

Royal Palm Way

RECEIVED
By elyn at 3:43 pm, Dec 08, 2022

S County Rd

Royal Palm Way

Brazilian Ave

S Ocean Blvd

Australian Ave

S County Rd

S County Rd

COA-23-006 ZON-12-030 DROP OFF

WHEAT RESIDENCE
130 BRAZILIAN AVE
PALM BEACH, FL



REVISIONS:	
▲	12-09-2022
△	

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227,
PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

INDEX OF DRAWINGS

ARCHITECTURAL

- A0- PLOT PLAN, INDEX.
- A1- EXISTNG AND PROPOSED SITE PLANS
- A2- CONSTRUCTION SCREENING AND STAGING PLAN
- A3- EXISTING AND PROPOSED SOUTH ELEVATIONS
- A4- EXISTING AND PROPOSED EAST ELEVATIONS

SURVEY

BOUNDARY, TOPOGRAFIC AND EASEMENT SURVEY

ARCHITECT:

SKA Architect + Planner
Attn: Jacqueline Albarran
324 Royal Palm Way
Suite 227
Palm Beach, Fl 33480
(561) 655-7676

CONTRACTOR

American Awning Company Inc.
Attn: Joe Mattei
537 Pine Terrace
West Palm Beach, Fl 33405
(561) 832-7123

Line 0	ZONING LEGEND			
1	PROPERTY ADDRESS	130 BRAZILIAN AVENUE, PALM BEACH, FL		
2	ZONING DISTRICT	R-B		
3	STRUCTURE TYPE	WALL: CLAY TILE/FRAME – ROOF: CLAY BARREL TILE		
4		REQUIRED/ALLOWED	EXISTING	PROPOSED
5	LOT SIZE (SQ. FT.)	10,000 MIN.	12,840.0	12,840.0
6	LOT DEPTH	100 MIN.	171.20'	171.20'
7	LOT WIDTH	100 MIN.	75.0'	75.0'
8A	LOT COVERAGE (SQ. FT.)	3,852.0 MAX. (30%)	3,008.9 (23.43%)	3,368.9 (26.24%)
8B	LOT COVERAGE W/ 3% DEDUCTION	3,852.0 MAX. (30%)	3,008.9 (23.43%)	3,267.8 (25.45%)
9	ENCLOSED SQUARE FOOTAGE			NO CHANGE
10	CUBIC CONTENT RATIO	3.97	4.31	4.31*
11	FRONT YARD SETBACK (1 STORY/2 STORY)	25.0'/30.0' MIN.	31.0'/43.9'	31.0'/43.9'
12	SIDE YARD SETBACK (1 STORY)	12.5' MIN.	5.4'	5.4'/5.66' AWNING
13	SIDE YARD SETBACK (2 STORY)	15.0' MIN.	5.4'	5.4'
14	REAR YARD SETBACK (1 STORY/2 STORY)	10.0'/15.0' MIN.	14.05'/24.0'	14.05'/24.0'
15	ANGLE OF VISION			NO CHANGE
16	BUILDING HEIGHT			NO CHANGE
17	OVERALL BUILDING HEIGHT			NO CHANGE
18	CROWN OF ROAD (COR) (NAVD)			N/A
19	MAX. AMOUNT OF FILL ADDED TO SITE			N/A
20	FINISH FLOOR ELEVATION (FFE) (NAVD)			N/A
21	ZERO DATUM-PT. OF MEAS. (NAVD)			N/A
22	FEMA FLOOD ZONE DESIGNATION			N/A
23	BASE FLOOD ELEVATION (BFE) (NAVD)			N/A
24	LANDSCAPE OPEN SPACE (LOS)	5,778.0 (45%)	6,785.9 (52.85%)	6,728.9 (52.41%)
25	PERIMETER (LOS)			NO CHANGE
26	FRONT YARD (LOS)			NO CHANGE
27	NATIVE PLANT SPECIES %			NO CHANGE

*THE CUBIC CONTENT RATIO REMAINS UNCHANGED, AS THE AWNING DOES NOT COUNT IN THE CALCULATION

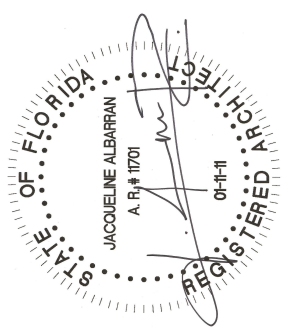
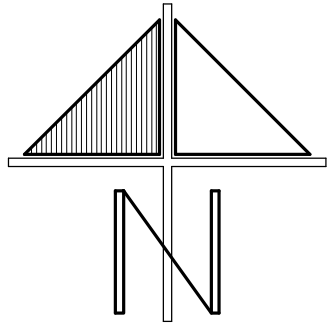


PLOT PLAN
SCALE: N.T.S.

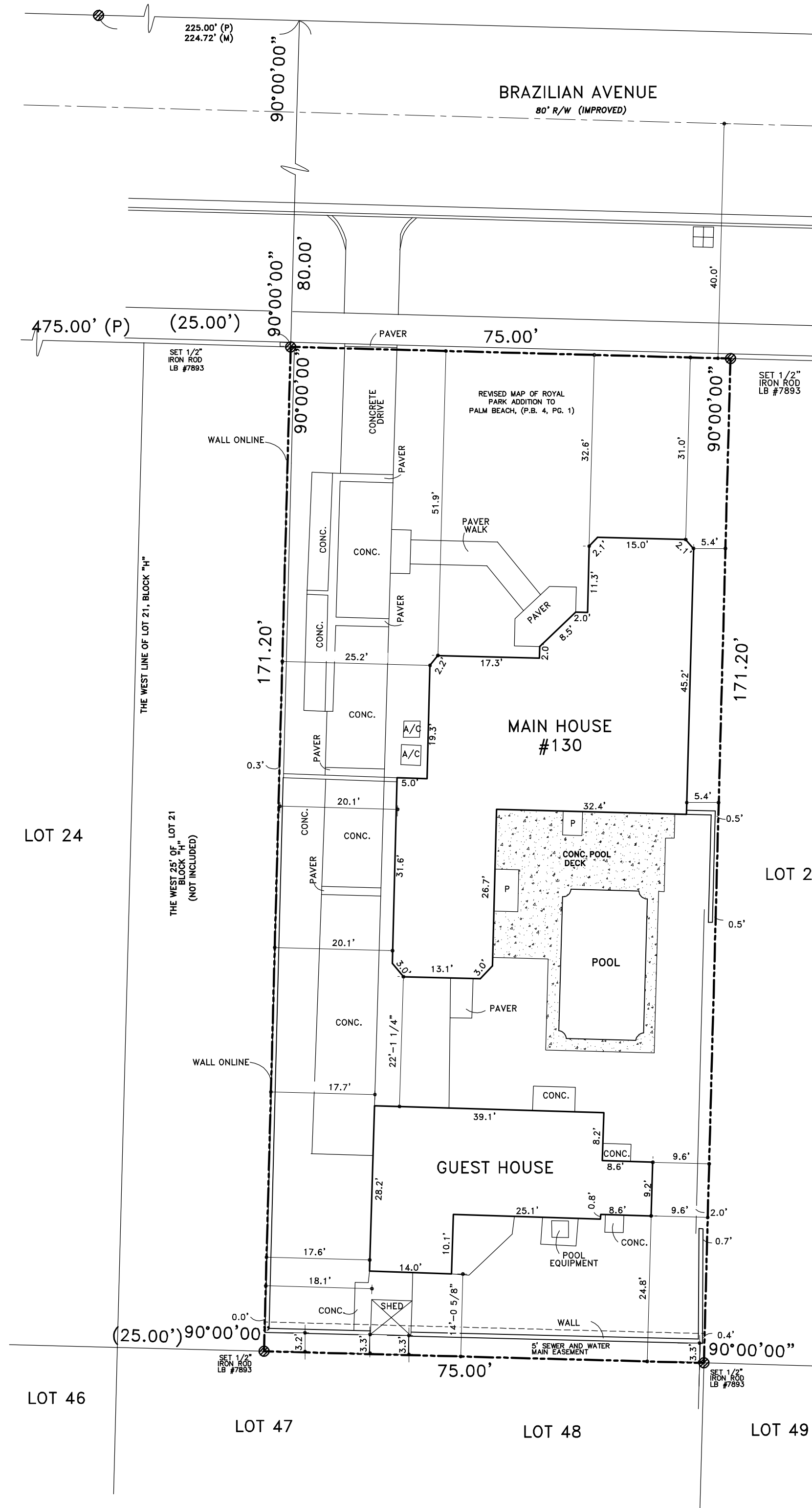
SCOPE OF WORK

WE ARE PROPOSING TO INSTALL A NEW AWNING IN THE INNER COURTYARD (IN THE REAR OF THE MAIN HOUSE) TO MATCH THE EXISTING COLOR AND DETAILING OF THE FRONT ENTRY AWNING.

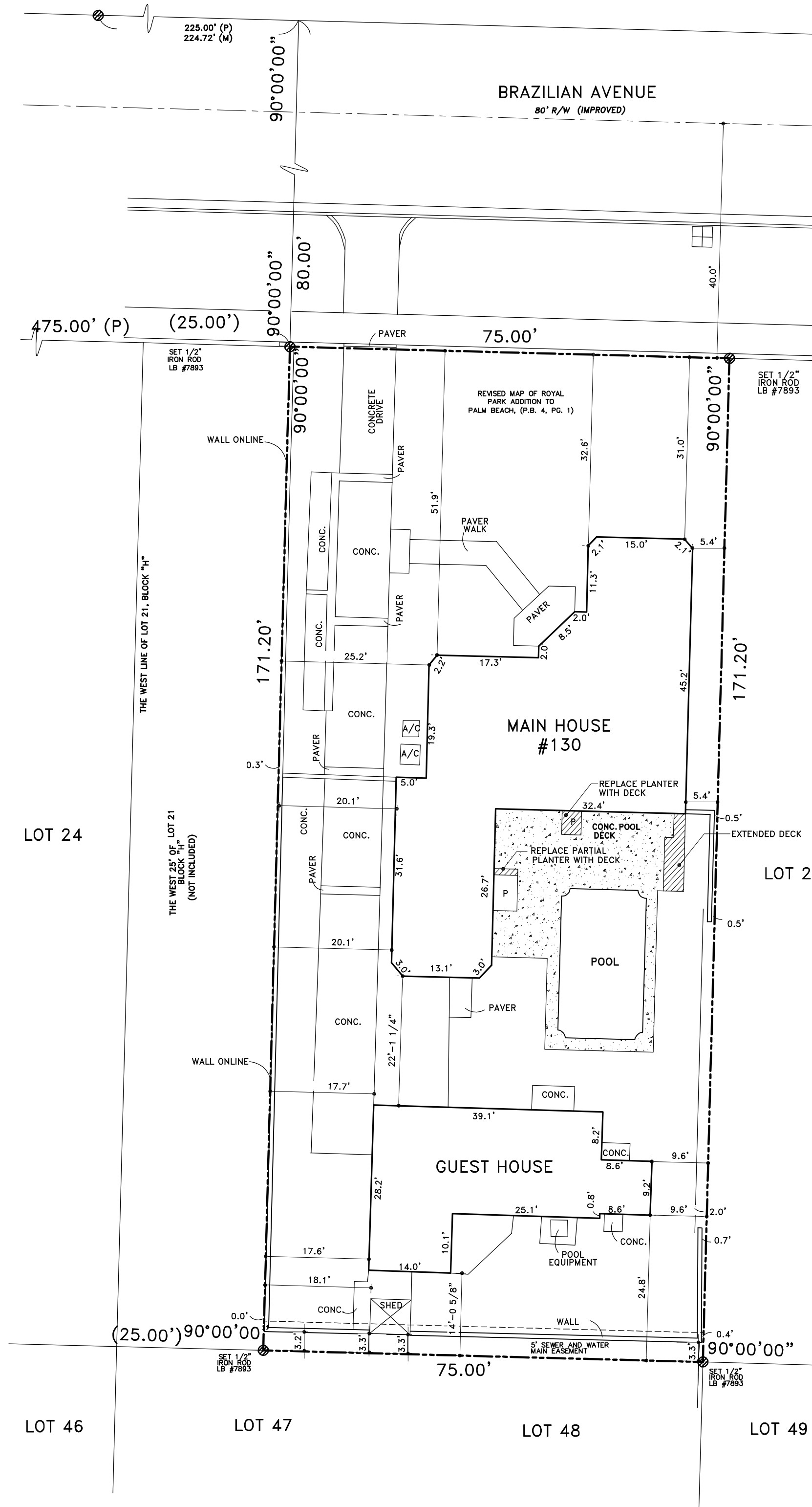
A VARIANCE IS BEING REQUESTED TO ADD A 360 SQ. FT. FABRIC AWNING TO THE INTERIOR COURTYARD WITH A 5.66’ EAST SIDE YARD SETBACK IN LIEU OF THE 12.5’ MINIMUM REQUIRED IN THE R-B ZONING DISTRICT.



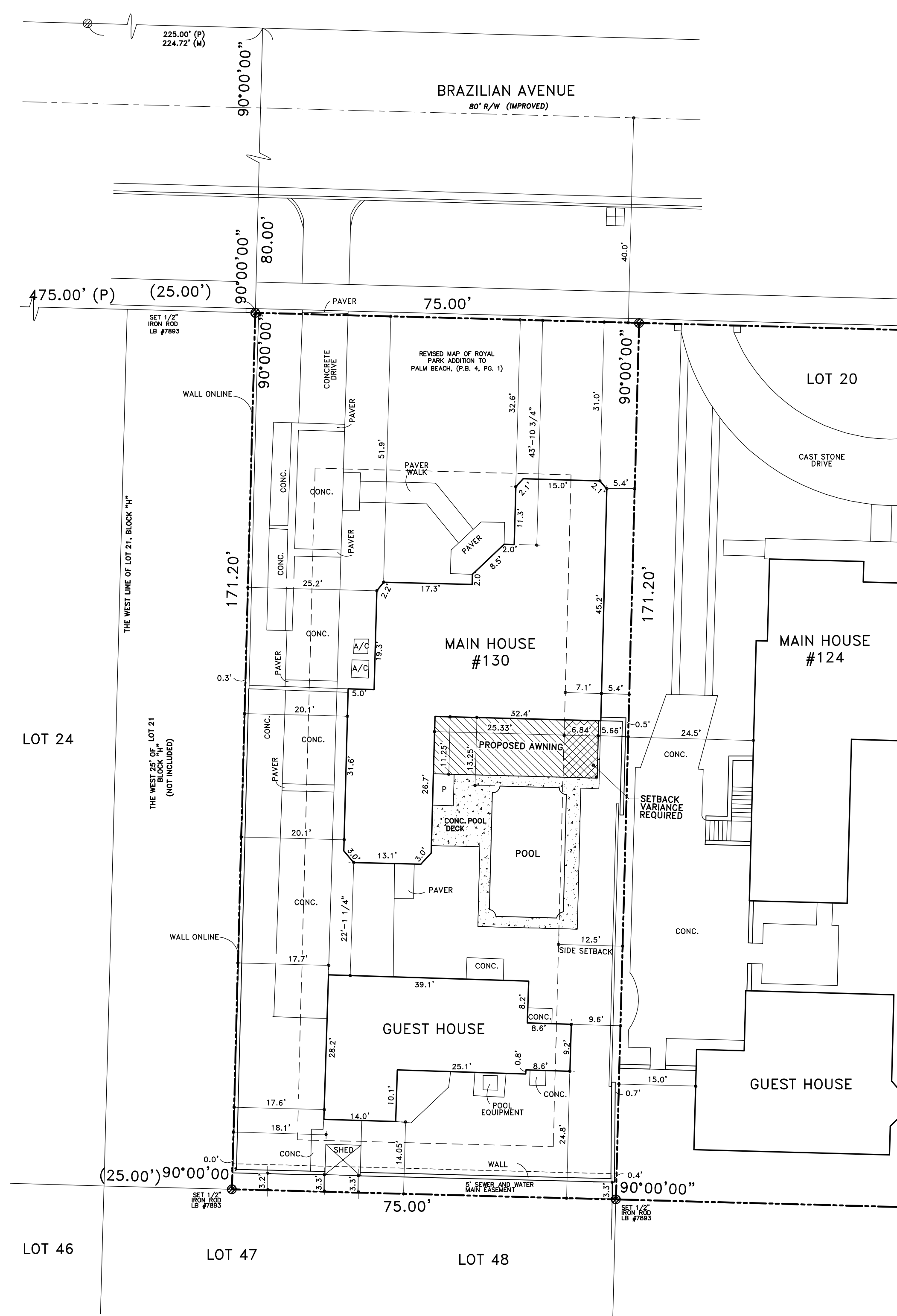
DROP OFF COA-23-006 ZON-23-030



EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"



PROPOSED SITE PLAN (DECK)
SCALE: 1/16" = 1'-0"



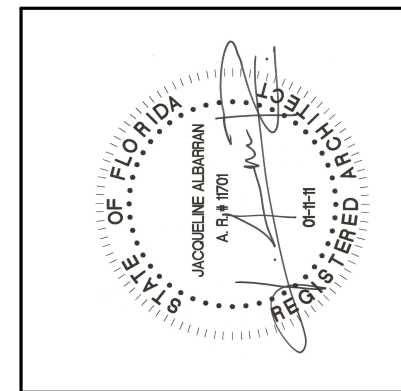
PROPOSED SITE PLAN (AWNING)
SCALE: 1/16" = 1'-0"

ZONING DISTRICT RB	REQUIRED		EXISTING		PROPOSED		REMARKS
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	
LOT COVERAGE	3,852.00	30.00%	3,008.90	23.43%	3,267.83*	25.45%	*3% OF TOTAL PROPOSED LOT COVERAGE DEDUCTED
HARDSCAPE			3,045.19	23.72%	2,843.27	22.14%	
LANDSCAPE	5,778.00	45.00%	6,785.91	52.85%	6,728.9	52.41%	
TOTAL LOT	12,840.00	100.0 %	12,840.00	100.0 %	12,840.00	100.0 %	

THE CUBIC CONTENT RATIO REMAINS UNCHANGED, AS THE AWNING DOES NOT COUNT IN THE CALCULATION

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 7TH EDITION 2020.

COA-23-006 ZON-23-030
WHEAT RESIDENCE
130 BRAZILIAN AVE
PALM BEACH, FL



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:
1
2

SHEET NUMBER:
A1
DATE:
12-09-22
JOB #
0490

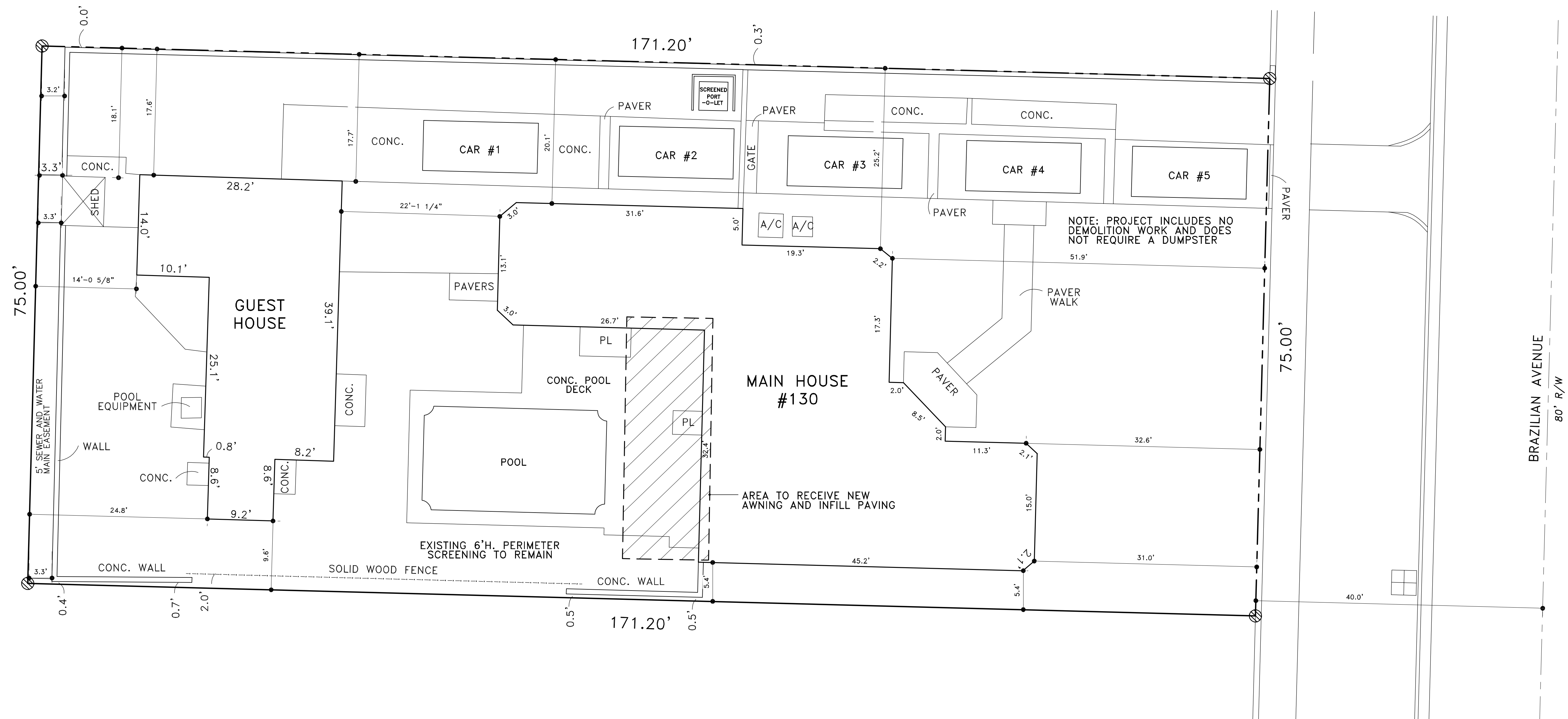
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 7th EDITION 2020.

WHEAT RESIDENCE
130 BRAZILIAN AVENUE
PALM BEACH, FLORIDA

A2

JOB #

490



SCALE: 1/8" = 1'-0"



REAR OF MAIN HOUSE



SIDE YARD OF MAIN HOUSE

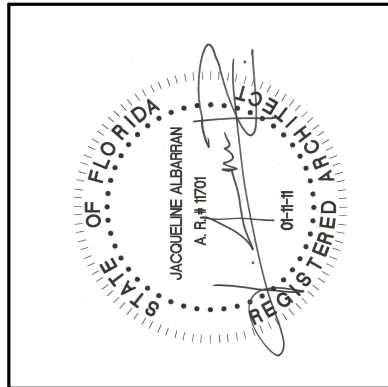


FRONT ENTRY AWNING

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 7TH EDITION (2020)

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.5533

COA-23-006 ZON-23-030
WHEAT RESIDENCE
130 BRAZILIAN AVE
PALM BEACH, FL

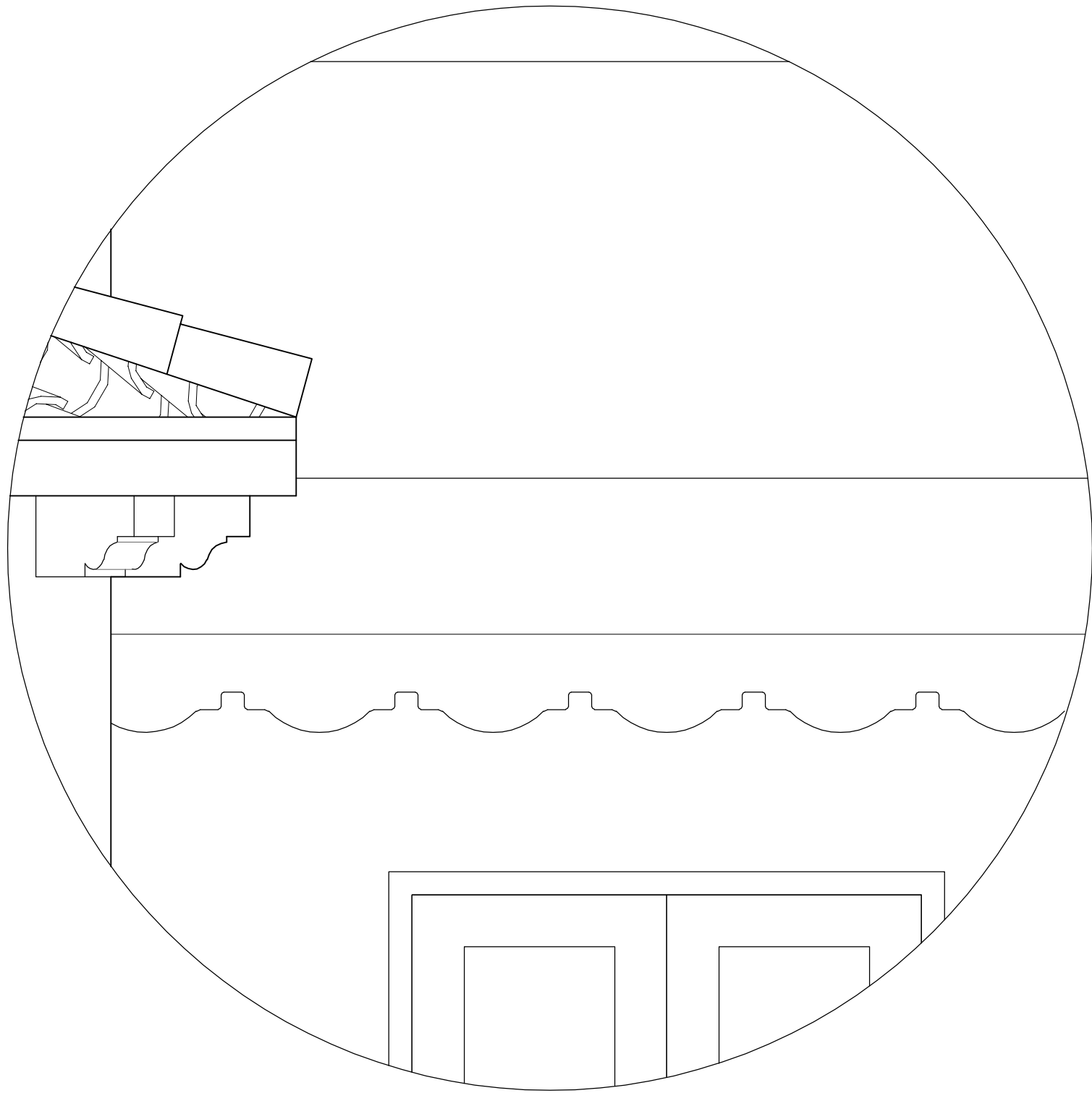


REVISIONS:	
1	
2	

SHEET NUMBER:	
A3	
DATE:	12-09-22
JOB #	0490



EXISTING SOUTH ELEVATION



NEW AWNING - COLOR AND EDGE DETAIL TO MATCH EXISTING AWNING ABOVE FRONT DOOR

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION



3"Ø METAL COLUMN
PAINTED TO MATCH
HOUSE WALL COLOR

NEW AWNING
FABRIC COLOR AND EDGE DETAIL TO MATCH
EXISTING AWNING ABOVE FRONT DOOR

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND
SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD
AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE
PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC
REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL
CODES: FBC 7TH EDITION (2020)

SKA

SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.5533

COA-23-006 ZON-23-030
WHEAT RESIDENCE
130 BRAZILIAN AVE
PALM BEACH, FL

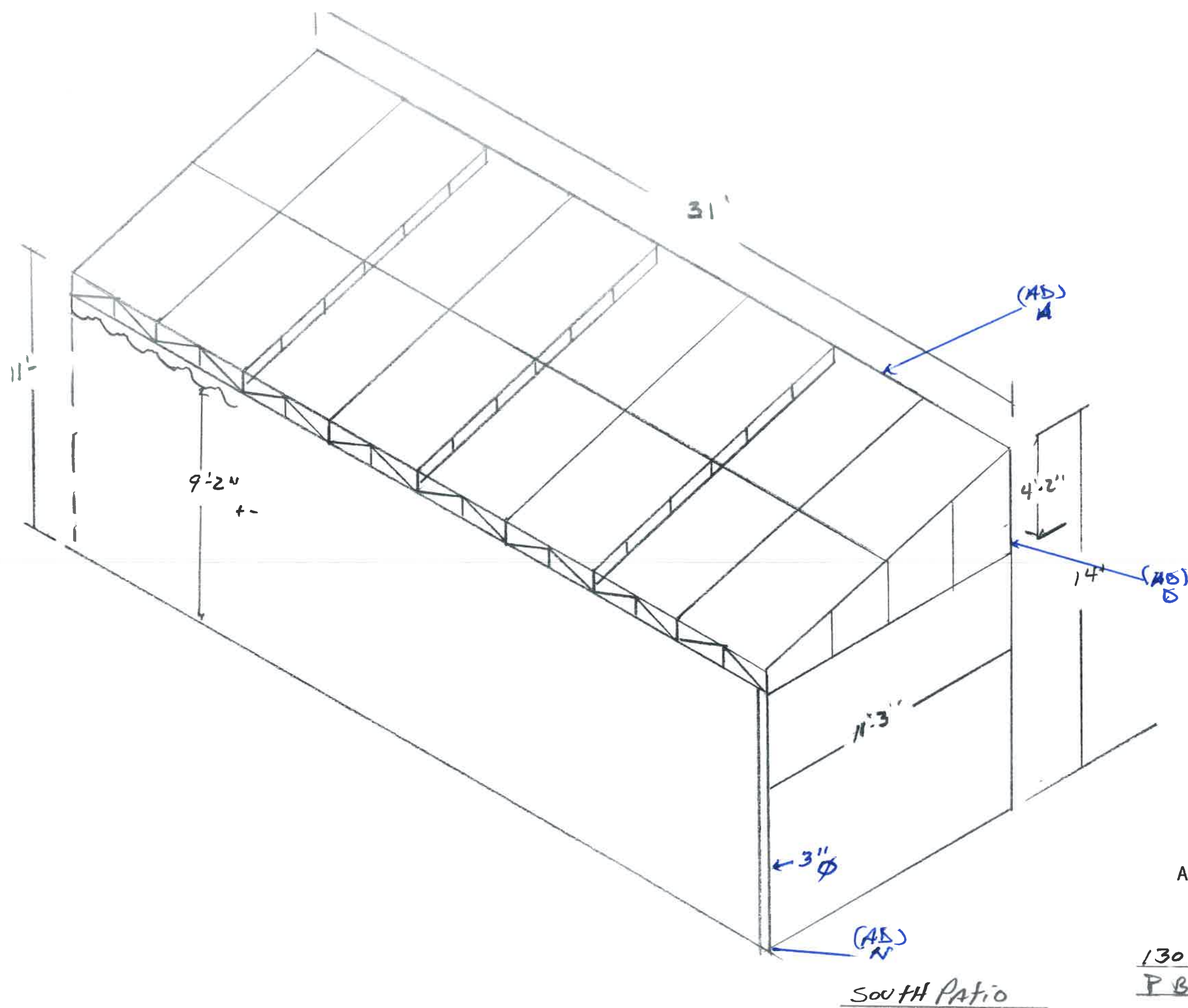


REVISIONS:	
1	
2	

SHEET NUMBER:	
A4	
DATE:	12-09-22
JOB #	0490

NEW INNER COURTYARD AWNING TO MATCH EXISTING FRONT DOOR AWNING IN
MATERIAL, COLOR AND EDGE DETAILS





American Awning Company Inc.
 537 Pine Terrace
 West Palm Beach, FL 33405

130 BRAZILIAN AVE
P.B., FL

AWNING MOUNTING AND FASTENING DETAILS

ALUMINUM TRACK (TO HOLD FABRIC)

TOP MEMBER

2" x 2" x 3/16" PLATE
FILLET WELD TO PIPE
w/ 1/4" WELD, 3'-0" O/C
MAX FOR FASTENERS, FASTEN TO
WALL w/ (SEE BELOW) MOUNTING
DETAIL CAN BE ROTATED 90° TO
MOUNT STRAIGHT UP TO SOFFIT

ANCHORING DETAIL (AD) 'A'

ALUMINUM TRACK (TO HOLD FABRIC)

TOP MEMBER

7/16" HOLE, 3'-0" O/C MAX
FOR FASTENERS: FASTEN TO
WALL WITH (SEE BELOW)
MOUNTING DETAIL CAN BE
ROTATED 90° TO MOUNT
STRAIGHT UP TO SOFFIT

ANCHORING DETAIL (AD) 'B'

7/16" HOLE THRU PIPE
FASTEN TO WALL WITH
(SEE BELOW)

ANCHORING DETAIL (AD) 'C'

2" x 2" x 3/16" PLATE
FILLET WELD TO PIPE
w/ 1/4" WELD; FASTEN
TO WALL w/ (SEE BELOW)

ANCHORING DETAIL (AD) 'D'

PROJECTION MEMBER
(1 1/4" MAX)

2" x 4" x 3/16" PLATE
FILLET WELD TO PIPE
w/ 1/4" WELD; FASTEN TO
WALL w/ (SEE BELOW)
PLATE CAN BE SET
HORIZONTALLY OR VERTICALLY

ANCHORING DETAIL (AD) 'E'

PROJECTION MEMBER
(1 1/4" MAX)

2" x 3" x 3/16" PLATE
FILLET WELD TO PIPE
w/ 1/4" WELD; FASTEN TO WALL
w/ (SEE BELOW) PLATE CAN BE SET
HORIZONTALLY OR VERTICALLY

ANCHORING DETAIL (AD) 'F'

2" x 4" x 3/16" PLATE
FILLET WELD TO PIPE
w/ 1/4" WELD; FASTEN TO WALL
WITH (SEE BELOW) PLATE CAN BE
SET HORIZONTALLY OR VERTICALLY

ANCHORING DETAIL (AD) 'G'

FASTEN TO PIPE
w/ 2 EA. 1/4"
#12 TEK SCREWS

1/8" x 1" x 1" CLIP
FASTEN TO WALL
w/ (SEE BELOW) 3'-0" O/C
MAX FOR FASTENERS

ANCHORING DETAIL (AD) 'H'

FRAME COLUMN

4" x 4" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 4 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'I'

FRAME COLUMN

4" x 4" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 3 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'J'

FRAME COLUMN

6" x 6" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 4 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'K'

FRAME COLUMN

6" x 6" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 3 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'L'

FRAME COLUMN

6" x 6" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 4 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'M'

FRAME COLUMN

8" x 8" x 3/8" PLATE
FASTEN TO EXISTING
CONCRETE w/ 4 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'N'

FRAME COLUMN

8" x 8" x 3/8" PLATE
FASTEN TO EXISTING
CONCRETE w/ 3 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'O'

FRAME COLUMN

8" x 8" x 3/8" PLATE
FASTEN TO EXISTING
CONCRETE w/ 4 EA. 3/8" x 3
WEDGE ANCHORS

ANCHORING DETAIL (AD) 'P'

IMBED FRAME COLUMN
INTO FOOTING

18" x 18" x 24" DEEP
CONCRETE FOOTING
(2500 PSI CONCRETE)

1/4" PIPE - WELD TO
COLUMN IN 'X' PATTERN
AS SHOWN

ANCHORING DETAIL (AD) 'Q'

IMBED FRAME COLUMN
INTO FOOTING

24" x 24" x 24" DEEP
CONCRETE FOOTING
(2500 PSI CONCRETE)

1/4" PIPE - WELD TO
COLUMN IN 'X' PATTERN
AS SHOWN

ANCHORING DETAIL (AD) 'R'

6" x 6" x 1/4" PLATE
FASTEN TO CONCRETE
FOOTING w/ 4 EA. 3/8"
X 3 WEDGE ANCHORS

18" x 18" x 24" DEEP
CONCRETE FOOTING
(2500 PSI CONCRETE)

ANCHORING DETAIL (AD) 'S'

6" x 6" x 1/4" PLATE
FASTEN TO CONCRETE
FOOTING w/ 4 EA. 3/8"
X 3 WEDGE ANCHORS

24" x 24" x 24" DEEP
CONCRETE FOOTING
(2500 PSI CONCRETE)

ANCHORING DETAIL (AD) 'T'

2" x 4" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 2 EA. 3/8"
X 3 WEDGE ANCHORS

ANCHORING DETAIL (AD) 'U'

2" x 2" x 1/4" PLATE
FASTEN TO EXISTING
CONCRETE w/ 3 EA. 3/8"
X 3 WEDGE ANCHORS

ANCHORING DETAIL (AD) 'V'

STRUCTURAL ENGINEER:
LTL ASSOCIATES, INC.
5725 Corporate Way, Suite 202
West Palm Beach, FL 33407
(561) 478-1845
Certificate of Authorization #6116

Leonard A. Tylka Jr.
FL. License No. 31738

Rawl Toggle Bolt

GSA Specification FF-S-588C
Type 1, Class A, Style 1

Anchor Size	1 1/2"	2"
Wing Clearance	1-1/2"	2-1/8"
Hole Size	5/8"	7/8"
Tension Load (lbs.)	830	1,385
Shear Load (lbs.)	1,390	3,120

Rawl-Stud

ICBO
GSA Specification FF-S-323, Group II, Type 4, Class 1

GUIDE		2000 PSI	
ANCHOR EMBED	TORQUE	TENSION	SHEAR
SIZE	DEPTH (FT LBS)		
3/8"	3-1/2"	20	5,585
1/2"	5"	35	8,060
5/8"	6"	60	11,255

Rawl Lag-Shield

3000 PSI Concrete

ANCHOR SIZE	TENSION LOAD (lbs.)	SHEAR LOAD (lbs.)
3/8"	2,000	1,300

Rawl Lok/Bolt™

GSA Specification FF-S-323, Group II, Type 3, Class 3

GUIDE		ASTM C-27 BLOCK	
EMBED	TORQUE	TENSION	SHEAR
DEPTH (FT LBS)			
1-1/2"	12-16	1,700	2,180
1/2"	22-28	2,460	2,840

CHEM-FAST™

ANCHOR HOLE EMBED		TORQUE		2000 PSI CONCRETE	
SIZE	DEPTH	RANGE	TENSION	SHEAR	
(Inches)	(Inches)	(FT LBS)	(Pounds)	(Pounds)	
3/8"	7/16"	3-1/2"	10-15	7,860	6,230
1/2"	9/16"	4-1/4"	15-20	10,850	9,960

WHEAT
130 BRAZILIAN AVE
P.B., FL

american awning
COMPANY, INC.

Palm Beach Area (561) 832-7123
Florida Watts 1-800-427-4865
Fax (561) 833-9602

537 Pine Terrace
West Palm Beach
Florida 33405

BOUNDARY SURVEY

LEGAL DESCRIPTION:

THE EAST 75 FEET OF LOT 21, BLOCK H REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC OF PALM BEACH COUNTY, FLORIDA.

CERTIFIED TO:

ELIZABETH TODD AND WILLIAM TODD
MACMILLAN & STANLEY, PLLC
OLD REPUBLIC NATIONAL TITLE INSURANCE CO.
MAXIM CREDIT GROUP LLC ISAOA

FLOOD ZONE: X

COMMUNITY NUMBER: 120220

PANEL: 0583

SUFFIX: F

SURVEY NUMBER: 466091

FIELD WORK: 3/11/2021

CLIENT FILE NUMBER:

401-2021-01 TODD-00001

PROPERTY ADDRESS:

130 BRAZILIAN AVENUE
PALM BEACH, FLORIDA 33480

SURVEY NOTES

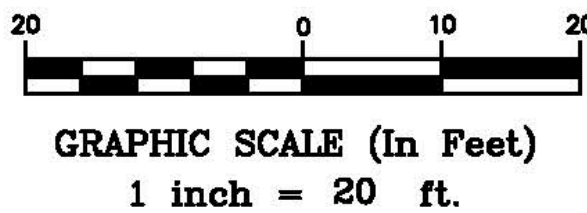
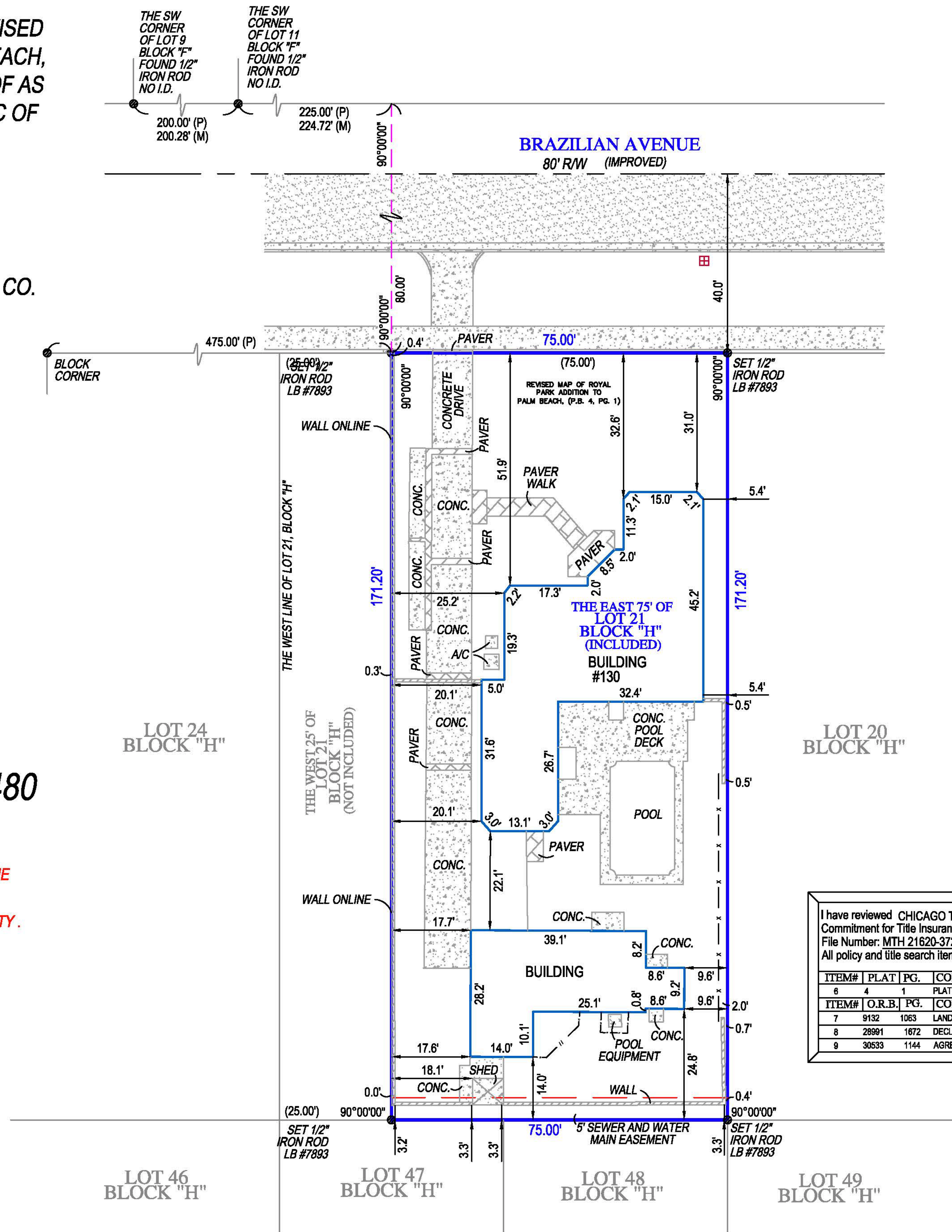
- CONCRETE AND PAVER DRIVE CROSSES THE PROPERTY LINE ON NORTHERLY SIDE OF LOT.
- THERE ARE FENCES NEAR THE BOUNDARY OF THE PROPERTY.
- SHED CROSSES INTO THE 5' SEWER AND WATER MAIN EASEMENT ON SOUTHERLY SIDE OF LOT.
- CONCRETE SURFACE CROSSES INTO THE 5' SEWER AND WATER MAIN EASEMENT ON SOUTHERLY SIDE OF LOT.
- WALL CROSSES INTO THE 5' SEWER AND WATER MAIN EASEMENT ON SOUTHERLY SIDE OF LOT.
- WALL CROSSES THE PROPERTY LINE ON SOUTHERLY SIDE OF LOT.

ABBREVIATION DESCRIPTION:

A/C = AIR CONDITIONER
C = CENTERLINE
C.A. = CENTRAL / DELTA ANGLE
I.D. = IDENTIFICATION
L = LENGTH
LB = LICENSED BUSINESS
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
O.H. = OVERHEAD UTILITIES
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVE
P.K. = PARKER KYLON NAIL
P.R.C. = POINT OF REVERSE CURVE
PSM = PROFESSIONAL SURVEYOR MAPPER
P.T. = POINT OF TANGENCY
R = RADIAL / RADIUS
R.W. = RIGHT OF WAY

SYMBOL DESCRIPTIONS:

[Symbol] = CATCH BASIN
[Symbol] = CENTERLINE ROAD
[Symbol] = COVERED AREA
[Symbol] = EXISTING ELEVATION
[Symbol] = HYDRANT
[Symbol] = MANHOLE
[Symbol] = METAL FENCE
[Symbol] = MISC. FENCE
[Symbol] = PROPERTY CORNER
[Symbol] = UTILITY BOX
[Symbol] = UTILITY POLE
[Symbol] = WATER METER
[Symbol] = WELL
[Symbol] = WOOD FENCE



SCALE
1"=20'

I have reviewed CHICAGO TITLE INSURANCE COMPANY'S
Commitment for Title Insurance
File Number: MTH 21620-37289 Dated Jan. 11th, 2021 @ 11:00 PM
All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	PLAT	PG.	CONVEYANCE	STATUS
6	4	1	PLAT MATTERS	SHOWN HEREIN
ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
7	9132	1063	LANDMARK DESIGNATION	AFFECTS NOT PLOTTABLE
8	28991	1672	DECLARATION OF COVENANTS	AFFECTS NOT PLOTTABLE
9	30533	1144	AGREEMENT - STORMWATER MANAGEMENT	AFFECTS NOT PLOTTABLE

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) KENNETH J OSBORNE
KENNETH J OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #8415

GENERAL NOTES:

- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE ABSTRACTED FOR EASEMENTS AND OTHER RECORDED ENCUMBRANCES SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED FOR RECORDING ENCUMBRANCES.
- 5) ONLY VISIBLE ENCUMBRANCES LOCATED.

- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. UNLESS OTHERWISE NOTED.
- 9) IN SOME CASES, GRASSY AREAS, UNDEVELOPED AREAS, OR OTHER AREAS MAY BE SHOWN AS PART OF THE SURVEY. THESE AREAS SHALL BE CONSIDERED AS PART OF THE LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF IMPROVEMENTS OVER SCALED POSITIONS.

LB #7893
SERVING FLORIDA
6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE (561) 840-4800
STATEWIDE PHONE (800) 226-4807
STATEWIDE FACSIMILE (800) 741-0576
WEBSITE: <http://largesurveying.net>

