- No Changes to Parking or Zoning

CONSULTANTS:

Survey
Perimeter Surveying & Mapping
947 Clint Moore Road
Boca Raton, FL 33487
(561) 241-9988

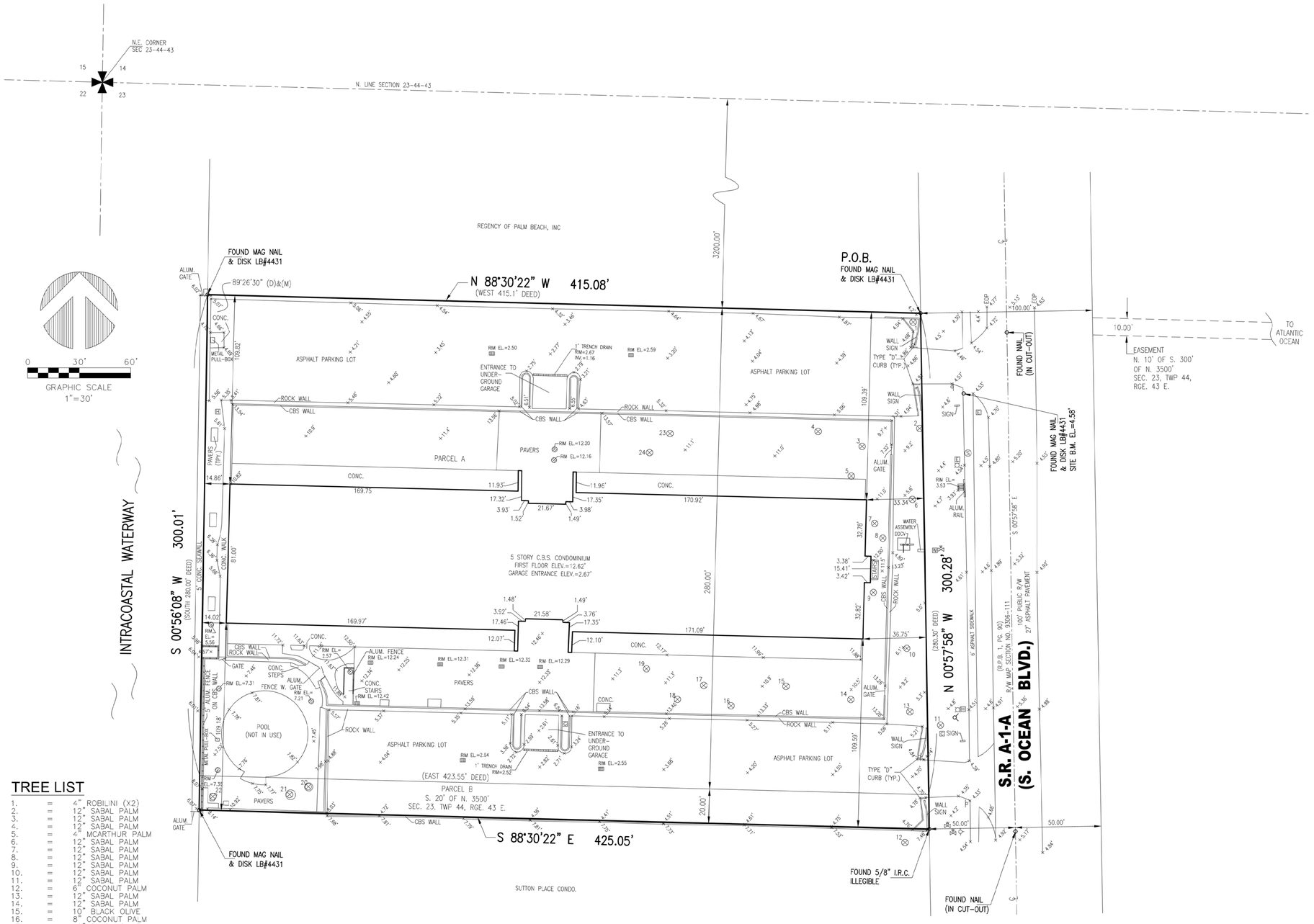
FINAL SUBMITTAL
FEBRUARY 9, 2023

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023



LEGAL DESCRIPTION

PARCEL A:

A PARCEL OF LAND IN SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43, IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA; DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A, AS SHOWN ON ROAD PLAT BOOK 1, PAGE 90, AND A LINE PARALLEL TO AND 3200 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, RUN WEST, ALONG SAID PARALLEL LINE 415.1 FEET, MORE OR LESS, TO A POINT IN A CONCRETE BULKHEAD; THENCE, RUN SOUTH (MAKING AN ANGLE OF 89°-26'-30" WITH THE PRECEDING COURSE, MEASURED FROM EAST TO SOUTH), ALONG SAID CONCRETE BULKHEAD A DISTANCE OF 280.0 FEET, MORE OR LESS, TO A POINT IN A LINE PARALLEL TO AND 3480 FEET SOUTH OF THE NORTH LINE OF SECTION 23; THENCE, EAST ALONG SAID PARALLEL LINE 423.55 FEET, MORE OR LESS, TO A POINT IN THE WEST RIGHT OF WAY LINE OF STATE ROAD A-1-A; THENCE, NORTH ALONG SAID RIGHT OF WAY LINE 280.30 FEET, MORE OR LESS, TO A POINT OF BEGINNING;

AND RIGHT OF WAY AND EASEMENT AS SET FORTH IN DEED BOOK 1107, PAGE 253, PALM BEACH COUNTY RECORDS, OVER THE FOLLOWING DESCRIBED PREMISES:

THE NORTH 10 FEET OF THE SOUTH 300 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING BETWEEN THE EAST RIGHT OF WAY LINE OF STATE ROAD A-1-A AND THE WATERS OF ATLANTIC OCEAN.

PARCEL B:

THE SOUTH 20 FEET OF THE NORTH 3500 FEET OF SECTION 23, TOWNSHIP 44 SOUTH, RANGE 43 EAST, LYING WEST OF STATE ROAD A-1-A RIGHT OF WAY.

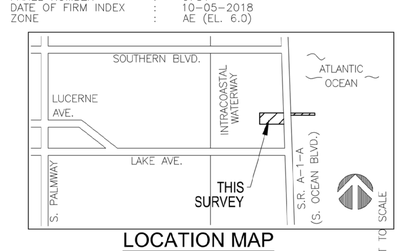
SUBJECT TO EASEMENTS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.

SAID LANDS SITUATE IN THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, AND CONTAIN 2.893 ACRES, MORE OR LESS.

NOTES

1. THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SURVEY.
3. ALL EASEMENTS SHOWN HEREON ARE PER THE RECORD PLAT(S) UNLESS OTHERWISE INDICATED.
4. THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN CONNECTION WITH THIS SURVEY, EXCEPT AS SHOWN.
5. BEARINGS SHOWN HEREON ARE BASED ON THE W. R/W LINE OF S.R. A-1-A HAVING A BEARING OF S 00°57'58" E, AS REFERENCED TO THE STATE PLANE COORDINATES SYSTEM, NORTH AMERICAN DATUM OF 1983 (90 ADJ.), FLORIDA EAST ZONE .
6. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND WERE DETERMINED FROM USCGS BENCHMARK "D-315", ELEVATION: 4.24'.
7. PROPERTY ADDRESS: 2773 S. OCEAN BLVD. PALM BEACH, FL.
8. FLOOD INFORMATION IS AS FOLLOWS:

COMMUNITY NUMBER	:	120220
PANEL NUMBER	:	0781
DATE OF FIRM INDEX	:	10-05-2018
ZONE	:	AE (EL. 6.0)



LOCATION MAP
NOT TO SCALE

ABBREVIATIONS

AC	=	AIR CONDITIONER
ALF.	=	ALUMINUM FENCE
C.B.R.	=	CONCRETE BLOCK & STUCCO
CLF	=	CHAIN LINK FENCE
CONC.	=	CONCRETE
DDCV	=	DOUBLE DETECTOR CHECK VALVE
(D)	=	DEED
DE	=	DRAINAGE EASEMENT
ELEV.	=	ELEVATION
FF	=	FINISHED FLOOR
GAR.	=	GARAGE
G.A.	=	GRATE ELEVATION
I.E.	=	INVERT ELEVATION
IP.	=	IRON PIPE
IR	=	IRON ROD
IRC	=	IRON ROD & CAP
L.M.E.	=	LAKE MAINTENANCE EASEMENT
(M)	=	MEASURED
MON.	=	MONUMENT
N/D	=	NAIL AND DISC
P.B.	=	PLAT BOOK
P.O.B.	=	POINT OF BEGINNING
P.B.C.R.	=	PALM BEACH COUNTY RECORDS
PG.	=	PAGE
PROP.	=	PROPOSED
R	=	RADIUS
R.P.B.	=	ROAD PLAT BOOK
R.E.	=	RIM ELEVATION
R/W	=	RIGHT-OF-WAY
S.R.	=	STATE ROAD
TYP.	=	TYPICAL
U.E.	=	UTILITY EASEMENT

LEGEND

- WATER METER
- ELECTRIC SERVICE
- TELEPHONE BOX
- CABLE TV BOX
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- WATER VALVE
- SIGN
- FIRE HYDRANT
- CATCH BASIN
- LIGHT POLE
- WOOD UTILITY POLE
- CONCRETE UTILITY POLE
- CLEAN OUT
- CENTERLINE
- ×4.50' EXISTING ELEVATION
- ELECTRIC PULLBOX

TREE LIST

1.	=	4" ROBILINI (X2)
2.	=	12" SABAL PALM
3.	=	12" SABAL PALM
4.	=	12" SABAL PALM
5.	=	4" MCARTHUR PALM
6.	=	12" SABAL PALM
7.	=	12" SABAL PALM
8.	=	12" SABAL PALM
9.	=	12" SABAL PALM
10.	=	12" SABAL PALM
11.	=	12" SABAL PALM
12.	=	6" COCONUT PALM
13.	=	12" SABAL PALM
14.	=	12" SABAL PALM
15.	=	10" BLACK OLIVE
16.	=	8" COCONUT PALM
17.	=	12" BLACK OLIVE
18.	=	12" SABLE PALM
19.	=	12" SABLE PALM
20.	=	8" SABAL PALM
21.	=	6" COCONUT PALM
22.	=	6" SABAL PALM
23.	=	12" SABAL PALM
24.	=	12" SABAL PALM

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

_____
JEFF S. HODAPP
SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS5111

DATE OF LAST FIELD WORK: AUGUST 2, 2022

PERIMETER
SURVEYING & MAPPING
Certificate of Authorization No. LB7264
947 Clint Moore Road
Boca Raton, FL 33487
Tel: (561) 241-9988
Fax: (561) 241-5182

BOUNDARY, TOPOGRAPHIC AND TREE SURVEY
CARLYLE HOUSE
2773 S. OCEAN BLVD. PALM BEACH, FL. 33480

NO.	DATE	BY	CK'D	REVISION
1				

SEAL

JOB NO.	22162
SCALE	1"=30'
DRAWN	GY
CHECKED	JSH
SHEET	1 OF 1

C:\Users\srb_1\Desktop\Don Skowron\Carlyle House\Survey.dwg

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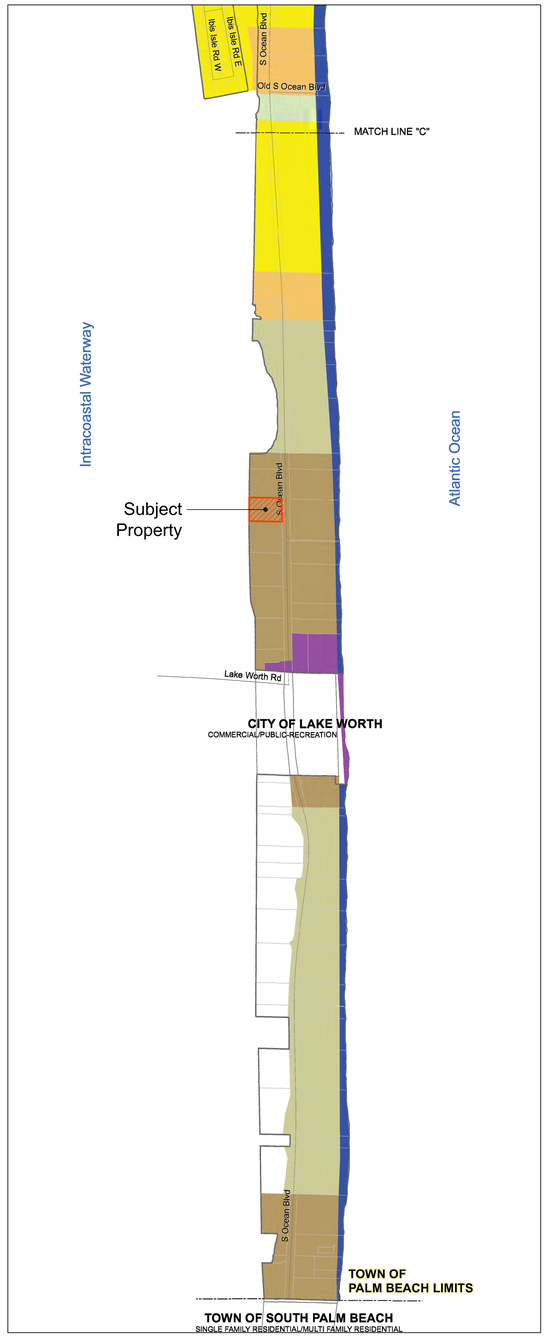
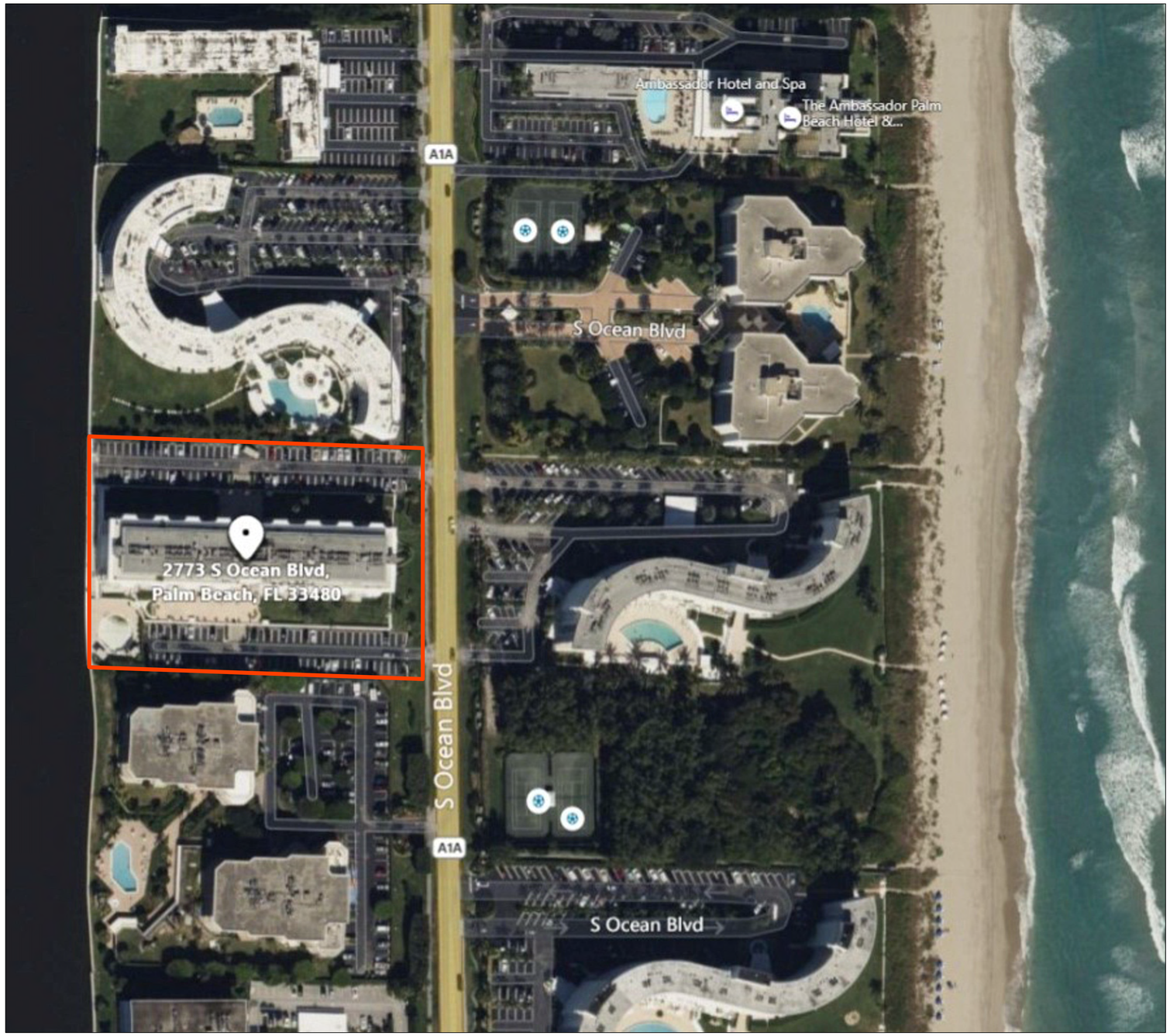


VICINITY LOCATION MAP

N.T.S.



LOCATION PLAN

N.T.S.

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
RONALD J. SKOWRON
LC0000074
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

VICINITY LOCATION MAP & LOCATION PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

N

V1

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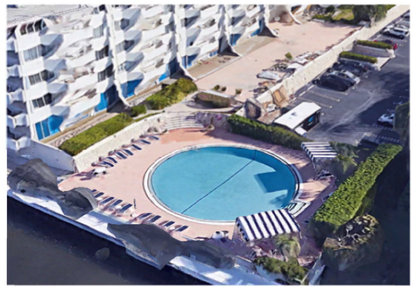
Birds Eye-Looking SE

Birds Eye-Looking NW



Pool Area

Existing Terrace over garage roof- Looking East

Existing Terrace over garage roof- Looking West

Current pool and pool deck condition

New Access point to Pool area from Garage level

Promenade Area-Looking N

Promenade Area- Looking S

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
RONALD L. SKOWRON
LA 6666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

CURRENT PHOTOGRAPHS OF SITE

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
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P1

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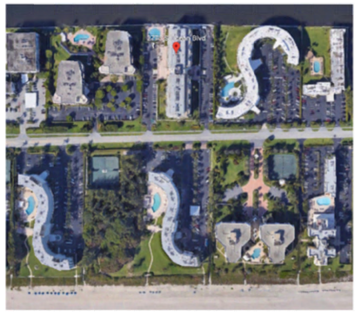

Aerial Photo of Surrounding Area

Project Site-South Entrance

Project Site-2773 South Ocean Blvd

Project Site-North Entrance

2760 South Ocean Blvd

2760 South Ocean Blvd

2760 South Ocean Blvd

2770 South Ocean Blvd

2774 South Ocean Blvd

2774 South Ocean Blvd

2780 South Ocean Blvd

2778 South Ocean Blvd

2778 South Ocean Blvd

2778 South Ocean Blvd

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

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LA 0666674
STATE OF FLORIDA

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Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
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PHOTOGRAPHS OF SURROUNDING PROPERTIES

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

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P2

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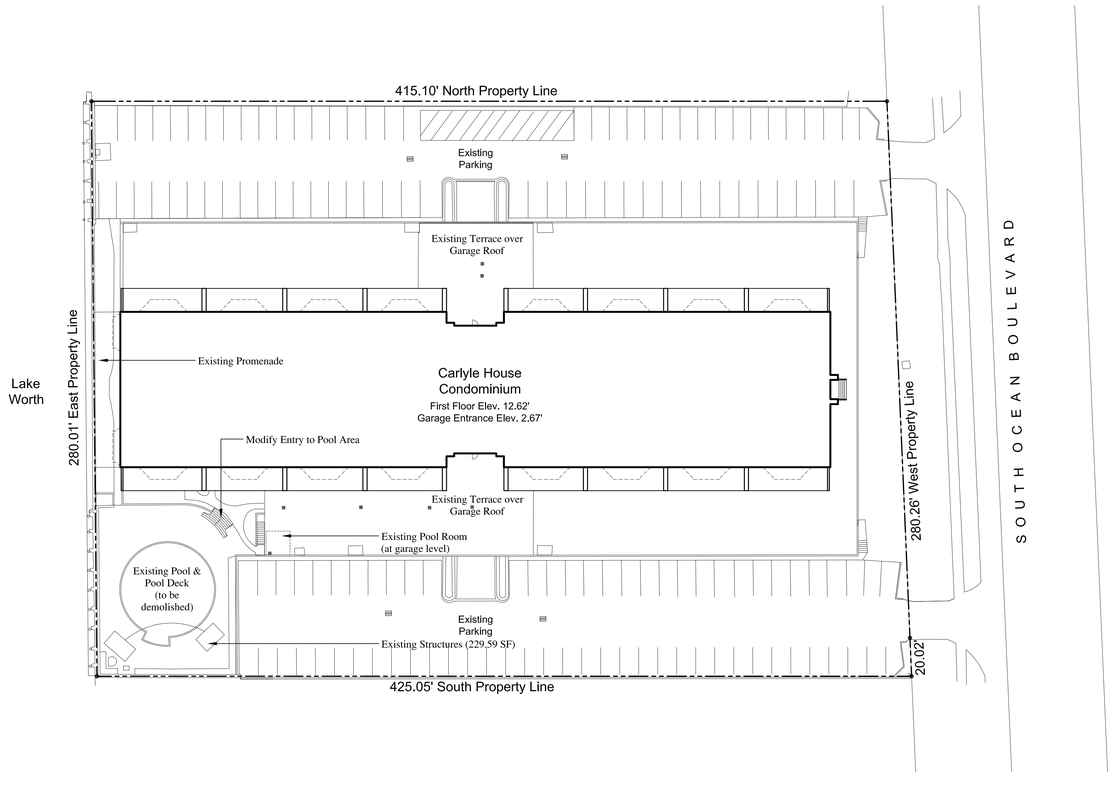
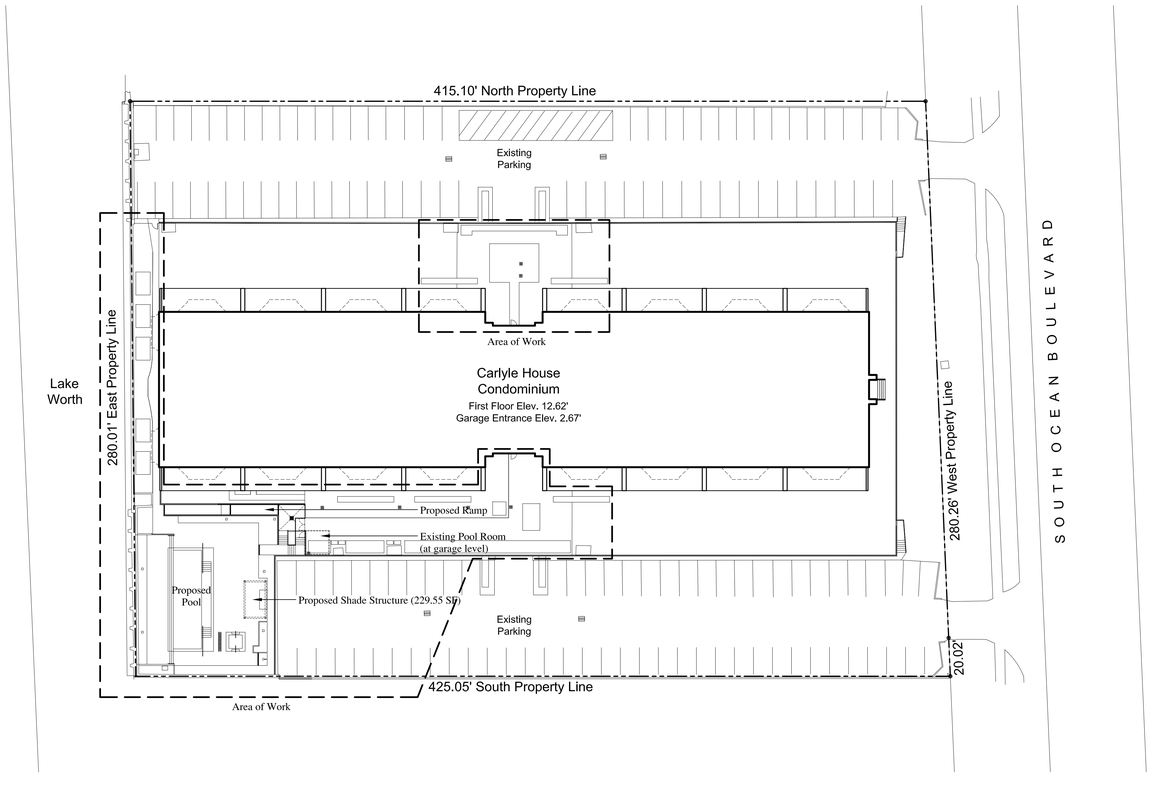


EXISTING SITE PLAN



PROPOSED SITE PLAN

NOTES:
1. All existing perimeter site walls to remain
2. All existing mechanical equipment located on roof to remain on roof
3. All existing pool equipment located in pool equipment room to remain in pool equipment room
4. Parking - No change to count

8 20 40 80

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

1/32" = 1'-0"

EXISTING & PROPOSED SITE PLANS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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February 9, 2023

N

SP1

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REGISTERED LANDSCAPE ARCHITECT
RONALD J. SKONIECZNY
No. 6666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

Zoning Legend

Property Address:	2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480		
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL		
Structure Type:	MULTI-FAMILY		
	Required/Allowed	Existing	Proposed
Lot Size (sq ft)	40,000	126,022.55	N/C
Lot Depth	200.00'	425.08'	N/C
Lot Width	150.00'	300.00'	N/C
Lot Coverage (sq ft and %)	27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)
Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C
Cubic Content Ration (CCR) (R-B ONLY)	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	30.17'
Rear Yard Setback (ft.)	30.00'	3.83'	54.42'
Angle of Vision (deg.)	N/A	N/A	N/C
Building Height (ft.)	35.00'	58.88'	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.62'	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)
Perimeter LOS (sq ft and %)	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A
** Native Plant Species %	*Please refer to separate landscape legend.*		

** Indicate each side yard with cardinal direction (N,S,E,W)*

If value is not applicable, enter N/A

If value is not changing, enter N/C

REV BF 20220304

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

TOWN OF PALM BEACH ZONING LEGEND

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

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February 9, 2023

Z1

EXISTING TREE LIST				EXISTING TREE LIST			
TREE #	TREE NAME	NATIVE	COMMENT	TREE #	TREE NAME	NATIVE	COMMENT
1	ROBELLINI PALM (DBL.)		REMAIN	13	WASHINGTONIAN PALM		REMAIN
2	WASHINGTONIAN PALM		REMAIN	14	WASHINGTONIAN PALM		REMAIN
3	WASHINGTONIAN PALM		REMAIN	15	OAK	X	REMAIN
4	WASHINGTONIAN PALM		REMAIN	16	COCONUT PALM		REMAIN
5	McARTHUR PALM		REMAIN	17	OAK	X	REMAIN
6	WASHINGTONIAN PALM		REMAIN	18	WASHINGTONIAN PALM		REMAIN
7	WASHINGTONIAN PALM		REMAIN	19	WASHINGTONIAN PALM		REMAIN
8	WASHINGTONIAN PALM		REMAIN	20	WASHINGTONIAN PALM		REMOVE
9	WASHINGTONIAN PALM		REMAIN	21	COCONUT PALM		REMOVE
10	WASHINGTONIAN PALM		REMAIN	22	WASHINGTONIAN PALM		REMOVE
11	WASHINGTONIAN PALM		REMAIN	23	WASHINGTONIAN PALM		REMAIN
12	COCONUT PALM		REMAIN	24	WASHINGTONIAN PALM		REMAIN

Zoning Legend			
Property Address:	2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480		
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL		
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Perimeter LOS (sq ft and %)	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A
** Native Plant Species %	*Please refer to separate landscape legend.*		

* Indicate each side yard with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

If value is not changing, enter N/C

REV BF 20220304

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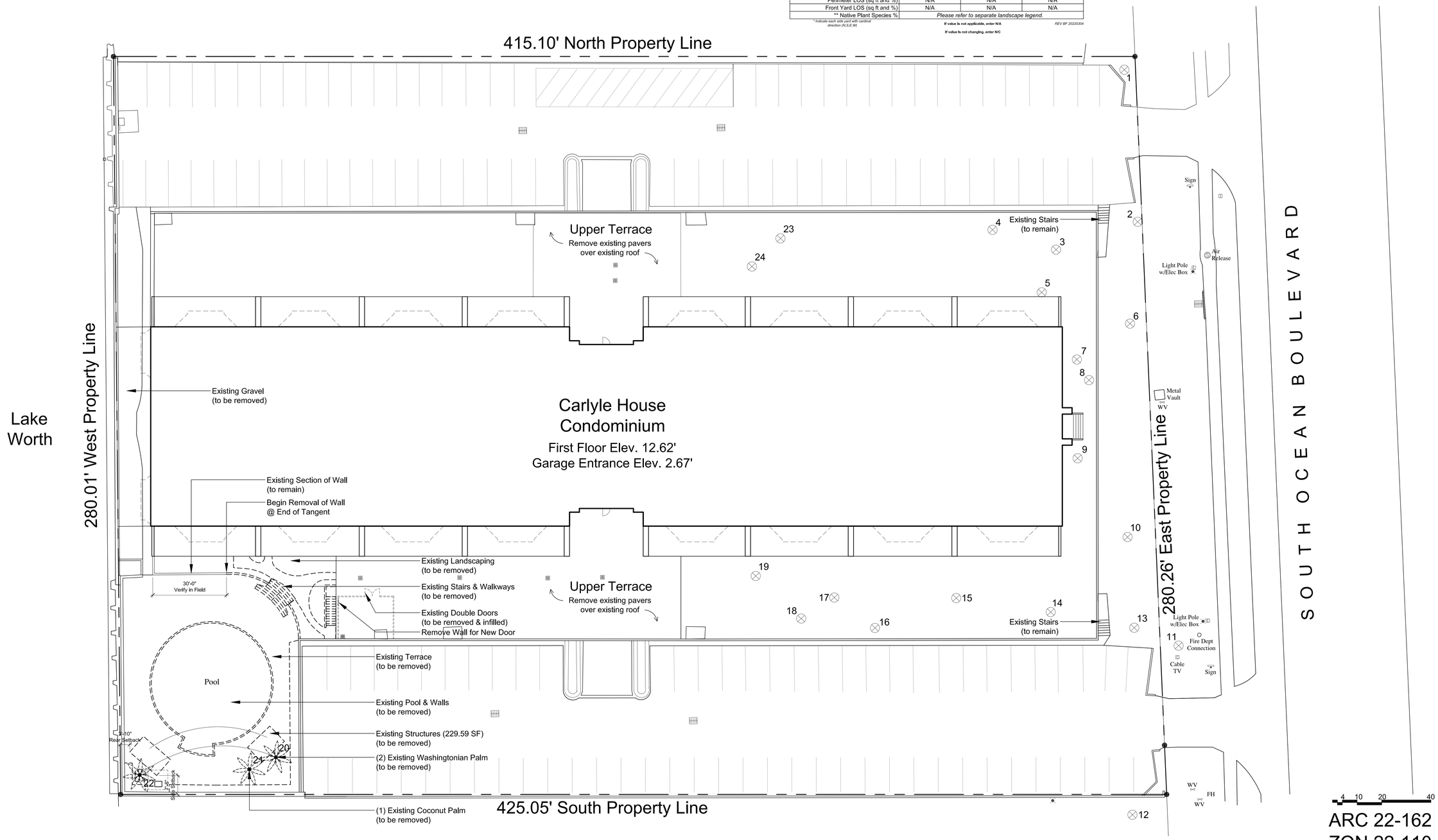

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

1/16" = 1'-0"

JOB #: 1002

EXISTING CONDITIONS INVENTORY

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

N

EX1

Proposed Plant List

	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
TREES (47/3N) 75%	1	SCREW PINE	PANDANUS VEITCHII			
	3	**SILVER BUTTONWOOD**	**CONOCARPUS ERECTUS**	**8'-10' O.A.**		**X**
PALMS (11/16N) 45%	6	COCONUT PALM	COCOS NUCIFERA	12' C.T.		
	5	**FLORIDA THATCH PALM**	**THRINAX RADIATA**	**10'-12' C.T.**		**X**
SHRUBS (1,157/1427N) 75%	68	SWEET BEGONIA	BEGONIA ODORATA 'ALBA'	3 GAL.		
	69	CLUSIA	CLUSIA ROSEA	3' O.A.	FULL TO BASE, FORM HEDGE	
	30	CLUSIA	CLUSIA ROSEA	5' O.A.	FULL TO BASE, FORM HEDGE	
	45	CLUSIA	CLUSIA ROSEA	10' O.A.	FULL TO BASE, FORM HEDGE	
	330	**DWARF FAKAHATCHEE**	**TRIPSACUM FLORIDANUM**	**3 GAL.**		**X**
	42	**EUGENIA SP.**	**EUGENIA UNIFLORA**	**7 GAL.**		**X**
	500	GREEN ISLAND FICUS	FICUS MICROCARPA	3 GAL., 12" O.C.	FULL TO BASE, FORM HEDGE	
	12	GREEN ISLAND FICUS	FICUS MICROCARPA	7 GAL.	FULL TO BASE, FORM HEDGE	
	6	OLEANDER 'PINK ICE'	NERIUM OLEANDER	15 GAL.		
	55	**SALTMARSH CORDGRASS**	**SPARTINA ALTERNIFLORA**	**3 GAL.**		**X**
GC/VINES (212/192N) 95%	**92**	**FLORIDA PEPEROMIA**	**PEPEROMIA HUMILIS**	**1 GAL., 6" O.C.**		**X**
	100	**WILD SAGE**	**LANTANA INVOLUCRATA**	**1 GAL., 12" O.C.**		**X**
	20	MARINE IVY	CISSUS TRIFOLIATE	3' O.C.	CASCADE DOWN WALL	

Native Landscape Legend

Property Address:	2773 SOUTH OCEAN BOULEVARD		
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,553.95 (20.28%)	26,012.85 (20.64%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	1.4 (35%)	0 (0%)	3 (75%)
Native* Palms (%)	3.9 (35%)	0 (0%)	5 (45%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.

Zoning Legend

Property Address:	2773 SOUTH OCEAN BLVD., PALM BEACH, FL 33480		
Zoning District:	R-D(2) HIGH DENSITY RESIDENTIAL		
Structure Type:	MULTI-FAMILY		
	Required/Allowed	Existing	Proposed
Lot Size (sq ft)	40,000	126,022.55	N/C
Lot Depth	200.00'	425.08'	N/C
Lot Width	150.00'	300.00'	N/C
Lot Coverage (sq ft and %)	27,724.96 (22.00%)	31,963.26 (25.36%)	31,963.22 (25.36%)
Enclosed Square Footage	N/A	29,628.46 (23.51%)	N/C
Cubic Content Ration (CCR) (R-B ONLY)	N/A	N/A	N/A
* Front Yard Setback (ft.)	25.00' or ht. of bldg.	34.25'	N/C
* Side Yard Setback (ft.)	30.00' or ht. of bldg.	7.67'	30.17'
Rear Yard Setback (ft.)	30.00'	3.83'	54.42'
Angle of Vision (deg.)	N/A	N/A	N/C
Building Height (ft.)	35.00'	58.88'	N/C
Overall Building Height (ft.)	40.00'	72.67'	N/C
Crown of Road (COR) (NAVD)	N/A	5.36'	N/C
Max. Amount of Fill Added to Site (ft.)	3.63'	N/A	N/C
Finished Floor Elev. (FFE) (NAVD)	7.00'	12.62'	N/C
Zero Datum for Point of Meas. (NAVD)	EL -7.0 NAVD	EL 7.0 NAVD	N/C
FEMA Flood Zone Designation	AE - EL. 6.0' NAVD	AE - EL. 6.0' NAVD	N/C
Base Flood Elevation (BFE)(NAVD)	N/A	7.0'	N/C
Landscape Open Space LOS (sq ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)
Perimeter LOS (sq ft and %)	N/A	N/A	N/A
Front Yard LOS (sq ft and %)	N/A	N/A	N/A
** Native Plant Species %	*Please refer to separate landscape legend.*		

* Indicate each side yard with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

If value is not changing, enter N/C

REV BF 20220304

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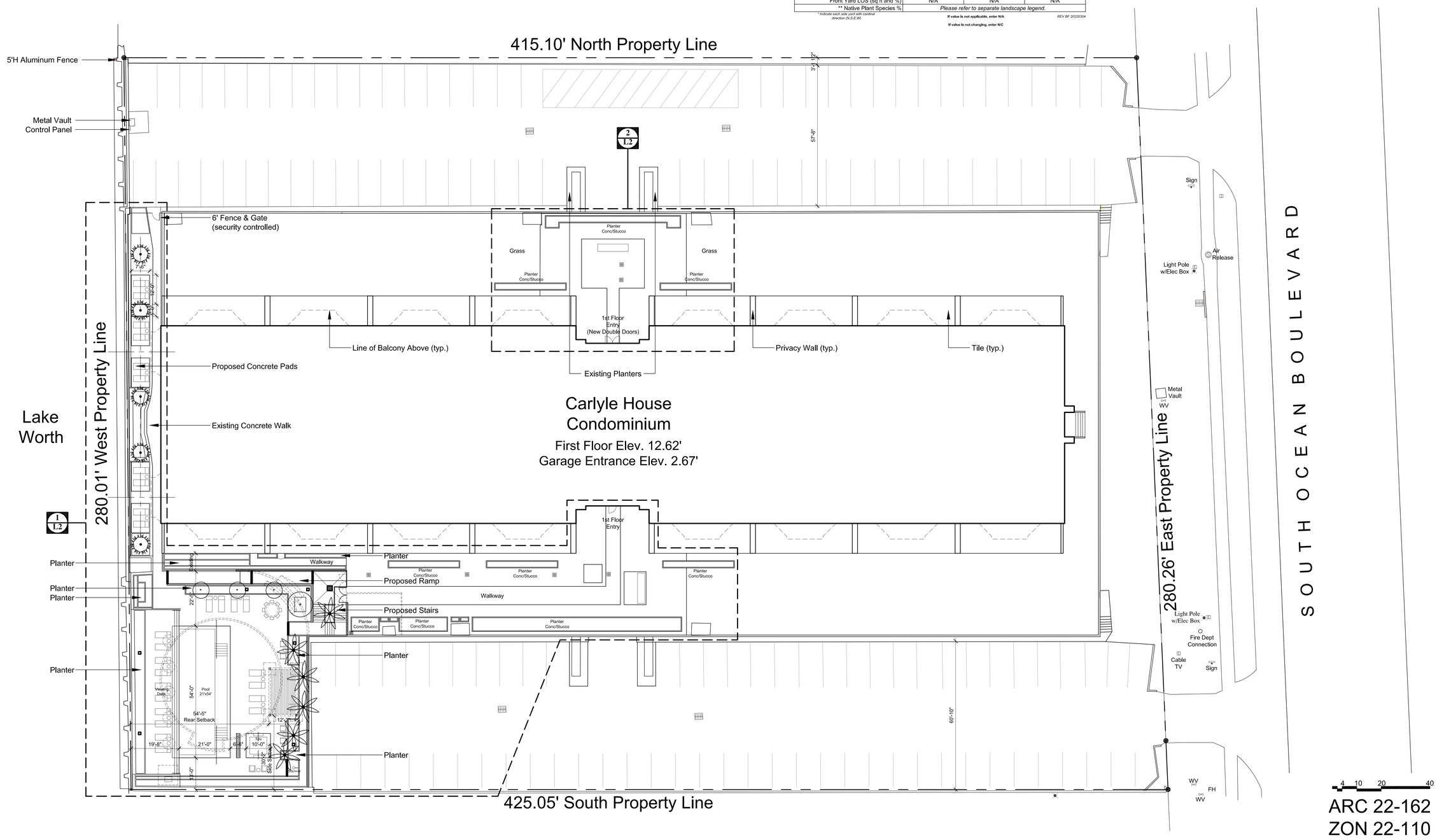

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

BGS
Landscape
Architecture
& Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

PROPOSED LANDSCAPE & HARDSCAPE PLAN

1/16" = 1'-0"

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

N

L1

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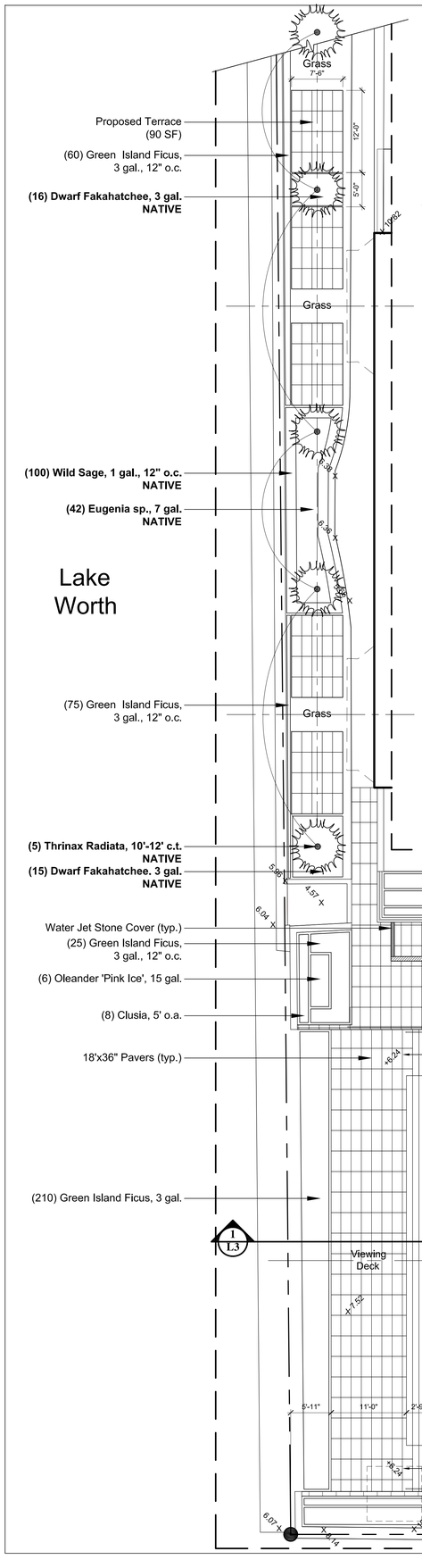

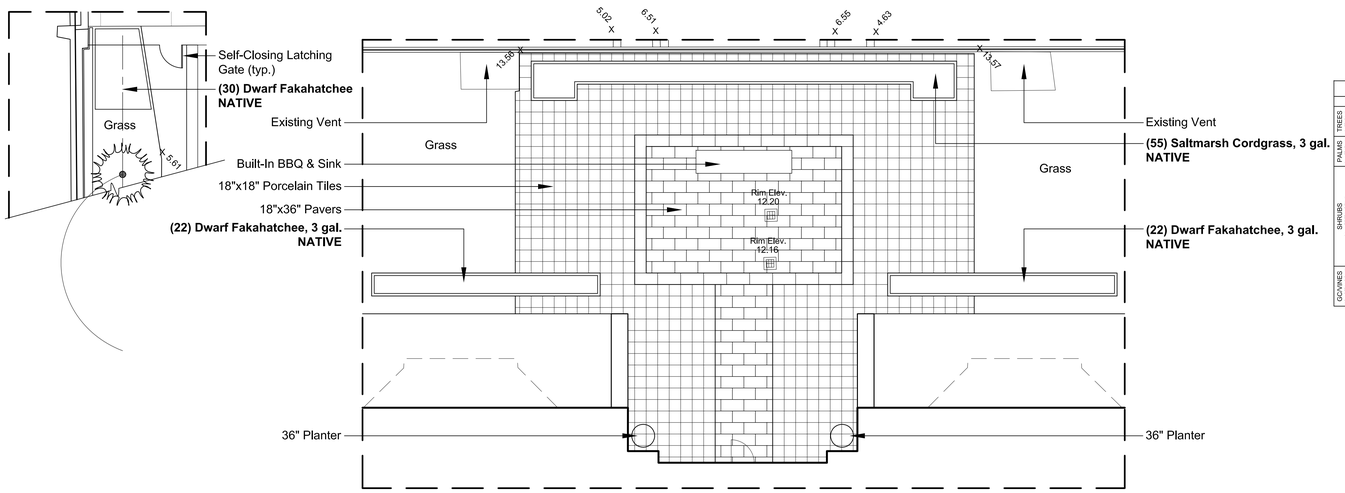

2/L2 NORTH BUILDING ENTRY

1/L2 SOUTH BUILDING ENTRY, POOL, & SUNSET VERANDA

Proposed Plant List

	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
PALM TREES (4T/28) 70%	1	SCREW PINE	PANDANUS VEITCHII			
	3	**SILVER BUTTONWOOD**	**CONOCARPUS ERECTUS**	**8'-10' O.A.**		**X**
	6	COCONUT PALM	COCOS NUCIFERA	12' C.T.		
	5	**FLORIDA THATCH PALM**	**THRINAX RADIATA**	**10'-12' C.T.**		**X**
SHRUBS (1,115/HR) 45%	68	SWEET BEGONIA	BEGONIA ODORATA 'ALBA'	3 GAL.		
	69	CLUSIA	CLUSIA ROSEA	3' O.A.	FULL TO BASE, FORM HEDGE	
	30	CLUSIA	CLUSIA ROSEA	5' O.A.	FULL TO BASE, FORM HEDGE	
	45	CLUSIA	CLUSIA ROSEA	10' O.A.	FULL TO BASE, FORM HEDGE	
	330	**DWARF FAKAHATCHEE**	**TRIPSACUM FLORIDANUM**	**3 GAL.**		**X**
	42	**EUGENIA SP.**	**EUGENIA UNIFLORA**	**7 GAL.**		**X**
	500	GREEN ISLAND FICUS	FICUS MICROCARPA	3 GAL., 12" O.C.	FULL TO BASE, FORM HEDGE	
	12	GREEN ISLAND FICUS	FICUS MICROCARPA	7 GAL.	FULL TO BASE, FORM HEDGE	
	6	OLEANDER 'PINK ICE'	NERIUM OLEANDER	15 GAL.		
	55	**SALTMARSH CORDGRASS**	**SPARTINA ALTERNIFLORA**	**3 GAL.**		**X**
GROUNDS (2,127/100%) 9%	**92**	**FLORIDA PEPEROMIA**	**PEPEROMIA HUMILIS**	**1 GAL., 6" O.C.**		**X**
	100	**WILD SAGE**	**LANTANA INVOLUCRATA**	**1 GAL., 12" O.C.**		**X**
	20	MARINE IVY	CISSUS TRIFOLIATE	3' O.C.	CASCADE DOWN WALL	

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1/8" = 1'-0"

PROPOSED LANDSCAPE & HARDSCAPE PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

2 5 10 20

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

L2

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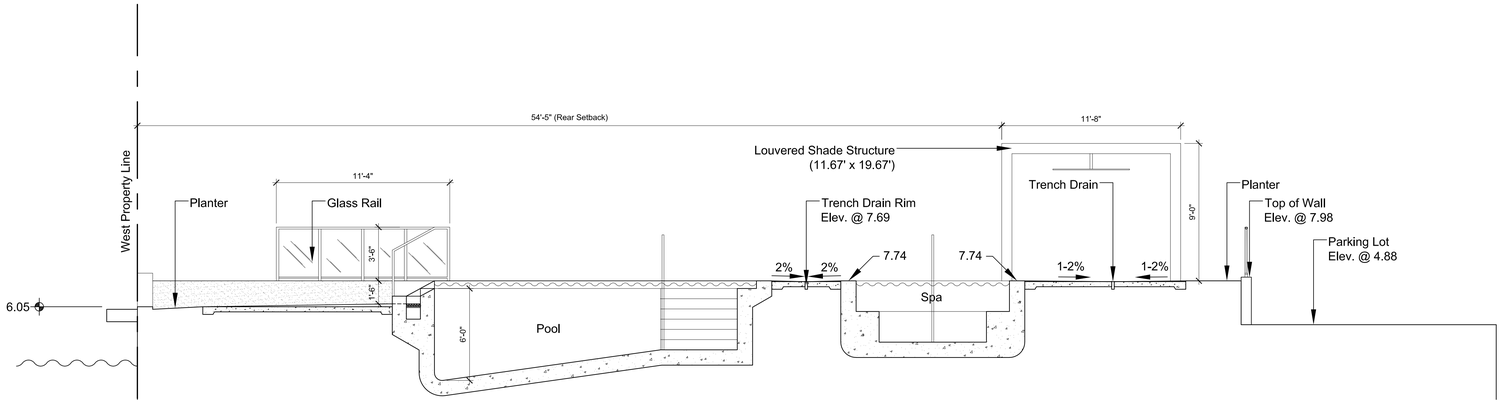
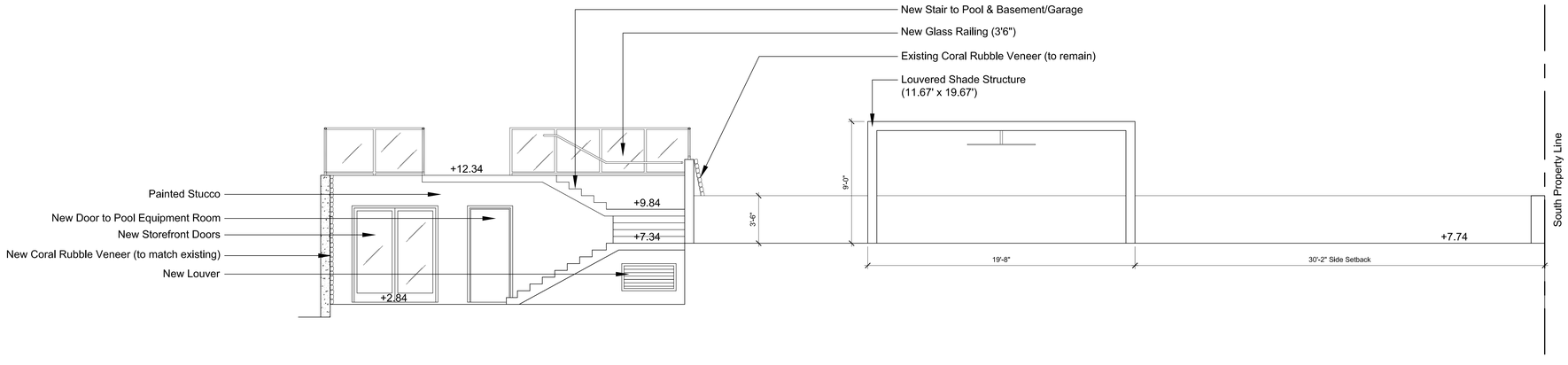


1 L3 WEST/EAST POOL SECTION



2 L3 NORTH/SOUTH STAIR SECTION/ELEVATION

1 2 5 10

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ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
DONALD J. SKOWRON
LA 0666674
STATE OF FLORIDA

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512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

1/4" = 1'-0"

POOL ELEVATIONS/SECTIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
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L3

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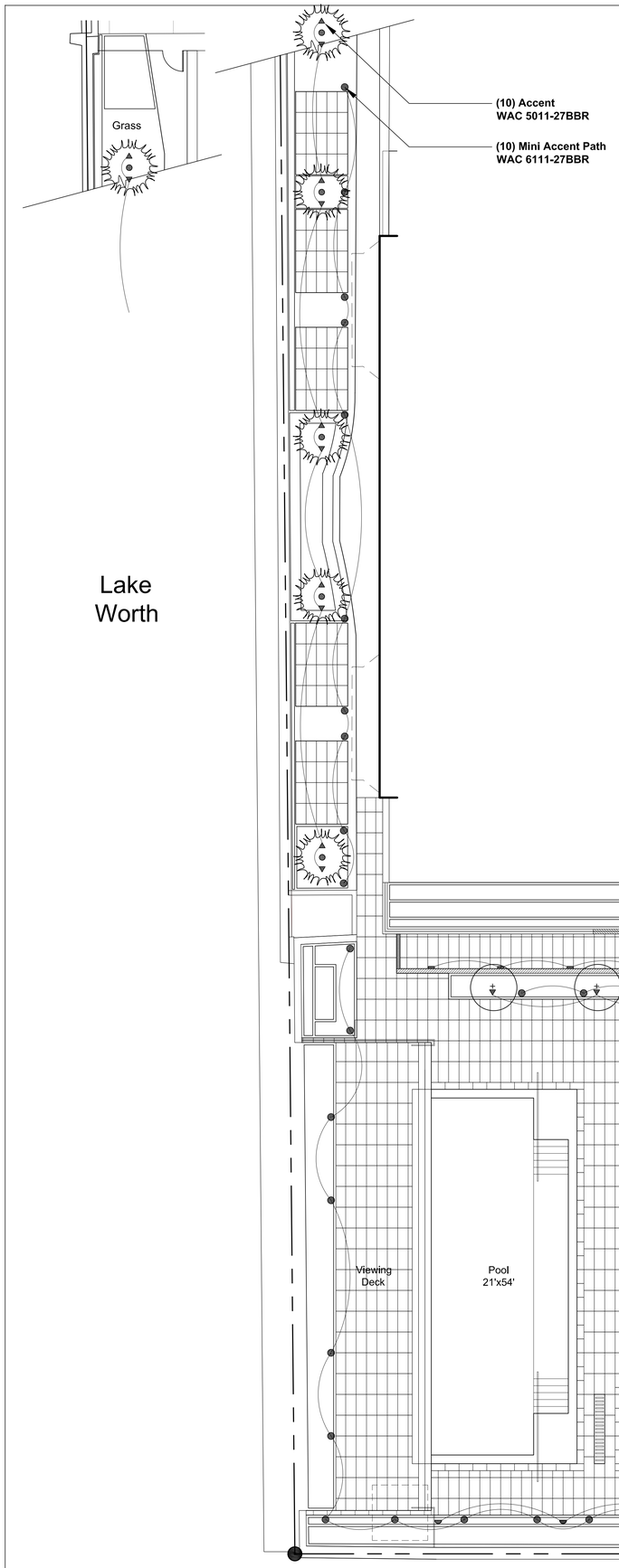
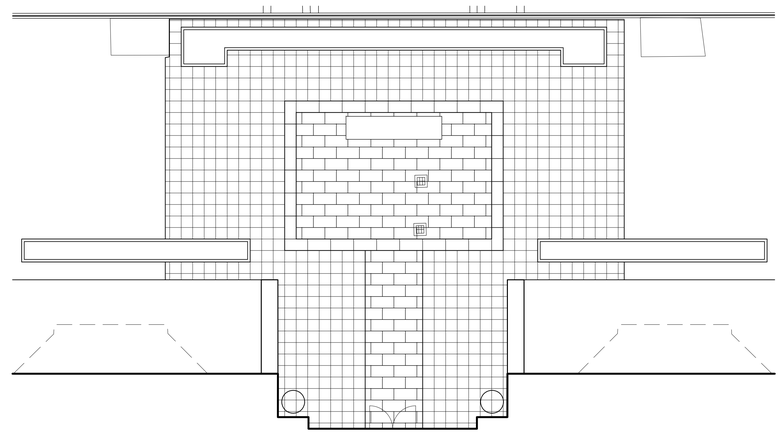
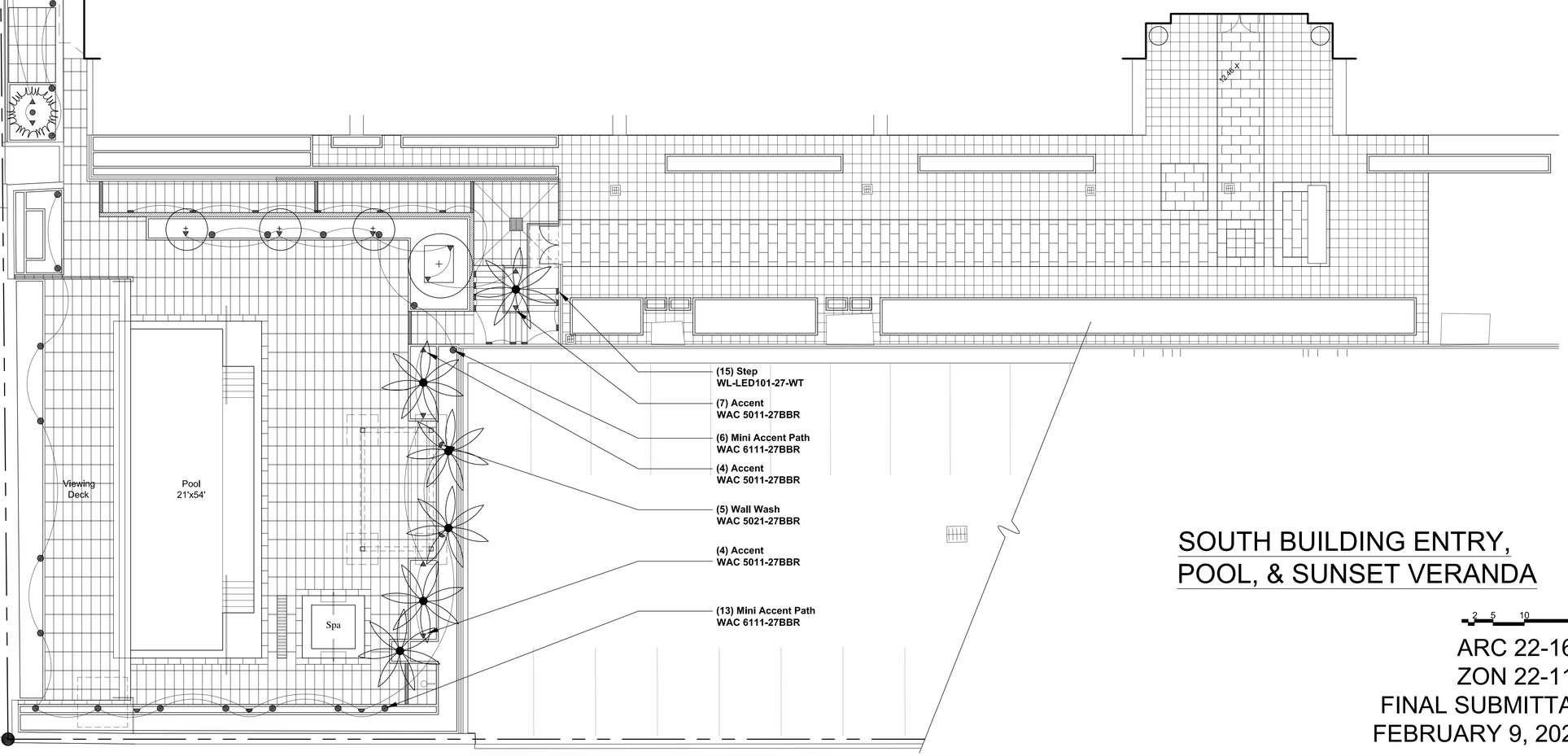




NORTH BUILDING ENTRY



SOUTH BUILDING ENTRY,
POOL, & SUNSET VERANDA

2 5 10 20

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FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
RONALD L. SKONHOFT
No. 0666674
STATE OF FLORIDA

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1/8" = 1'-0"

LANDSCAPE LIGHTING PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

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REGISTERED LANDSCAPE ARCHITECT
RONALD J. SKONIECZNY
No. 0666674
STATE OF FLORIDA

LIGHTING LEGEND

Symbol	Qty.	Manufacturer	Model Number	Volts	Type
△	21	WAC Lighting	5011-27BBR	12	Accent
◎	29	WAC Lighting	6111-27BBR	12	Mini Accent Path
▽	5	WAC Lighting	5021-27BBR	12	Wall Wash
▭	15	WAC Lighting	WL-LED101-27-WT	120	Step

ACCENT 12V
5011

WAC LANDSCAPE LIGHTING

Fixture Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Landscape accent luminaire. One fixture replaces all older halogen landscape accent lights

FEATURES
- Adjustable and lockable beam angle
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid die cast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Mounting stake, 6' lead wire and direct burial gel filled wire nuts included
- Constant output lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

SPECIFICATIONS
Input: 9-15VAC (Transformer is required)
Power: 3W to 10W / 2VA - 250VA
Brightness: 190 lm to 540 lm
Beam Angle: 10° to 60°
CRI: 85
Rated Life: 70,000 hours

ORDERING NUMBER

		Color Temp		Finish	
5011	*Accent 12V*	**27**	*2700K Warm White*	**BK**	*Black on Aluminum*
		30	*3000K Pure White*	**BZ**	*Bronze on Aluminum*
				BBR	*Bronze on Brass*

5011-27 BBR

Example: **5011-30BBR**

wachlighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

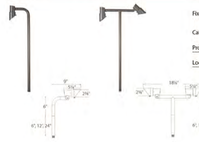
Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous Improvement program. OCT 11 2018

MINI ACCENT LED PATH
6111 / 6211

WAC LANDSCAPE LIGHTING

Fixture Type:
Catalog Number:
Project:
Location:



PRODUCT DESCRIPTION
Landscape mini accent luminaire. One fixture replaces all older halogen landscape accent lights

FEATURES
- Continuously Adjustable Beam Angles. Indexed at 10°, 25°, 40°, 50°
- Continuously Adjustable brightness control. Indexed at 1W, 2W, 4W, 6W, 7W
- Adjustable beam angle
- IP66 rated, Protected against high-pressure water jets
- Includes a detachable shroud
- Solid die cast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Constant output for 9V-15V input
- Can be used as an uplight or downlight
- 2700K or 3000K color temperature
- Guardian detachable shroud, 6' lead wire and direct burial gel filled wire nuts included
- UL & CUL 1838 Listed

SPECIFICATIONS
6111 *Single*
Input: 9-15VAC (Transformer is required)
Power: 1W to 7W / 2VA - 10.5VA
Brightness: 42lm to 363 lm
CRI: 85
Rated Life: 70,000 hours

6211 *Double*
Input: 9-15VAC (Transformer is required)
Power: 1W to 7W / 2VA - 10.5VA x 2
Brightness: 42lm to 363 lm x 2
CRI: 85
Rated Life: 70,000 hours

ORDERING NUMBER

		Color Temp		Finish	
6111	*Single*	**27**	*2700K Warm White*	**BBR**	*Bronze on Brass*
6211	*Double*	**30**	*3000K Pure White*	**BZ**	*Bronze on Aluminum*

6111-27 BBR

Example: **6111-30BBR**

wachlighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

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Ontario, CA 91760

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WALL WASH 12V
5021

WAC LANDSCAPE LIGHTING

Fixture Type:
Catalog Number:
Project:
Location:

PRODUCT DESCRIPTION
Landscape Wall Wash luminaire

FEATURES
- A uniform wide distribution wall wash from a small form factor
- Integral dimmer
- IP66 rated, Protected against high-pressure water jets
- Solid diecast brass or corrosion resistant aluminum
- Factory sealed water tight fixtures
- Mounting stake, 6' lead wire and direct burial gel filled wire nuts included
- Maintains constant lumen output against voltage drop
- UL 1838 Listed
- Not suitable to use with external dimmers

SPECIFICATIONS
Input: 9-15VAC (Transformer is required)
Power: 3W to 10W / 2VA - 25VA
Brightness: 190 lm to 980 lm
Beam Angle: 15° spread (50° to 80°)
CRI: 85
Rated Life: 70,000 hours

ORDERING NUMBER

		Color Temp		Finish	
5021	*Wall wash 12V*	**27**	*2700K*	**BK**	*Black on Aluminum*
		30	*3000K*	**BZ**	*Bronze on Aluminum*
				BBR	*Bronze on Brass*

5021-27 BBR

Example: **5021-30BK**

wachlighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

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Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

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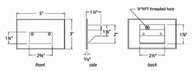
Model: WL-LED101
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®

Fixture Type:
Catalog Number:
Project:
Location:



PRODUCT DESCRIPTION
Horizontal rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, uniform, mold, fungus, algae, and yeast. Designed for safety and illumination of walkways, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, inviting ambiance at night.

FEATURES
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- 3-year WAC Lighting product warranty

SPECIFICATIONS
Construction: Die-cast aluminum
Power: Direct wiring, no remote driver needed.
Inputs: 120V 50/60Hz (277V special order/3000K, Amber (AN)
Light Source: HV AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W
Mountings: Fits into 2" x 4" J-Box with minimum inside dimensions of 2" x 2" x 2½"
Includes bracket for J-Box mount.
Dimming: Dim to 10% with ELV dimmer (120V only).
Approved dimmers: Lutron Nova T WTELV-300 & NTELV-600, Lutron Vierti VTELV-600, Lutron Diva DVELV-300E
Lutron Skylark SELV-300E Lutron Maestro MAELV-600
Standards: IP66, UL & cUL Listed for wet locations, Title 24 Compliant (120V only)

ORDER NUMBER

Model #		Light Color		Finish	
WL-LED101	120V	**27**	*2700K*	**WT**	*White*
		30	*3000K*		
		AN	*Amber @10lmen*		

WL-LED101 - [ ] - WT

Example: **WL-LED101-27-WT**
For 277V, add "7" before CCT: **WL-LED101F-30-WT**

wachlighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

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Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

1/8" = 1'-0"

JOB #: 1002

LANDSCAPE LIGHTING SPECIFICATIONS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

N

ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

LL2

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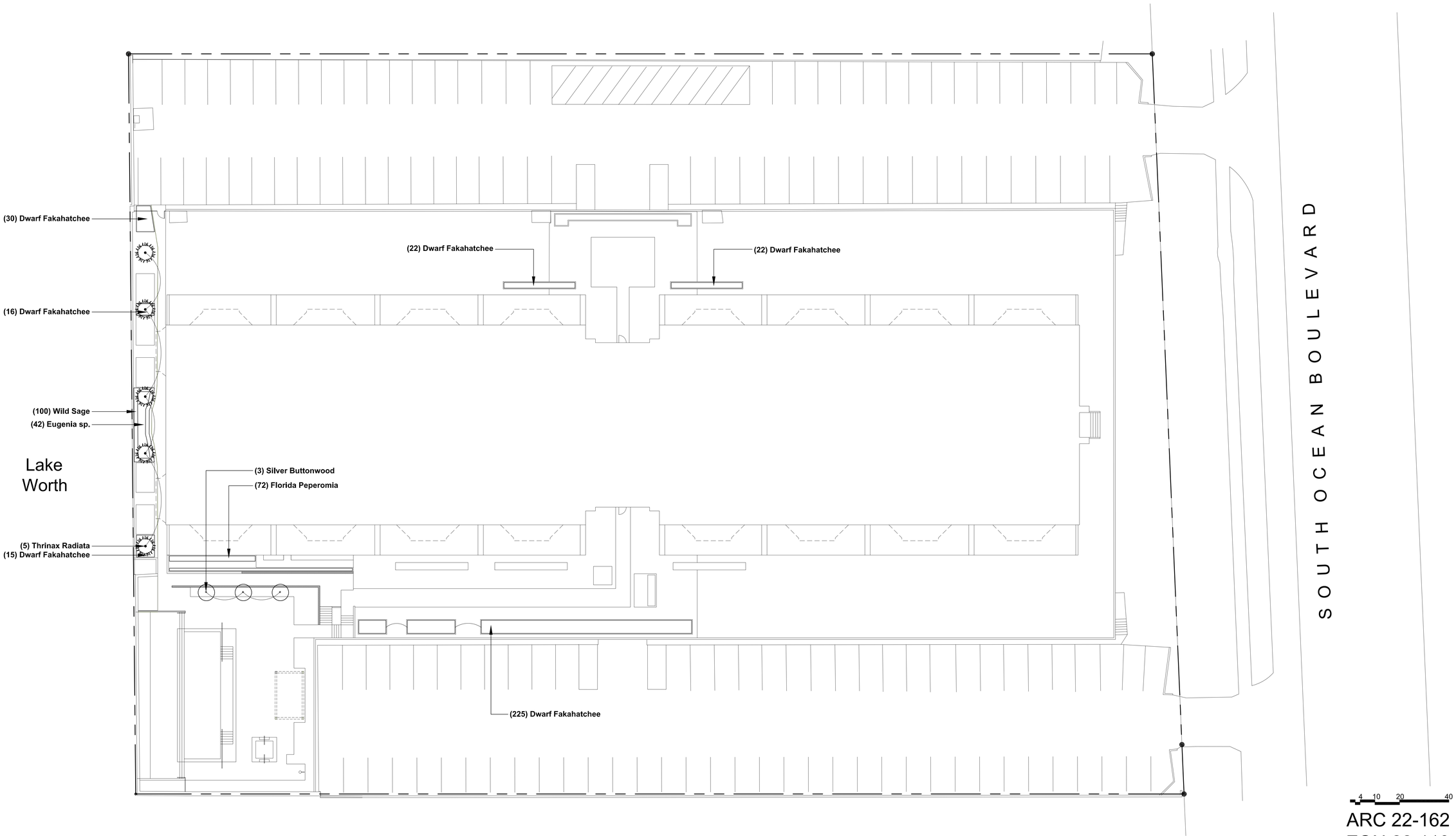
Native Landscape Legend

Property Address:	2773 SOUTH OCEAN BOULEVARD		
	Required	Existing	Proposed
Lot Size (Sq Ft)	40,000.00	126,022.55	126,022.55
Lot Depth	200.00'	425.08'	425.08'
Landscape Open Space (LOS) (Sq Ft and %)	44,107.89 (35.00%)	25,596.78 (20.31%)	26,079.09 (20.69%)
Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
Native* Trees (%)	1.4 (35%)	0 (0%)	3 (75%)
Native* Palms (%)	3.9 (35%)	0 (0%)	5 (45%)
Native* Shrubs (%)	394.5 (35%)	0 (0%)	427 (37%)
Native* Vines/Ground Cover (%)	74.2 (35%)	0 (0%)	192 (91%)

To determine appropriate native* vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.



ARC 22-162
ZON 22-110
FINAL SUBMITTAL
FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
RONALD J. SKONHOFT
LA0666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

NATIVE LANDSCAPE DIAGRAM & CALCULATIONS

1/16" = 1'-0"

JOB #: 1002

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
February 9, 2023

DATE PLOTTED:
February 9, 2023

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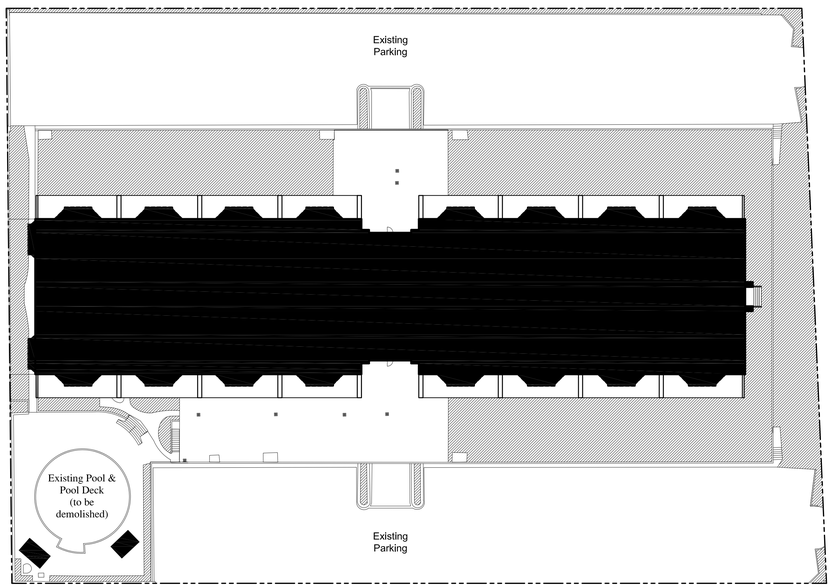


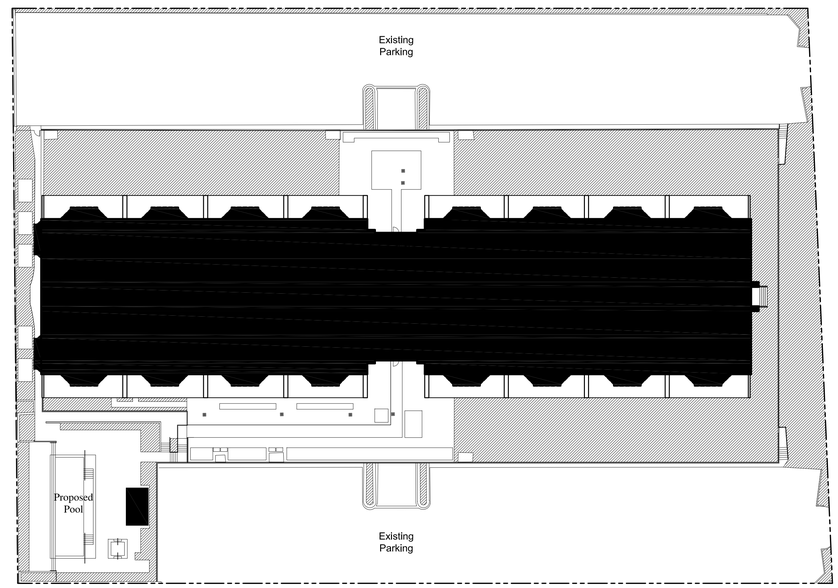
EXISTING LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL
- Existing 126,022.55 SQ.FT. 100.00%

LANDSCAPE - OVERALL
- Required 42,107.89 SQ.FT. 35.00%
- Existing 25,596.78 SQ.FT. 20.98%

LOT COVERAGE
- Max Allowable 27,724.96 SQ.FT. 22.00%
- Existing 31,963.26 SQ.FT. 25.36%

HARDSCAPE
- Existing 64,462.51 SQ.FT. 52.83%



PROPOSED LANDSCAPE OPEN SPACE DIAGRAM

LOT - OVERALL
- Existing 126,022.55 SQ.FT. 100.00%

LANDSCAPE - OVERALL
- Required 42,107.89 SQ.FT. 35.00%
- Proposed 26,079.09 SQ.FT. 21.69%

LOT COVERAGE
- Max Allowable 27,724.96 SQ.FT. 22.00%
- Proposed 31,963.22 SQ.FT. 25.36%

HARDSCAPE
- Proposed 63,929.79 SQ.FT. 52.07%

8 20 40 80

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REGISTERED LANDSCAPE ARCHITECT
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LA 6666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

LANDSCAPE OPEN SPACE DIAGRAMS & CALCULATIONS

Carlyle House
2773 South Ocean Boulevard
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FEBRUARY 9, 2023

REGISTERED LANDSCAPE ARCHITECT
DONALD J. SKOURON
LICENSE NO. 0666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

PROPOSED RENDERING

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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RONALD L. SKOWRON
LA 6666674
STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

PROPOSED RENDERING

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Example of Proposed Shade Structure
See L3-Elevations and Dimensions

Shell Stone 18” x 36”

Porcelain Paving 18” x 18”

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FEBRUARY 9, 2023

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(561) 602-6277
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MATERIALS & FINISHES

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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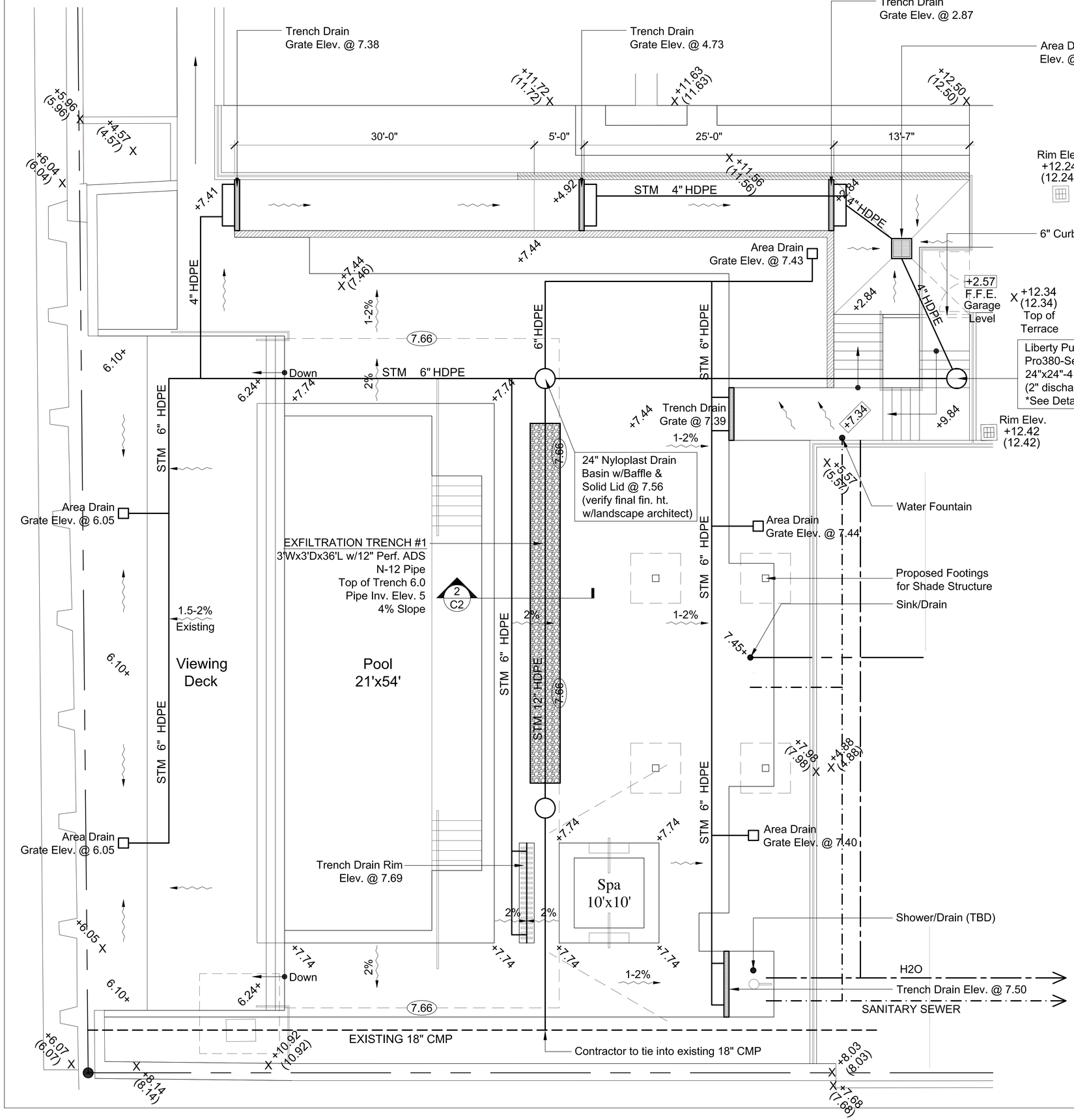

Legend - Storm Water Management

- Property Line
- Water Line
- Sanity Sewer
- X Size & Type — Drainage Pipe
- Exfiltration Trench
- Drain Basin
- Area Drain
- Trench Drain
- Slope Direction
- (7.50) Existing Elevation
- +7.50 Proposed Elevation

JASON BRYCE GOSS
LICENSE
No. 94071
STATE OF FLORIDA
PROFESSIONAL ENGINEER

BGS
Landscape Architecture & Engineering

512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
PE36171

SCALE: 1/4" = 1'-0"

JOB #: 1000

PARTIAL SITE GRADING & DRAINAGE PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

DATE ISSUED:
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DATE PLOTTED:
February 9, 2023

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ARC 22-162
ZON 22-110
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FEBRUARY 9, 2023

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GENERAL NOTES & SPECIFICATIONS:

1. Contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in specifications or mentioned in the specifications and not shown on the drawings, shall be of the like effect as if shown or mentioned in both.

2. Figures marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors, which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, contractor shall adjust such dimensions as conditions may require.

3. If contractor, in the course of work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by contractor, it shall be contractor's duty to immediately inform engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.

4. If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at one report to engineer any discrepancies between the executes work and the drawings.

5. Engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. Contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing, or removal of portions of the finished work.

6. All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit by any unburned remains are to be disposed of as directed by the owner or his representatives.

7. Contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims for damage. Contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalks, lawns, utilities, and other items damaged by this construction activity.

8. Contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by engineer. Should any test fail to meet specification as shown herein, contractor shall, at contractor's expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.

9. All work shall be performed in a workman-like manner ad shall conform with all applicable City, County, State, and Federal regulations and/or codes. Contractor shall obtain all permits and licenses required to begin work.

10. Contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed, and/or relocated, which may be required in order to complete the work.

11. The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect completed work.

12. Contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at contractor's expense.

13. All work shall be accomplished in a safe and workman-like manner. Contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury, or property damage.

14. Minimum Construction Inspection Checkpoints:
1. Prior to any major deviation from the approved plan
2. Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved
3. Upon completion of sub-grade compacting
4. At the time of delivery of base material
5. Upon completion of the base and prior to priming
6. Immediately prior to and upon the first and second applications of the plant mixed wearing course
7. Upon completion of construction, a final inspections will be made with project representative.

15. All unsuitable material such as muck, marl, and debris shall be removed from the limits of construction and legally disposed. At the engineer's directions, much may be stockpiled on the site at designated locations for use in landscaping.

16. All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of on year from the date of final acceptance thereof, against defective materials, design, and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts, or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement(s) and repair(s) within seven (7(days after notification by the owner, the owner may accomplish the work at the expense of the contractor.

17. Contractor shall complete "as-built" information relative to pipe lengths, materials, and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

NOTES:

1. All pipe systems shall be installed in accordance with ASTM D321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF TERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", latest addition.

2. Measures should be taken to prevent migration of native fines into backfill material, when required.

3. Suitable Subgrade: Where the trench bottom is unstable, contractor shall excavate to a depth required by engineer and replace with suitable material as specified by engineer. As an alternative, and at the discretion of design engineer, trench bottom may be stabilized using geotextile material.

4. Bedding: Suitable material shall be be Class I, II, or III. Contractor shall provide documentation for material specification to engineer. Unless otherwise noted by engineer, minimum bedding thickness shall be 4" for 4"-24" pipe and 6" for 30"-60" pipe.

5. Initial Backfill: Suitable material shall be Class I, II, or III in the pipe zone extending not less than 6" above crown of pipe. Contractor shall provide engineer with documentation for material specification.Material shall be installed as required in ASTM D2321, latest edition.

6. Minimal Cover: Minimum Cover, H in non-traffic applications (grass or landscape areas) is 12" from the top of pipe to ground surface. Additional cover may be required to prevent flotation. For traffic applications, minimum cover, H, is 18" up to 48" diameter pipe and 24" of cover for 54"-60" diameter pipe, measured from top of pipe to bottom of flexible pavement or to top of rigid pavement.

STORM WATER CALCULATIONS

Total Quantity of Runoff Calculation

Rationale Method, Q = CIA

Q1	=	0.24 cfs	peak runoff rate in cubic feet per second (impervious)
Q2	=	0.06 cfs	peak runoff rate in cubic feet per second (pervious)
Qt	=	0.31 cfs	peak runoff rate in cubic feet per second (total)
Qt	=	0.3069 ac-in/hr.	peak runoff rate in acre inches per hour (total)
C1	=	1	runoff coefficient impervious
C2	=	0.2	runoff coefficient pervious
i	=	2 in/hr.	rainfall intensity in inches per hour
A1	=	0.121 ac	drainage area in acres (impervious)
A2	=	0.032 ac	drainage area in acres (pervious)
1 foot	=	12 inches	conversion
1 acre	=	43560 sf	conversion
1 hour	=	3600 sec	conversion
1 cfs	=	448.8 gpm	conversion
		138.8994444 gpm	Max flow
4" PVC		0.09 SF	area
		3.5 fps	velocity
6" PVC		0.20 SF	area
		1.6 fps	velocity
12" PVC		0.79 SF	area
		0.39 fps	velocity

Trench Size Calculation

Exfiltration Trenches G-1 from 2020 Permit Manual

L =	3.16E+01 ft	total length of trench in feet
W =	3 ft	width of trench in feet
FS =	2	factor of safety, 2 minimum for geological uncertainties
%WQ =	50%	percent reduction in WQ treatment volume based on method, 50% for wet/dry retention
Vwq =	0.3069 ac-in/hr	volume of treatment provided by trench in 1 hour; needs to exceed runoff quantity
Vadd =	0 ac-in/hr	volume of treatment provided by trench in 1 hour in addition to Vwq;
K =	3.53E-04 cfs/ft2-ft	hydraulic conductivity in cubic feet per second per square foot per foot of head; $5x10\text{-}5^{-5}$default value
H2 =	3.66 ft	depth to water table or head on saturated surface; difference between grade and lowest elevation allowing discharge from trench or water table
Du =	3 ft	unsaturated trench depth; depth from top of trench in unsaturated zone to water table
Ds =	0ft	saturated trench depth; depth to bottom of trench from water table

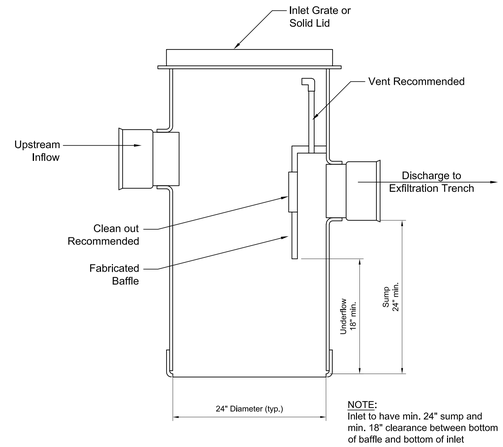
Sump Pump Calculation

Rationale Method, Q = CiA - for 10.5 in/hour

Q1	=	0.17 cfs	peak runoff rate in cubic feet per second (impervious)
Q2	=	0.00 cfs	peak runoff rate in cubic feet per second (pervious)
Qt	=	0.17 cfs	peak runoff rate in cubic feet per second (total)
Qt	=	0.1687 ac-in/hr.	peak runoff rate in acre inches per hour (total)
C1	=	1	runoff coefficient impervious
C2	=	0.2	runoff coefficient pervious
i	=	10.5 in/hr.	rainfall intensity in inches per hour
A1	=	0.016 ac	drainage area in acres (impervious)
A2	=	0.000 ac	drainage area in acres (pervious)
1 foot	=	12 inches	conversion
1 acre	=	43560 sf	conversion
1 hour	=	3600 sec	conversion
1 cfs	=	448.8 gpm	conversion
		76.35833333 gpm	Max flow
2" PVC		0.02 SF	Area
		7.8 fps	Velocity
4" PVC		0.09 SF	Area
		1.95 fps	Velocity
pipe length		50 ft	

Palm Beach is Zone 10 - Range of 7 to 10.5 inches per hour

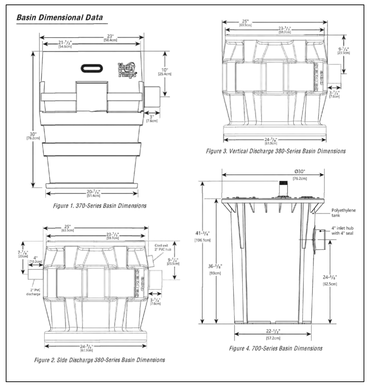
Head-lift	7 ft
Head-friction	6 ft
Head-residual	0 ft
Total Head	13 ft



NOTE:
Inlet to have min. 24" sump and min. 18" clearance between bottom of baffle and bottom of inlet

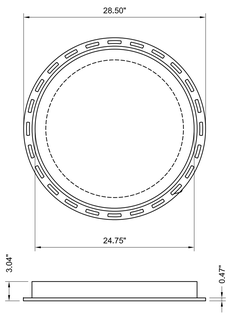
24" NYLOPLAST DRAIN BASIN

N.T.S.



1 C2 SUMP PUMP DETAIL #1

N.T.S.



STANDARD:
Approx. Drain Area = 194.60 SQ. IN.
Approx. Weight with Frame = 124.00 LBS.
Standard Grate has H-25 heavy duty rating
Solid Cover has H-25 heavy duty rating
Pedestrian Grate has H-10 medium duty rating

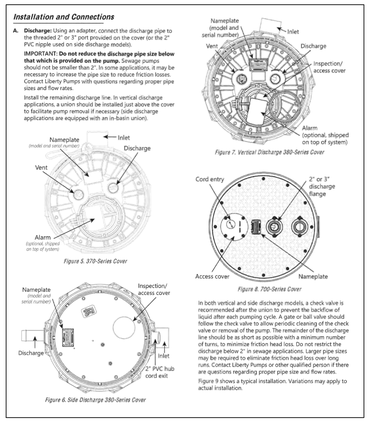
Quality: Materials shall conform to ASTM A536 Grade 70-50-05

Material: Ductile Iron

Paint: Castings are furnished with a black paint locking device available upon request. Price includes Frame & Grate/Cover

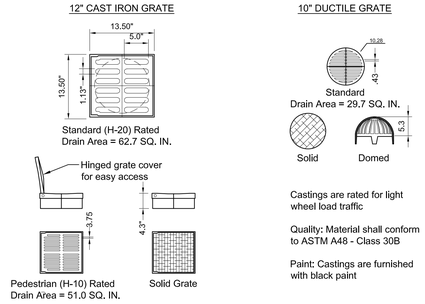
24" DUCTILE IRON GRATE

N.T.S.



SUMP PUMP DETAIL #2

N.T.S.



Castings are rated for light wheel load traffic

Quality: Material shall conform to ASTM A48 - Class 30B

Paint: Castings are furnished with black paint

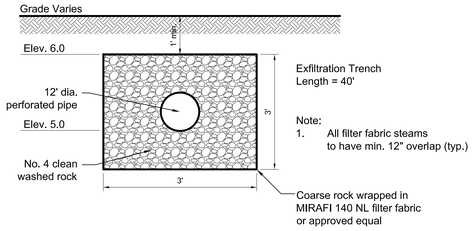
NOTE:

Type of grates & inlets to be coordinated with engineer & landscape architect

Pipe material may be PVC, ADS, NDS, or approved equal

AREA DRAIN DETAILS

N.T.S.



2 C2 EXFILTRATION TRENCH #1 DETAIL

N.T.S.

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction services.

ARC 22-162
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BGS
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512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
PE36171

DRAINAGE SPECIFICATIONS & DETAILS

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1000

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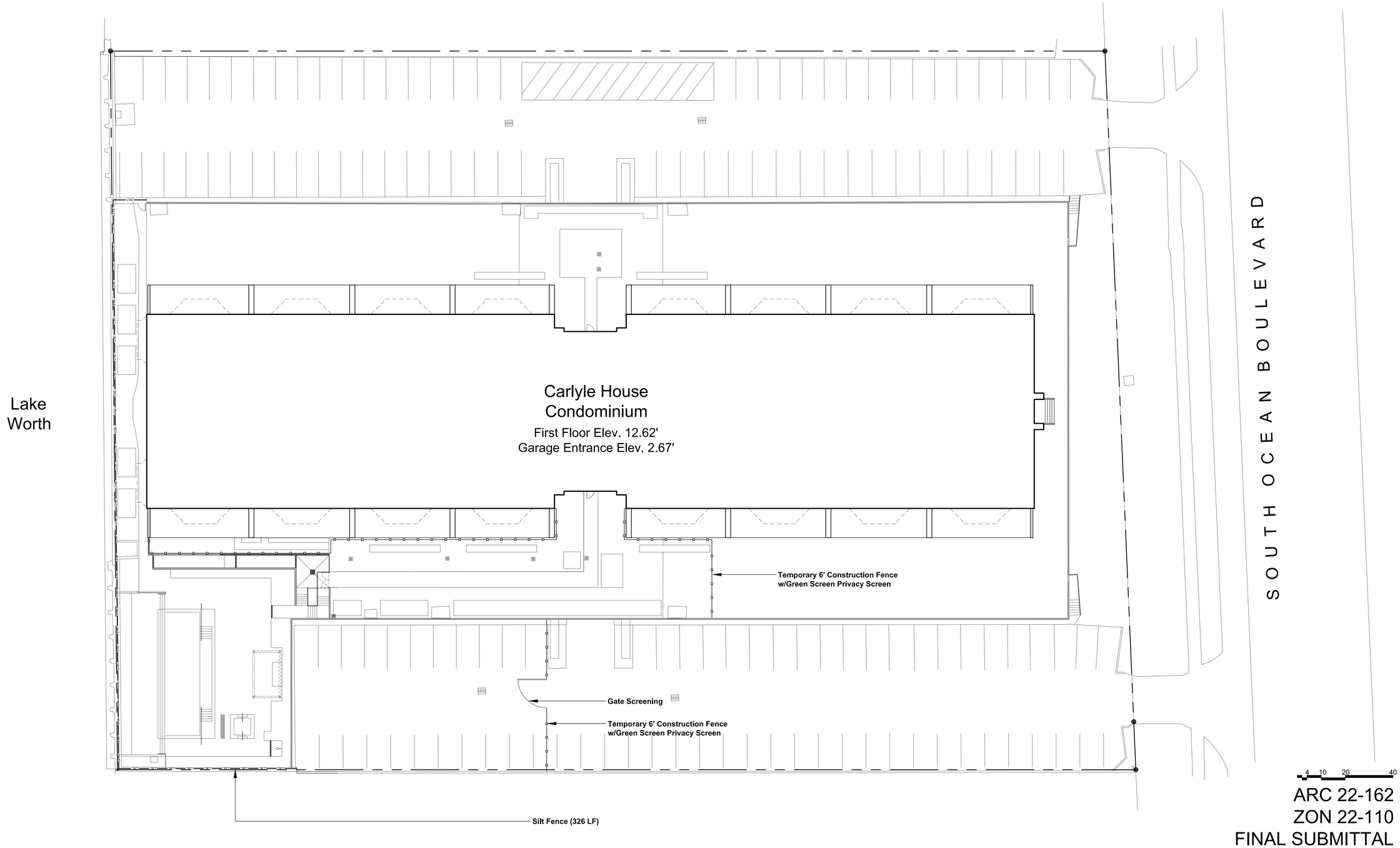

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REGISTERED LANDSCAPE ARCHITECT
RONALD L. SKOWRON
LA 6666674
STATE OF FLORIDA

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Lake Worth Beach, FL 33460
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1/16" = 1'-0"

CONSTRUCTION SCREENING PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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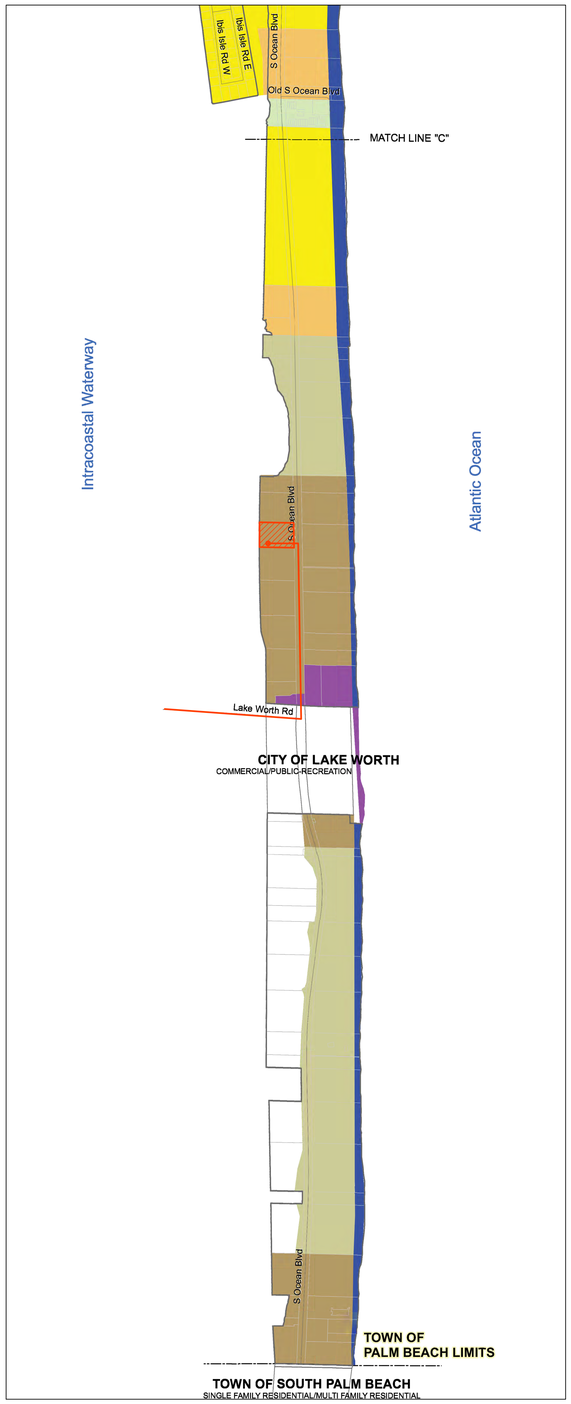


TRUCK LOGISTICS PLAN

N.T.S.

ROUTE TO SUBJECT PROPERTY:
Enter the Town of Palm Beach via Lake Avenue over the Lake Worth bridge. Turn left (north) on A1A. Continue north on A1A for approximately 1/2 mile. Subject property will be on the left (west) side.

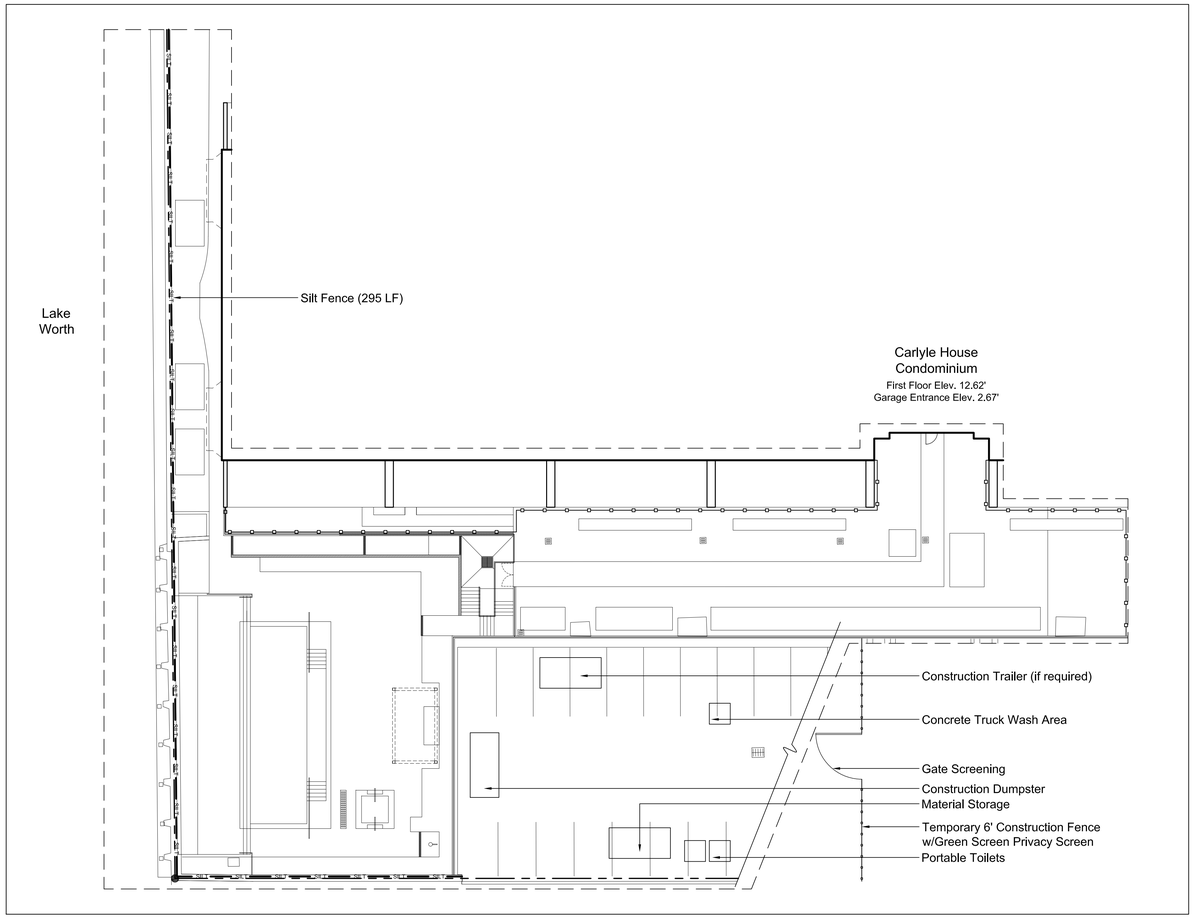
MAXIMUM TRUCK LENGTH:
60'

MAXIMUM NUMBER OF TRIPS TO SUBJECT PROPERTY:
50 (estimated)

CONSTRUCTION SCHEDULE (theoretical and to be determined by GC):

Month 1	Site Prep, Relocation, and Demolition
Month 2	Site Utility Work, Grading, and Drainage
Month 3-4	New Pool & Spa and Site Improvements
Month 5-6	Site Grading, Drainage, and Plant Prep
Month 7-8	Landscape and Landscape Lighting

(2 month contingency for unforeseen circumstances)



CONSTRUCTION STAGING PLAN

N.T.S.

ARC 22-162
ZON 22-110
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REGISTERED LANDSCAPE ARCHITECT
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STATE OF FLORIDA

BGS
Landscape Architecture & Engineering
512 Lucerne Avenue
Lake Worth Beach, FL 33460
(561) 602-6277
bgspllc.com
LA6666674

CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN

Carlyle House
2773 South Ocean Boulevard
Palm Beach, Florida

JOB #: 1002

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