

MIDDLE ROAD HOLDINGS TRUST

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By yfigueroa at 9:38 am, Dec 09, 2022

86 MIDDLE ROAD, PALM BEACH, FLORIDA

NOV. 28, 2022 SECOND SUBMITTAL
SPECIAL EXCEPTION WITH SITE PLAN REVIEW
ZON-23-016

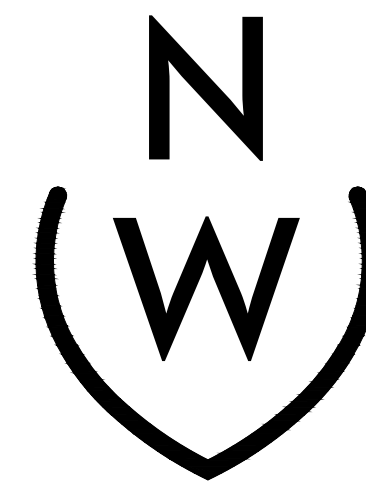
ANTICIPATED MEETING: FEBRUARY 15, 2023

SHEET LEGEND:
SITE: OVERALL SITE PLAN
VM1: LOCATION AND VICINITY MAP
VM2: AREA PHOTO
L2: PLAN ENLARGEMENT
D1: GATE ELEVATION
D2: SITE PHOTOS

SCOPE OF WORK: DRIVEWAY GATE

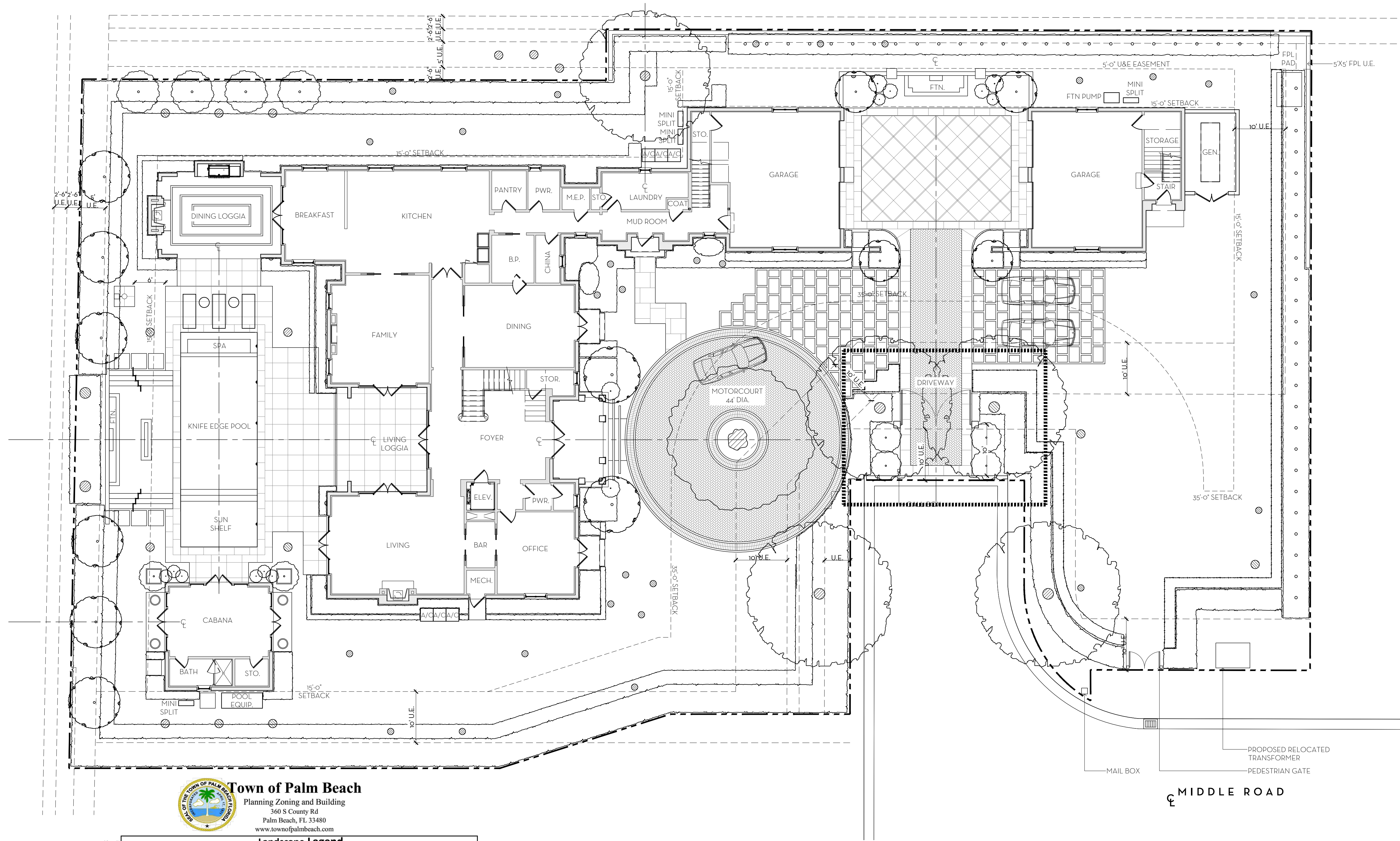


VICINITY MAP



NIEVERA WILLIAMS
DESIGN

625 N. FLAGLER DRIVE
SUITE 502
WEST PALM BEACH, FL.
P: 561-659-2820
F: 561-659-2113
nieverawilliams.com



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

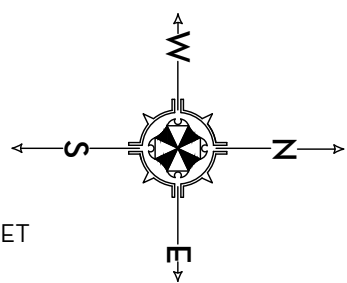
Landscape Legend		
1	Property Address:	86 Middle Road
4		
5	Lot Size (sq ft)	30,267
6	Landscape Open Space (LOS) (Sq Ft and %)	15,134 (50%) 17,484 (57.77%)
7	Perimeter LOS (Sq Ft and %)	N/A N/A
8	Front Yard LOS (Sq Ft and %)	3,033 (45%) 4,909 (72.8%)
9	Native* Trees %	25%* No change
10	Native* Palms %	25%* No change
11	Native* Shrubs %	25%* No change
12	Native* Vines / Ground Cover %	25%* No change

*To determine appropriate native vegetation, the *Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood* guide shall be used.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect

REV BF 20220304

0 2 4 8 16 24 FEET
SCALE: 3/32" = 1'-0"



MARIO F. NIEVERA

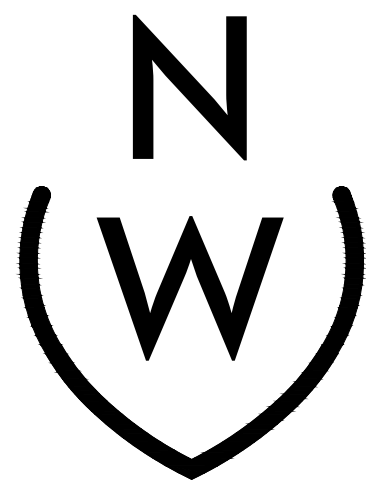
State of Florida
Landscape Architect
Registration No.
6666856

SITE PLAN
MIDDLE ROAD HOLDINGS TRUST

86 MIDDLE ROAD, PALM BEACH, FL.

28 NOVEMBER 2022
14 APRIL 2022
16 APRIL 2021

SCALE: 3/32" = 1'-0"



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SITE
ZON-23-016



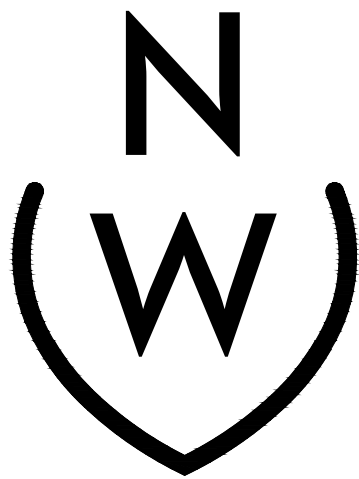
MARIO F. NIEVERA
State of Florida
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AREA PHOTO
MIDDLE ROAD HOLDINGS TRUST

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28 NOVEMBER 2022
14 APRIL 2022
16 APRIL 2021

SCALE: N.T.S.



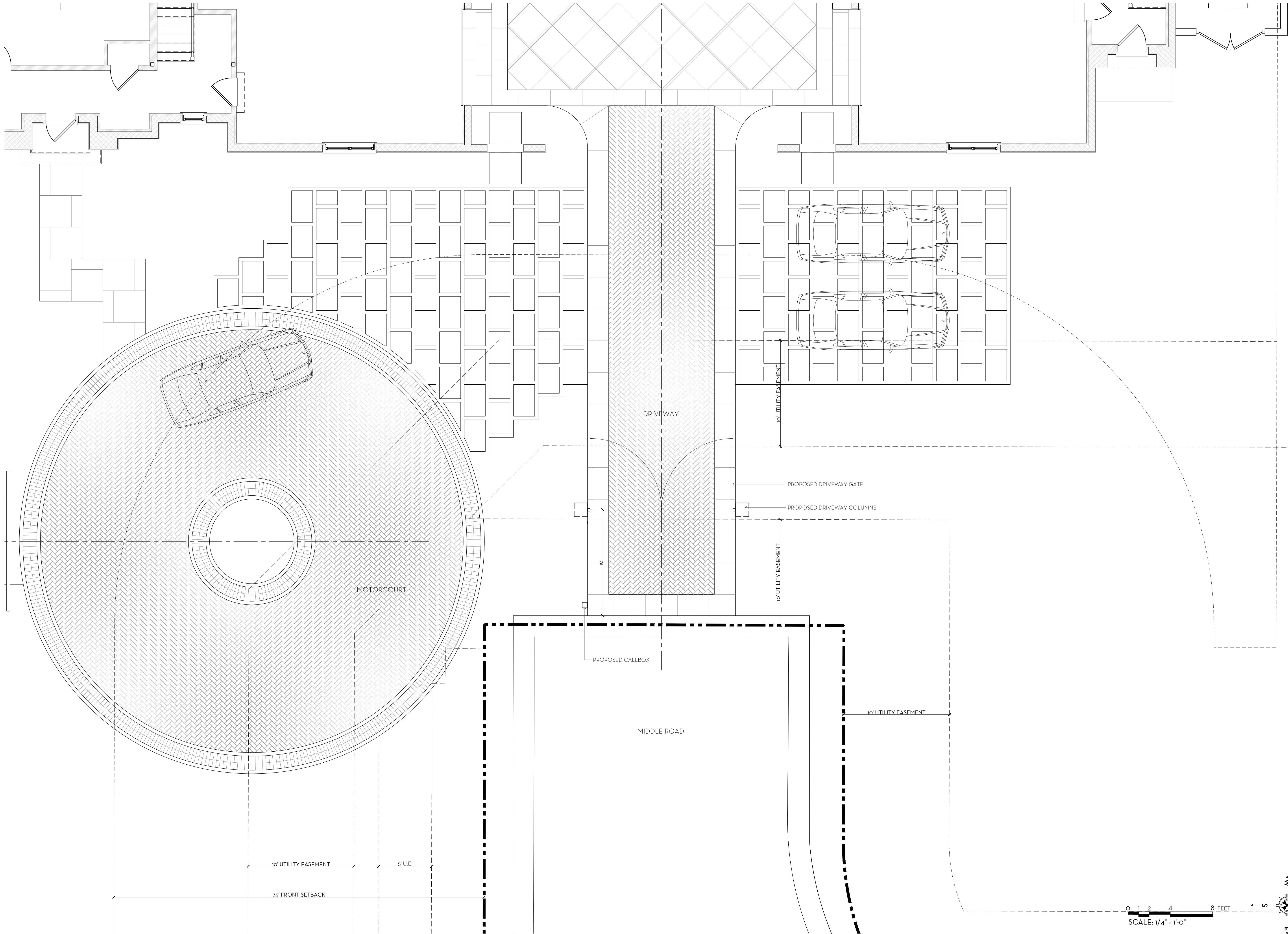
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VM2

ZON-23-016



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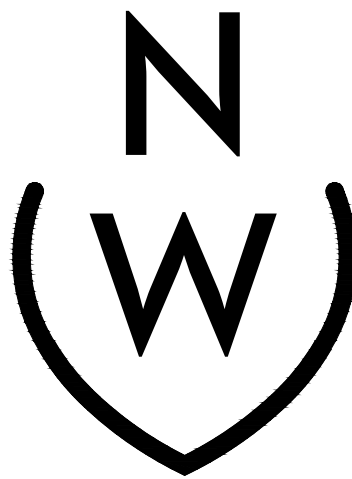
HARDSCAPE PLAN

MIDDLE ROAD HOLDINGS TRUST

86 MIDDLE ROAD, PALM BEACH, FL.

28 NOVEMBER 2022
14 APRIL 2022
16 APRIL 2021

SCALE: 1/4" = 1'-0"



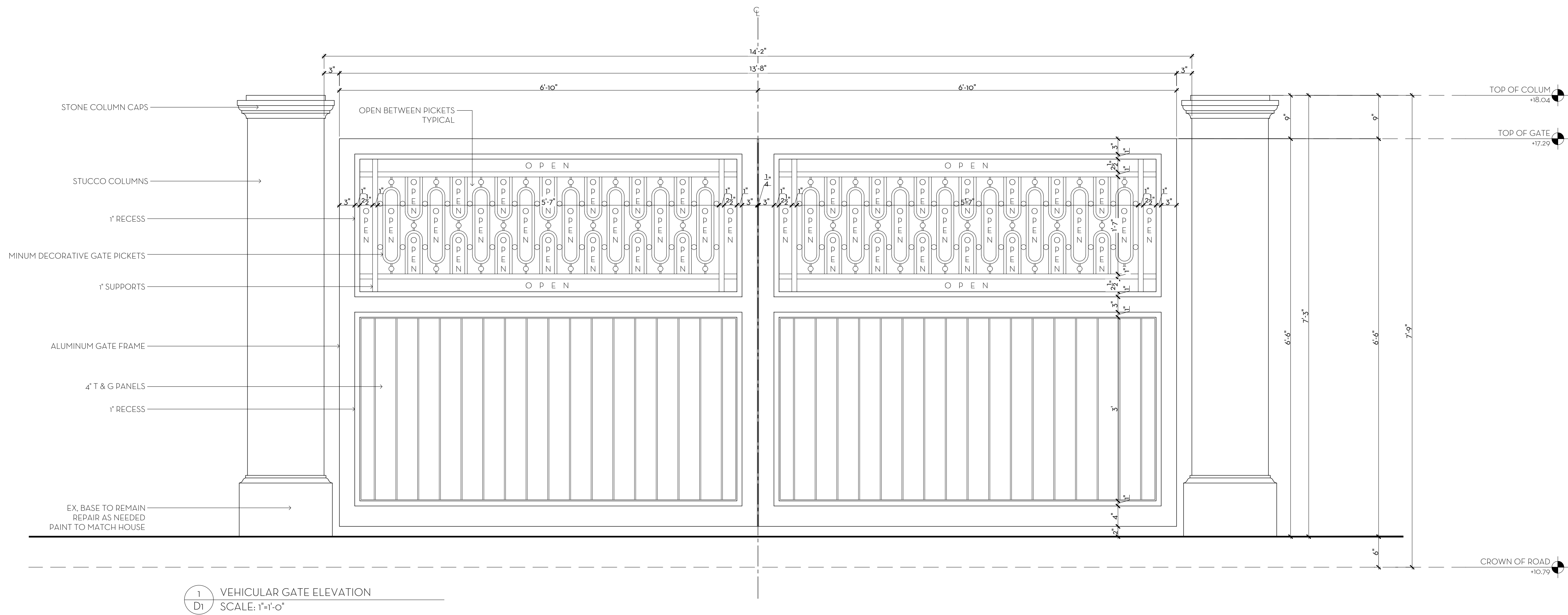
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DESIGN

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L2

ZON-23-016



NOTE: VERIFY ALL MEASUREMENTS
IN FIELD. CONTRACTOR TO PROVIDE
SHOP DRAWINGS TO LANDSCAPE
ARCHITECT FOR APPROVAL PRIOR
TO GATE FABRICATION.

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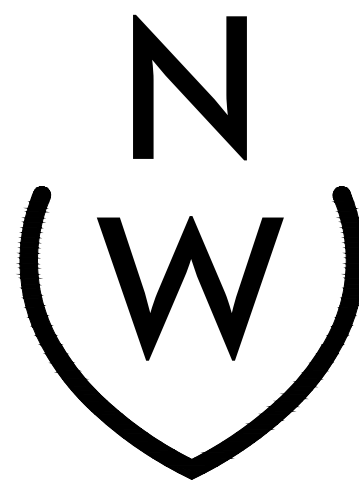
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SITE DETAILS
MIDDLE ROAD HOLDINGS TRUST

86 MIDDLE ROAD, PALM BEACH, FL.

28 NOVEMBER 2022
14 APRIL 2022
16 APRIL 2021

SCALE: AS INDICATED



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D1



1 VEHICULAR GATE ELEVATION
D1 SCALE: 1"=1'-0"

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SITE DETAILS
MIDDLE ROAD HOLDINGS TRUST
86 MIDDLE ROAD, PALM BEACH, FL.
14 APRIL 2022
16 APRIL 2021
11 MARCH 2021
13 FEBRUARY 2021



223 Sunset Avenue
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D1
B-012-2021

SCALE: AS INDICATED

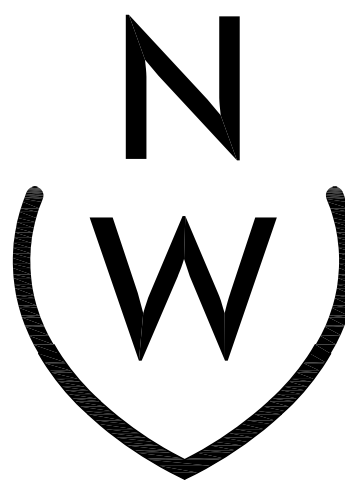
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HARDSCAPE PLAN
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14 APRIL 2022
16 APRIL 2021
11 MARCH 2021
13 FEBRUARY 2021



NIEVERA WILLIAMS
DESIGN

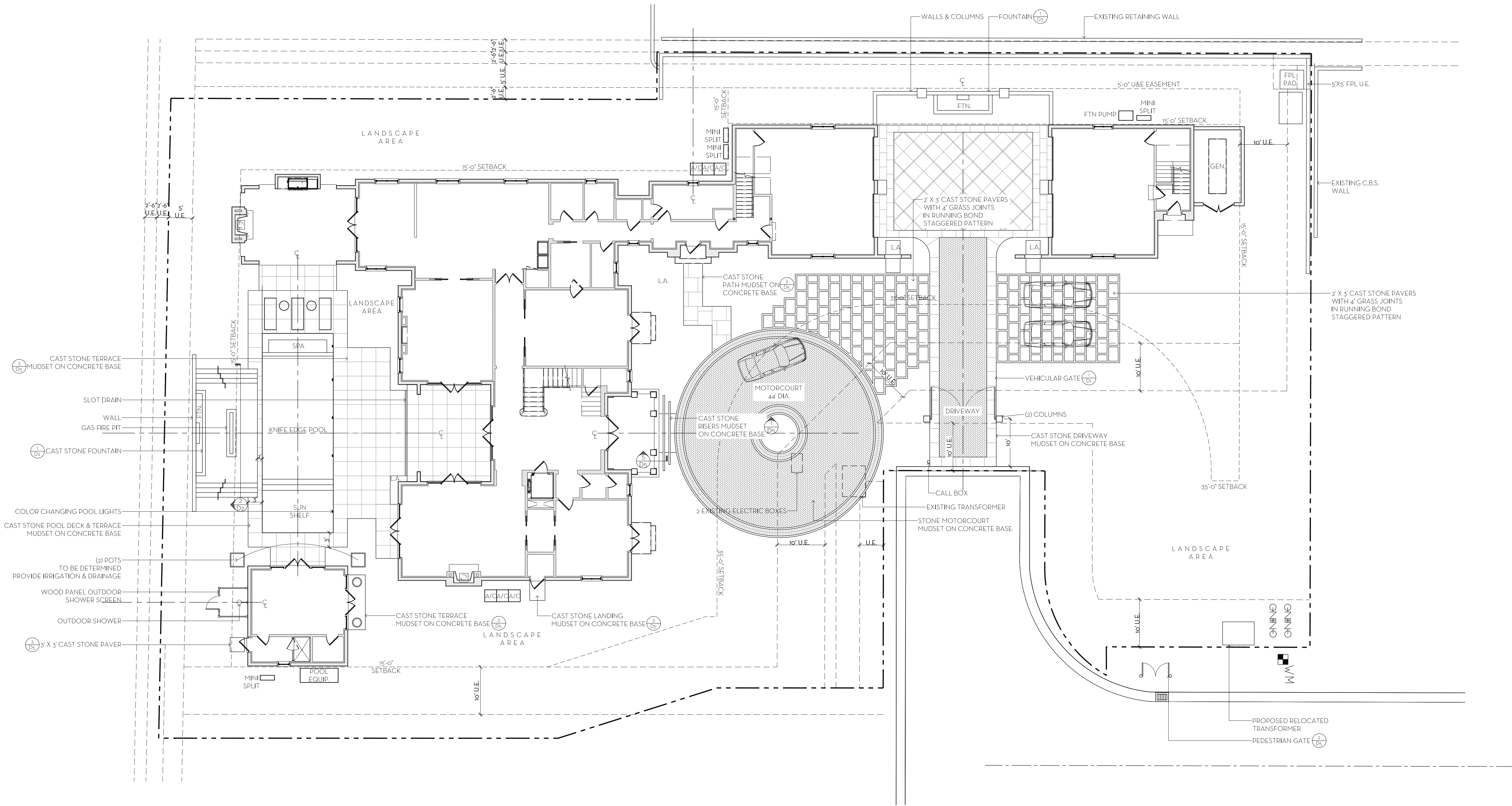
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L1

B-012-2021

SCALE: 3/32" = 1'-0"



PREVIOUSLY
APPROVED

OVERALL R-A SITE CALCULATIONS:

SITE AREA = 30,267 SQ FT 100%

MINIMUM LANDSCAPE:
REQUIRED = 15,134 SQ FT 50%
EXISTING = 29,759 SQ FT 98.3%
PROPOSED = 17,484 SQ FT 57.77%

FRONT SETBACK SITE CALCULATIONS:

35' SETBACK AREA = 6,739 SQ FT 100%

MINIMUM LANDSCAPE:
REQUIRED = 3,033 SQ FT 45%
EXISTING = 6,353 SQ FT 94.3%
PROPOSED = 4,909 SQ FT 72.8%

0 2 4 8 16 24 FEET
SCALE: 3/32" = 1'-0"

