

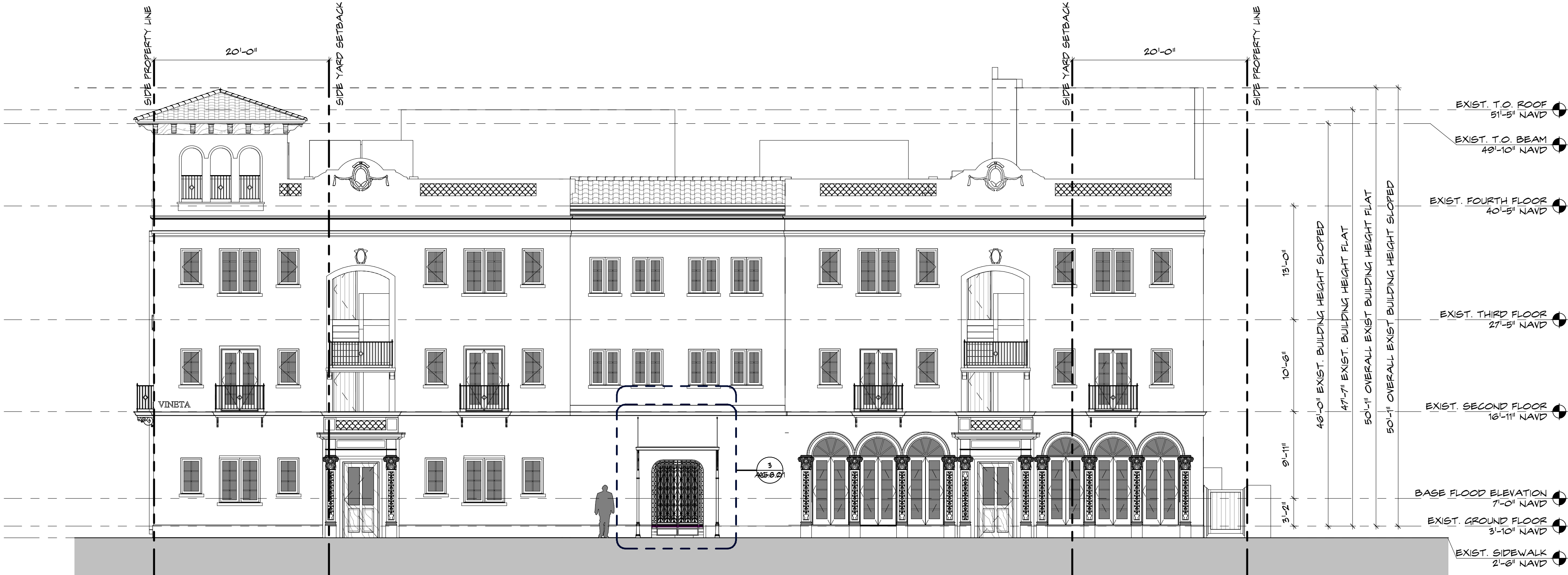
RECEIVED
By yfigueroa at 10:12 am, Dec 12, 2022

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM		TYPICAL DOORS & WINDOWS
	STUCCO, FTD		ALUMINUM
	TMPD WHITE BY BENJAMIN MOORE		ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE		FRONT DOORS
	2-PIECE TERRA COTTA		MAHOGANY
	HAND PRESSED		STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.10 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC13.0 & AC13.1 FOR HISTORIC REFERENCE IMAGES



2 Existing West Elevation
AC-4.2 SCALE: 1/8" = 1'-0"



1 Proposed West Elevation
AC-4.2 SCALE: 1/8" = 1'-0"

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC #A26202399

SPINAOROURKE
Architecture • Interior Design
+ PARTNERS
Kenneth M. Spina #ARI13419



RENOVATION OF
The Vineta Hotel

363 Cocoanut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

AC-4.2.1

EXISTING & PROPOSED WEST ELEVATION



2
AC-4.2.2
PROPOSED WEST ELEVATION - COLORED
SCALE: 1/8" = 1'-0"



1
AC-4.2.2
PROPOSED WEST ELEVATION - COLORED WITH LANDSCAPING
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TINTED WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY. REFER TO SHEET AC-6.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.5594
spinaorourke.com
FL LIC # A26202299

SPINAOROURKE
+ PARTNERS
Architecture • Interior Design
Kelli M. Spina #A113419



RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

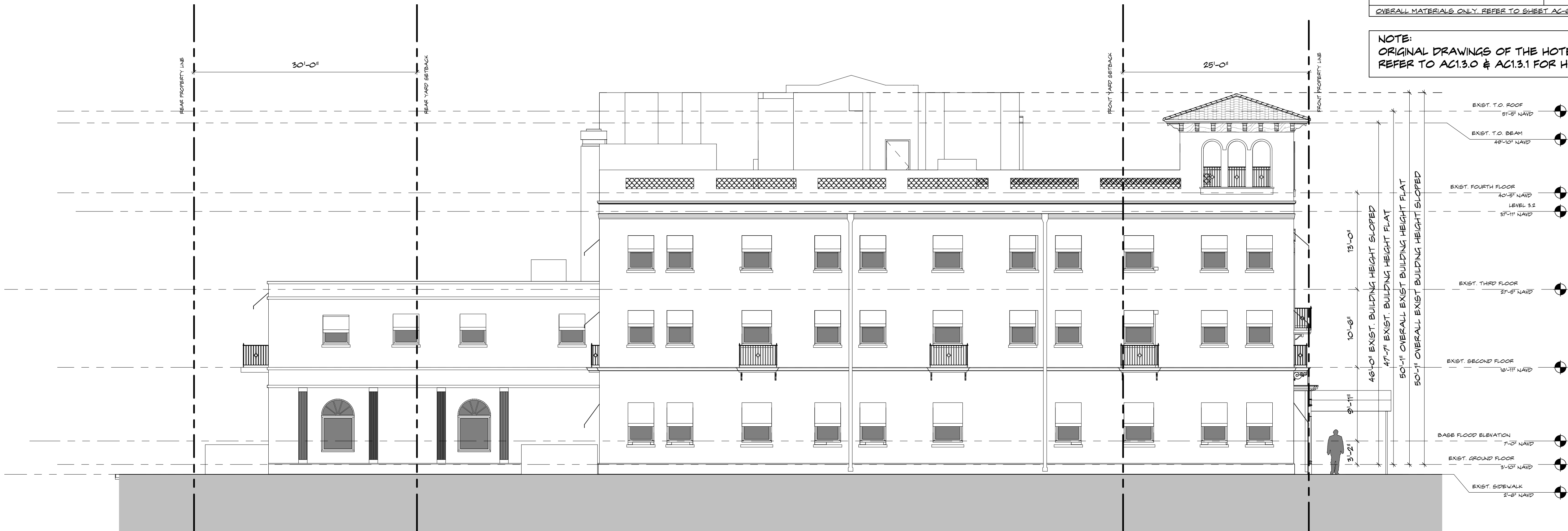
THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

COLORED WEST ELEVATIONS

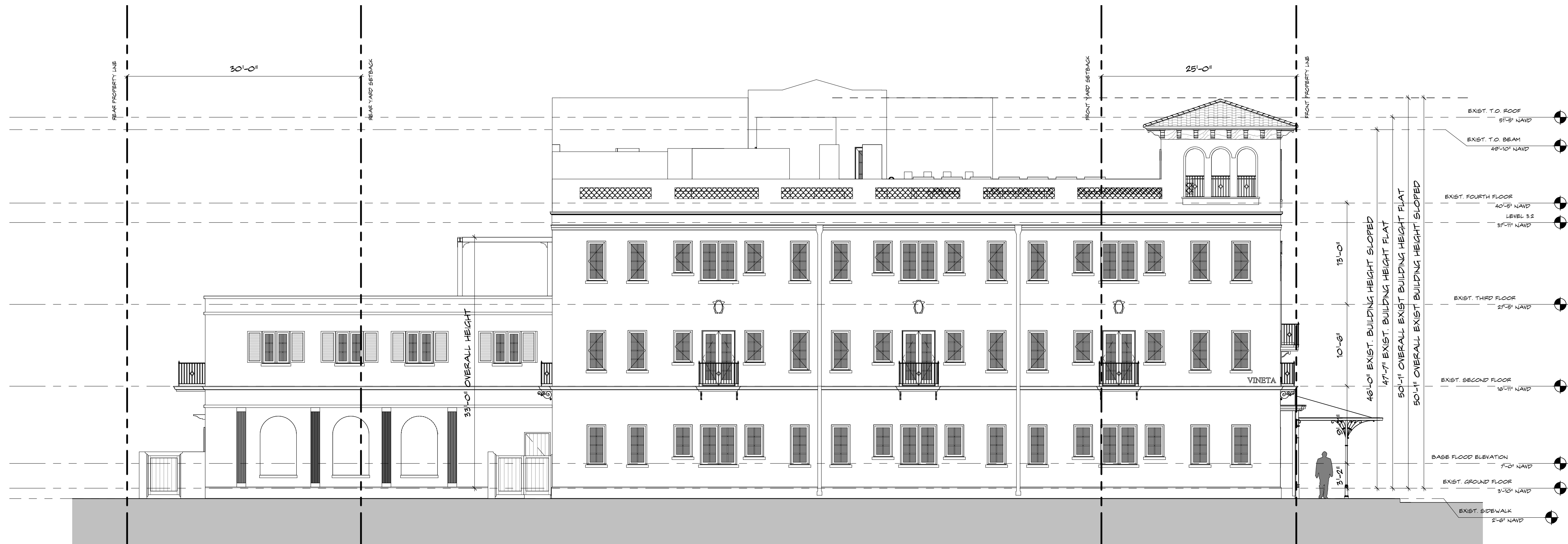
AC-4.2.2



EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TINTED WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

1
Existing North Elevation
SCALE: 1/8" = 1'-0"



2
Proposed North Elevation
SCALE: 1/8" = 1'-0"

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax 561.684.6594
spinaorourke.com
FL LIC #A26202399

SPINAOROURKE
+ PARTNERS
Architecture • Interior Design
Keith M. Spina #A113419



RENOVATION OF
The Vineta Hotel
363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10/24/2022
Drawn by: Author
Project Manager: Checker

EXISTING & PROPOSED NORTH ELEVATION

AC-4.3.1



2
AC-4.3.2
PROPOSED NORTH ELEVATION - COLORED
SCALE: 1/8" = 1'-0"



1
AC-4.3.2
PROPOSED NORTH ELEVATION - COLORED WITH LANDSCAPING
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM		TYPICAL DOORS & WINDOWS
	STUCCO, FTD		ALUMINUM
	TIMID WHITE BY BENJAMIN MOORE		ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE		FRONT DOORS
	2-PIECE TERRA COTTA		MAHOGANY
	HAND PRESSED		STAINED
OVERALL MATERIALS ONLY. REFER TO SHEET AC-6.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC # A26002299

SPINAOROURKE
+ PARTNERS
Architecture • Interior Design
Kelli M. Spina #A113419



RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

COLORED NORTH ELEVATIONS

AC-4.3.2

1
AC.4.1

Existing East Elevation
SCALE: 1/8" = 1'-0"

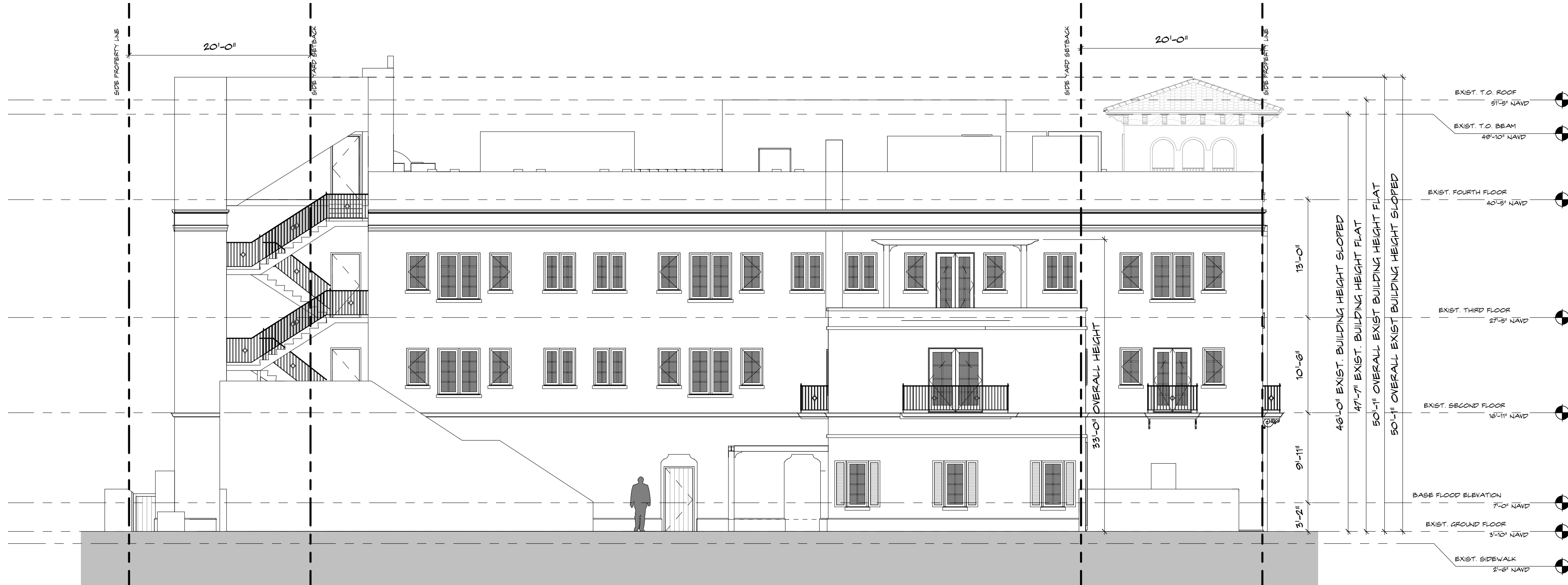


EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, FTD TMIP WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES

2
AC.4.1

Proposed East Elevation
SCALE: 1/8" = 1'-0"



EXISTING & PROPOSED EAST ELEVATION

AC.4.1

RENOVATION OF
The Vineta Hotel
363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10/24/2022
Drawn by: Author
Project Manager- Checker

SPINA OROURKE
+ PARTNERS
Architecture • Interior Design
Kelli M. Spina #ARI3419

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC #A26202399



2 PROPOSED EAST ELEVATION - COLORED
SCALE: 1/8" = 1'-0"



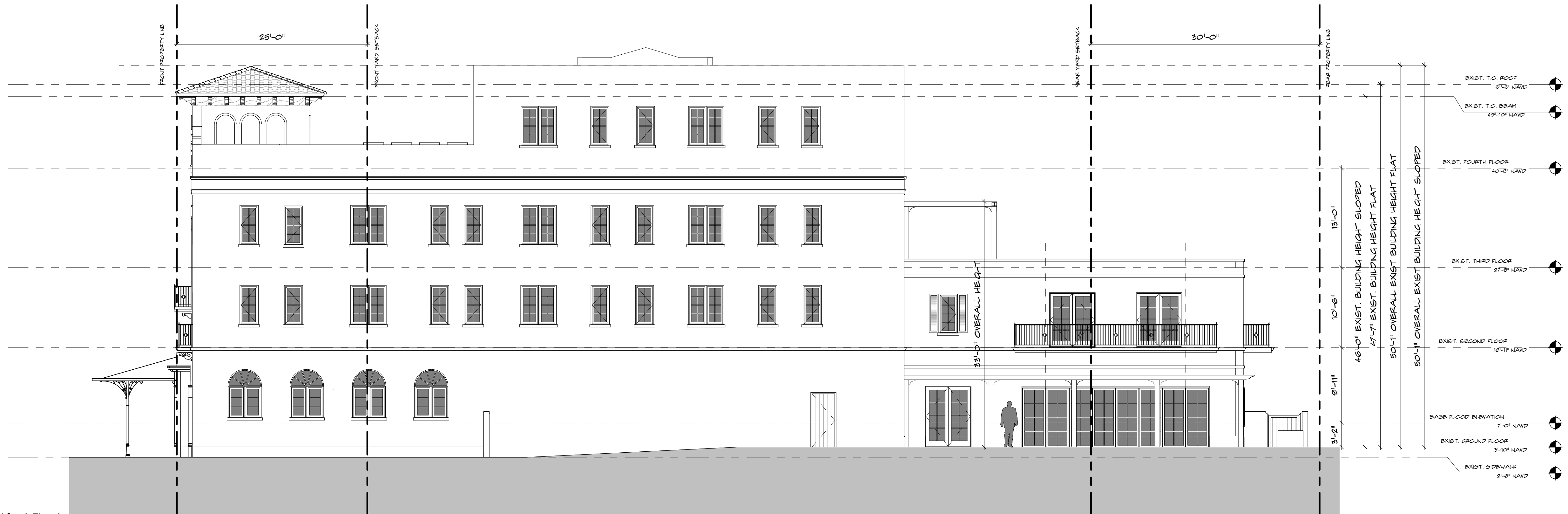
1 PROPOSED EAST ELEVATION - COLORED WITH LANDSCAPING
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM		TYPICAL DOORS & WINDOWS
	STUCCO, FTD		ALUMINUM
	TMP WHITE BY BENJAMIN MOORE		ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE		FRONT DOORS
	2-PIECE TERRA COTTA		MAHOGANY
	HAND PRESSED		STAINED





2 Existing South Elevation
SCALE: 1/8" = 1'-0"



1 Proposed South Elevation
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM STUCCO, PTD TMIP WHITE BY BENJAMIN MOORE		TYPICAL DOORS & WINDOWS ALUMINUM ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE 2-PIECE TERRA COTTA HAND PRESSED		FRONT DOORS MAHOGANY STAINED
OVERALL MATERIALS ONLY REFER TO SHEET AC-8.1.0 FOR ALL EXTERIOR MATERIALS			

NOTE:
ORIGINAL DRAWINGS OF THE HOTEL ARE UNAVAILABLE.
REFER TO AC1.3.0 & AC1.3.1 FOR HISTORIC REFERENCE IMAGES



SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

285 Benjamin Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC # A26202299

RENOVATION OF
The Vineta Hotel
363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10/24/2022
Drawn by: Author
Project Manager: Checker



AC-4.5.1



2 PROPOSED SOUTH ELEVATION - COLORED
SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION - COLORED WITH LANDSCAPING
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND			
	BUILDING BODY & TRIM		TYPICAL DOORS & WINDOWS
	STUCCO, FTD		ALUMINUM
	TMP. WHITE BY BENJAMIN MOORE		ACADIA GREEN BY BENJAMIN MOORE
	ROOF TILE		FRONT DOORS
	2-PIECE TERRA COTTA		MAHOGANY
	HAND PRESSED		STAINED

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6884 • Fax: 561.684.5594
spinao.rourke.com
FL Lic # AA26002999



RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

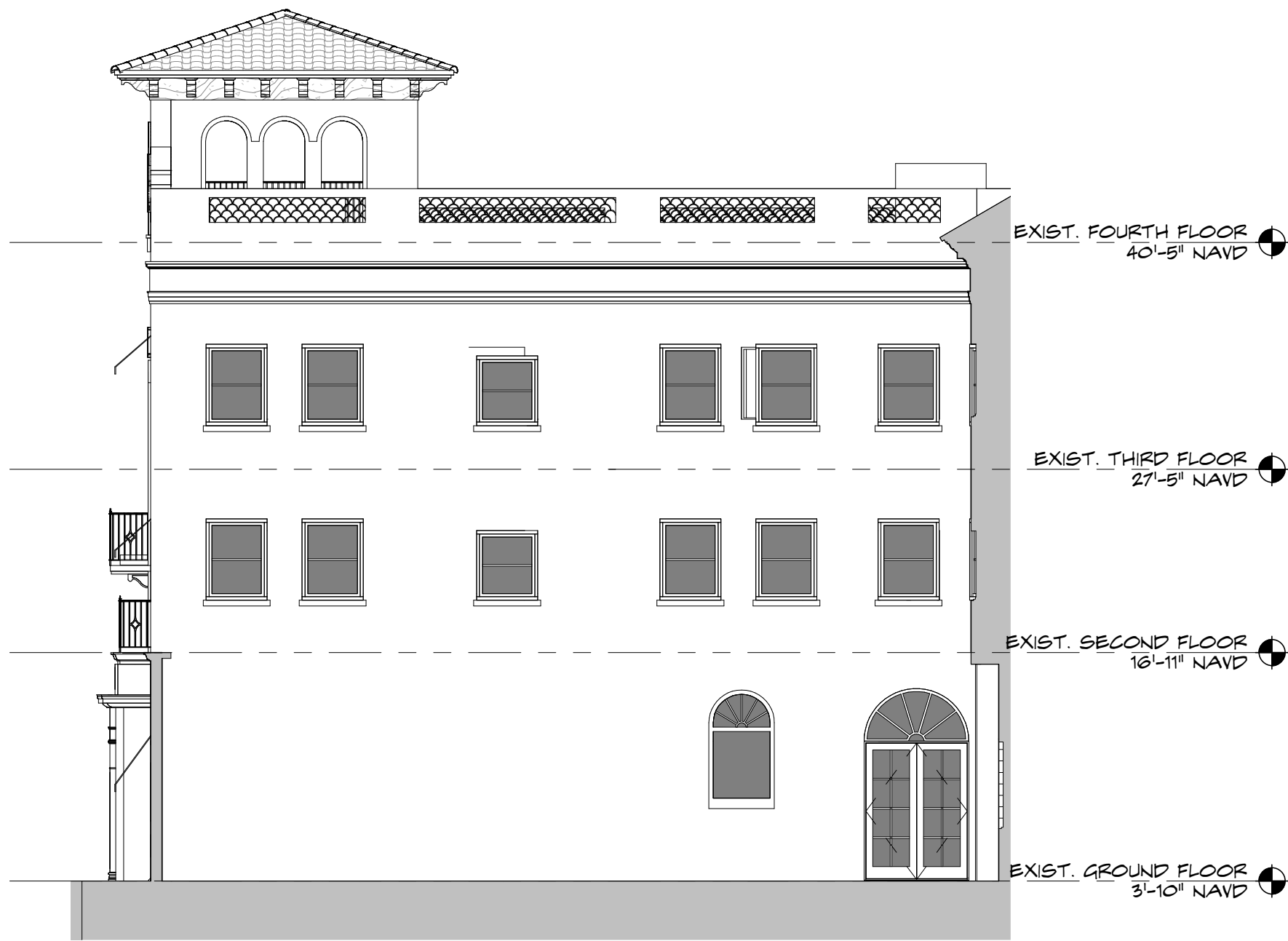
Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

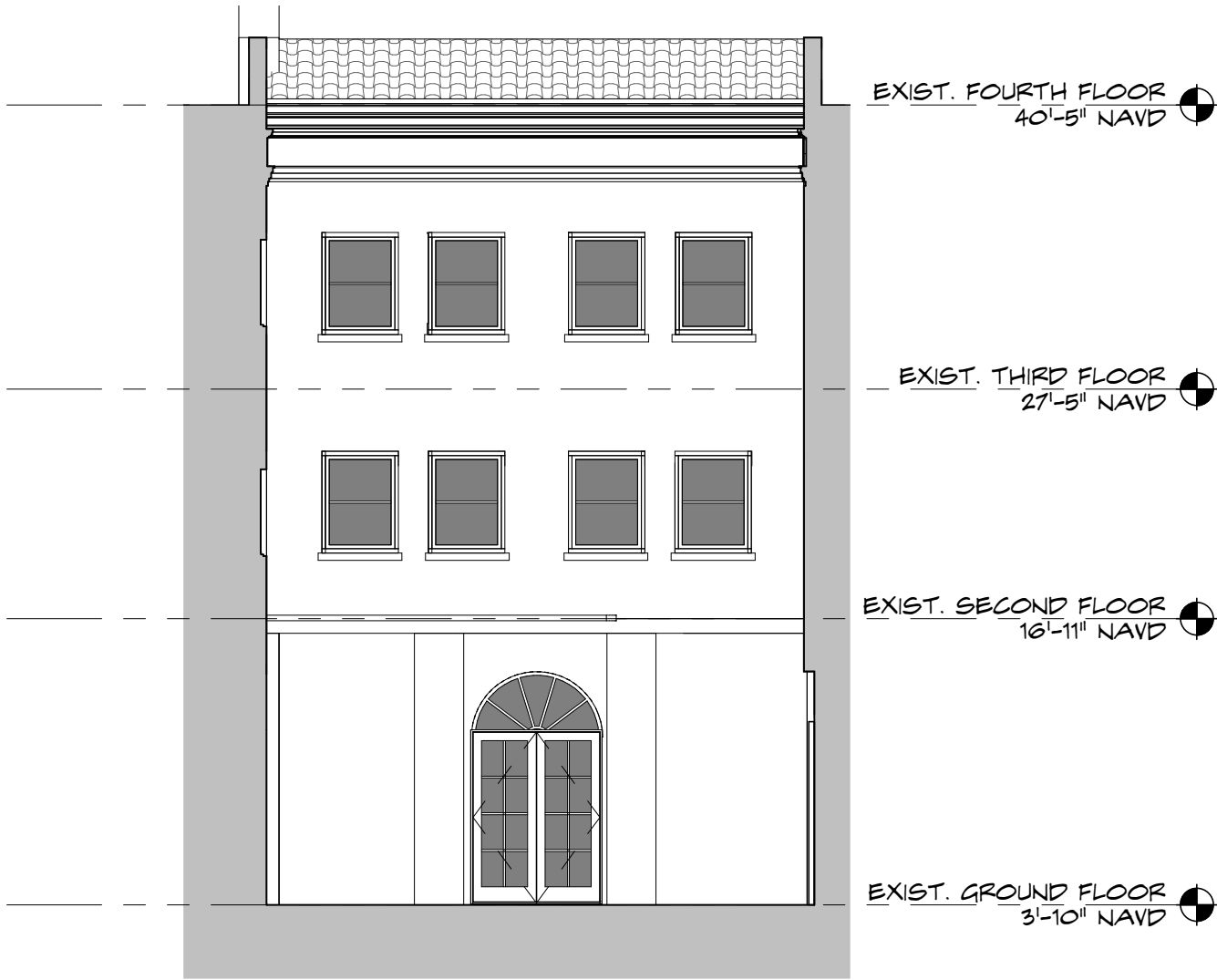
--

AC-4.5.2

COLORED SOUTH ELEVATIONS



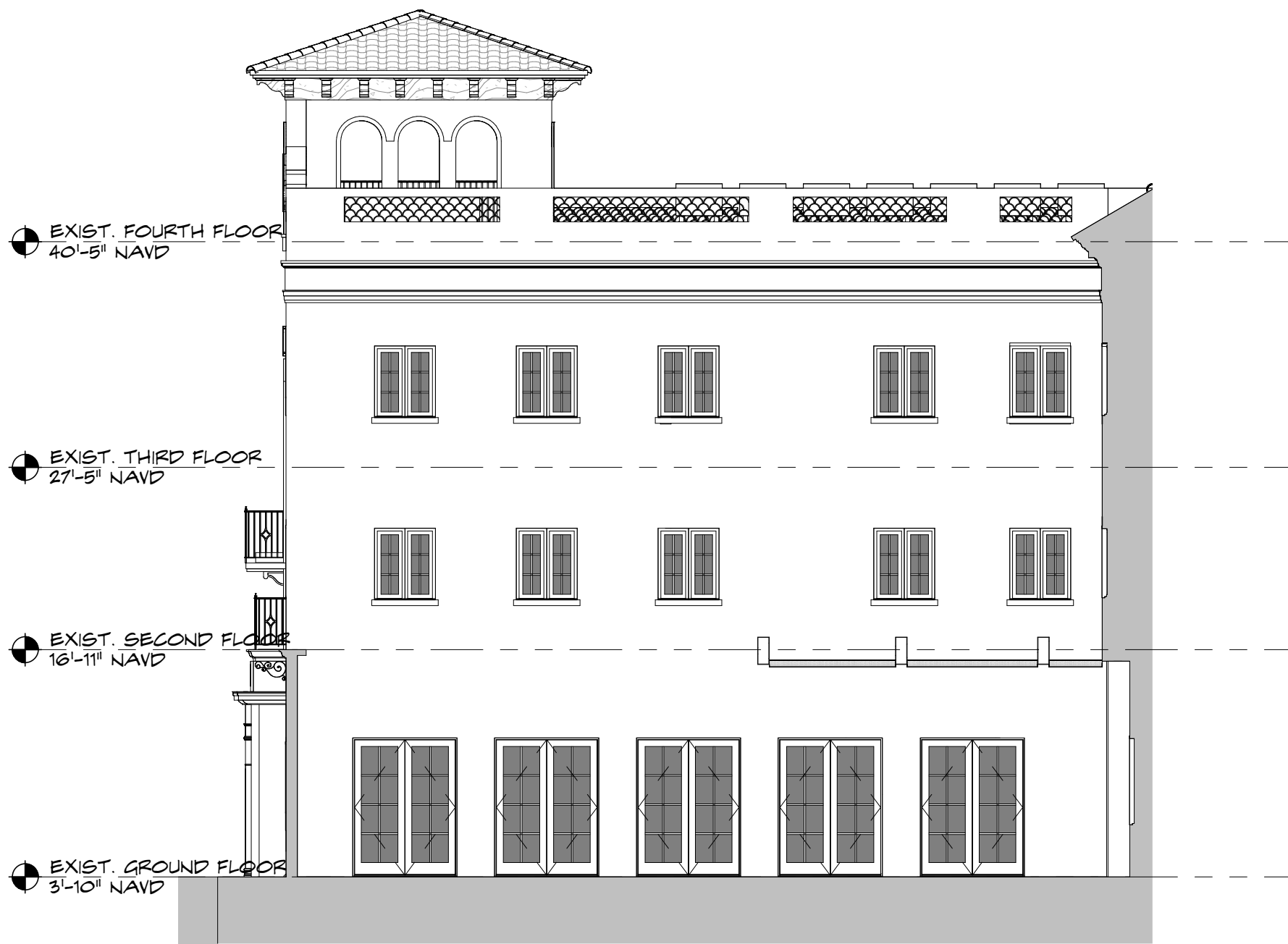
1 Existing Courtyard North Elevation
SCALE: 1/8" = 1'-0"



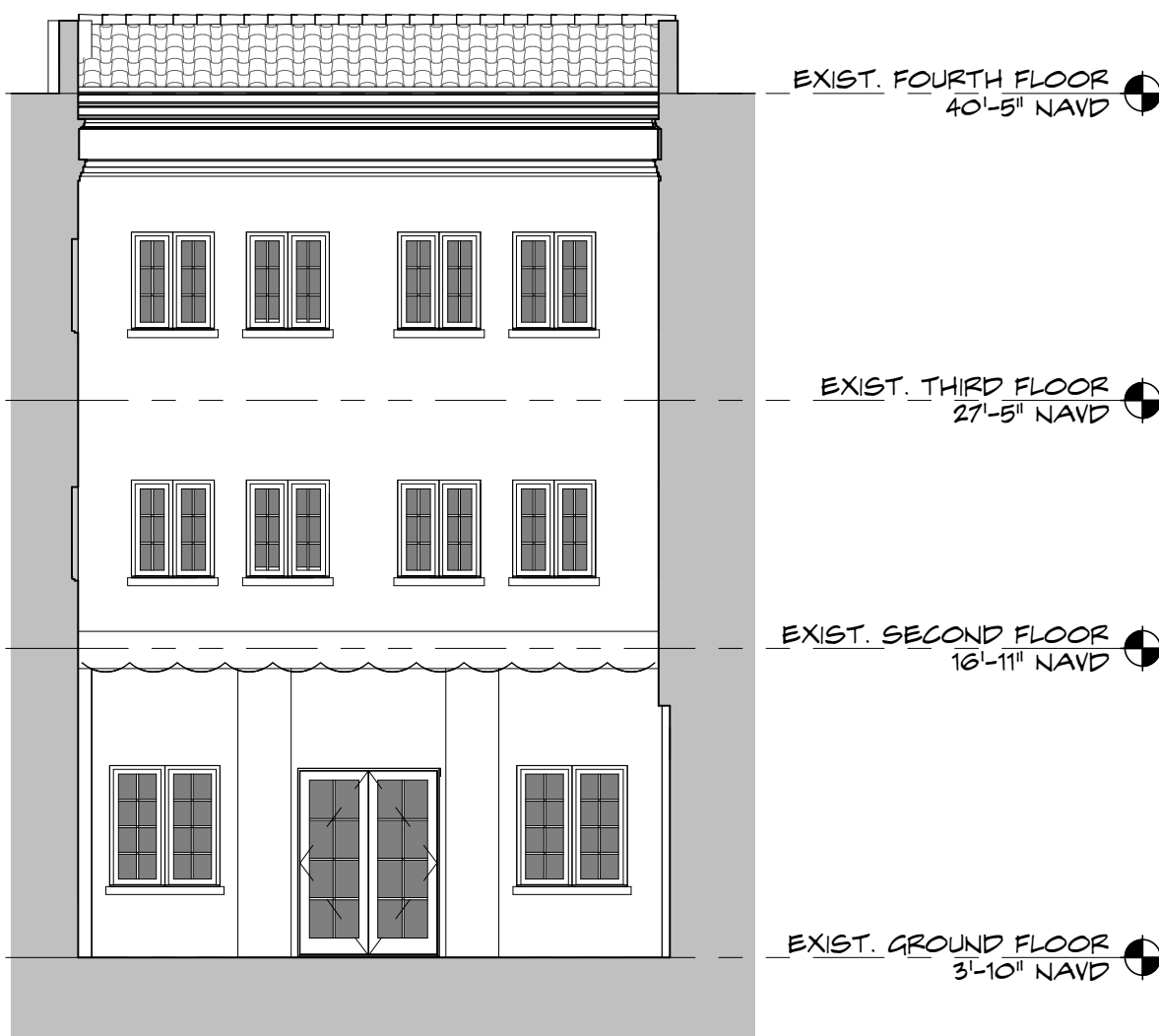
2 Existing Courtyard East Elevation
SCALE: 1/8" = 1'-0"



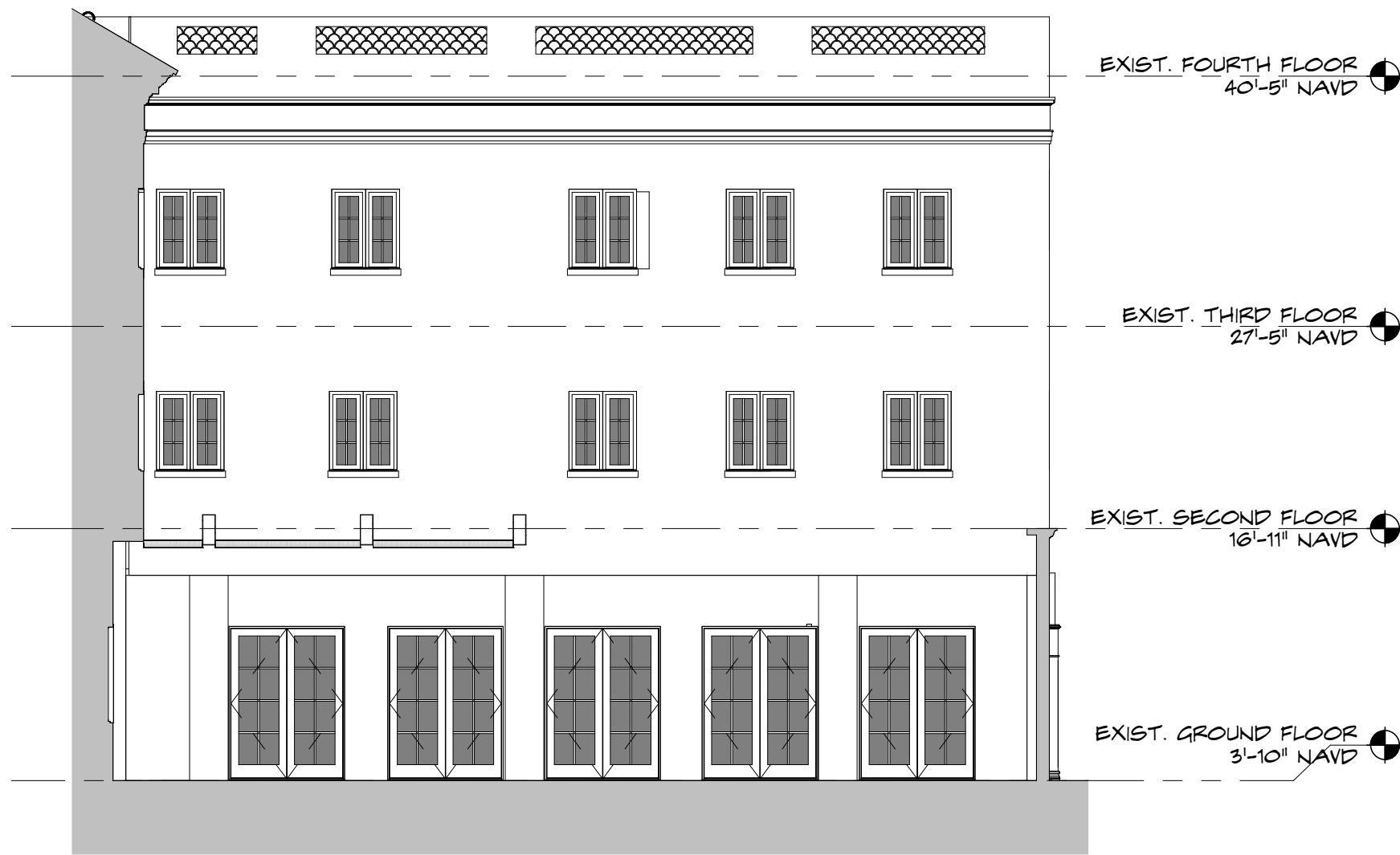
3 Existing Courtyard South Elevation
SCALE: 1/8" = 1'-0"



4 Proposed Courtyard North Elevation
SCALE: 1/8" = 1'-0"



5 Proposed Courtyard East Elevation
SCALE: 1/8" = 1'-0"



6 Proposed Courtyard South Elevation
SCALE: 1/8" = 1'-0"



RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

AC-4.6.1

EXISTING & PROPOSED COURTYARD ELEVATIONS



1 COLORED ELEVATION - COURTYARD - NORTH
SCALE: 1/8" = 1'-0"



2 COLORED ELEVATION - COURTYARD - EAST
SCALE: 1/8" = 1'-0"



3 COLORED ELEVATION - COURTYARD - SOUTH
SCALE: 1/8" = 1'-0"



4 COLORED ELEVATION - COURTYARD - NORTH - LANDSCAPING
SCALE: 1/8" = 1'-0"

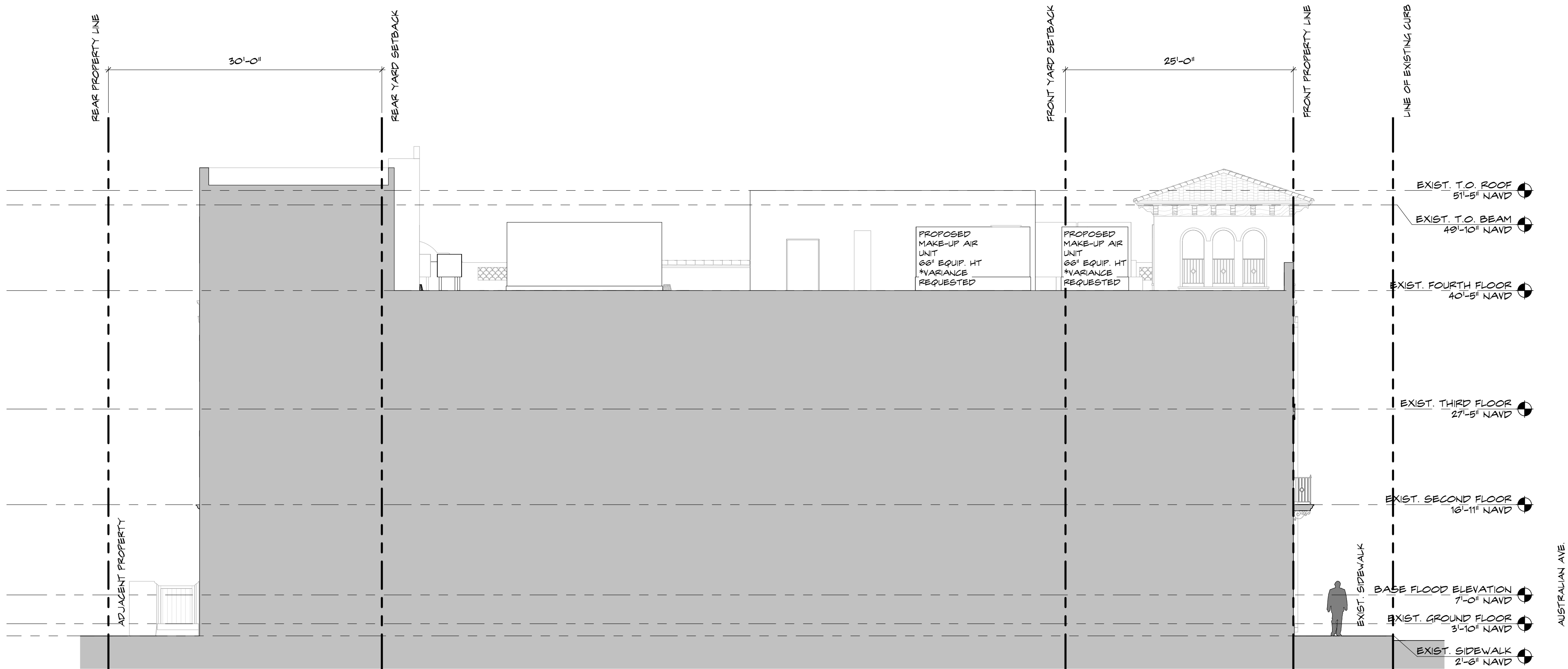


5 COLORED ELEVATION - COURTYARD - EAST - LANDSCAPING
SCALE: 1/8" = 1'-0"



6 COLORED ELEVATION - COURTYARD - SOUTH - LANDSCAPING
SCALE: 1/8" = 1'-0"

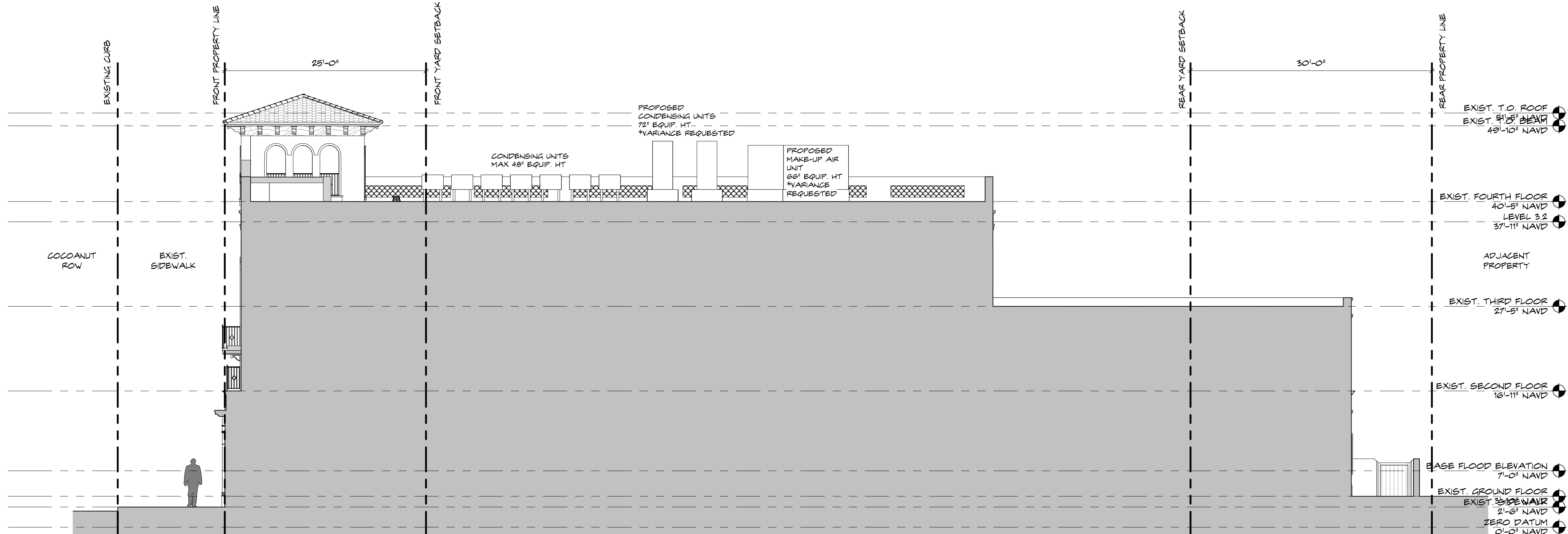




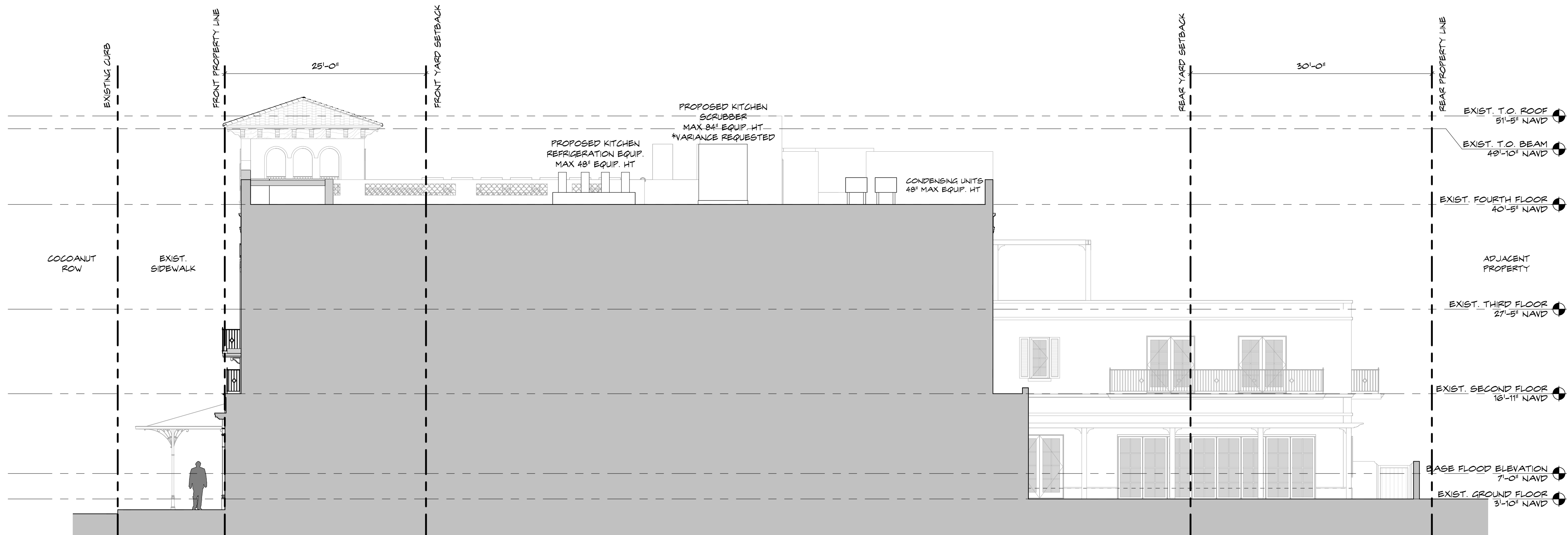
2 CONCEPTUAL BUILDING & YARD SECTION 02
AC-5.1.0 SCALE: 1/8" = 1'-0"



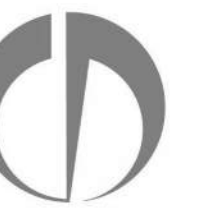
1 CONCEPTUAL BUILDING & YARD SECTION 01
AC-5.1.0 SCALE: 1/8" = 1'-0"



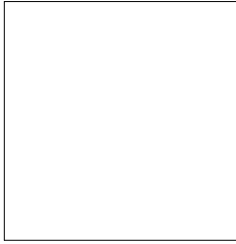
1
AC-5.1.1
CONCEPTUAL BUILDING & YARD SECTION 03
SCALE: 1/8" = 1'-0"



2
AC-5.1.1
CONCEPTUAL BUILDING & YARD SECTION 04
SCALE: 1/8" = 1'-0"



EXTERIOR MATERIALS



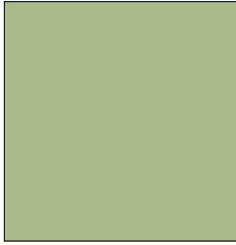
BUILDING BODY & TRIM
STUCCO, PTD
TIMID WHITE BY BENJAMIN MOORE



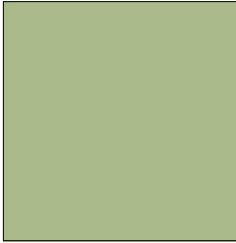
ROOF TILE
2-PIECE TERRA COTTA
HAND PRESSED
VINTAGE FINISH



FRONT DOORS
MAHOGANY
STAINED



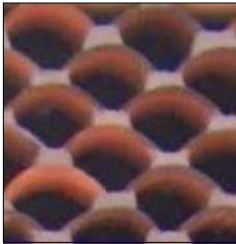
TYPICAL DOORS & WINDOWS
ALUMINUM
ACADIA GREEN BY BENJAMIN MOORE



EXTERIOR SHUTTERS
ALUMINUM
ACADIA GREEN BY BENJAMIN MOORE



EXTERIOR METALWORK
RAILINGS, BRACKETS, GATES,
AWNINGS & SIGNAGE
BRONZE, KYNAR FINISH



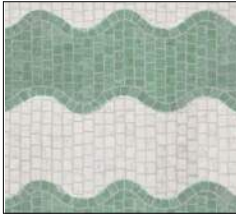
BARREL TILE SCREEN AT ROOF PARAPET
2-PIECE TERRA COTTA
HAND PRESSED
FINISH TO MATCH ROOF



BARREL TILE SCREEN AT ENTRY DOORS
2-PIECE TERRA COTTA
HAND PRESSED
PAINTED TO MATCH BUILDING



COURTYARD HARDSCAPE
TERRACOTTA
CUSTOM PATTERN & COLOR
TO BE SELECTED



POOL DECK HARDSCAPE
STONE MOSAIC
CUSTOM PATTERN & COLOR
TO BE SELECTED



RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

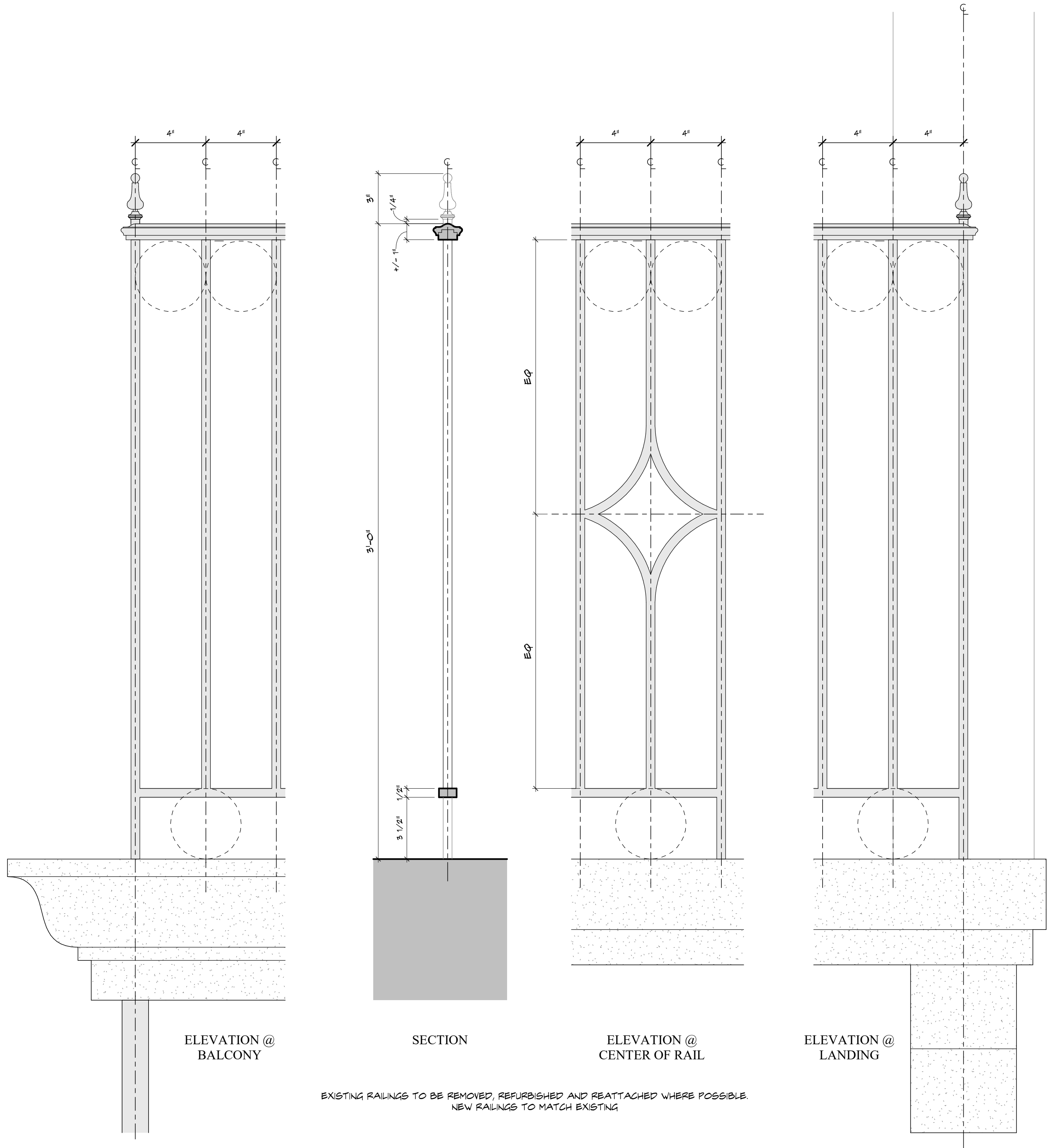
AC-6.1.0



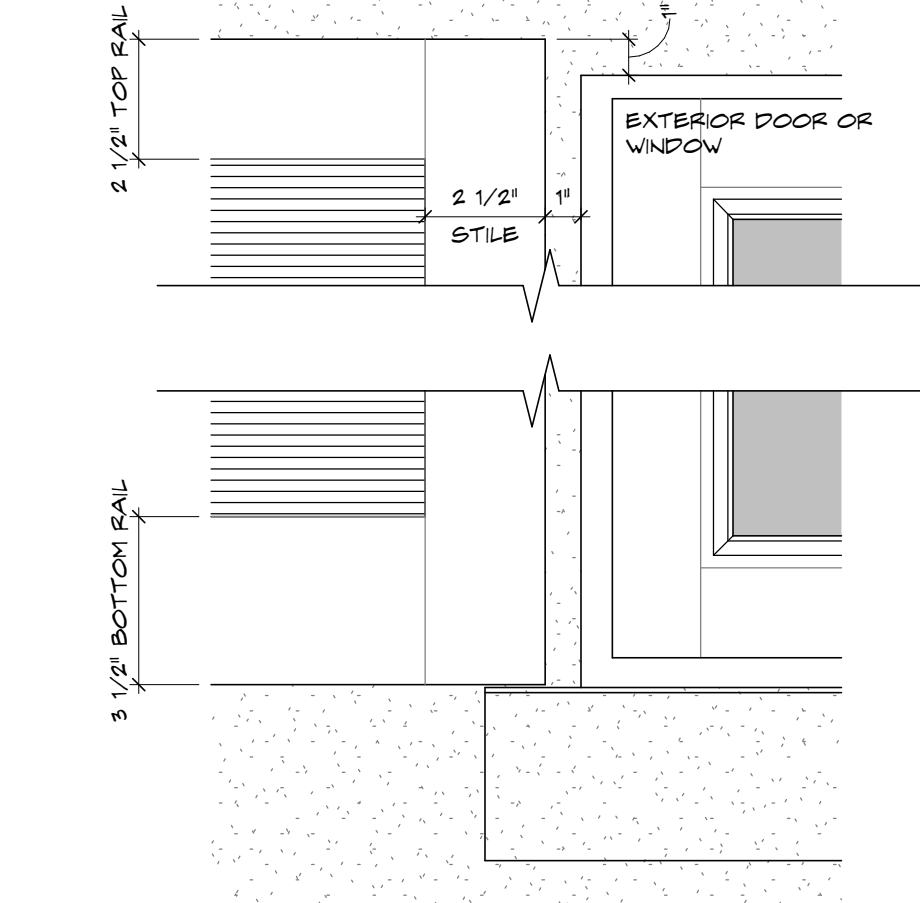
SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

Kelith M. Spina #ARI13419

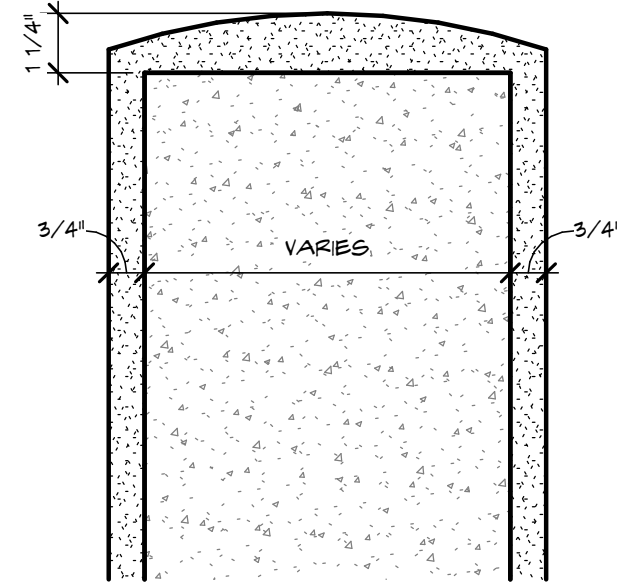
285 Benjamin Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.6594
spinaorourke.com
FL LIC # A26202299



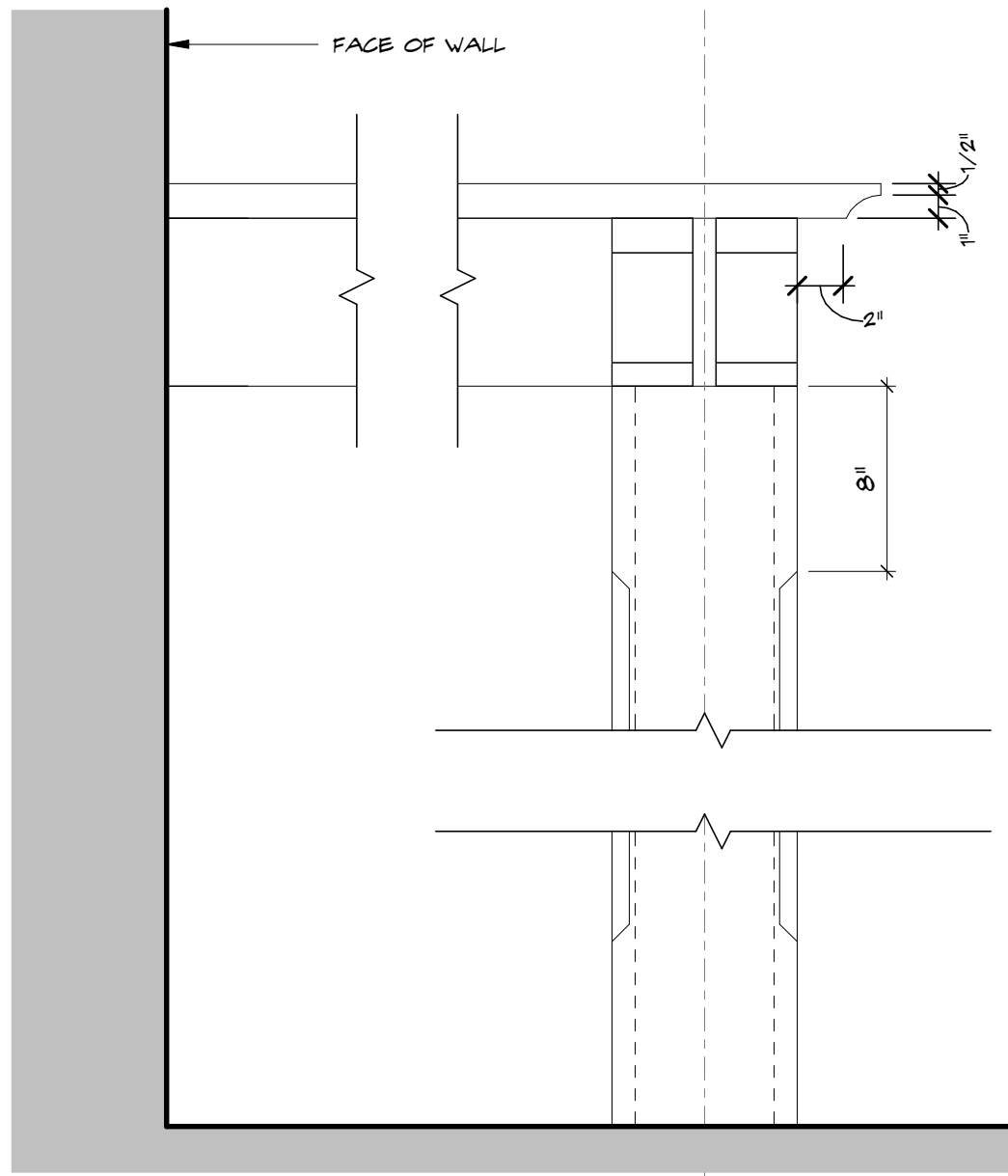
1
AC-6.2.0
TYPICAL RAILING DETAIL
SCALE: 3" = 1'-0"



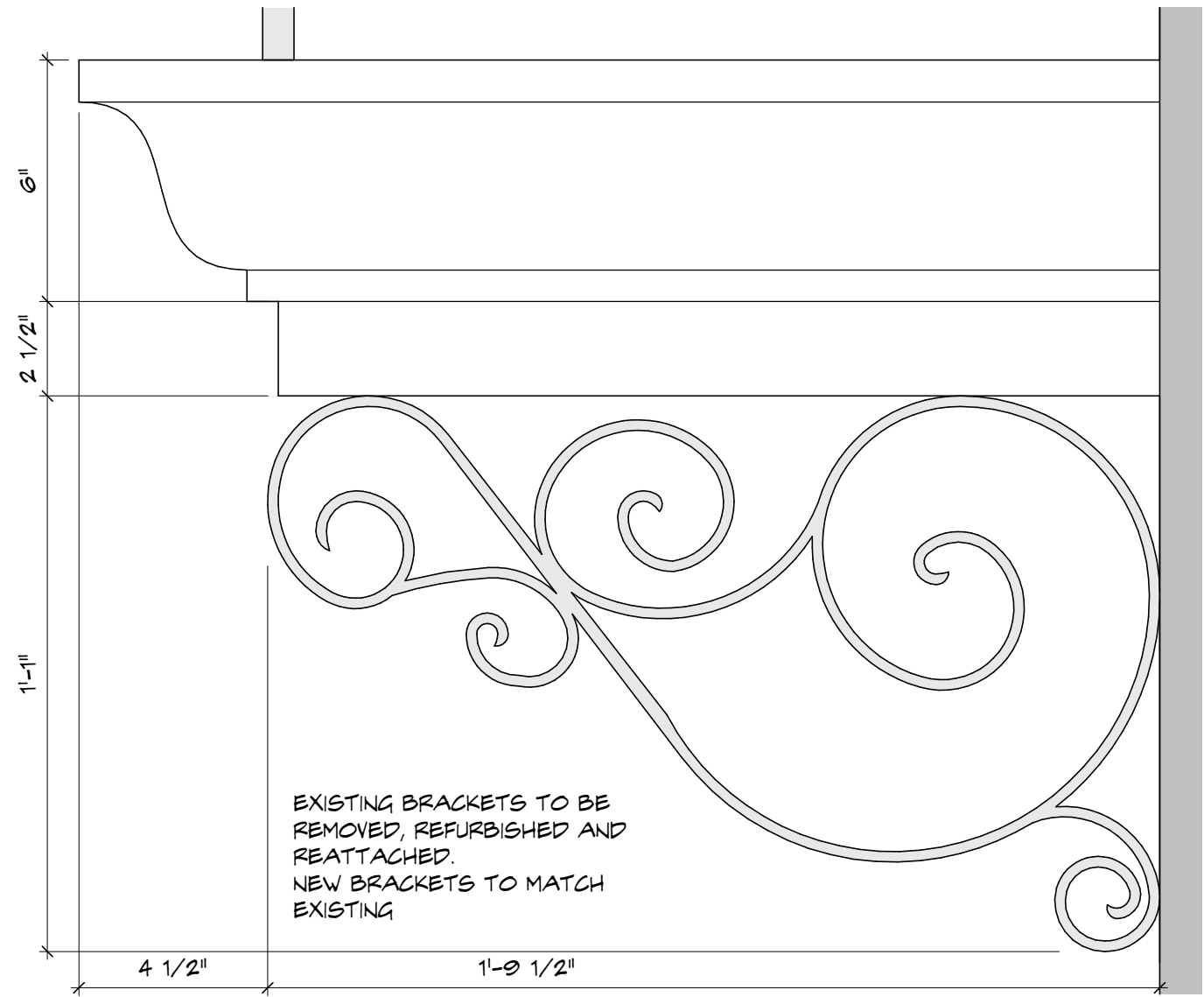
5
AC-6.2.0
EXTERIOR SHUTTER DETAIL
SCALE: 3" = 1'-0"



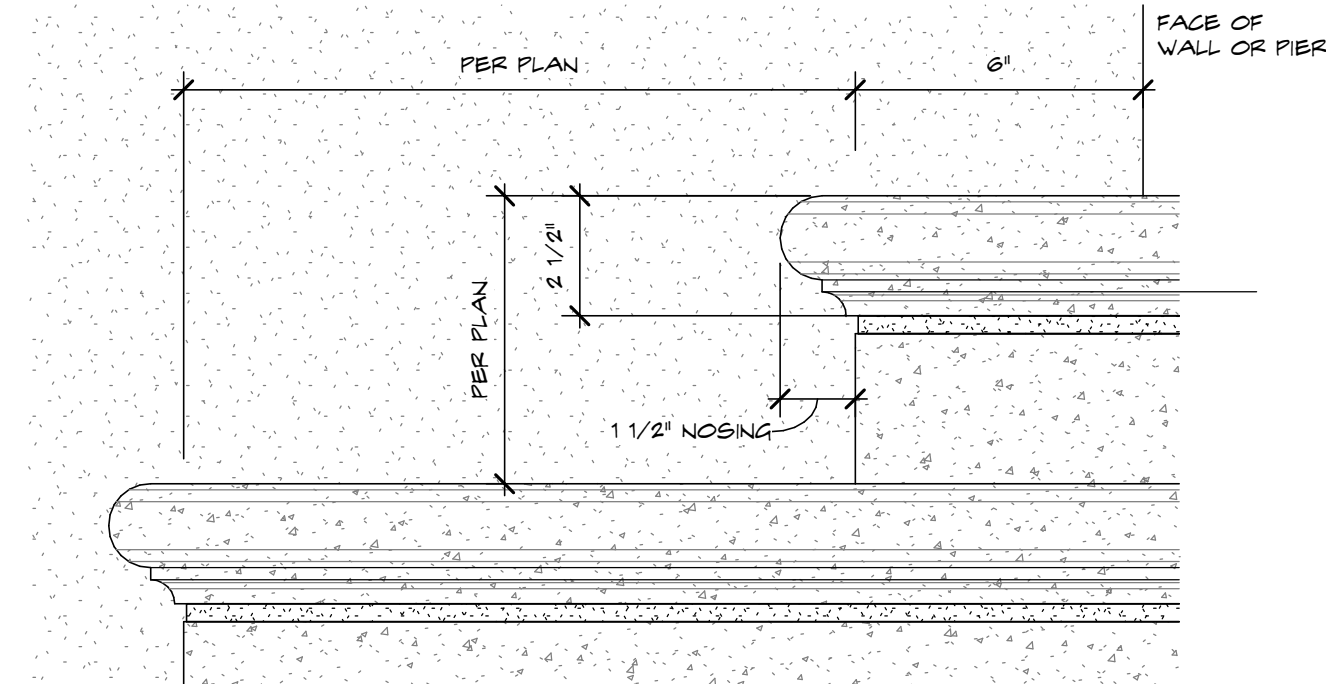
3
AC-6.2.0
SITE WALL CAP DETAIL
SCALE: 3" = 1'-0"



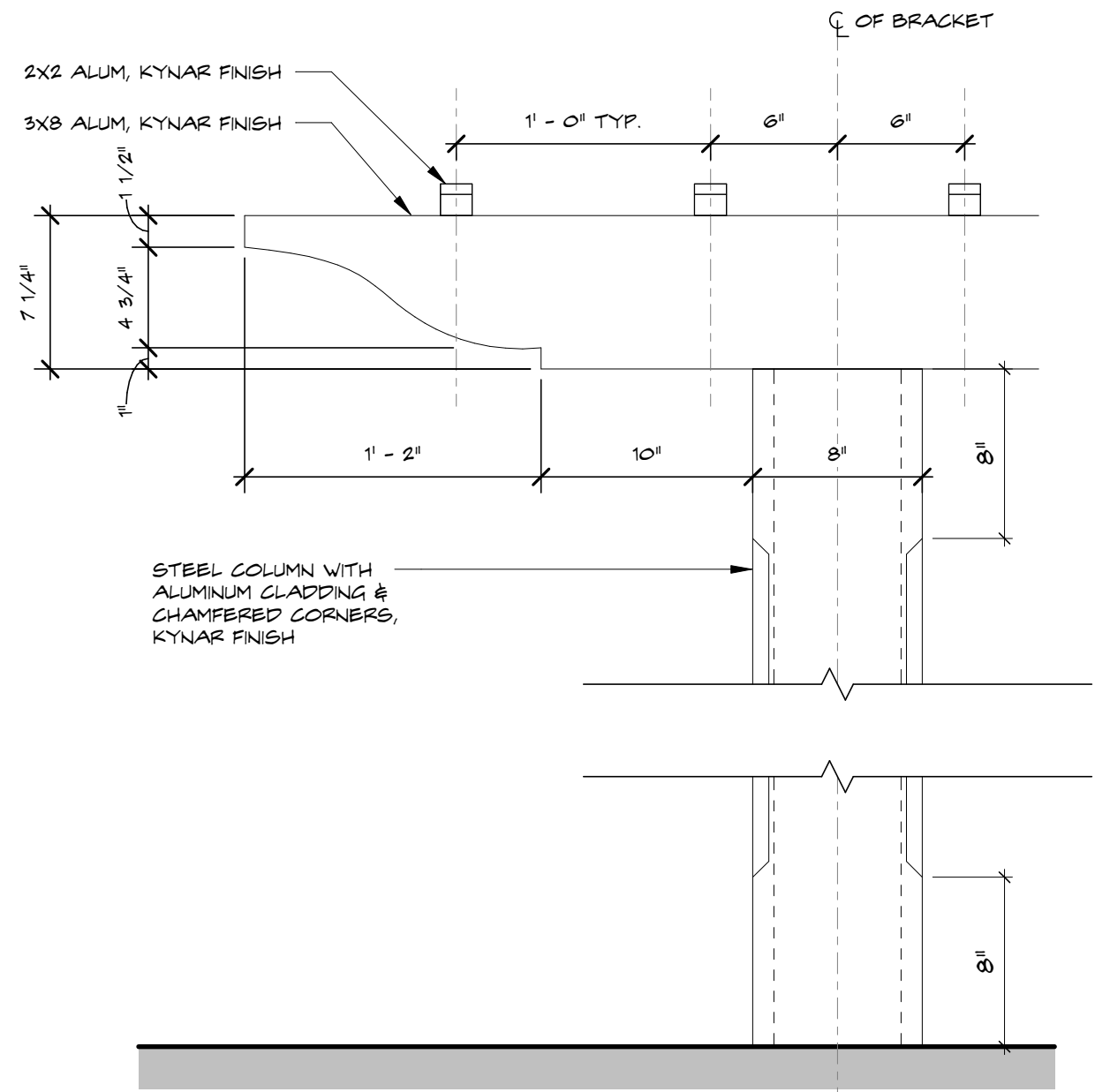
2
AC-6.2.0
TYPICAL TRELLIS DETAIL
SCALE: 1 1/2" = 1'-0"



6
AC-6.2.0
BALCONY BRACKET DETAIL
SCALE: 3" = 1'-0"

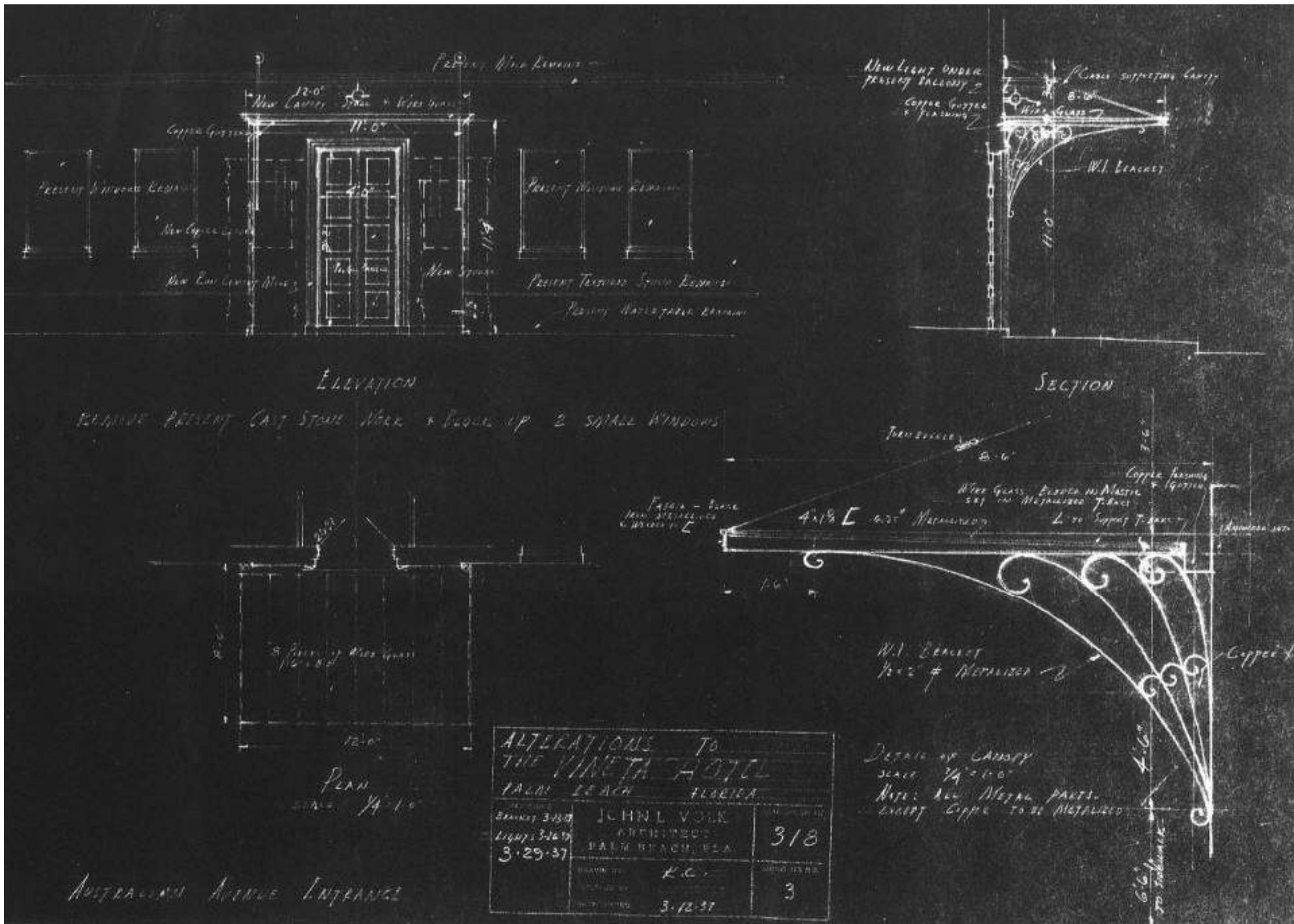


4
AC-6.2.0
TYPICAL STEP DETAIL
SCALE: 3" = 1'-0"

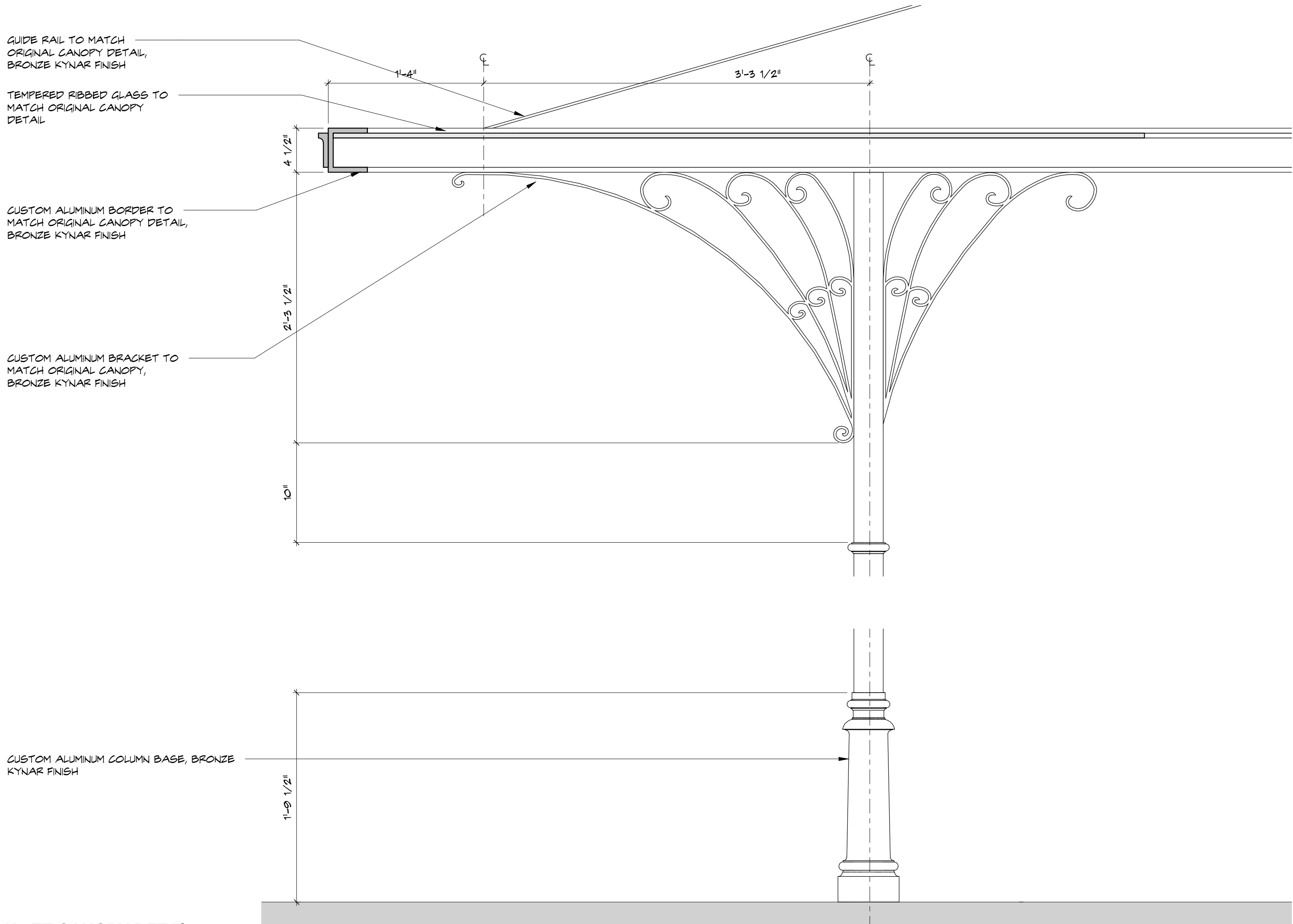




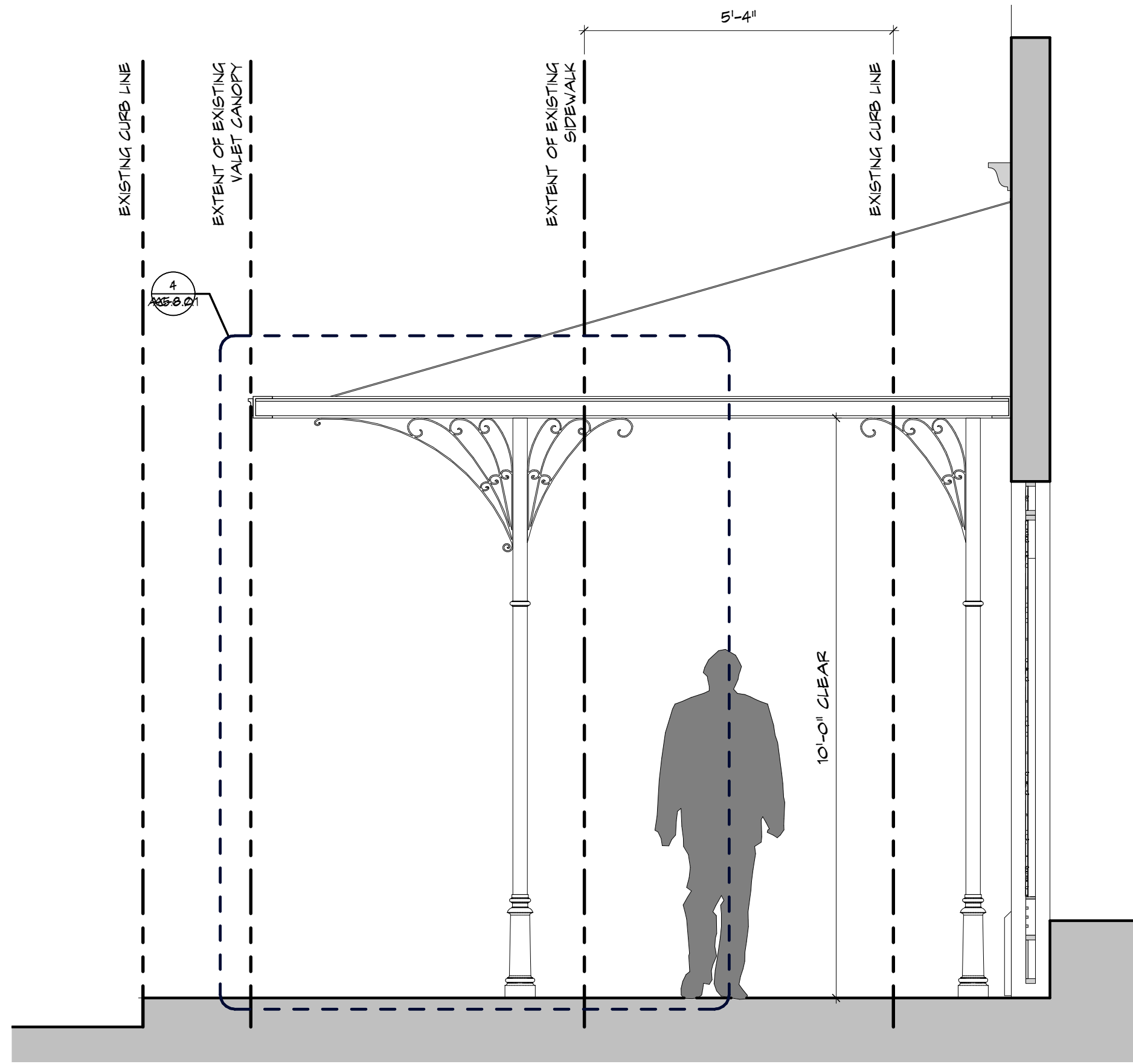
3 VALET CANOPY - HISTORIC REFERENCE IMAGES
AC-6.2.1 SCALE: 12" = 1'-0"



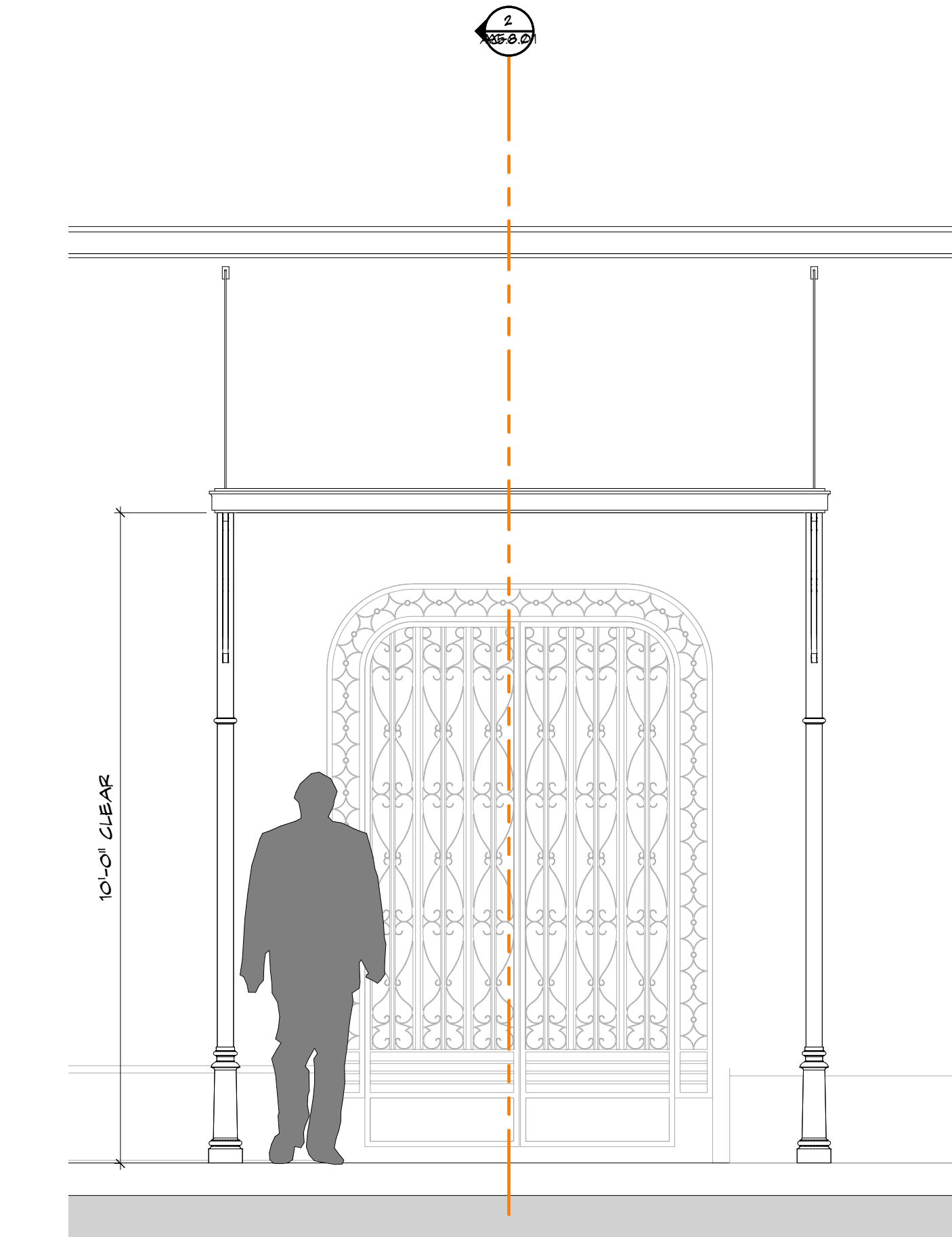
5 VALET CANOPY - HISTORIC REFERENCE DETAILS
AC-6.2.1 SCALE: 12" = 1'-0"



4 VALET CANOPY DETAIL
AC-6.2.1 SCALE: 1 1/2" = 1'-0"

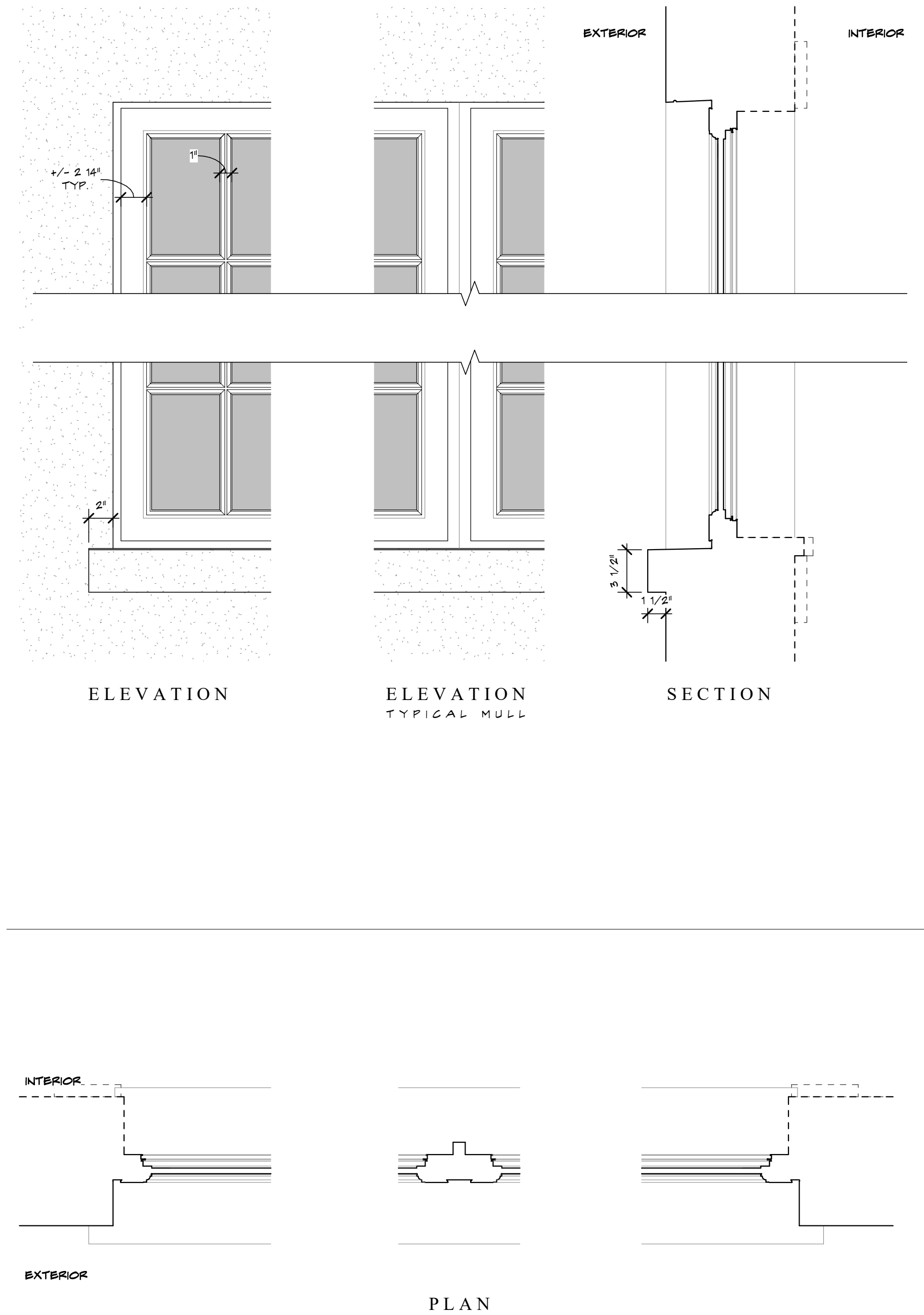


2 VALET CANOPY SECTION
AC-6.2.1 SCALE: 1/2" = 1'-0"

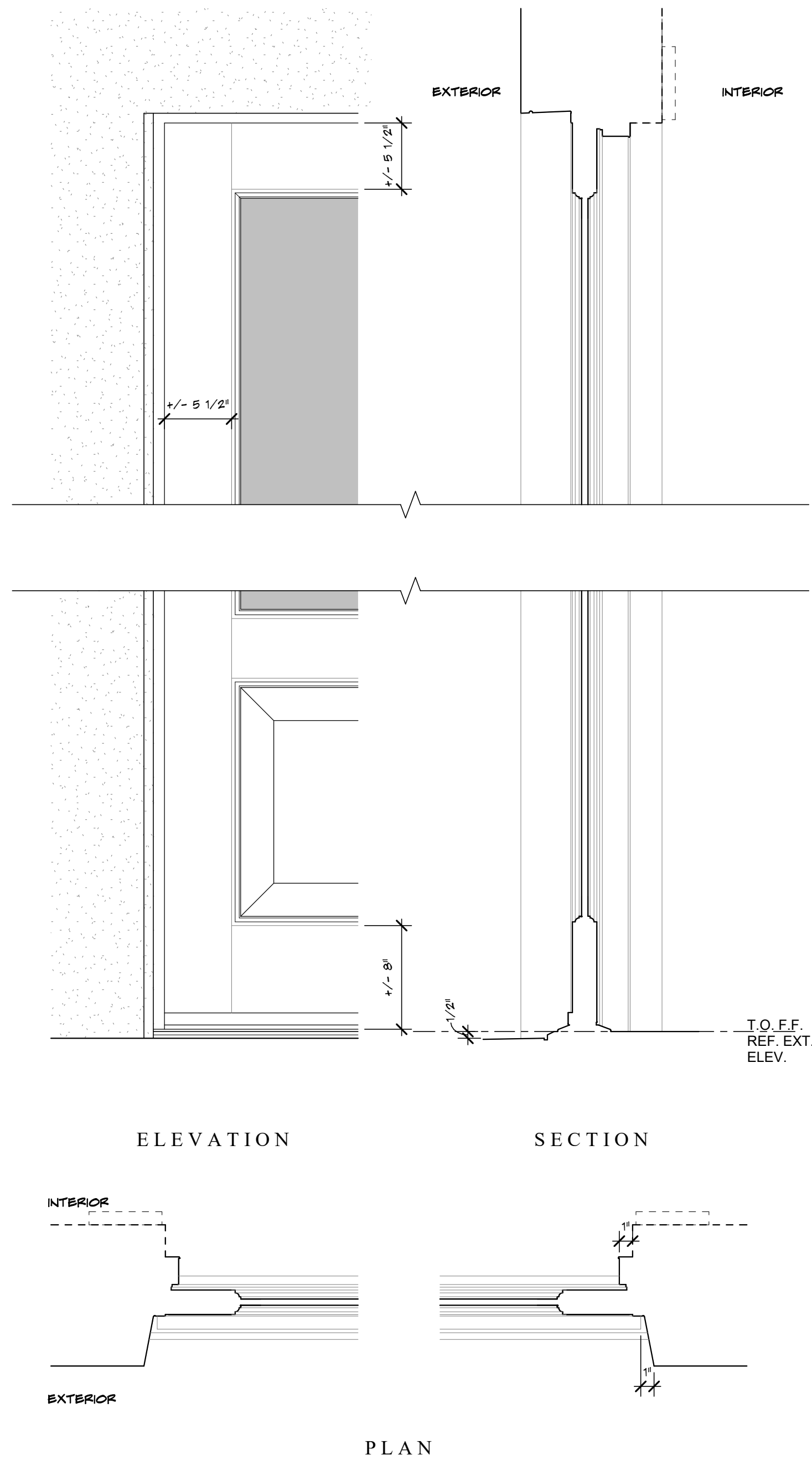


1 VALET CANOPY - WEST ELEVATION
AC-6.2.1 SCALE: 1/2" = 1'-0"

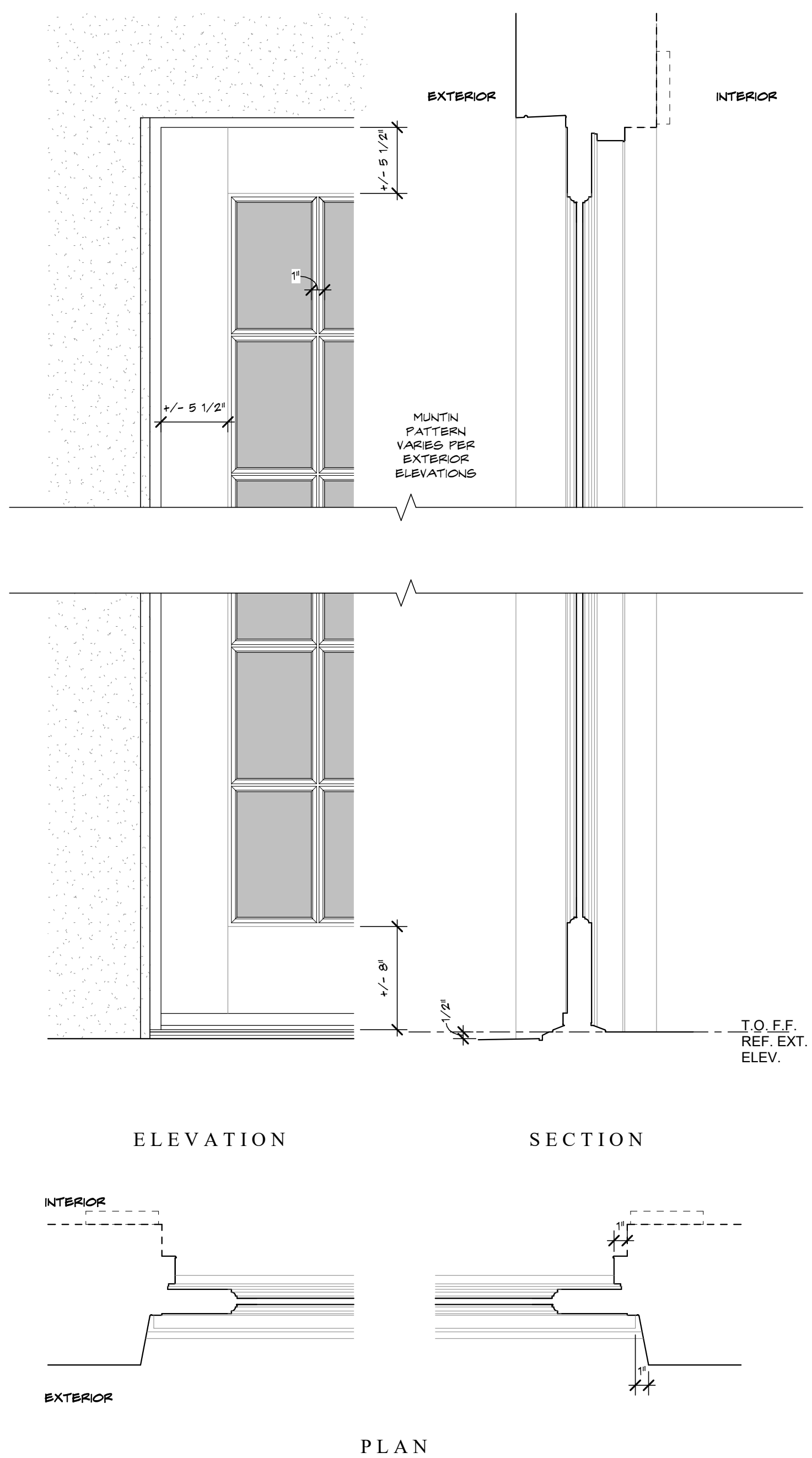




2 TYPICAL WINDOW DETAIL
AC-6.3.0 SCALE: 1 1/2" = 1'-0"



3 EXTERIOR FRONT DOOR DETAIL
AC-6.3.0 SCALE: 1 1/2" = 1'-0"



1 TYPICAL EXTERIOR DOOR DETAIL
AC-6.3.0 SCALE: 1 1/2" = 1'-0"

EXTERIOR DOOR & WINDOW DETAILS

RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

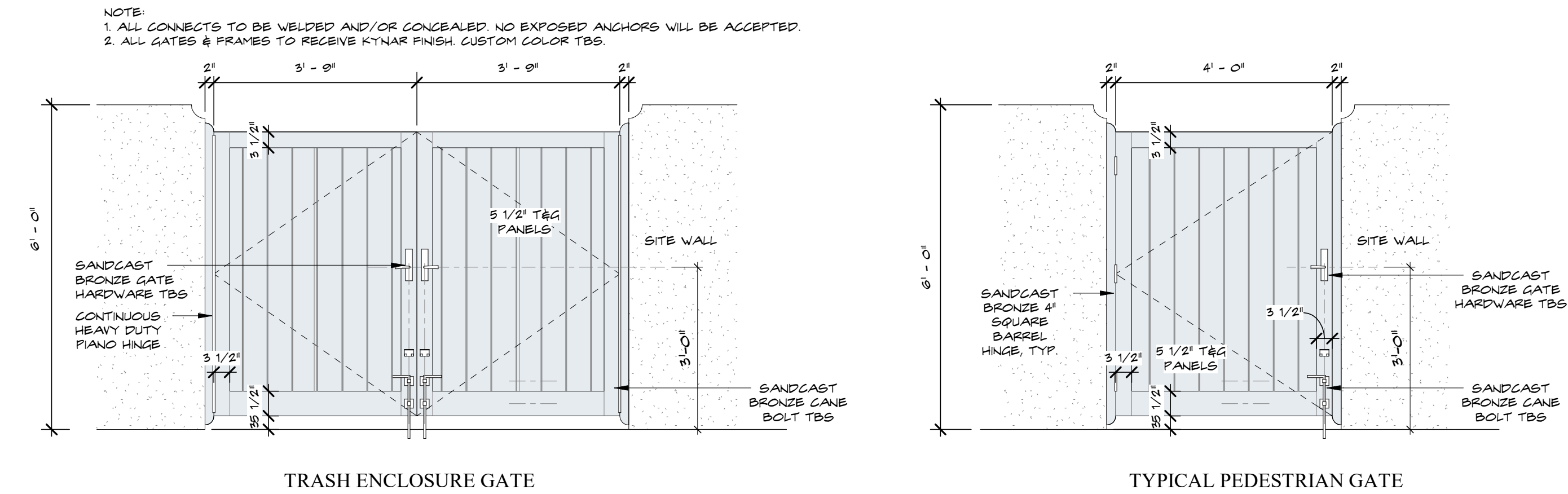
AC-6.3.0



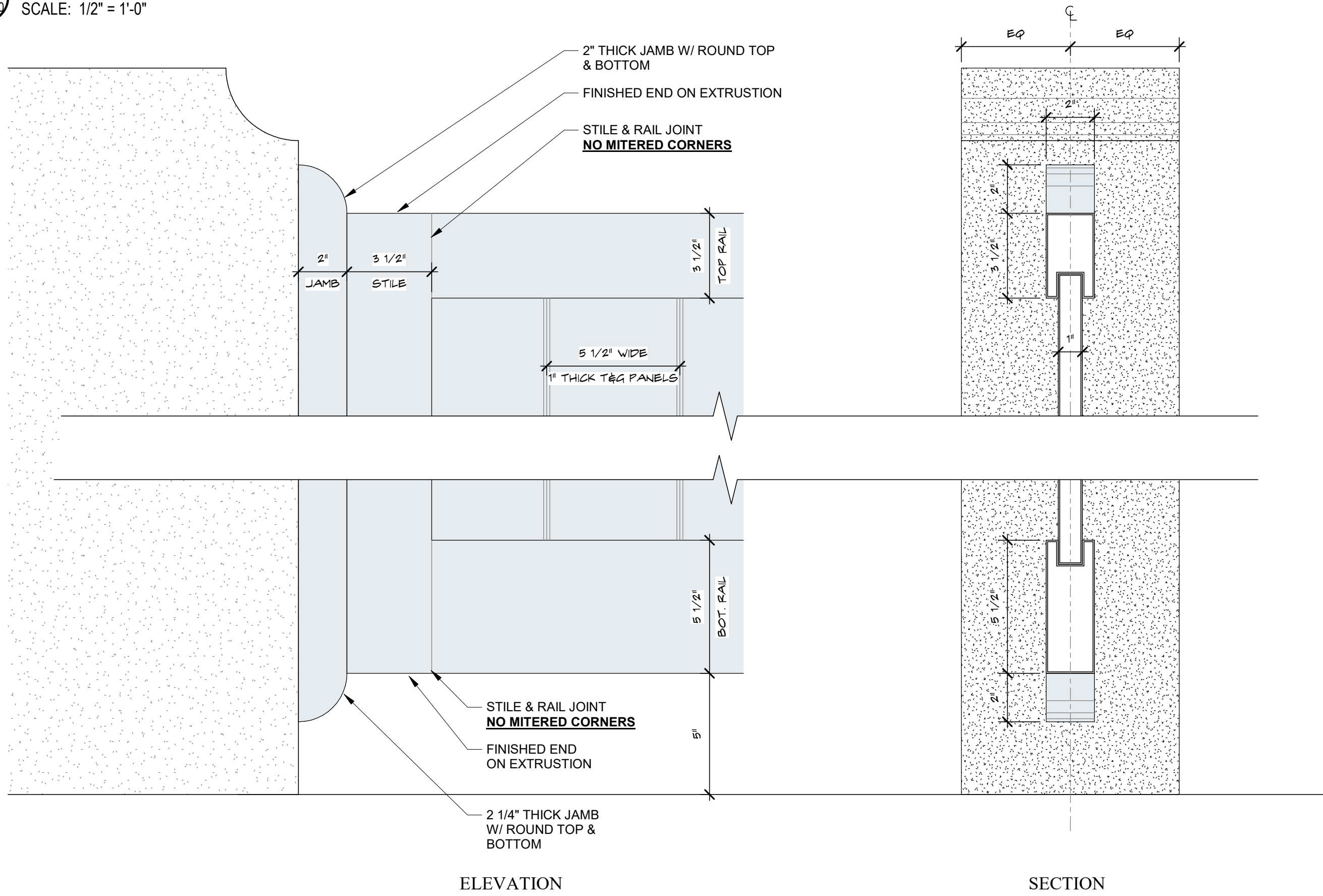
SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

Kelith M. Spina #ARI13419

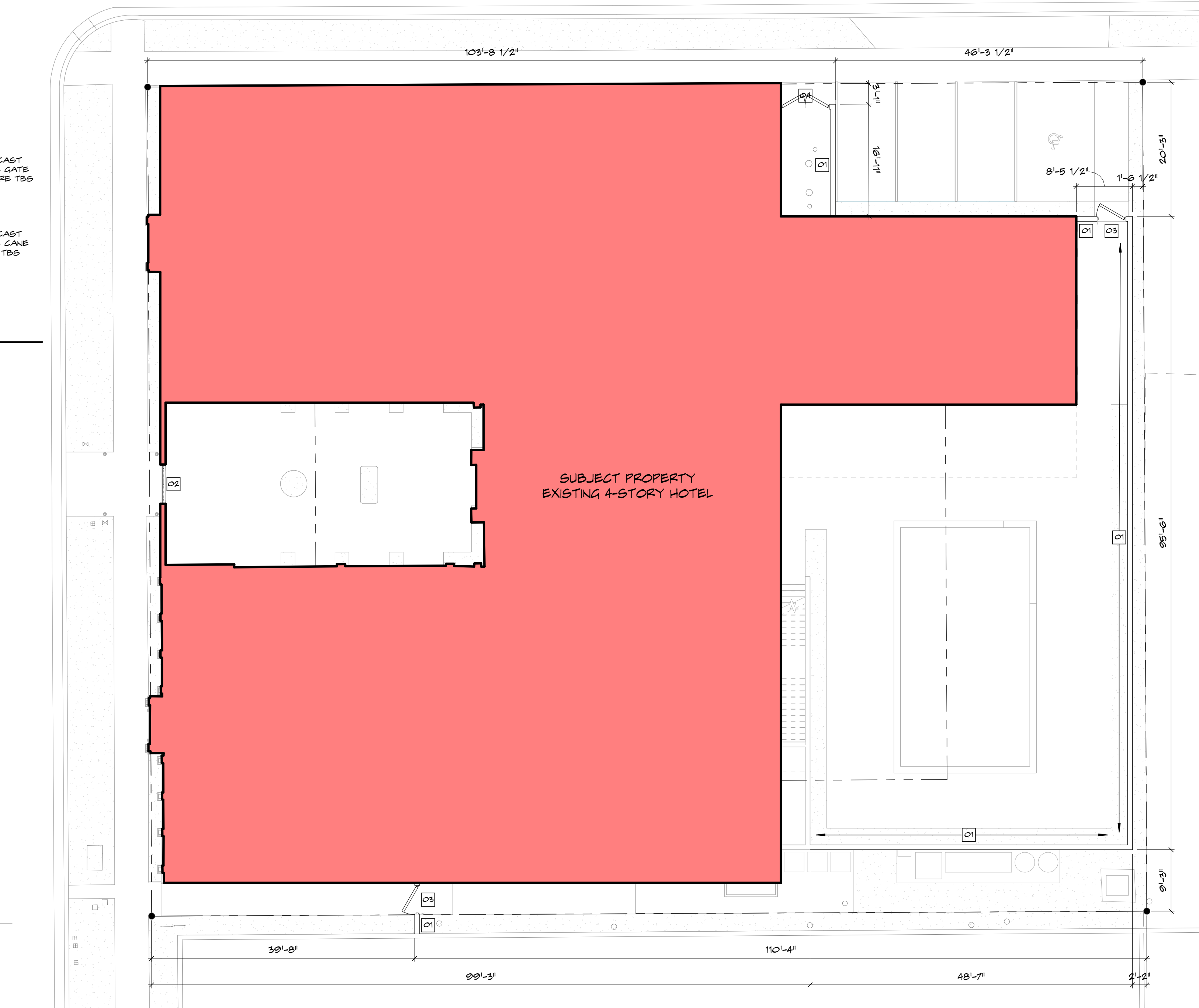
285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.5594
spinaorourke.com
FL LIC #A26202289



A
AC-6.4.0
EXTERIOR GATE LEGEND
SCALE: 1/2" = 1'-0"



B
AC-6.4.0
EXTERIOR GATE DETAILS
SCALE: 3" = 1'-0"



1
AC-6.4.0
FENCE, WALL AND GATE PLAN
SCALE: 3/32" = 1'-0"

GATE KEY NOTES

- G1 NEW SITE WALL 6' HIGH MAX ABOVE ADJACENT GRADE
- G2 EXISTING HISTORIC GATE TO BE REFURBISHED
- G3 NEW PEDESTRIAN GATE. REFER TO GATE LEGEND & ENLARGED DETAILS
- G4 NEW TRASH ENCLOSURE GATE. REFER TO GATE LEGEND & ENLARGED DETAILS



SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax: 561.684.5594
spinaorourke.com
FL LIC # A26202299

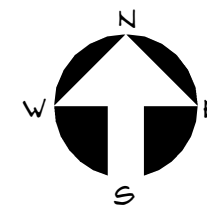
RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker

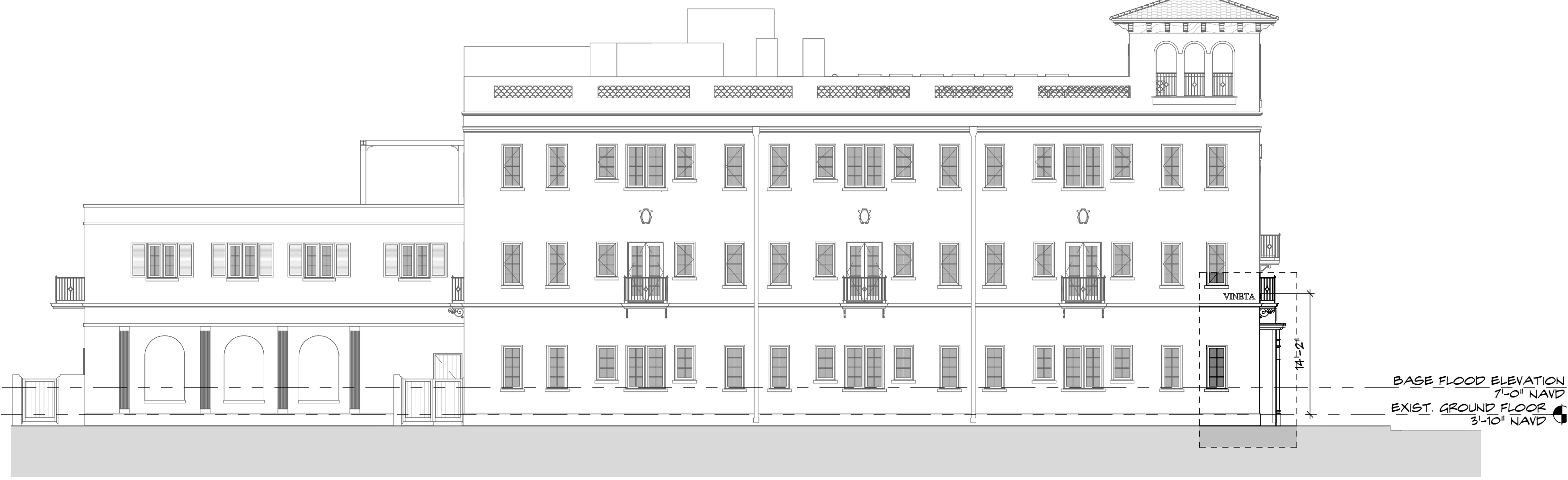


AC-6.4.0

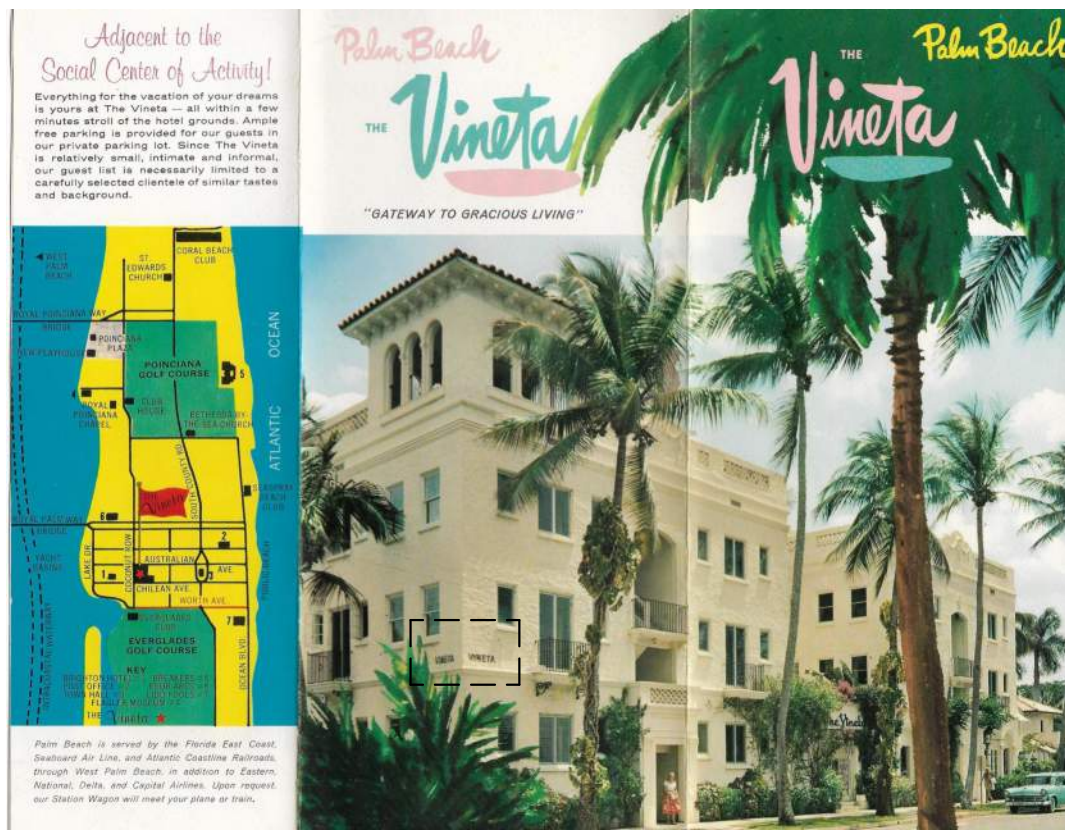
EXTERIOR WALL AND GATE PLAN AND DETAILS



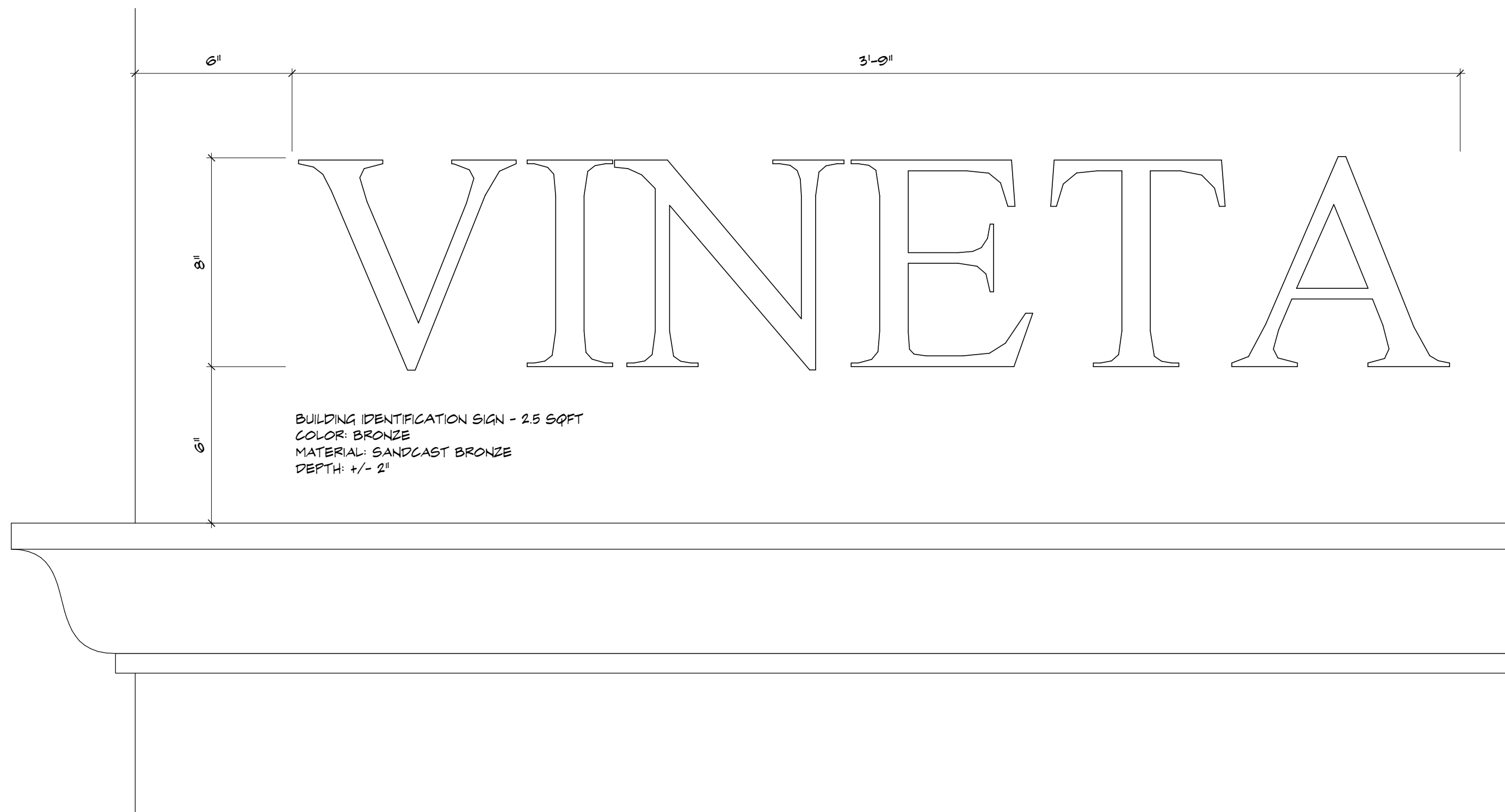
2 Proposed West Elevation
SCALE: 3/32" = 1'-0"



1 Proposed North Elevation
SCALE: 3/32" = 1'-0"



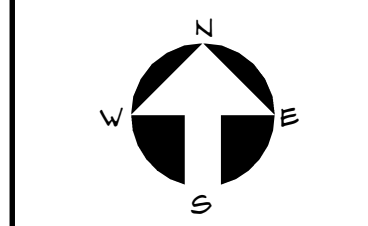
3 HISTORIC SIGN IMAGES
SCALE: 12" = 1'-0"



4 BUILDING IDENTIFICATION SIGN DETAIL
SCALE: 3" = 1'-0"



A FENCE, WALL AND GATE PLAN
SCALE: 3/32" = 1'-0"



SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

2855 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax 561.684.5594
spinaorourke.com
FL Lic # AA00002399

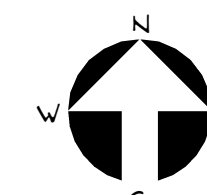


363 Coconut Row, Palm Beach, FL 33480

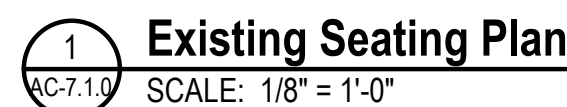
THESE DRAWINGS ARE FOR THE EXCLUSIVE USE OF SPINA OROURKE + PARTNERS, INC. AND MAY NOT BE DUPLICATED, REPRODUCED OR USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF SPINA OROURKE + PARTNERS, INC. ALL RIGHTS RESERVED.

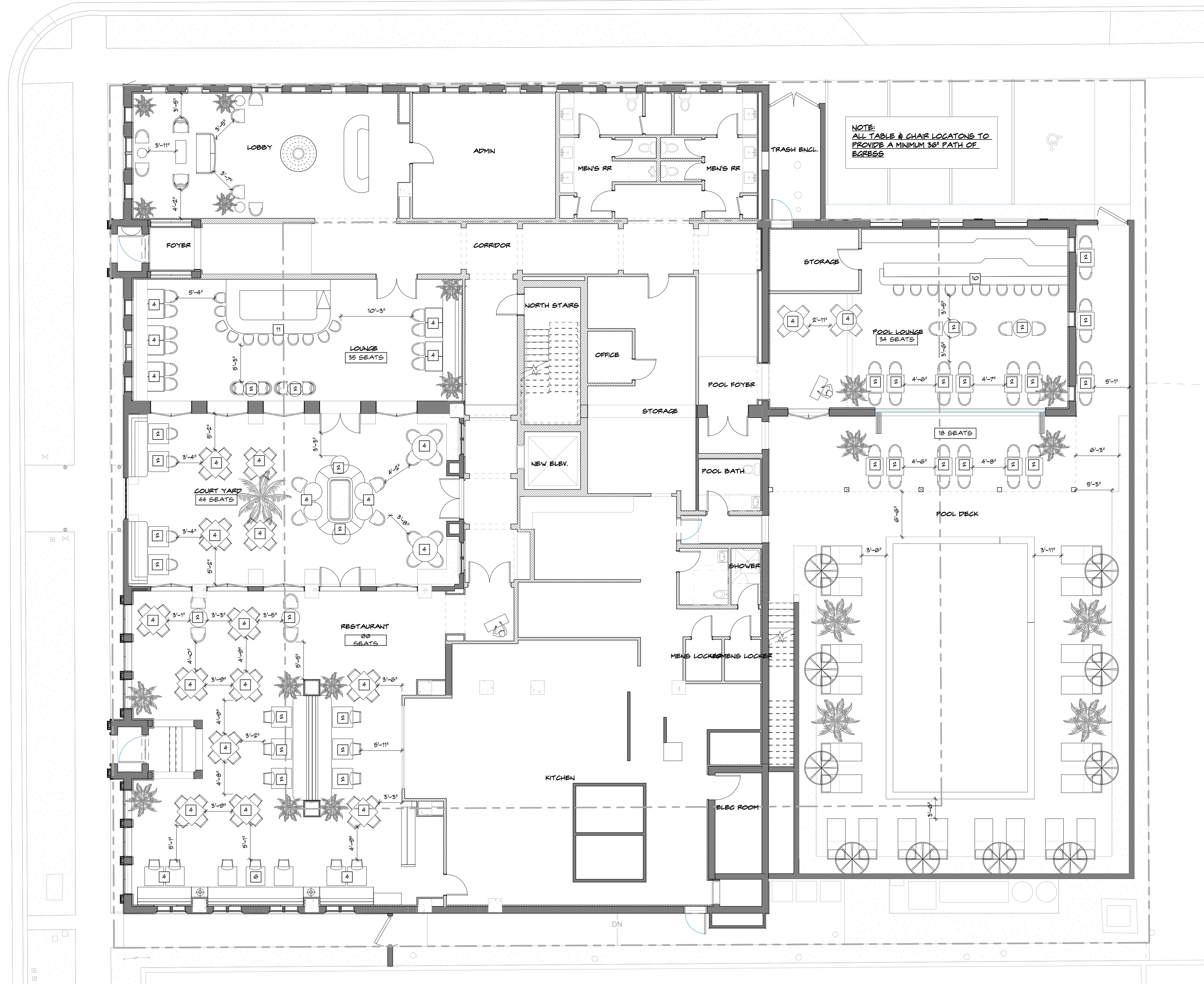
Revisions

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker



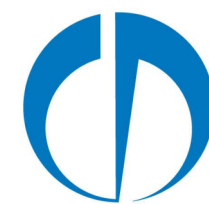
AC-7.1.0





SEATING COUNT		
	EXISTING	PROPOSED
INDOOR		
LOBBY LOUNGE	-	35
RESTAURANT	113	88
POOL LOUNGE (INDOOR)	-	34
SUBTOTAL	113	157
OUTDOOR		
COURTYARD	-	44
POOL LOUNGE (OUTDOOR)	-	18
SUBTOTAL	-	197
TOTAL	113	197
PARKING CREDIT		
HOTEL ROOMS	57	41
18 ROOMS REDUCTION X 1.75 SPACES PER ROOM = 28 SPACE CREDIT		
28 SPACES X 3 SEATS PER SPACE = 84 SEAT CREDIT (SEE ABOVE)		

1 Proposed Seating Plan
AC-7.1.1 SCALE: 1/8" = 1'-0"



SPINAOROURKE
+ PARTNERS
Architecture • Interior Design

285 Banyan Blvd
West Palm Beach, Florida 33401
561.684.6844 • Fax 561.684.5594
spinaorourke.com
FL LIC # A26202399

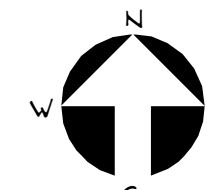
RENOVATION OF
The Vineta Hotel

363 Coconut Row, Palm Beach, FL 33480

THESE DRAWINGS ARE FOR THE
EXCLUSIVE USE OF SPINA OROURKE +
PARTNERS, INC. AND MAY NOT BE
DUPLICATED, REPRODUCED OR USED IN
ANY MANNER WITHOUT THE EXPRESS
WRITTEN CONSENT OF SPINA OROURKE
+ PARTNERS, INC. ALL RIGHTS RESERVED

Revisions:

Project no: 22028
Date: 10.24.2022
Drawn by: Author
Project Manager: Checker



AC-7.1.1

PROPOSED SEATING PLAN



View to North Exterior



View to West Exterior



View to Existing Pool Deck



View to Existing Pool Deck



View to Existing Front Entry



View to Existing Courtyard



View to Existing Courtyard

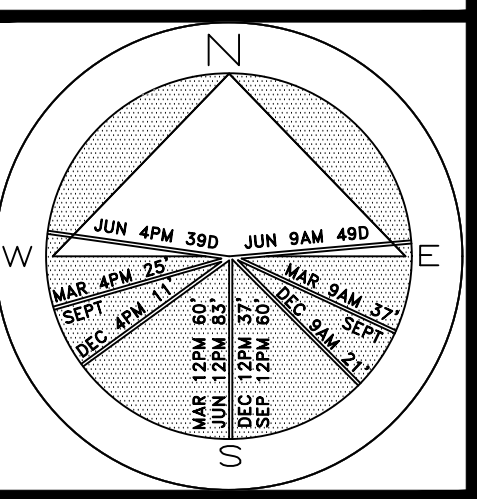
The Vineta
363 Coconut Row
Palm Beach

F L O R I D A

JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

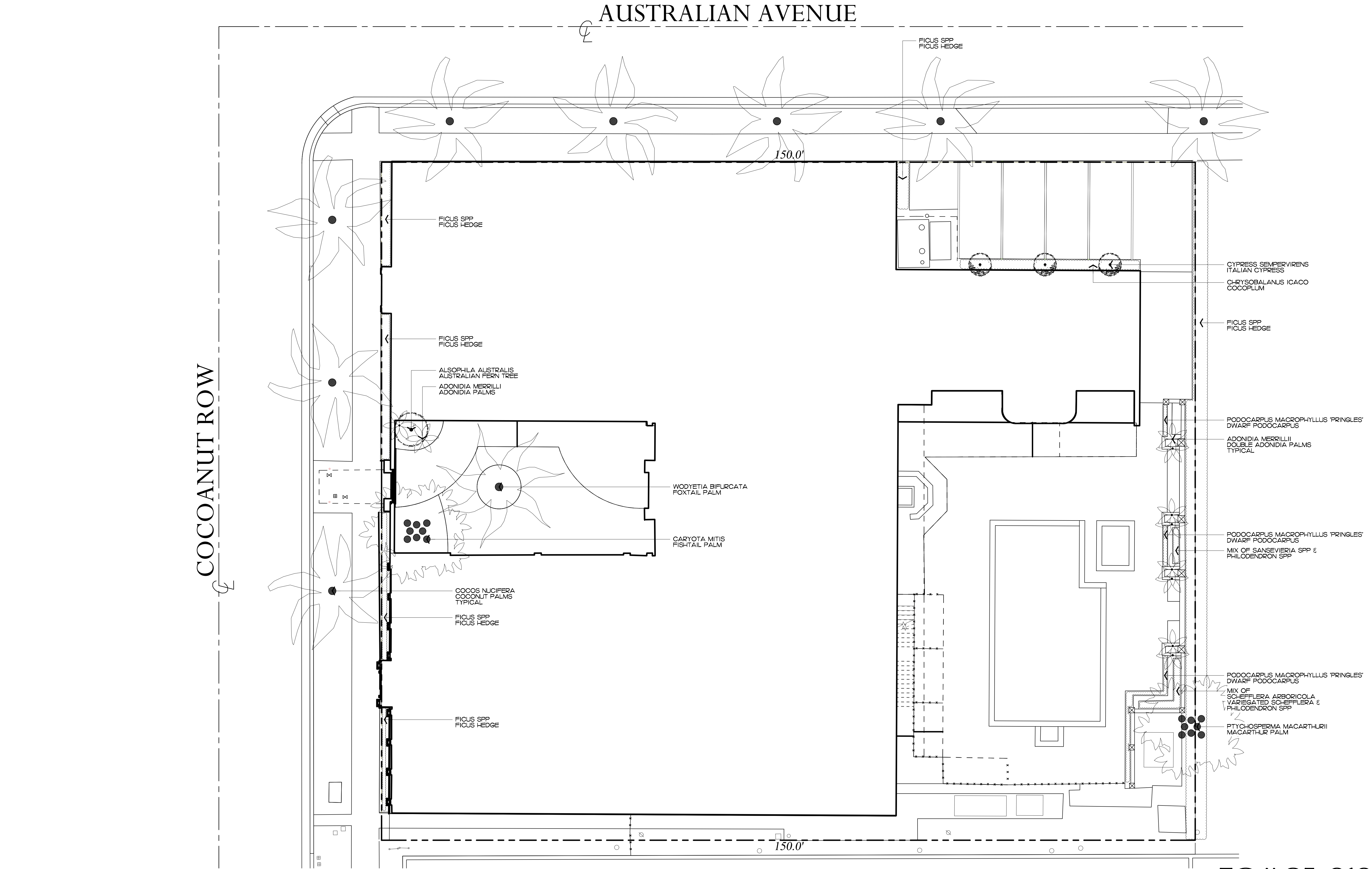
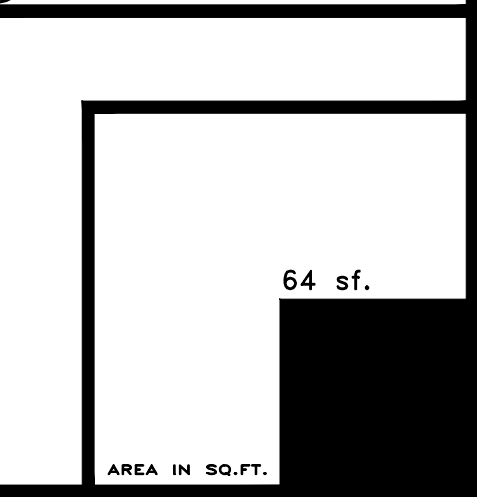
SHEET L1.0

The Vineta
363 Coconut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

SHEET L2.0



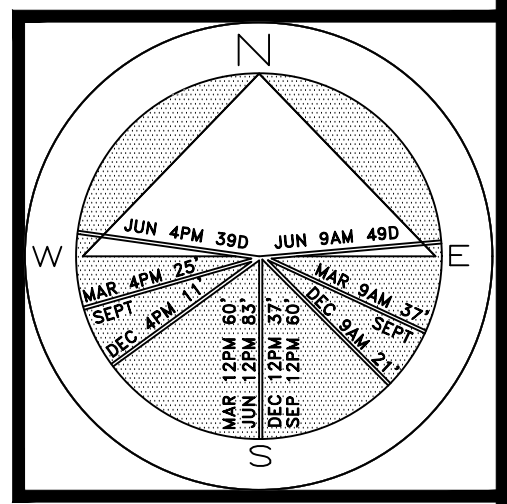
COPYRIGHT: 2022
The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2022
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

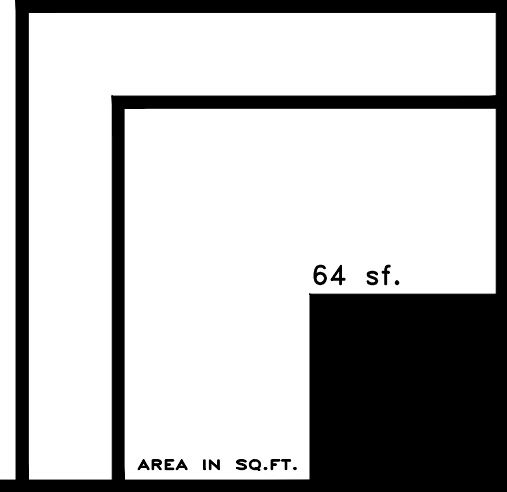
ZON-23-019
COA-23-002
Existing Vegetation Inventory & Action Plan
SCALE IN FEET 0' 8' 16' 24'

The Vineta
363 Coconut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 11.07.2022
11.28.2022

SHEET L3.0

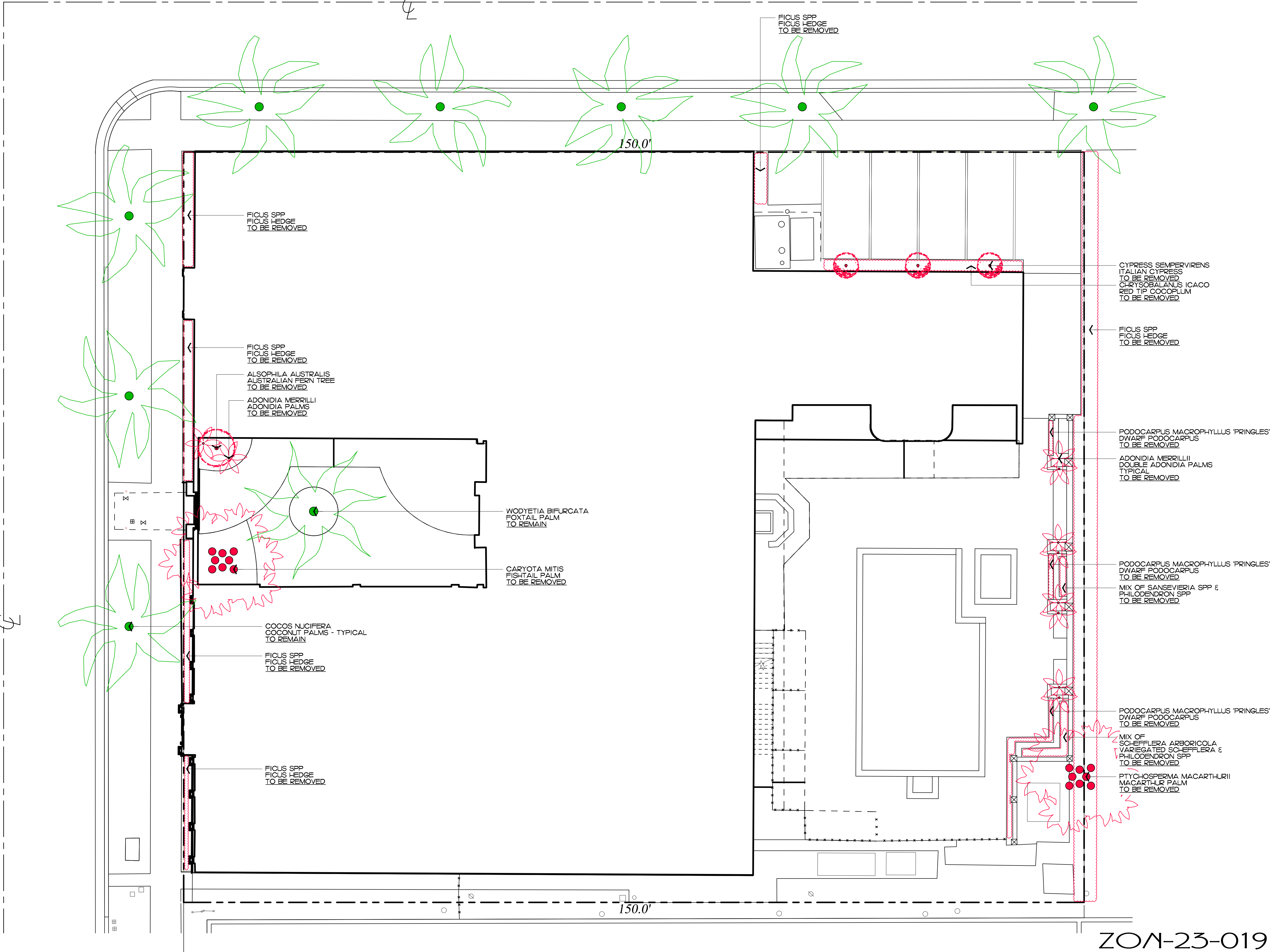


64 sf.

AREA IN SQ. FT.

AUSTRALIAN AVENUE

COCOANUT ROW



ZON-23-019
COA-23-002

Existing Vegetation Inventory & Action Plan

SCALE IN FEET 0' 8' 16' 24'

COPYRIGHT: 2022
The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2022
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

AUSTRALIAN AVENUE

NOTE:
WINDOW SCREENING TO BE PROVIDED PER TOPB ZONING CODE.
ALL TRANSPARENT WINDOWS AND DOORS IN VACANT BUILDINGS OR BUILDINGS UNDER CONSTRUCTION LOCATED WITHIN COMMERCIAL ZONING DISTRICTS OF THE TOWN, WHICH EXPOSE THE INTERIORS OF SUCH BUILDINGS, SHALL SCREEN THE VACANT INTERIOR OF THE BUILDING IN WHICH THEY ARE LOCATED AND PROVIDE AN ATTRACTIVE DISPLAY FOR THOSE WHO CAN OBSERVE THE WINDOW FROM THE PUBLIC STREETS AND SIDEWALKS OF THE TOWN.
CONSTRUCTION SCREENING ALONG RIGHTS-OF-WAY SHOULD HAVE PRINTED/SILK SCREENED FACADE IMAGE OF BUILDING FOR ENTIRE HEIGHT OF BUILDING.

COCOANUT ROW

EXISTING COCOS NUCIFERA COCONUT PALMS TO REMAIN

6' HT. X 7' WIDE CHAIN-LINK ROLLING GATE WITH SCREENING

6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING

6' HT. X 20' WIDE CHAIN-LINK ROLLING GATE WITH SCREENING
6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING

6' HT. CHAIN-LINK CONSTRUCTION FENCE WITH SCREENING

EXISTING FICUS SPP FICUS HEDGE TO REMAIN

EXISTING TRASH

EXISTING TRASH

EXISTING SPA

EXISTING EQUIPMENT

EXISTING EQUIPMENT

A/C
A/C
A/C

EXISTING PARKING

EXISTING WODYETIA-BIFURCATA FOXTAIL PALM TO REMAIN

EXISTING POOL

EXISTING EQUIPMENT

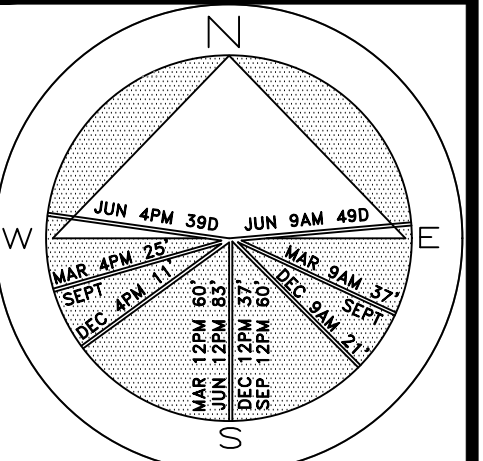
ZON-23-019
COA-23-002

Construction Screening Plan

SCALE IN FEET 0' 8' 16' 24'

ENVIRONMENT
DESIGN
GROUP
139 North County Road 5920-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, MIA RLA #6666784
Dustin@environmentdesigngroup.com

Chesterfield Hotel
363 Cocoanut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 09.09.2022
10.24.2022
11.07.2022
11.28.2022

SHEET L4.0

64 sf.

AREA IN SQ.FT.

COPYRIGHT: 2022
The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2022
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

AUSTRALIAN AVENUE

NOTE:
WINDOW SCREENING TO BE
PROVIDED PER TOPB ZONING CODE.

ALL TRANSPARENT WINDOWS AND
DOORS IN VACANT BUILDINGS OR
BUILDINGS UNDER CONSTRUCTION
LOCATED WITHIN COMMERCIAL
ZONING DISTRICTS OF THE TOWN,
WHICH WINDOWS AND/OR DOORS
CAN BE VIEWED FROM THE PUBLIC
STREETS AND SIDEWALKS AND
WHICH EXPOSE THE INTERIORS OF
SUCH BUILDINGS, SHALL SCREEN THE
VACANT INTERIOR OF THE BUILDING
IN WHICH THEY ARE LOCATED AND
PROVIDE AN ATTRACTIVE DISPLAY
FOR THOSE WHO CAN OBSERVE THE
WINDOW FROM THE PUBLIC STREETS
AND SIDEWALKS OF THE TOWN.

CONSTRUCTION SCREENING ALONG
RIGHTS-OF-WAY SHOULD HAVE
PRINTED/SILK SCREENED FACADE
IMAGE OF BUILDING FOR ENTIRE
HEIGHT OF BUILDING.

COCOANUT ROW

EXISTING COCOS NUCIFERA
COCONUT PALMS
TO REMAIN

AREA DESIGNATED AS
SHORT TERM LOADING ZONE
DURING DEMOLITION

NOTE: RIGHT OF WAY
PERMIT INCLUDED IN
SEPARATE REQUEST

6' HT. X 7' WIDE
CHAIN-LINK ROLLING GATE
WITH SCREENING

6' HT. CHAIN-LINK
CONSTRUCTION FENCE
WITH SCREENING

6' HT. X 20' WIDE
CHAIN-LINK ROLLING GATE
WITH SCREENING

6' HT. CHAIN-LINK
CONSTRUCTION FENCE
WITH SCREENING

6' HT. CHAIN-LINK
CONSTRUCTION FENCE
WITH SCREENING

NOTE: CONSTRUCTION STAGING
TO EXTEND TO POOL DECK AS
NEEDED.

EXISTING FICUS SPP
FICUS HEDGE
TO REMAIN

EXISTING TRASH

EXISTING TRASH

EXISTING SPA

EXISTING EQUIPMENT

EXISTING EQUIPMENT

PORTABLE
TOILETS

A/C

A/C

A/C

DELIVERIES

DUMPSTER

EXISTING CONCRETE
PARKING SPACES FOR
TRUCK STAGING & PARKING

EXISTING WODYETIA BIFURCATA
FOXTAIL PALM
TO REMAIN

EXISTING POOL

EXISTING
EQUIPMENT

ZON-23-019
COA-23-002

Construction Staging Plan

SCALE IN FEET 0' 8' 16' 24'

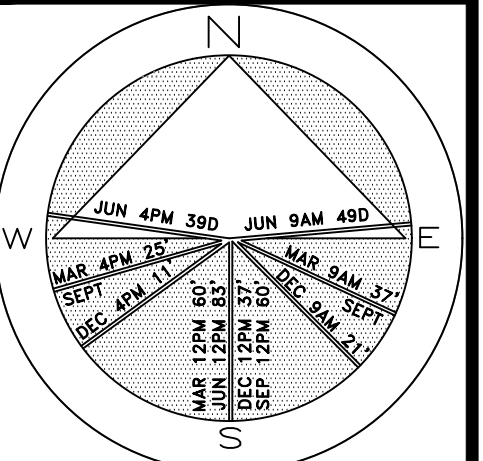
**ENVIRONMENT
DESIGN
GROUP**

139 North County Road 5920-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

Chesterfield Hotel
363 Cocoanut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 09.09.2022
10.24.2022
11.07.2022
11.28.2022

SHEET L5.0

64 sf.

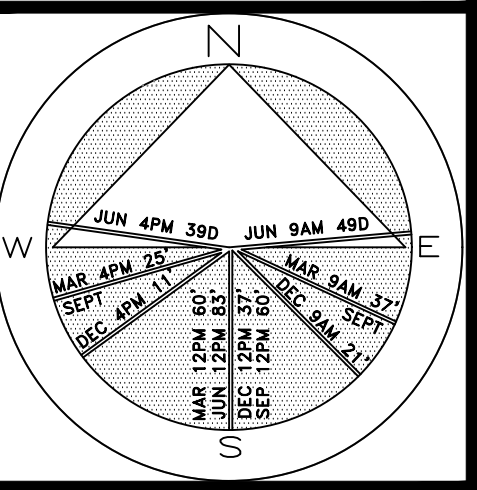
AREA IN SQ.FT.

COPYRIGHT: 2022
The following drawings are statements of
service to the Landscape Architect. They
are not products of design. All ideas,
designs, arrangements and plans indicated
or represented by this/these drawings are
owned by and the property of the designer,
and were created, evolved and developed
for use on and in connection with this
project. None of such ideas, designs,
arrangements or plans shall be used by
or disclosed to any person, firm or
corporation without the written permission
of the Landscape Architect.

DISCLAIMER: 2022
Construction, as the term is generally
understood, and that ENVIRONMENT DESIGN
GROUP does not provide landscape architectural
services during construction, including on-site
monitoring, site visits, shop drawing review,
design clarification, etc., the client agrees to
indemnify and hold harmless ENVIRONMENT
DESIGN GROUP from any liability arising from,
acts or omissions in the performance of said
services during construction by the client, and
his/her agents, employees, or subcontractors.

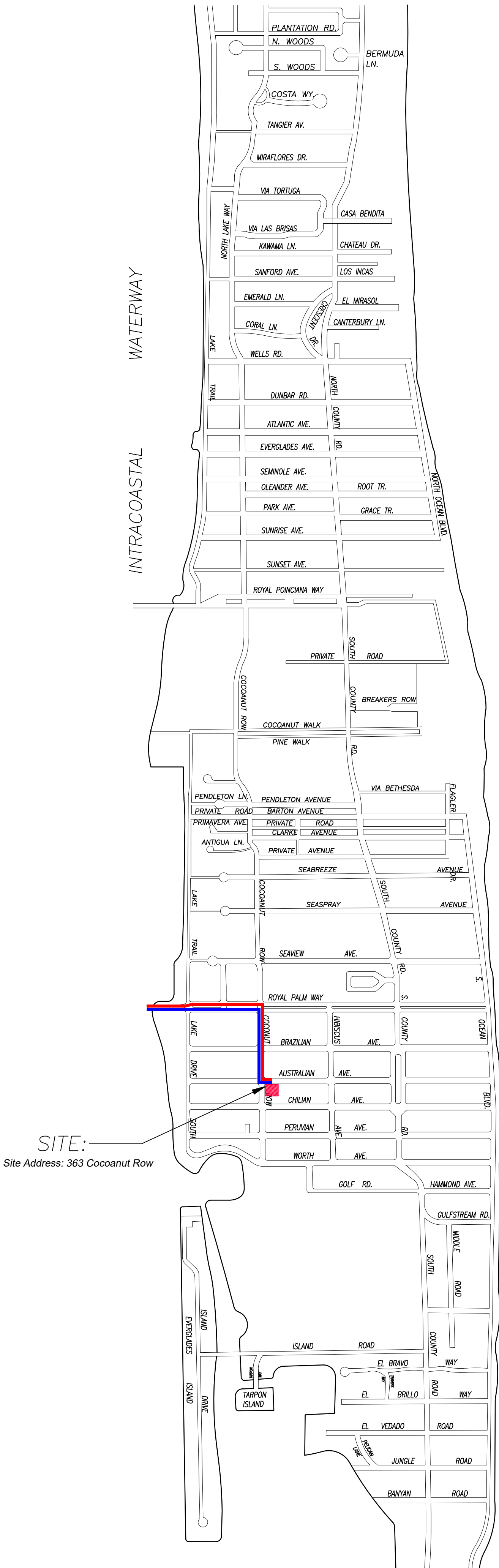
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Chesterfield Hotel
363 Coconut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 09.09.2022
10.24.2022
11.07.2022
11.28.2022

SHEET L6.0



SITE:
Site Address: 363 Coconut Row

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE: BY OTHERS

LARGEST TRUCK ->
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL
TRAILER FOR EXCAVATOR / DEMOLITION
LANDSCAPE TRUCKS ->
SOD
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

C



COPYRIGHT: The following drawings are instruments of service created by or for the use of the Architect. They are the property of the Architect. All rights, titles, designs, arrangements and plans indicated herein are the intellectual property of the Architect, owned by and the property of the designer, and were created, evolved and developed for the use of and in connection with this project. None of such ideas, designs, arrangements or plans are to be used or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: Construction, as the term is generally understood, and the ENVIRONMENT DESIGN GROUP does not provide structural services during construction, including on-site construction management. For any design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, and/or omissions in the performance of said services, whether caused by the client, and its/their agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Site Plan

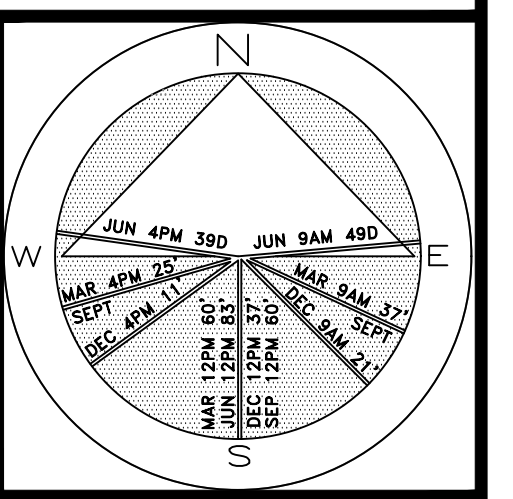
SCALE IN FEET 0' 8' 16' 24'

4 sf.

AREA IN SQ.FT.



The Vineta
363 Coconut Row
Palm Beach
L O R I D

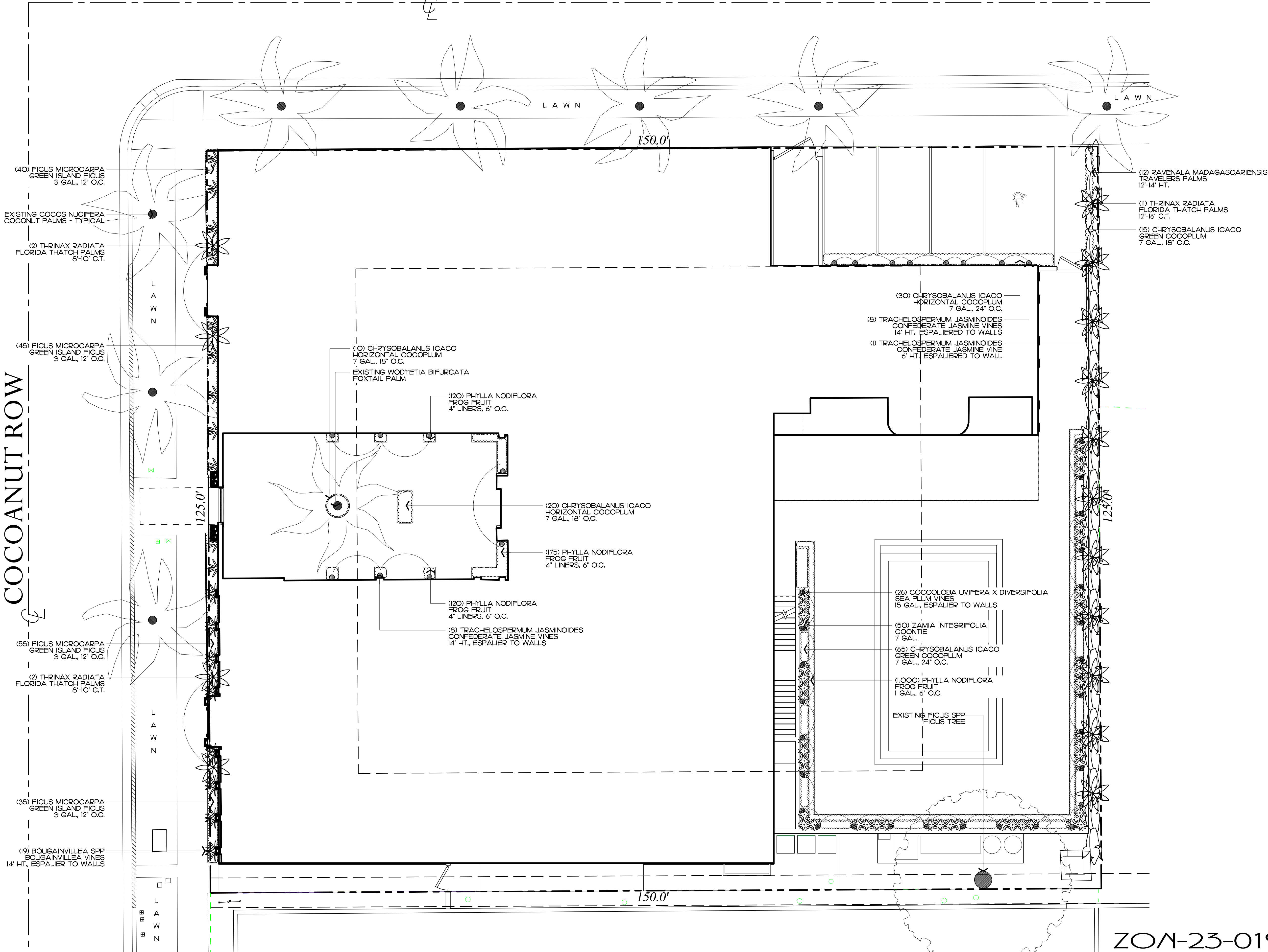


JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 11.07.2022
11.28.2022

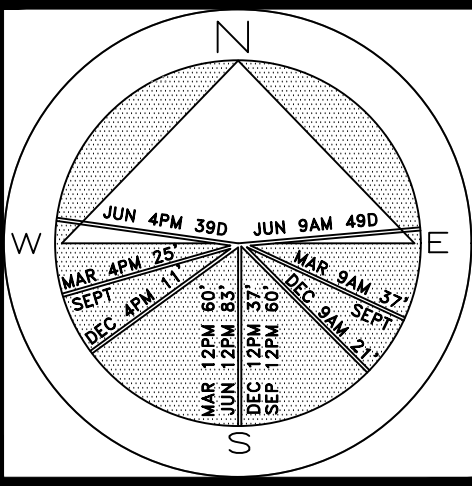
SHEET L7.0

AREA IN SQ.FT.

AUSTRALIAN AVENUE



The Vineta
363 Coconut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

SHEET L8.0

2022
COPYRIGHT: The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2022
DISCLAIMER: Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

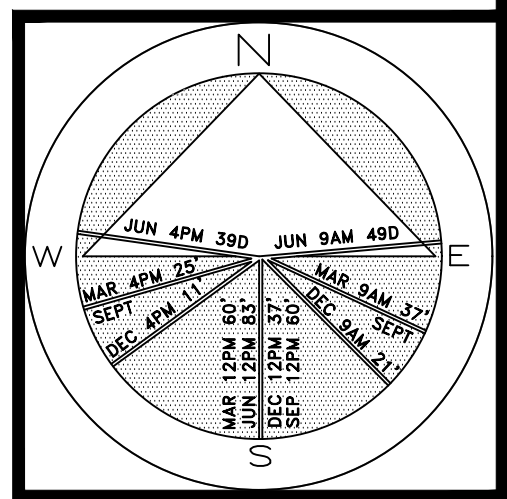
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ZON-23-019
COA-23-002
Landscape Plan
SCALE IN FEET 0' 8' 16' 24'

64 sf.

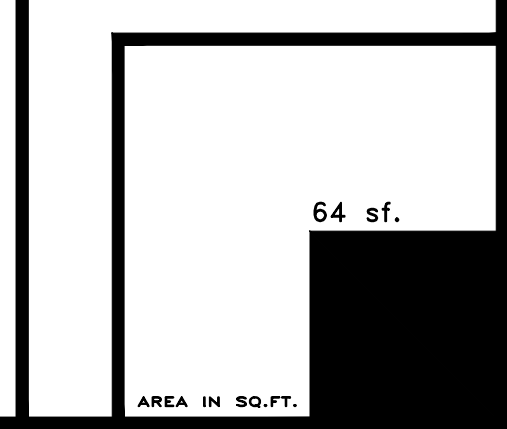
AREA IN SQ.FT.

The Vineta
363 Coconut Row
Palm Beach



JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

SHEET L8.1



64 sf.

AREA IN SQ.FT.

AUSTRALIAN AVENUE

COCOANUT ROW

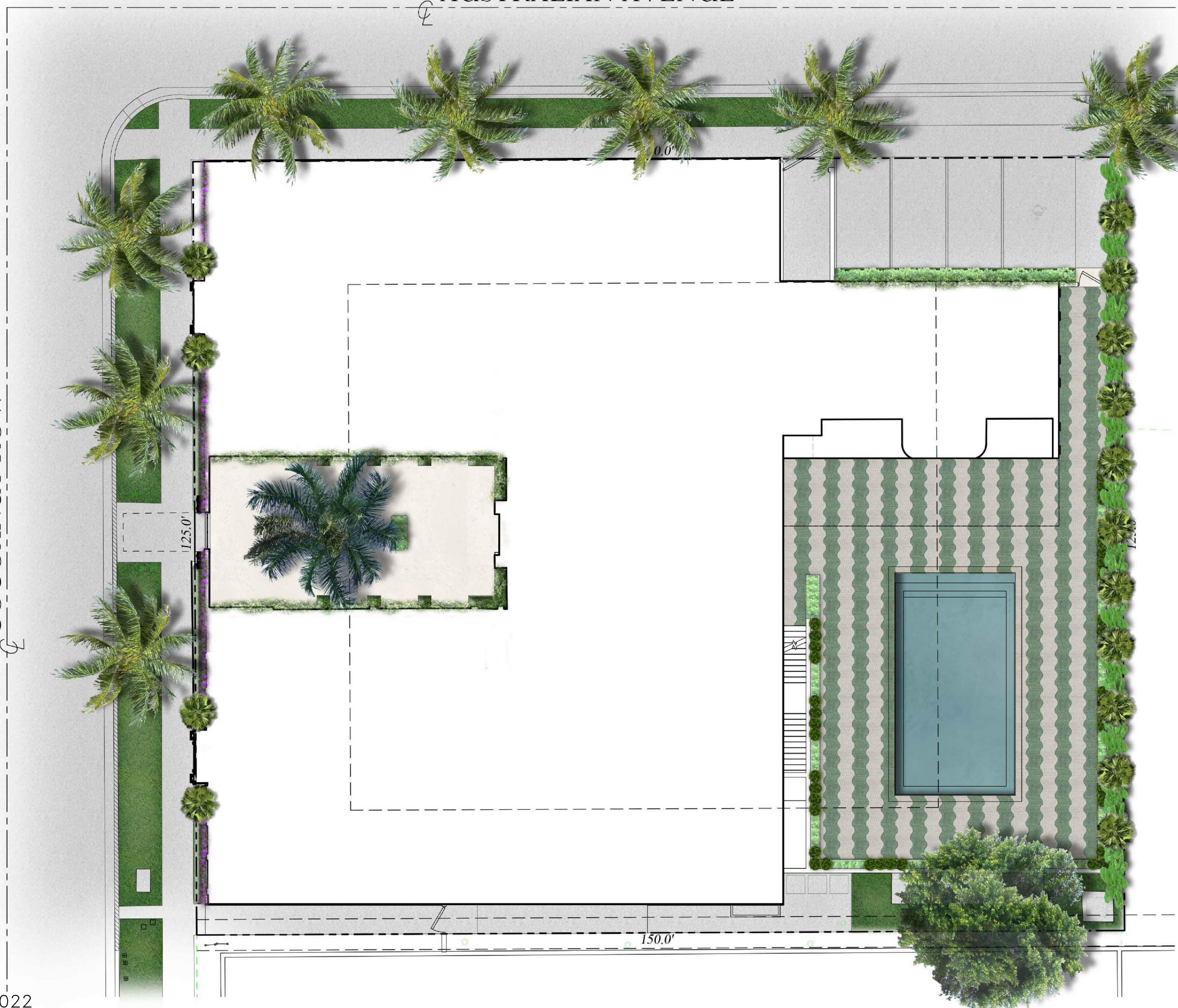
COPYRIGHT: 2022
The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2022
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

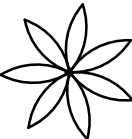
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Rendered Landscape Plan

ZON-23-019
COA-23-002



Palms

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	THRINAX RADIATA FLORIDA THATCH PALM	4 11	8'-10' C.T. 12'-16' C.T.	YES YES
	RAVENALA MADAGASCARIENSIS TRAVELERS PALMS	12	12'-14' HT.	NO
TOTAL: NATIVE SPECIES:		27 15 (56%)		

Shrubs

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CHRYSOBALANUS ICACO HORIZONTAL COCOPLUM	140	7 GAL., 24" O.C.	YES
	ZAMIA INTEGRIFOLIA COONTIE	50	7 GAL., 24" O.C.	YES
TOTAL: NATIVE SPECIES:		190 190 (100%)		

Vines, & Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BOUGAINVILLEA SPP BOUGAINVILLEA VINE	19	14' HT., ESPALIER TO WALLS	NO
	COCCOLOBA UVIFERA X DIVERSIFOLIA SEAPLUM VINE	26	15 GAL., ESPALIER TO WALLS	YES
	FICUS MICROCARPA GREEN ISLAND FICUS	200	3 GAL., 12" O.C.	NO
	PHYLLA NODIFLORA FROG FRUIT	1,415	4" LINERS, 6" O.C.	YES
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	1 16	6' HT., ESPALIER TO WALLS 14' HT., ESPALIER TO WALLS	NO
TOTAL: NATIVE SPECIES:		1,677 1,441 (85.9%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Native Landscape Legend

PROPERTY ADDRESS:	363 COCOANUT ROW	
	REQUIRED	PROPOSED
LOT SIZE (SQ FT)	20,000 S.F. MIN.	18,750 S.F.
LANDSCAPE OPEN SPACE (LOS) (SQ FT AND %)	6,563 S.F. (MIN 35%)	1,118 S.F. (5.96%)
NATIVE TREES %	N/A - NO TREES ADDED	N/A - NO TREES ADDED
NATIVE PALMS %	35%	56%
NATIVE SHRUBS %	35%	100%
NATIVE VINES / GROUND COVER %	35%	85.9%

ENVIRONMENT
DESIGN
GROUP

139 North County Road 5920-8
Palm Beach, FL 33480
Phone: 561.832.4600

Palm Beach, FL 33480
Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

The Vineta
363 Cocoanut Row
Palm Beach

JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

SHEET L8.2

COPYRIGHT: 2022

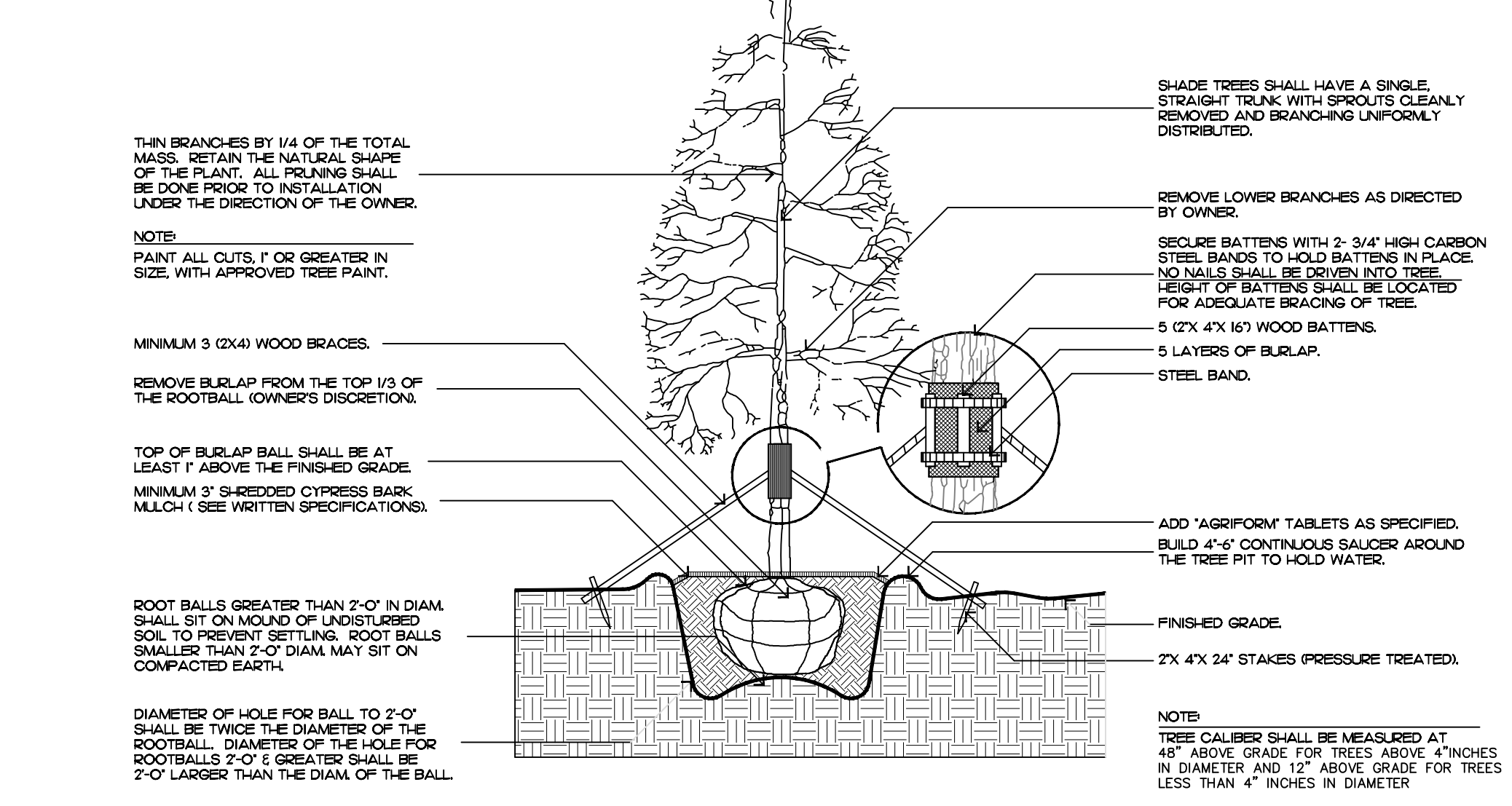
The following drawings are statements of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2022

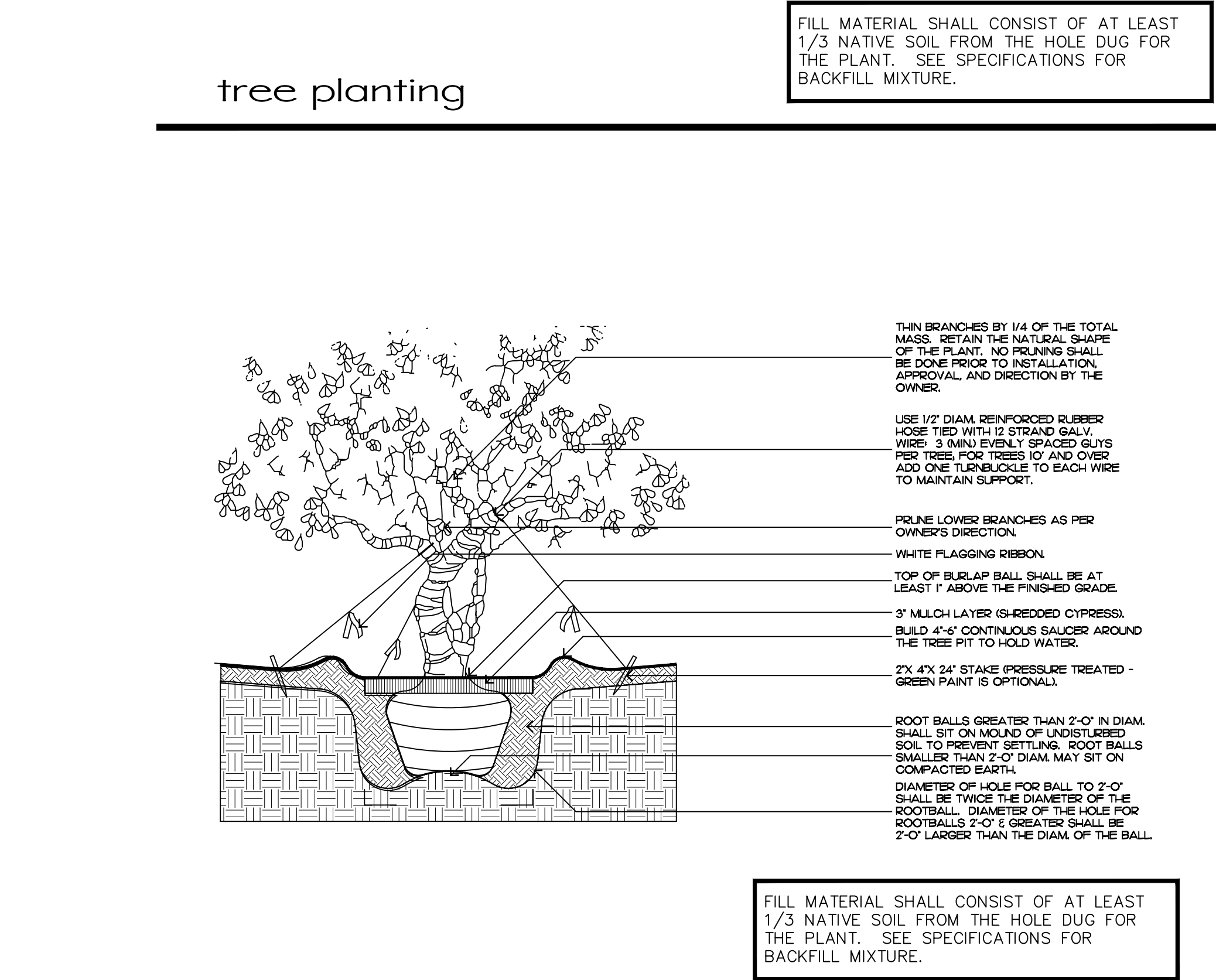
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

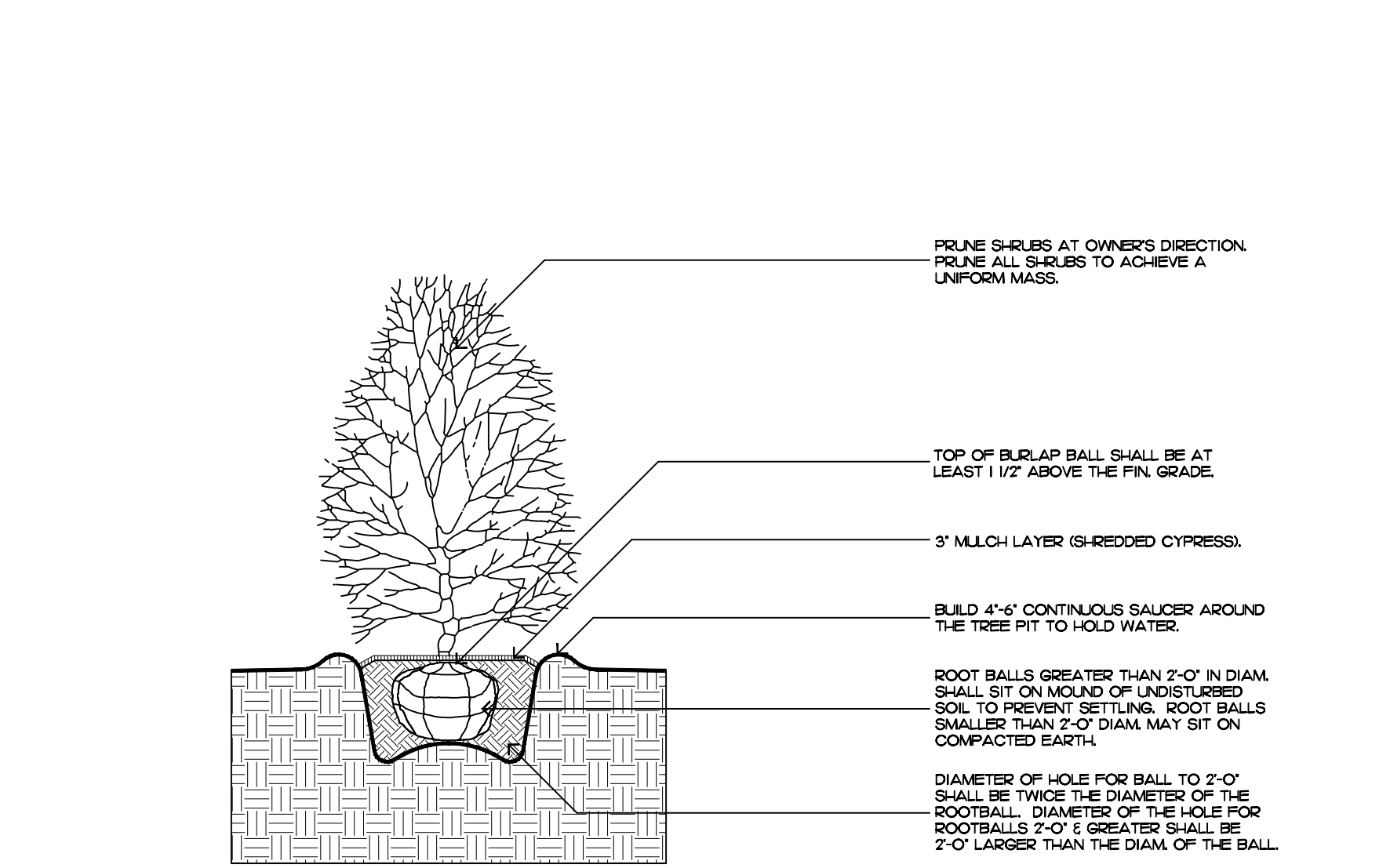
ZON-23-019
COA-23-002
Plant Schedule



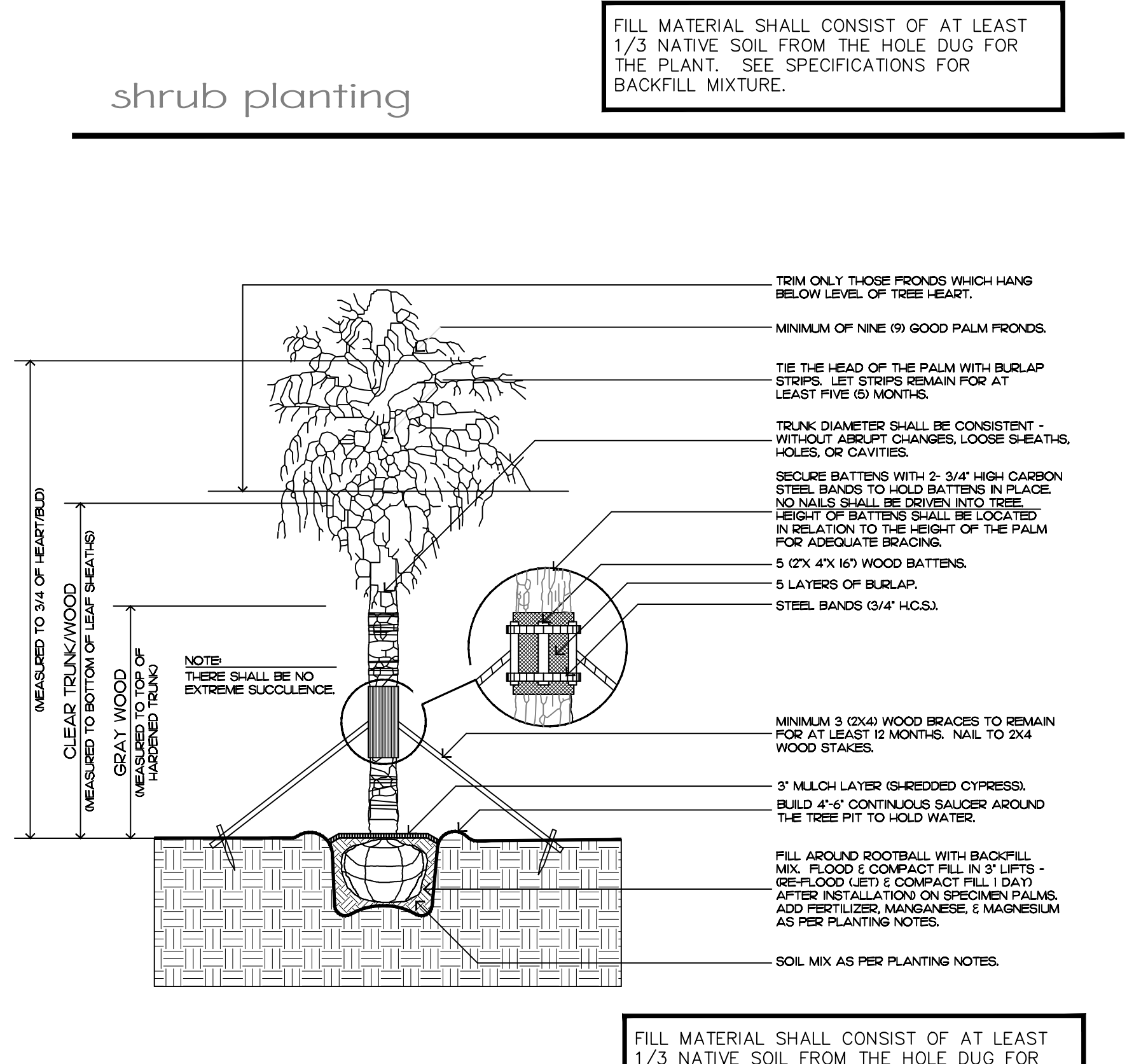
tree planting



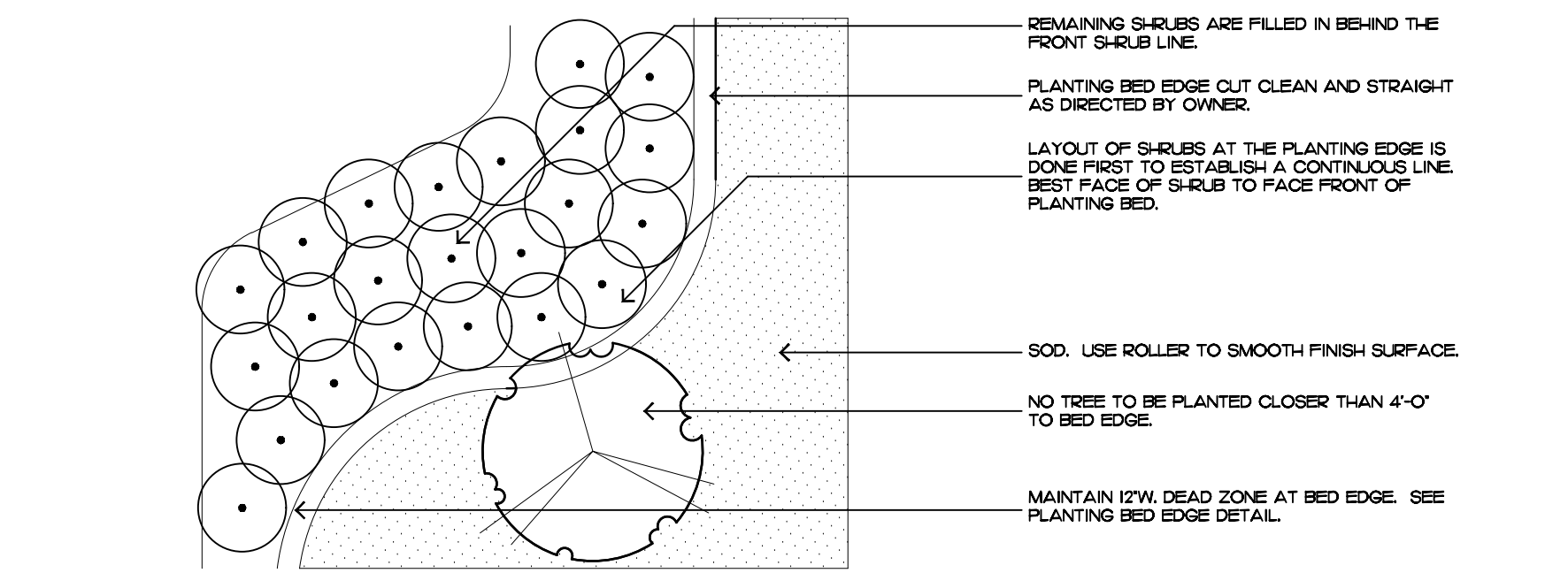
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1 1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5\"/>

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3\"/>

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF \"V\" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERBERIS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10\"/>

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO \"STANDARDIZED PLANT NAMES\", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH \"GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II\", LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN WEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
-

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ZON-23-019
COA-23-002

Planting Details & Specifications

2022

COPYRIGHT:
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2022

DISCLAIMER:
Construction on the terms is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to identify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

**ENVIRONMENT
DESIGN
GROUP**

130 North County Road 5420-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

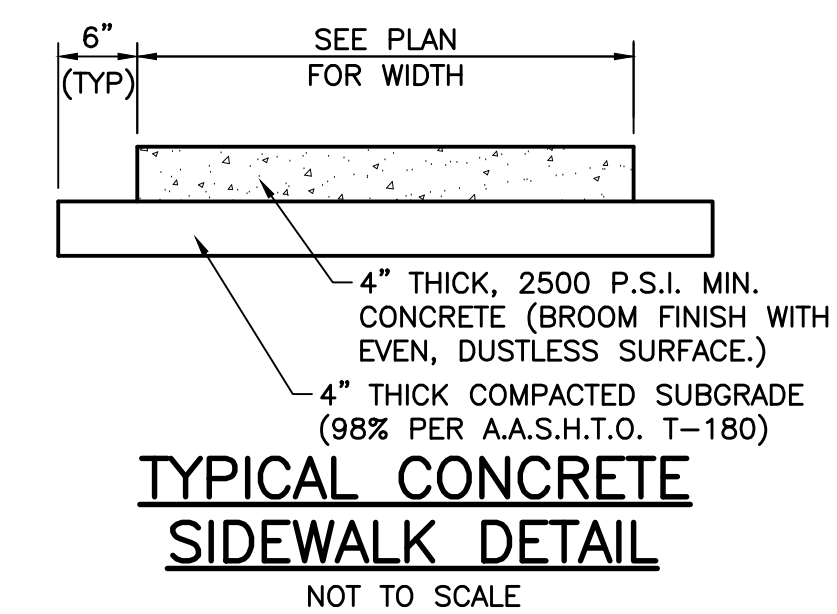
Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

The Vineta
363 Coconut Row
Palm Beach
FL

JOB NUMBER: # 22190.00 LA
DRAWN BY: Lauren Freeman
DATE: 10.24.2022
11.07.2022
11.28.2022

SHEET L8.3

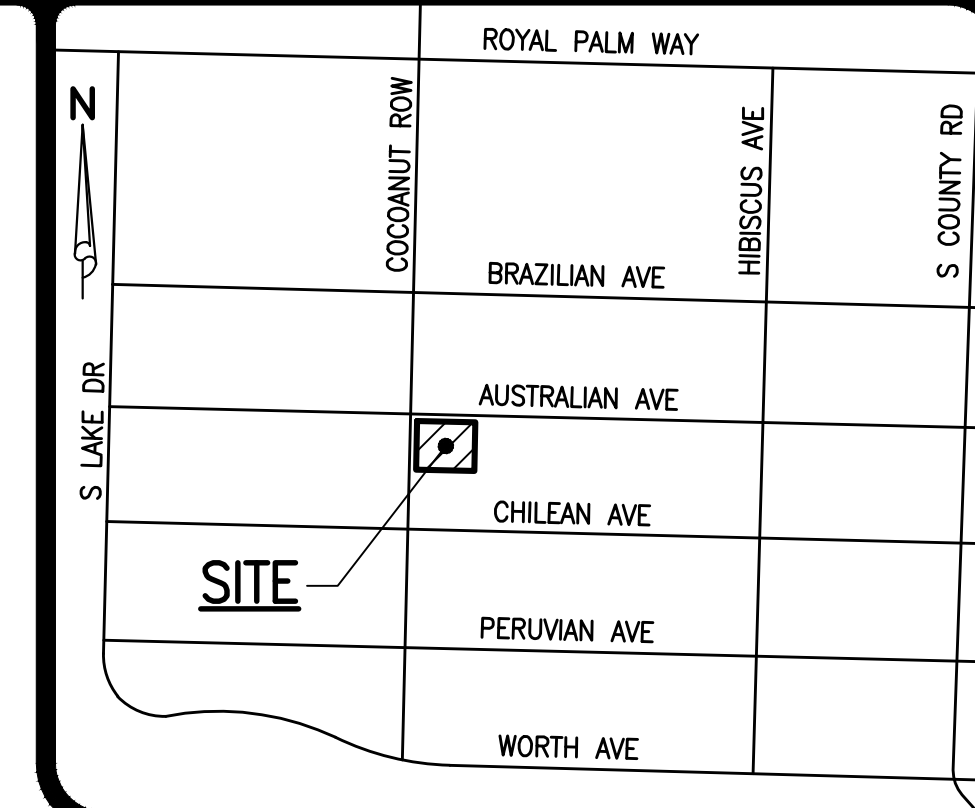
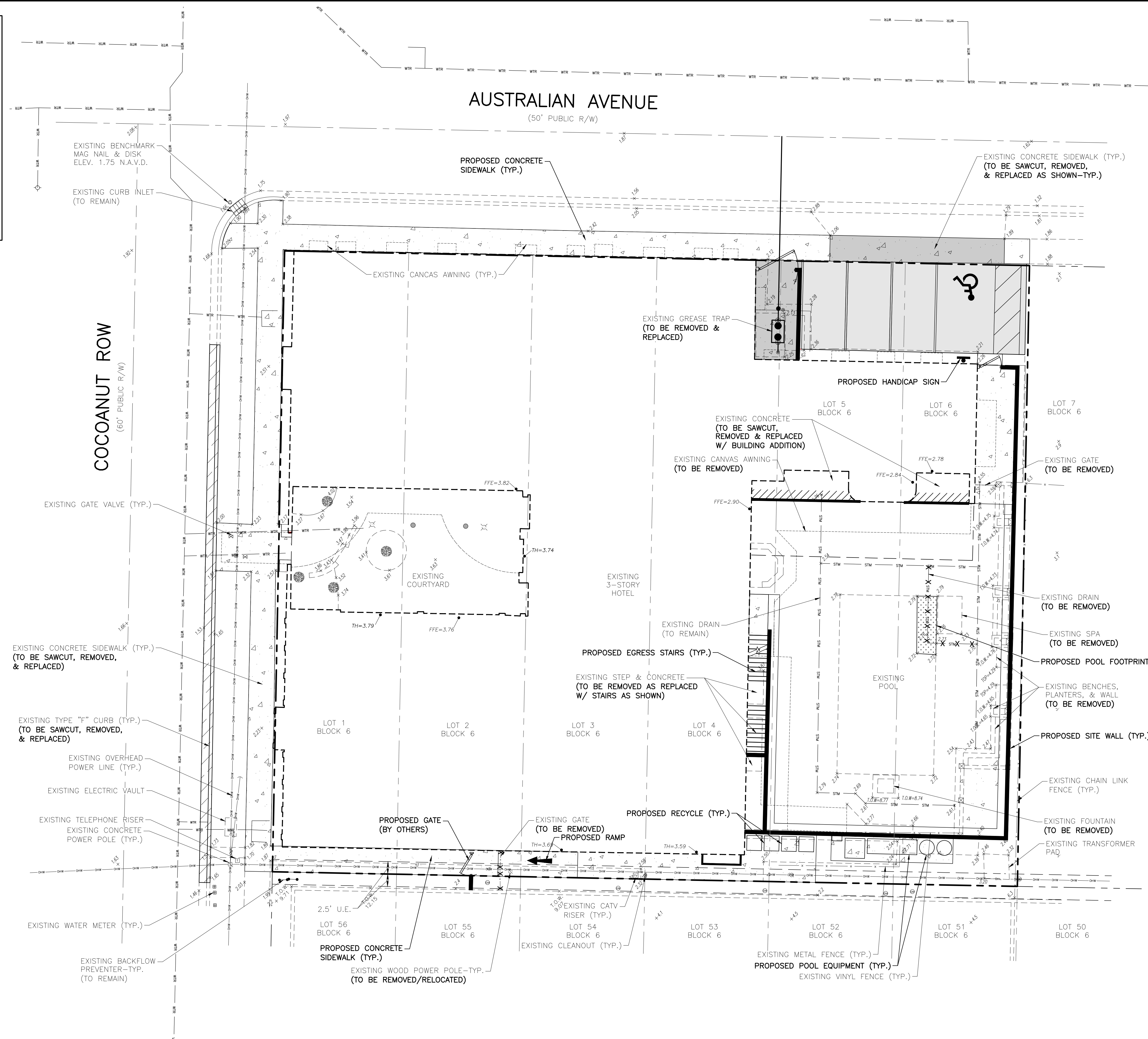
- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST PALM BEACH, TOWN OF PALM BEACH, AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 6.) POOL DECK AREA TO BE REVIEWED & APPROVED OR PREPARED BY A FLORIDA LICENSED POOL PROFESSIONAL.



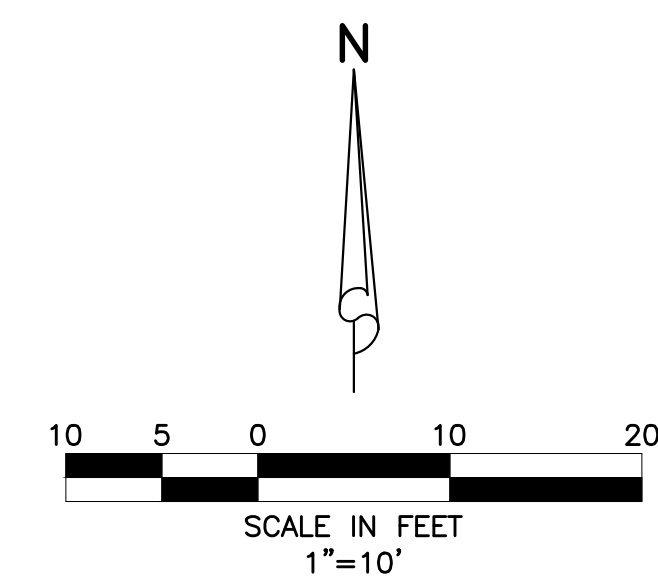
ALTERNATE CONCRETE PAVEMENT:
SURFACE - 5" THICK, 4,000 PSI MIN.

SUBGRADE - 12" STABILIZED SUBGRADE, COMPACT TO 98% PER A.A.S.H.T.O. T-180 (LBR 40)

NOTE: CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING AS TO WHICH PAVEMENT SECTION WILL BE USED. CONTRACTOR SHALL SUPPLY JOINTING PLAN FOR REVIEW AND APPROVAL IF CONCRETE SURFACE IS CHOSEN.



LOCATION MAP
NOT TO SCALE



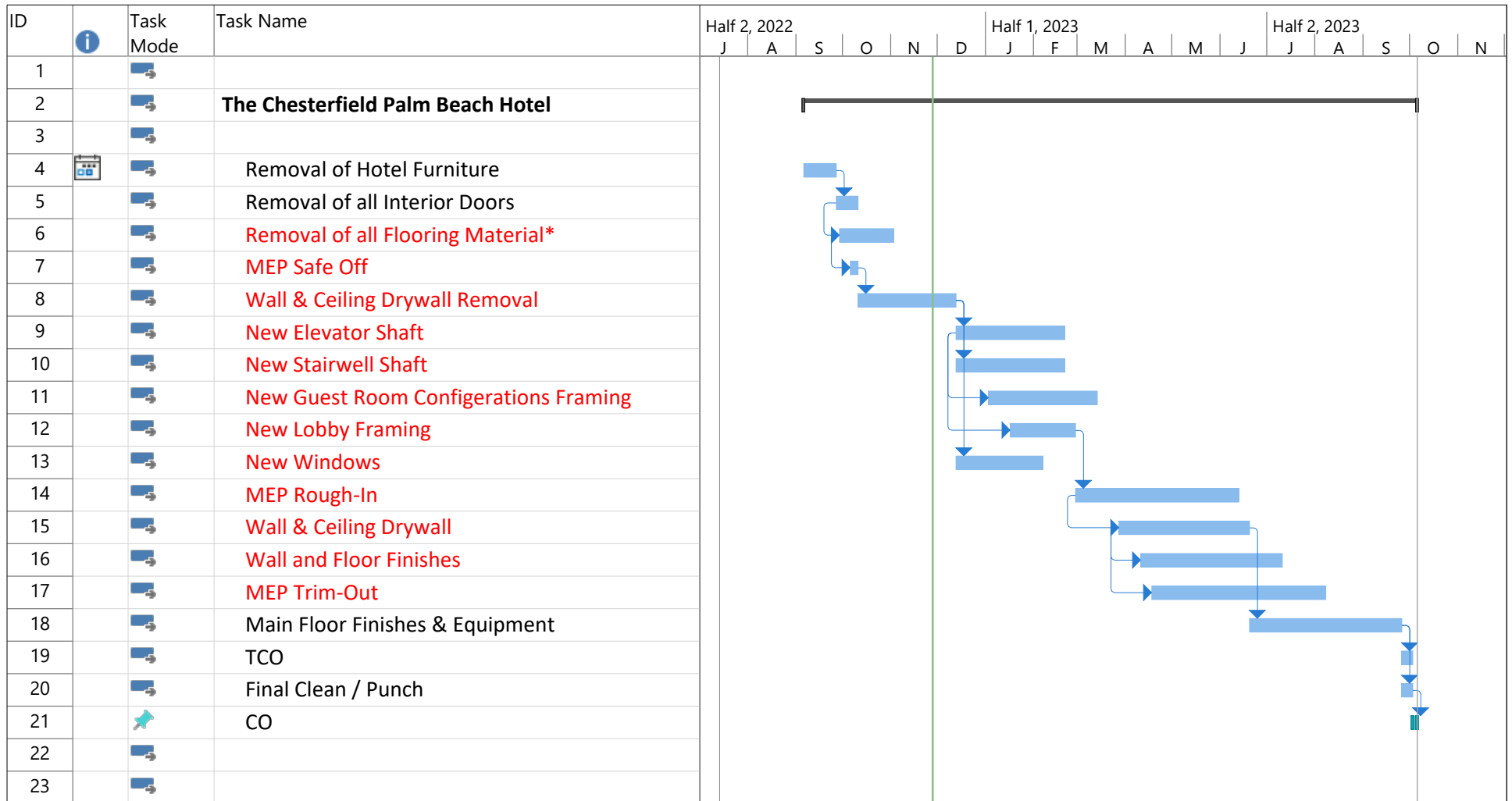
 PROPOSED STORM SEWER AND CATCH BASIN
 DIRECTION OF FLOW
 DIRECTION OF SWALE
 PROPOSED HIGH POINT
 EXISTING GRADE ELEVATION
 PROPOSED ASPHALT OR CONCRETE
 PROPOSED CONCRETE
 PROPOSED CONCRETE PAVEMENT
 PROPOSED DETECTABLE WARNING SURFACE
 SAWCUT, REMOVE, & REPLACE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
 EXISTING OVERHEAD POWER LINE & POWER POLE
 STM
 WTR
 SAN
 FM

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING, CORP. (561)640-4551.



THE VINETA HOTEL
SECTION 27, TOWNSHIP 43S., RANGE 43E.
TOWN OF PALM BEACH, FLORIDA
CONCEPTUAL PAVING, DRAINAGE,
WATER AND WASTEWATER PLAN

REVISIONS	DESIGN D.C.	DRAWN B.L.	CHECKED	APPROVED	DATE	JOB NO. 22-173	DRAWING NO. 22173C01	SHEET 1 OF 1
-----------	----------------	---------------	---------	----------	------	-------------------	-------------------------	--------------



Project: Project1 Date: Mon 11/28/22	Task		Inactive Summary		External Tasks	
	Split		Manual Task		External Milestone	
	Milestone		Duration-only		Deadline	
	Summary		Manual Summary Rollup		Progress	
	Project Summary		Manual Summary		Manual Progress	
	Inactive Task		Start-only			
	Inactive Milestone		Finish-only			