

Private Condominiums
The Cove
2784 1/2 Ocean Blvd
Palm Beach

RECEIVED
By yfigueroa at 2:14 pm, Dec 09, 2022

Scope of Work

- * Proposed modified Parking Lot Layout
- * Proposed lighting plan
- * Modified Pool Terrace
- * Demolition of existing landscape
- * New landscape material
- * Change in site data

F L O R I D A

Application #: ARC- 22-245
#: ZON 23-008

Submittal: : 12.09.2022
Date of Presentation: 01.25.2022

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	Zoning Legend
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Design Team/Consultants

Landscape Architects

ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD SUITE 20B
PALM BEACH, FL 33480
561.832.4600
WWW.ENVIRONMENTDESIGNGROUP.COM

Civil Engineer

KIMLEY-HORN :
JEFF REYNOLDS, P.E (JEFF.REYNOLDS@KIMLEY-HORN.COM)
8201 PETERS ROAD, SUITE 2200,
PLANTATION, FL 33324
P: 954 626 8818

Lighting Consultant

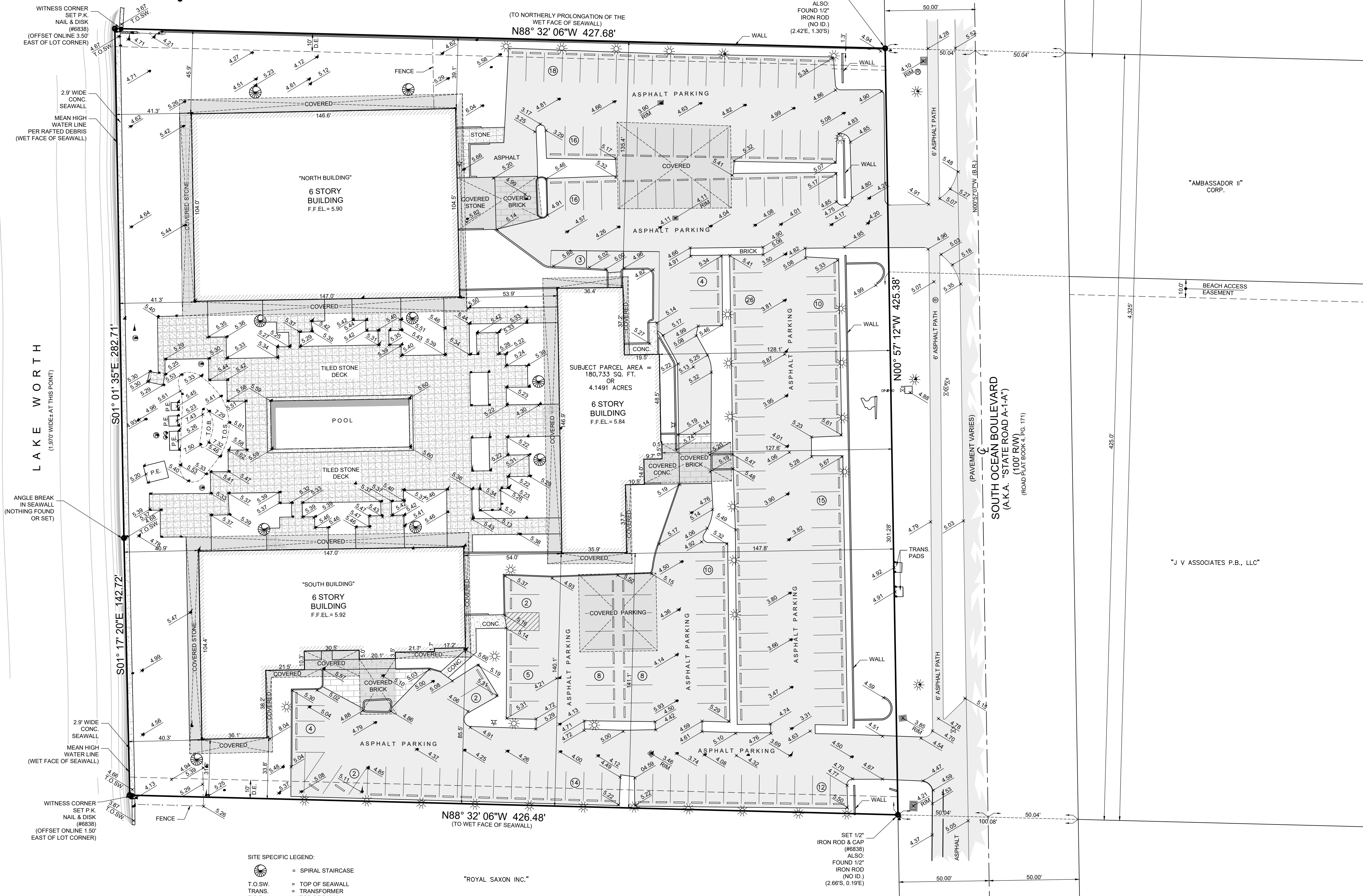
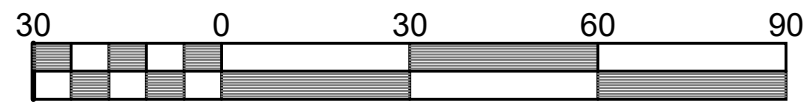
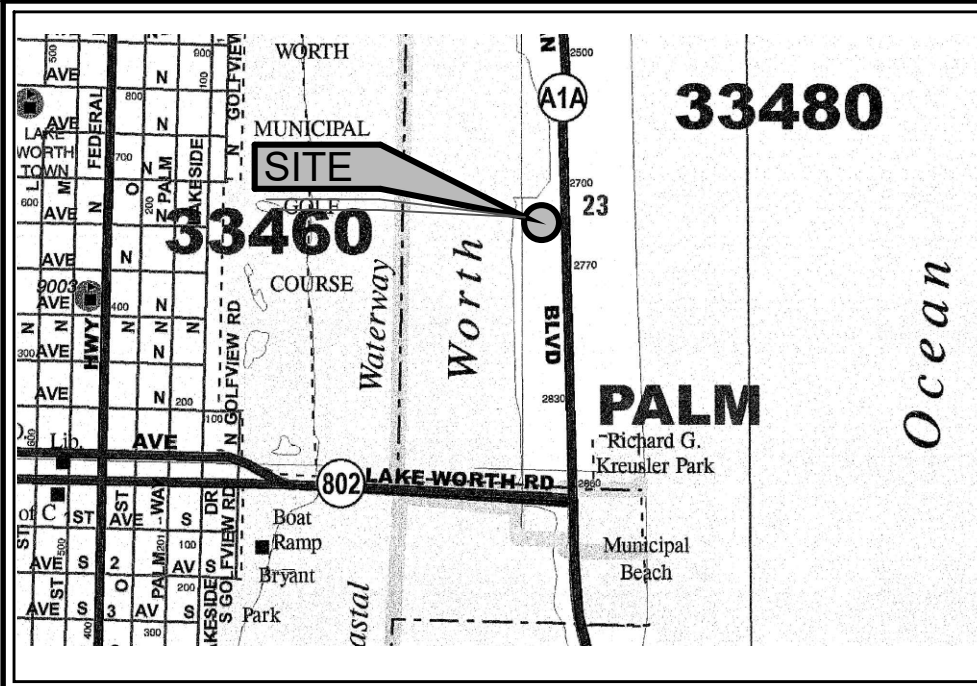
DARYL R. HAUGHN, AIA : LEED AP
POWER & LIGHTING SYSTEMS, INC.
561.504.0772 CELL

ENVIRONMENT
DESIGN
GROUP

139 North County Road S#20-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MLA RLA #6666784
Dustin@environmentdesigngroup.com



SURVEY NOTES:

- 1.) Lands shown hereon were not abstracted for easements and/or rights-of-way of record by this office.
- 2.) Area of subject property = 181,602 square feet (4.1690 acres).
- 3.) Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
- a) Originating benchmark = Leica Global Positioning System.
- b) $\text{---} \text{---} \text{---}$ = existing elevation (NAVD 88 typical).
- 4.) No underground improvements located.
- 5.) Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Distances are plat and measured unless otherwise shown.
- 6.) This firm's "Certificate of Authorization" number is "LB 6838".

SITE SPECIFIC LEGEND:

- $\odot$ = SPIRAL STAIRCASE
- T.O.S.W. = TOP OF SEAWALL
- TRANS. = TRANSFORMER
- T.O.B. = TOP OF BANK

LEGEND:

CLC	CONCRETE BLOCK CURB	PI	POINT OF INTERSECTION	ASPH	ASPHALT PAVEMENT
C.B.S.	CONCRETE BLOCK STRUCTURE	R	RADIUS	CONC	CONCRETE
CONC	CONCRETE	A	ARC LENGTH	CONC MON	CONCRETE MONUMENT
CONC. MON.	CONCRETE MONUMENT	CHB	CHAIN BEARING	D.E.	DEED
D.E.	DEED	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	EL	ELEVATION
EL	ELEVATION	O.B.	ORIGINAL BENCHMARK	FF.E.L.	FINISHED FLOOR ELEVATION
FF.E.L.	FINISHED FLOOR ELEVATION	P.C.	POINT OF CURVATURE	IR	IRON ROD
IR	IRON ROD	P.T.	POINT OF TANGENCY	MEAS	MEASURED
MEAS	MEASURED	P.R.C.	POINT OF REVERSE CURVATURE		
		P.C.C.	POINT OF COMPOUND CURVATURE		

SCALE: 1" = 30'

DRAWN BY: PICARD (C)

FIELD WK: M.M. / B.M.

DATE: 10/31/22

MILLER LAND SURVEYING

1121 LAKE AVENUE
LAKE WORTH, FLORIDA 33460
PHONE: (561) 586-2659 - FAX: (561) 582-0151
www.millersurveying.com
e-mail: millersurveying@aol.com

REVISIONS:

REV.	DATE	DESCRIPTION
1	10/31/22	ISSUED FOR PERMIT

BOUNDARY SURVEY

This survey is invalid without embossed surveyor's seal and/or an authorized electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. 12099C0781F (10/05/2017)
MICHAEL J. MILLER #4034

CRD. FILE Y221135

REFS: B821223
PREV. Y140458
JOB NO. Y221135
L - 1912 - B

Location Plan



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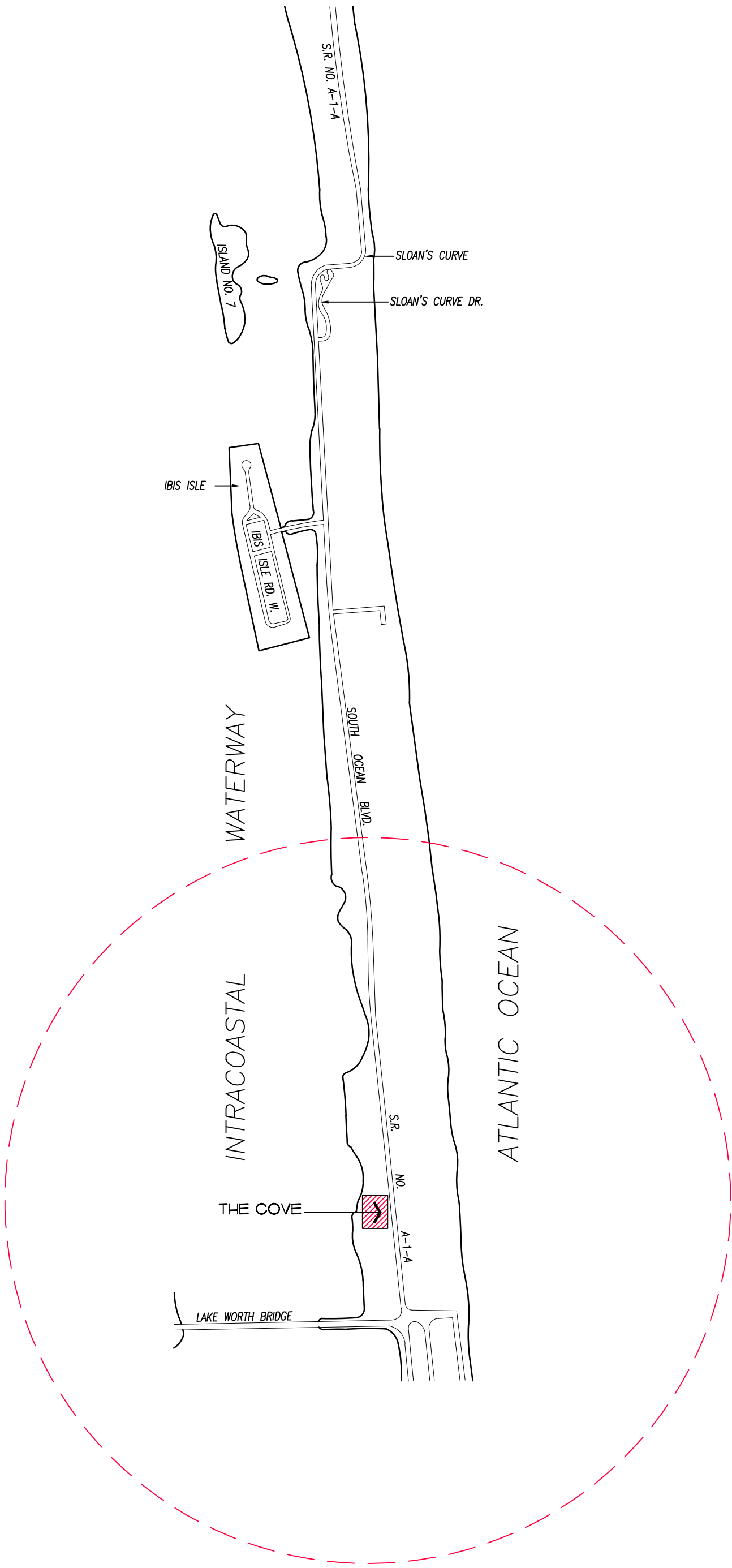
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Dustin@environmentdesigngroup.com

The Cove
2784 S. Ocean Blvd
Palm Beach

Zoning Legend

Vicinity/Location Map



Property Address:	The Cove 2784 S. Ocean		
Zoning District:	RD-2 Heavy Density Residential		
Structure Type:	Condominium Building		
	Required/Allowed	Existing	Proposed
Lot Size:	40,000 SF min.FT	181,602 SF	181,602 SF
Lot Depth (South):	200 LF	426.48FT	426.48 FT
Lot Width (East):	150 LF	425.38 LF	425.38 LF
Lot Coverage:	Max 22%	17.9%	17.9%
Front Yard Setback:	N/A	N/A	N/A
Side Yard Setback (1st story):	N/A	N/A	N/A
Side Yard Setback (2nd story):	N/A	N/A	N/A
Rear Yard Setback:	N/A	N/A	N/A
Angle of Vision:	N/A	N/A	N/A
Building Height:	N/A	N/A	N/A
Overall Building Height:	N/A	N/A	N/A
Finish Floor Elevation (FFE) (NAVD):	N/A	N/A	N/A
Zero Datum for Pt of Measurement:	N/A	N/A	N/A
Base Flood Elevation (BFE) (NAVD)	NAVD	NAVD	NAVD
Landscape Open space (LOS):	63,561 SF / 35%	59,031 / 32.6%	62,996 / 34.7%
Perimeter LOS:	N/A	N/A	N/A
Front Yard LOS	3,609 SF / 35%	7,514 / 72.9%	8,728 SF / 84.64%
Native Plant Species Percentage:	Min 35%	See sheet L8.3	See sheet L8.3

ZON# 23-008
ARCOM# 22-245-2022



Existing South Building



Existing East Building



Existing North Building



Existing South Building



Existing East Building



Existing North Building

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The Cove
2784 S Ocean Blvd
Town of Palm Beach

A
D
I
R
O
L
F

JOB NUMBER: # 18024.00 LA
DRAWN BY: Nick Pastor
DATE: 11.28.2022

SHEET L1.0

2022

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2022

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ZON# 23-008
ARCOM# 22-245-2022
Existing Site Photos



Existing South Entrance



Existing Street Facade



Existing Street Facade



Existing Street Facade



Existing Street Facade



Existing North Entrance

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Existing Site Photos

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Town of Palm Beach

JOB NUMBER: # 18024.00 LA
DRAWN BY: Nick Pastor
DATE: 11.28.2022

SHEET L1.1



Existing South Buffer



Existing South Buffer



Existing South Buffer



Existing South Buffer



Existing South Buffer



Existing South Buffer



Existing North Buffer



Existing North Buffer



Existing North Buffer



Existing North Buffer



Existing North Buffer



Existing North Buffer

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The Cove
2784 S Ocean Blvd
Town of Palm Beach

JOB NUMBER: # 18024.00 LA
DRAWN BY: Nick Pastor
DATE: 11.28.2022

SHEET L1.3

ZON# 23-008
ARCOM# 22-245-2022
Existing Site Photos



Intracoastal View South Facing



Intracoastal View South Facing



Intracoastal South Building Facade



Intracoastal South Building Facade



Existing North Buffer



Existing North Buffer

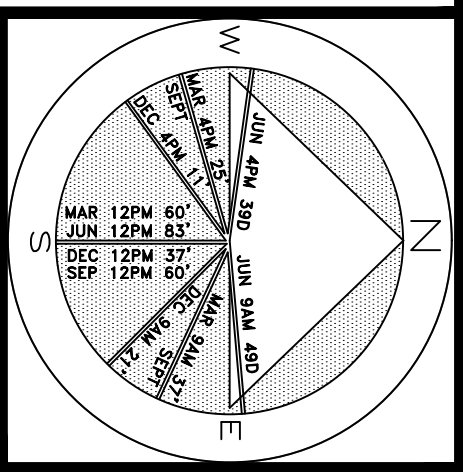


Intracoastal North Building Facade



Intracoastal North Building Facade

The Cove
2784 South Ocean
Town of Palm Beach



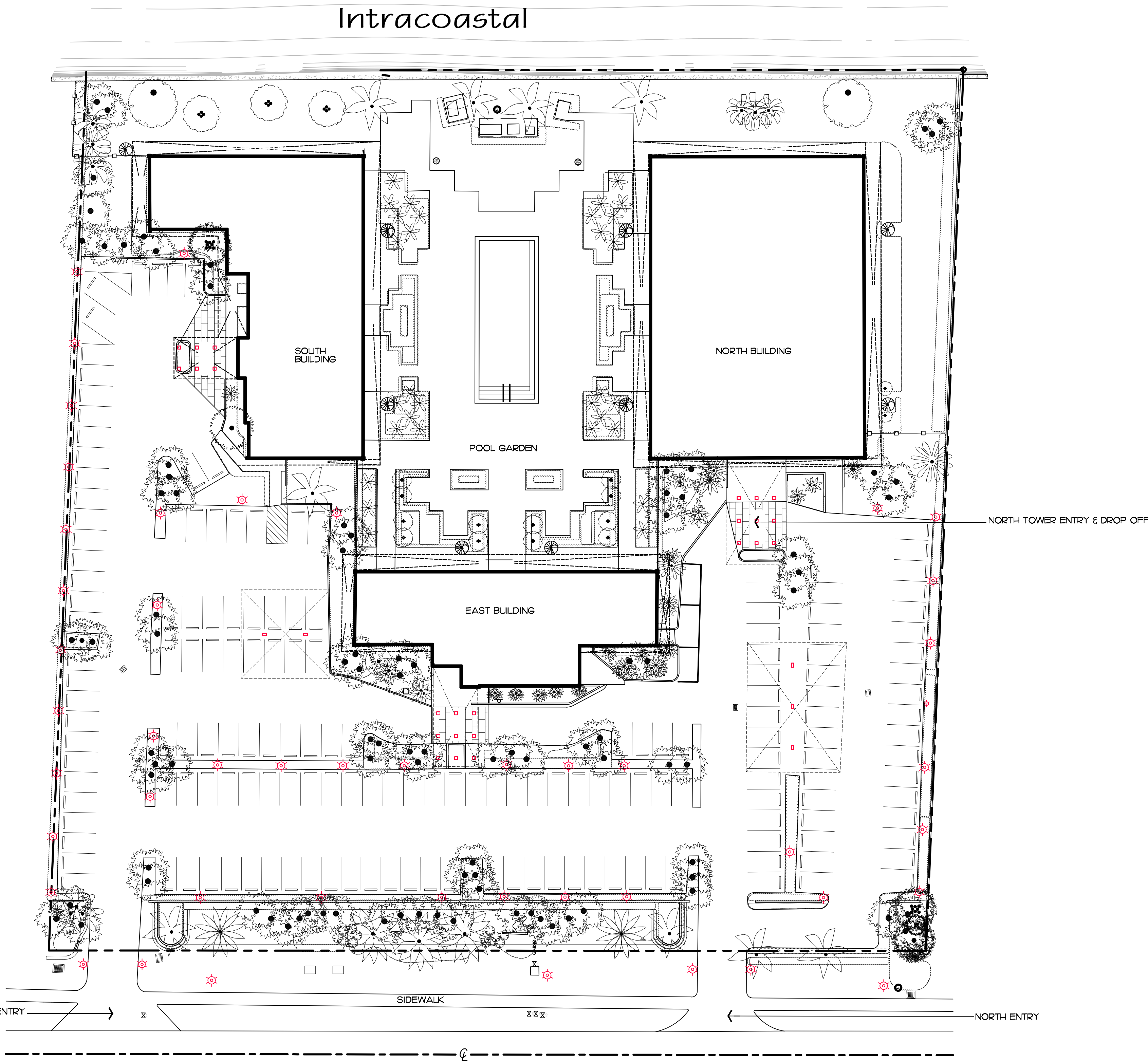
JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottseghn
DATE: 09.19.2022
11.07.2022
11.28.2022

SHEET L2.0

900 sf.
AREA IN SQ. FT.

Existing Trees & Palms

SYMBOL	COMMON NAME	QTY
	ARECA PALM	2
	SCHEFFELRA	1
	DOUBLE ADONIDIA	1
	TRIPLE ADONIDIA	4
	QUADROPLE ADONIDIA	1
	CANARY ISLAND DATE PALM	2
	BISMARK PALM	3
	COCONUT PALM	9
	SABAL PALM	95
	WHITE GEIGER TREE	2
	QUEEN PALM	6
	FICUS TREE	2
	LIGUSTRUM TREE	17
	BOTTLE PALM	31
	JATROPHA TREE	1
	SINGLE PYGMY DATE PALM	3
	DOUBLE PYGMY DATE PALM	2
	TRIPLE PYGMY DATE PALM	6
	CHINESE FAN PALM	3
	TRIPLE CHINESE FAN PALM	1
	GREEN SAW PALMETTO	14
TOTAL NATIVE TREE & PALM SPECIES		206 109 (53%)



South Ocean Boulevard

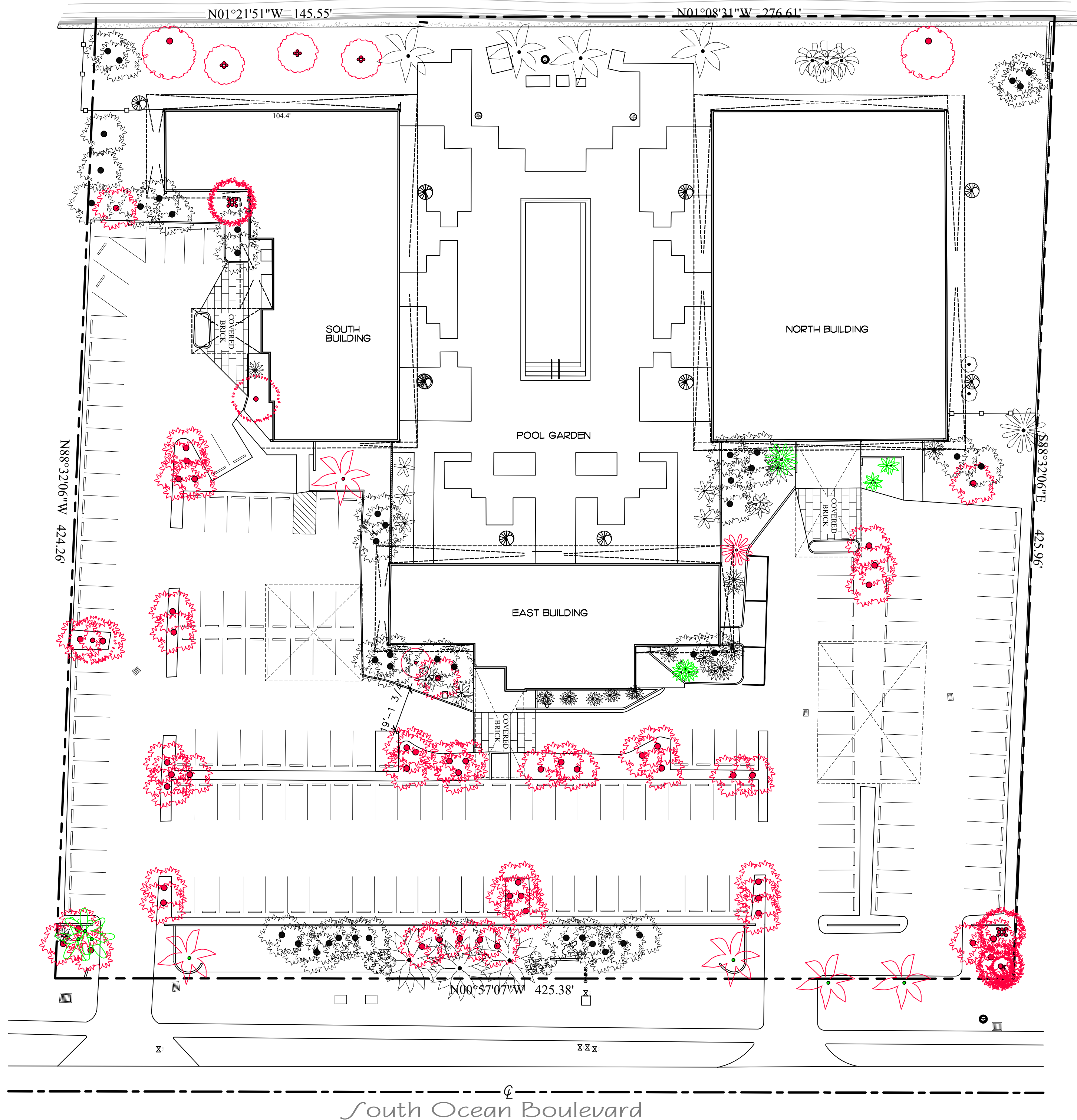
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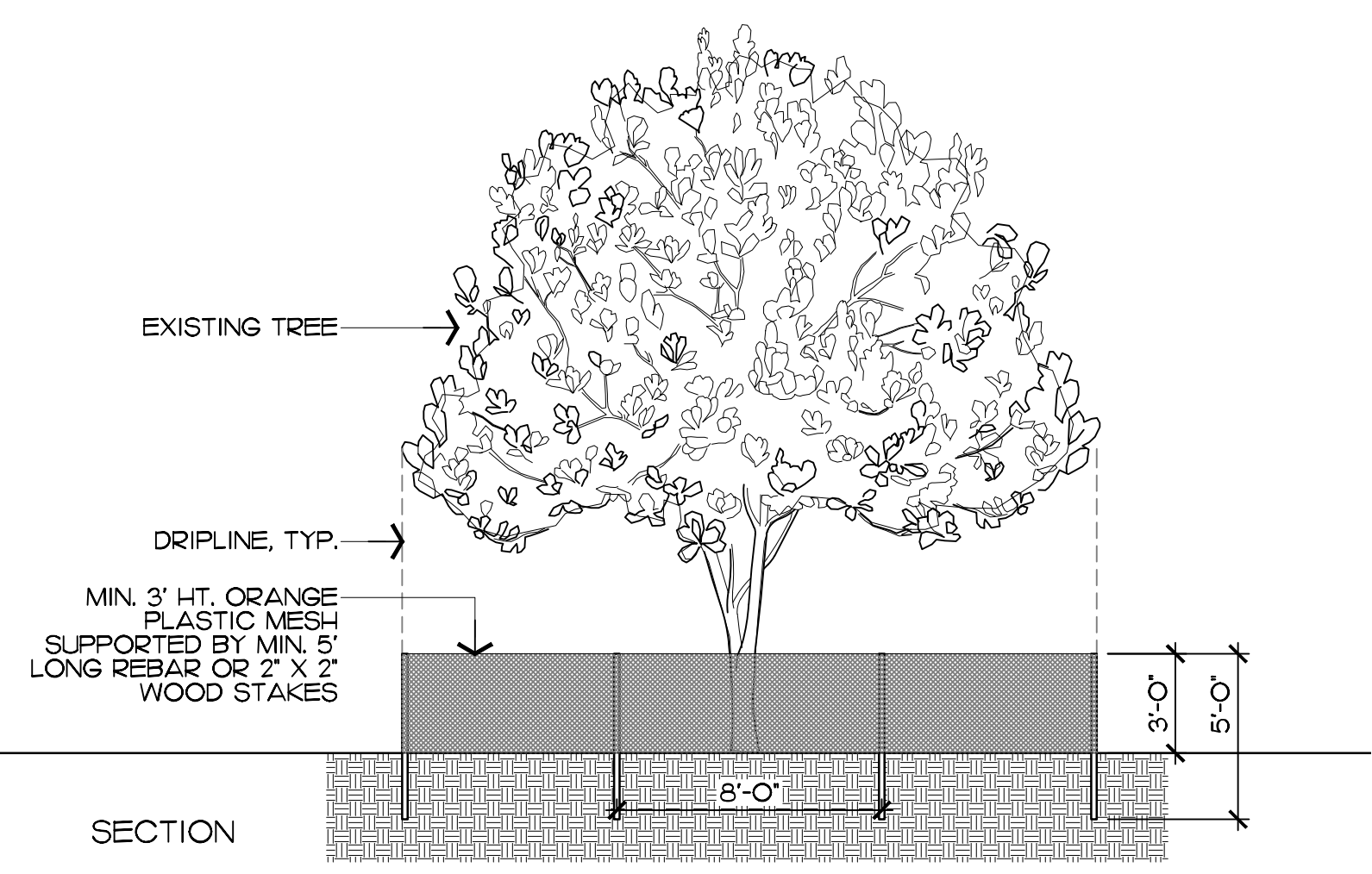
ZON# 23-008
ARCOM# 22-245-2022
Existing Vegetation

SCALE IN FEET 0' 30' 60' 90'



Disposition Trees & Palms

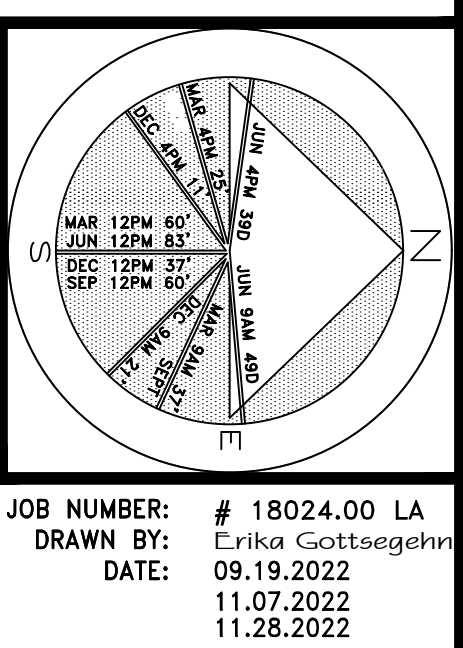
SYMBOL	COMMON NAME	REMAIN	TRANSPLANT	REMOVE
	ARECA PALM	-	-	2
	SCHIEFFELRA	-	-	1
	DOUBLE ADONIDIA	-	1	-
	TRIPLE ADONIDIA	3	1	-
	QUADROPLE ADONIDIA	1	-	-
	CANARY ISLAND DATE PALM	2	-	-
	BISMARK PALM	3	-	-
	COCONUT PALM	9	-	4
	SABAL PALM	43	-	52
	WHITE GEIGER TREE	-	-	2
	QUEEN PALM	6	-	-
	FICUS TREE	-	-	2
	LIGUSTRUM TREE	14	-	-
	BOTTLE PALM	5	21	-
	JATROPHA TREE	-	-	1
	SINGLE PYGMY DATE PALM	3	-	-
	DOUBLE PYGMY DATE PALM	1	1	-
	TRIPLE PYGMY DATE PALM	4	2	-
	CHINESE FAN PALM	3	-	-
	TRIPLE CHINESE FAN PALM	-	1	-



Tree Protection

NOTE:
CONTRACTOR TO PROTECT EXISTING
TREES IN THE AFFECTED AREAS

The Cove
2784 South Ocean
Town of Palm Beach



JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottseghn
DATE: 09.19.2022
11.07.2022
11.28.2022

SHEET L3.0

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NOTE:
HISTORIC TREES:
THERE ARE NO SIGNIFICANT HISTORIC TREES ON SITE.
SPECIMEN TREES:
THREE BISMARK PALMS AND TWO CANARY ISLAND DATE PALMS FACING SOUTH OCEAN BOULEVARD WILL REMAIN.
SOUTH BENJAMIN FICUS HEDGE TO BE REMOVED AND BE REPLACED WITH NATIVE HEDGE SEE PLANTING PLAN.
NORTH PERMITTER HEDGE TO BE REPLACED WITH NATIVE HEDGE.

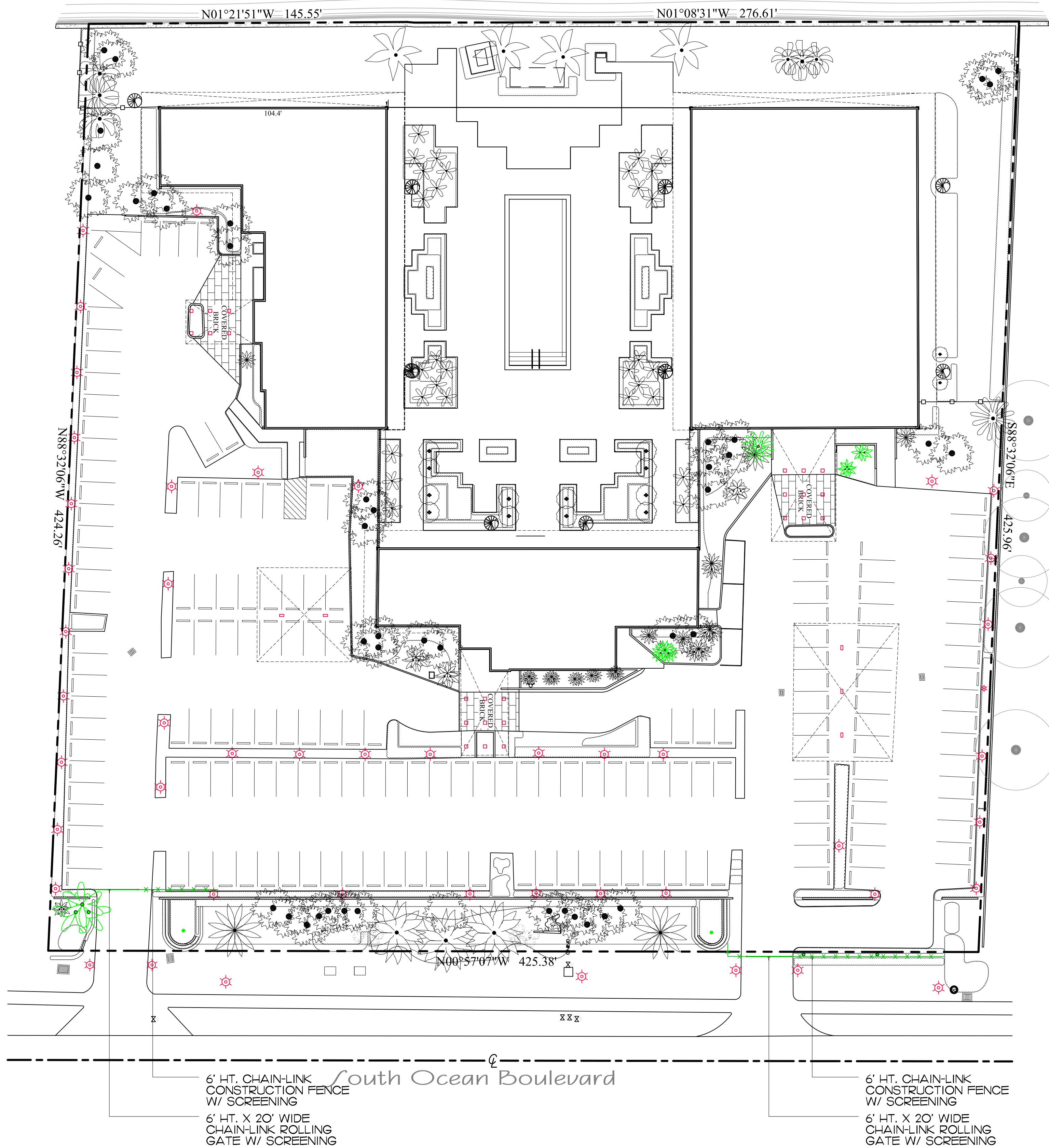
ZON# 23-008
ARCOM# 22-245-2022
Tree Disposition Plan



64 sf.

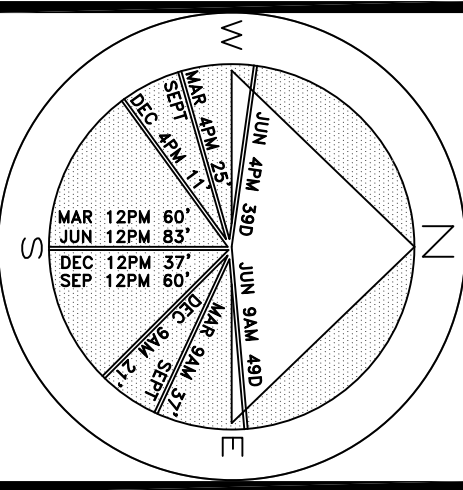
AREA IN SQ.FT.

LAKE WORTH



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2784 S Ocean Blvd
Town of Palm Beach



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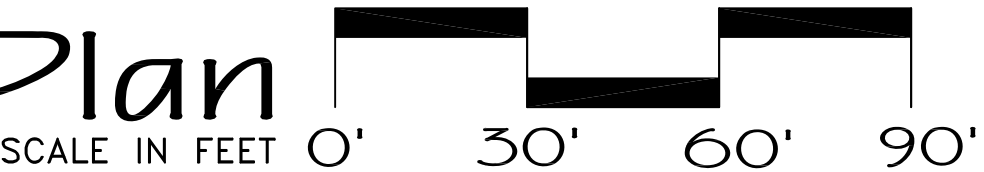
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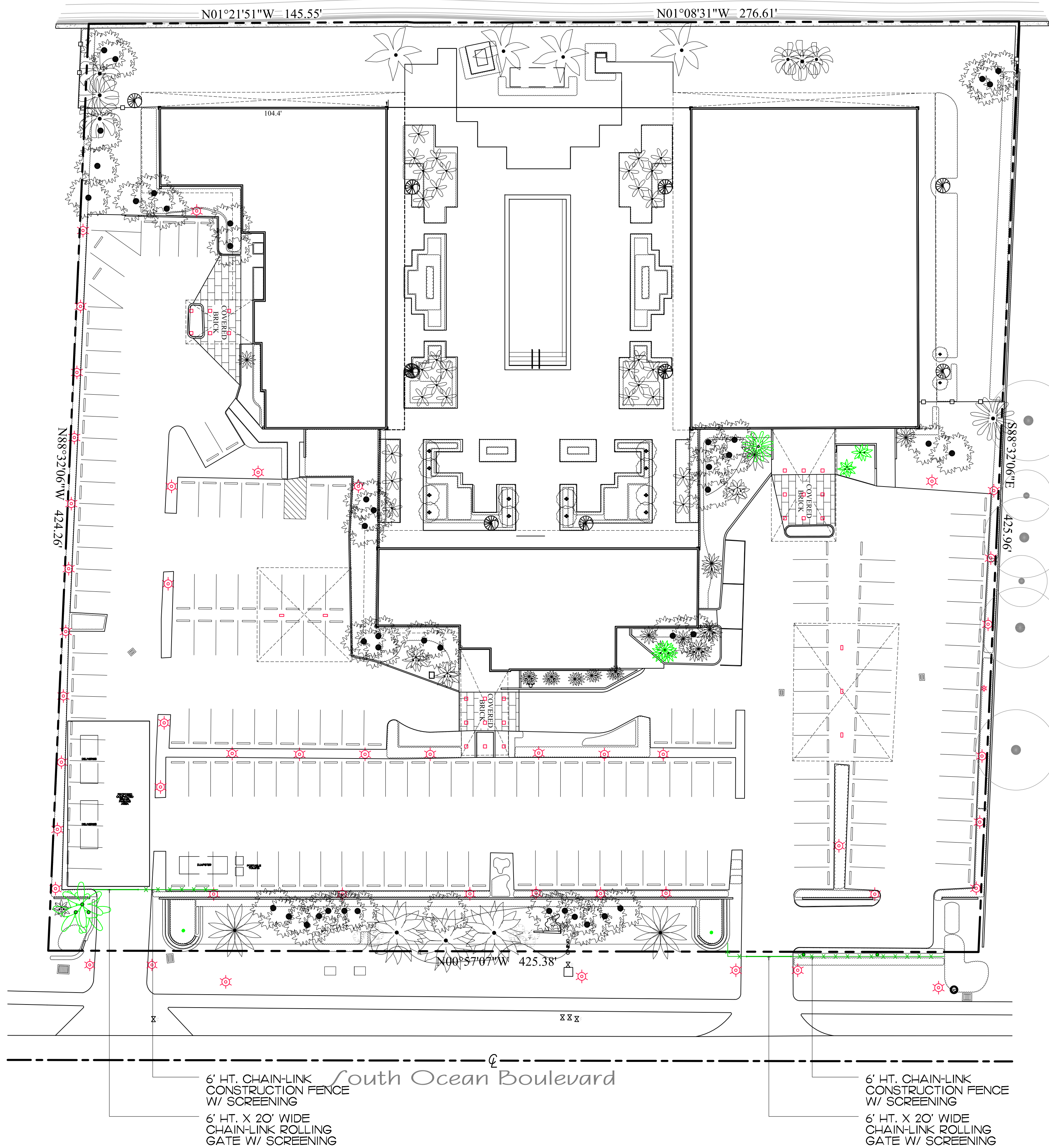
ZON# 23-008
ARCOM# 22-245-2022
Construction Screening Plan



900 sf.

AREA IN SQ.FT.

LAKE WORTH



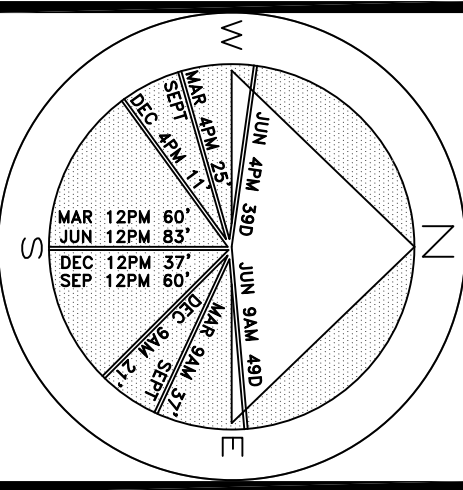
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JOB NUMBER: # 22032.00 LA
DRAWN BY: Nick Pastor
DATE: 11.07.2022

SHEET L5.0

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ZON# 23-008
ARCOM# 22-245-2022

Construction Staging Plan

SCALE IN FEET 0' 30' 60' 90'

900 sf.

AREA IN SQ.FT.

The Cove

2784 South Ocean

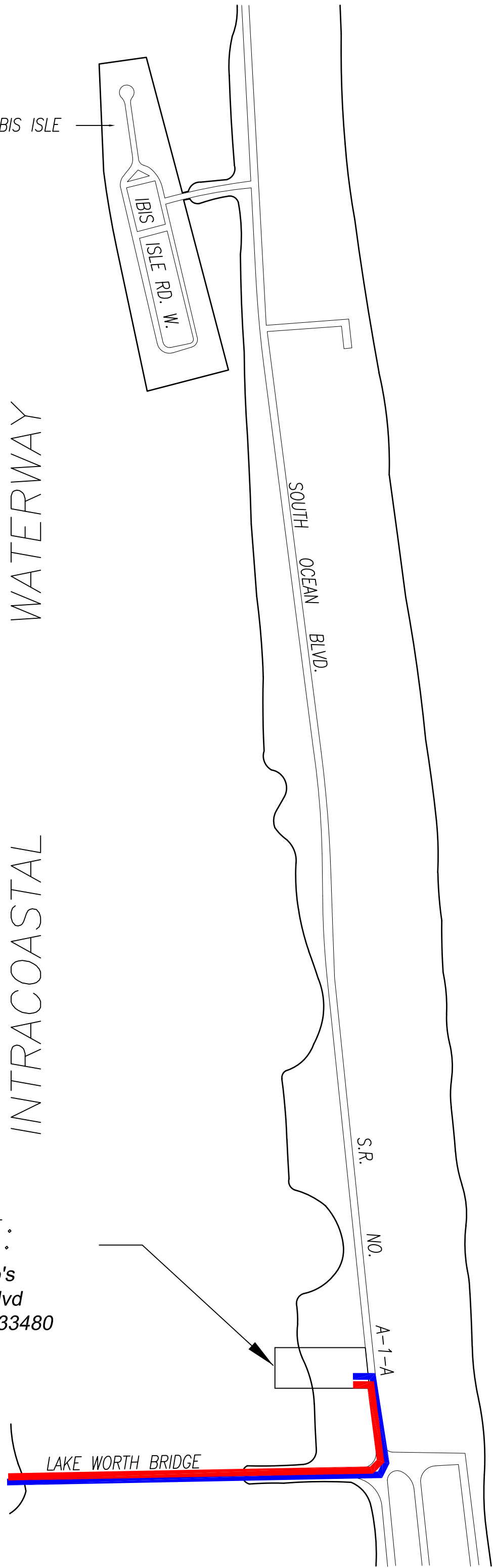
Town of Palm Beach

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JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottsegen
DATE: 11.28.2022

SHEET L6.0

ZON# 23-008
ARCOM# 22-245-2022
Truck Logistics Plan
SCALE: NOT TO SCALE



1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP
(3 - 5 DAYS)

LARGEST TRUCK ->
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL
TRAILER FOR EXCAVATOR / DEMOLITION
LANDSCAPE TRUCKS ->
SOD
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

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NOTE: SITE DESIGN CONFORMS TO THE SOUTH OCEAN BOULEVARD PLANNED IMPROVEMENTS:
SR-A1A PROPOSED ROADWAY IMPROVEMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION PALM BEACH TRANSPORTATION PLANNING AGENCY
(MARCH 2022)

JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottsegen
DATE: 09.19.2022
10.03.2022
11.06.2022
11.28.2022
12.08.2022

AREA IN SQ.FT.

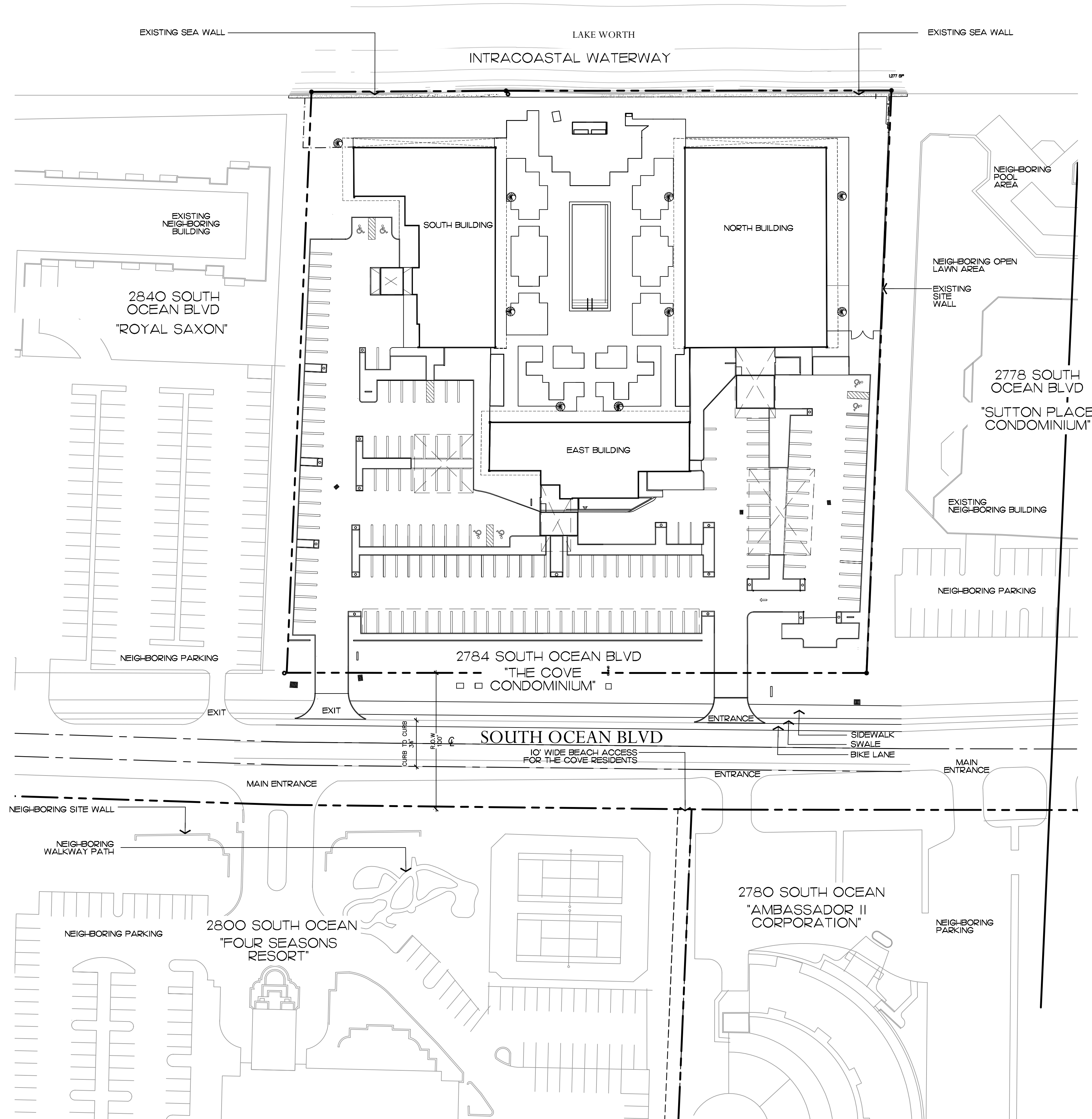
2022

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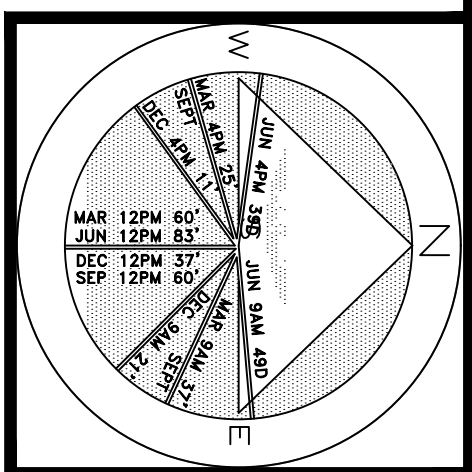
2022

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SUNSHINE STATE ONE CALL
OF FLORIDA, INC.



NOTE: SOUTH OCEAN BOULEVARD PLANNED IMPROVEMENTS DICTATES 100' R.O.W. (SAME AS CURRENT) AND 34' FROM CURB TO CURB (CURRENT 23').
SR-A1A PROPOSED ROADWAY IMPROVEMENTS
FLORIDA DEPARTMENT OF TRANSPORTATION
PALM BEACH TRANSPORTATION PLANNING AGENCY
(MARCH 2022)

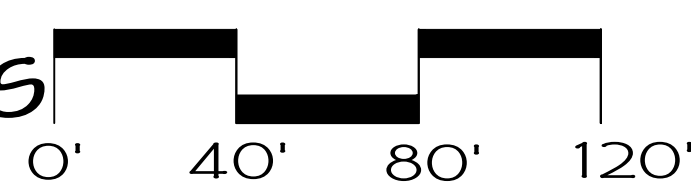


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11.28.2022

SHEET L7.0.1

ZON# 23-008
ARCOM# 22-245-2022

Neighboring Properties



1600 sf.

AREA IN SQ.FT.

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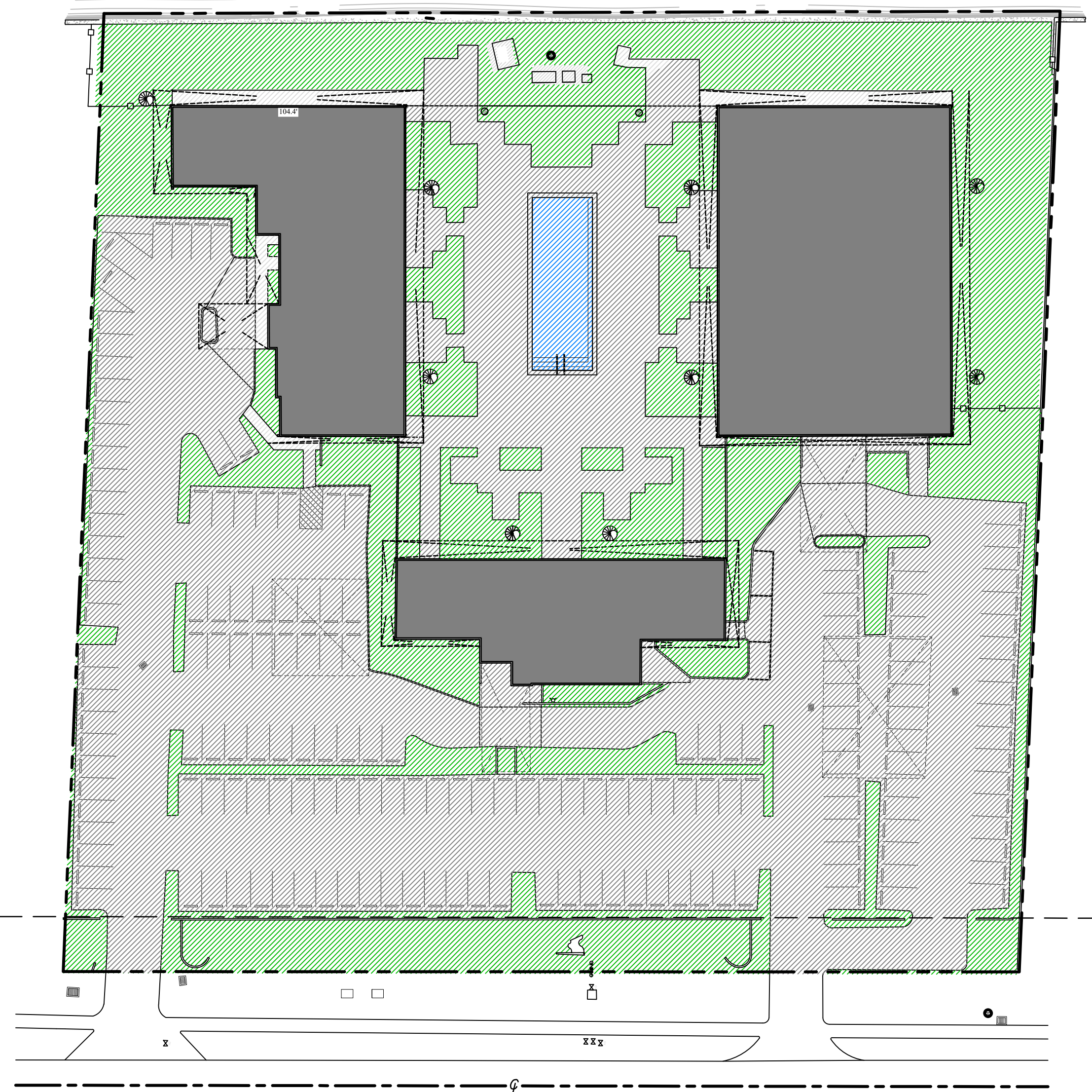
Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- POOL / IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE

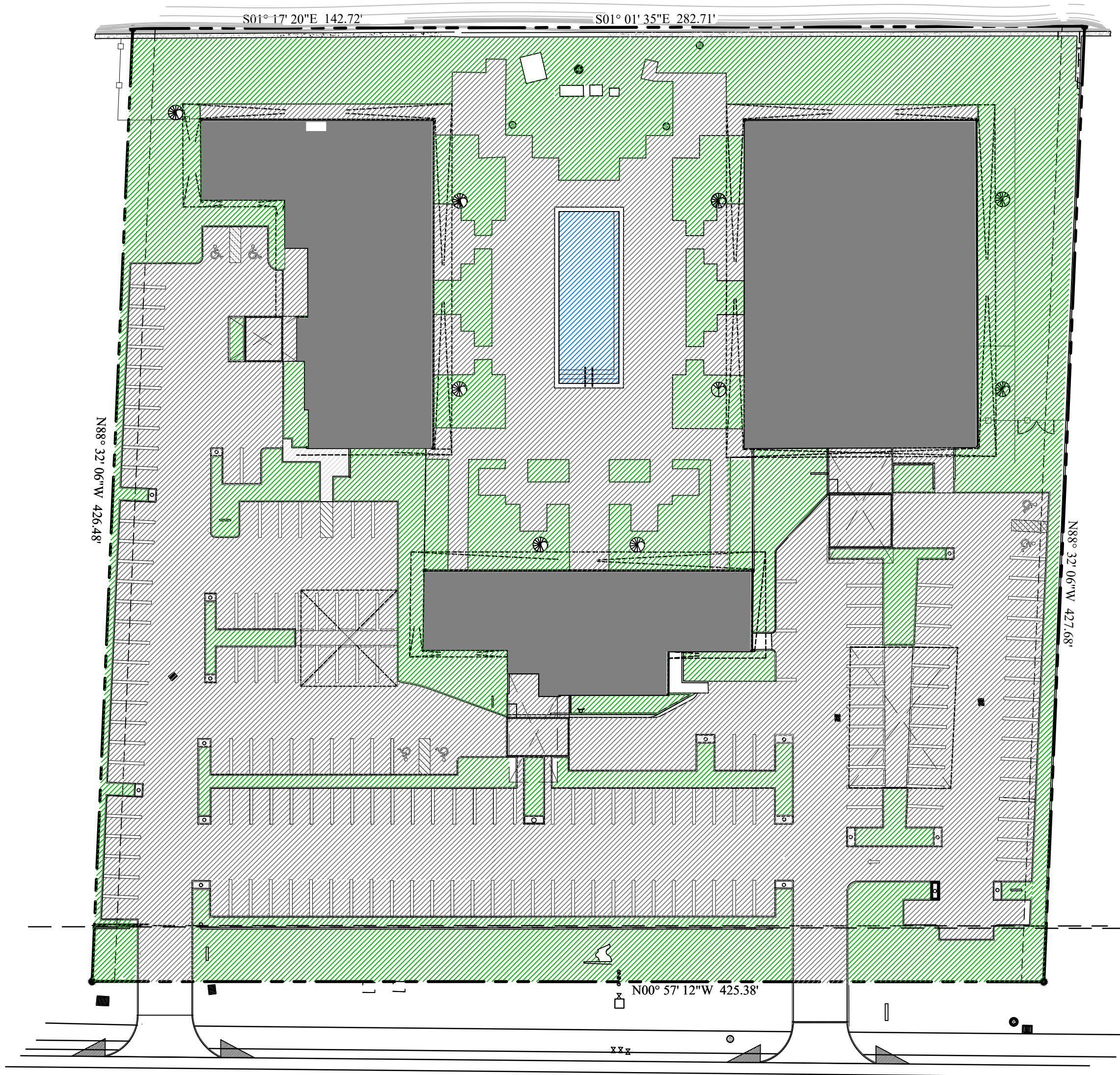
Site Requirements

DESCRIPTION	REQUIRED		EXISTING	PROPOSED
LOT ZONE			RD - 2 HEAVY DENSITY RESIDENTIAL	RD - 2 HEAVY DENSITY RESIDENTIAL
LOT AREA	40,000 S.F. MINIMUM		181,602 S.F.	181,602 S.F.
OPEN / PERMEABLE SPACE	35%	63,561	32.6%	59,031 S.F.
FRONT YARD LANDSCAPE	MINIMUM 35% OF FRONT YARD	3,609 S.F.	72.9%	7,514 S.F.

* 3,965 S.F. OF ADDITIONAL OPEN SPACE



Existing Open Space Graphic



Proposed Open Space Graphic

ENVIRONMENT
DESIGN
GROUP

139 North County Road 520-8 Palm Beach, FL 33480
Phone: 561.832.4800 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

The Cove
2784 South Ocean
Town of Palm Beach

W
N
E
S

MAN 12PM 65°
JUN 12PM 65°
DEC 12PM 57°
SEP 12PM 60°
APR 12PM 60°
OCT 12PM 60°
MAY 12PM 60°
NOV 12PM 60°

JOB NUMBER: # 18024.00 LA
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ZON# 23-008
ARCOM# 22-245-2022

Site Calculation/Open Space Graphics

SCALE IN FEET 0' 40' 80' 120'

SHEET L7.1

480 sf.

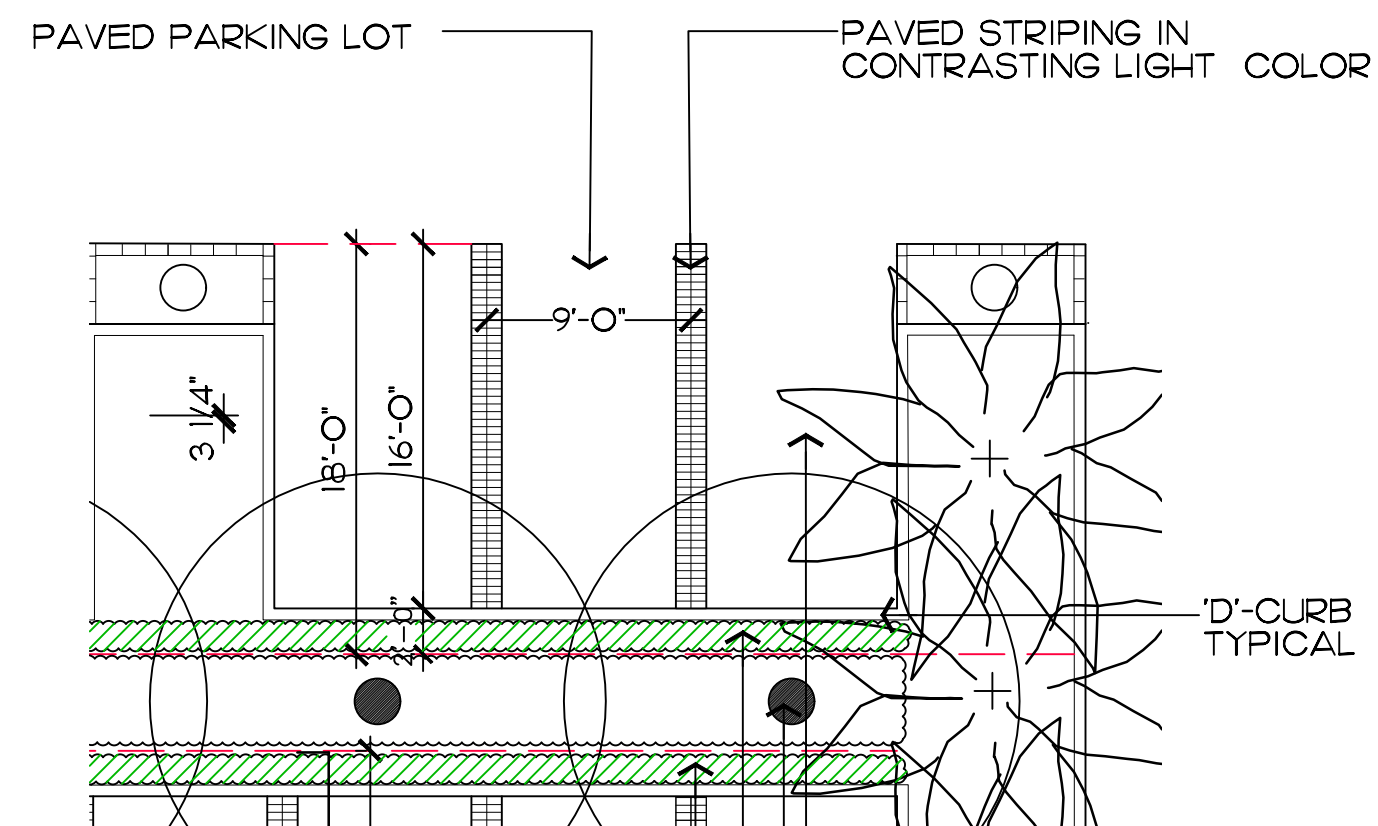
AREA IN SQ.FT.

PARKING COUNT COMPARISON

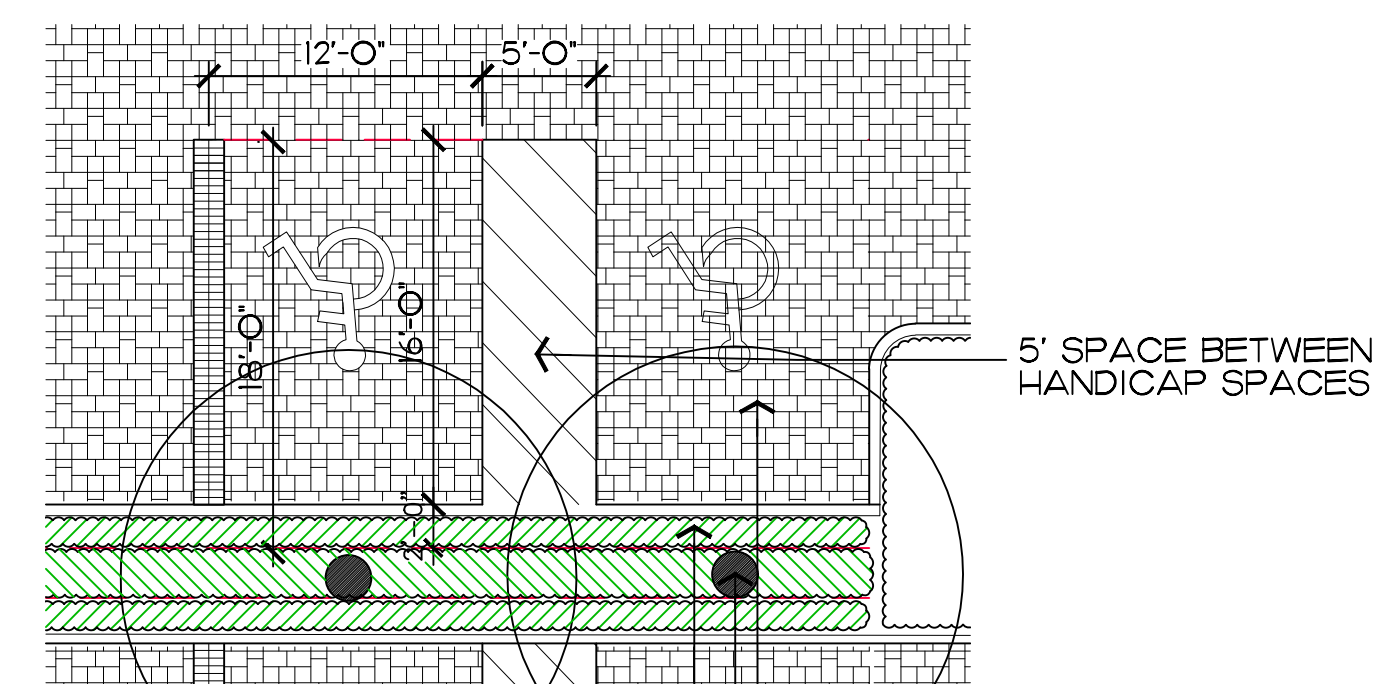
TYPE OF SPACE	REQUIRED	EXISTING	PROPOSED
ASSIGNED (RESIDENT)	-	161	162
ASSIGNED (HANDICAP)	6	0*	6**
ASSIGNED (STAFF & GUEST)	-	3	3
UNASSIGNED (OPEN)	-	8	6
UNUSABLE (TOO SMALL)	0	2*	0
TOTAL PARKING:	176	176	177

NOTES:

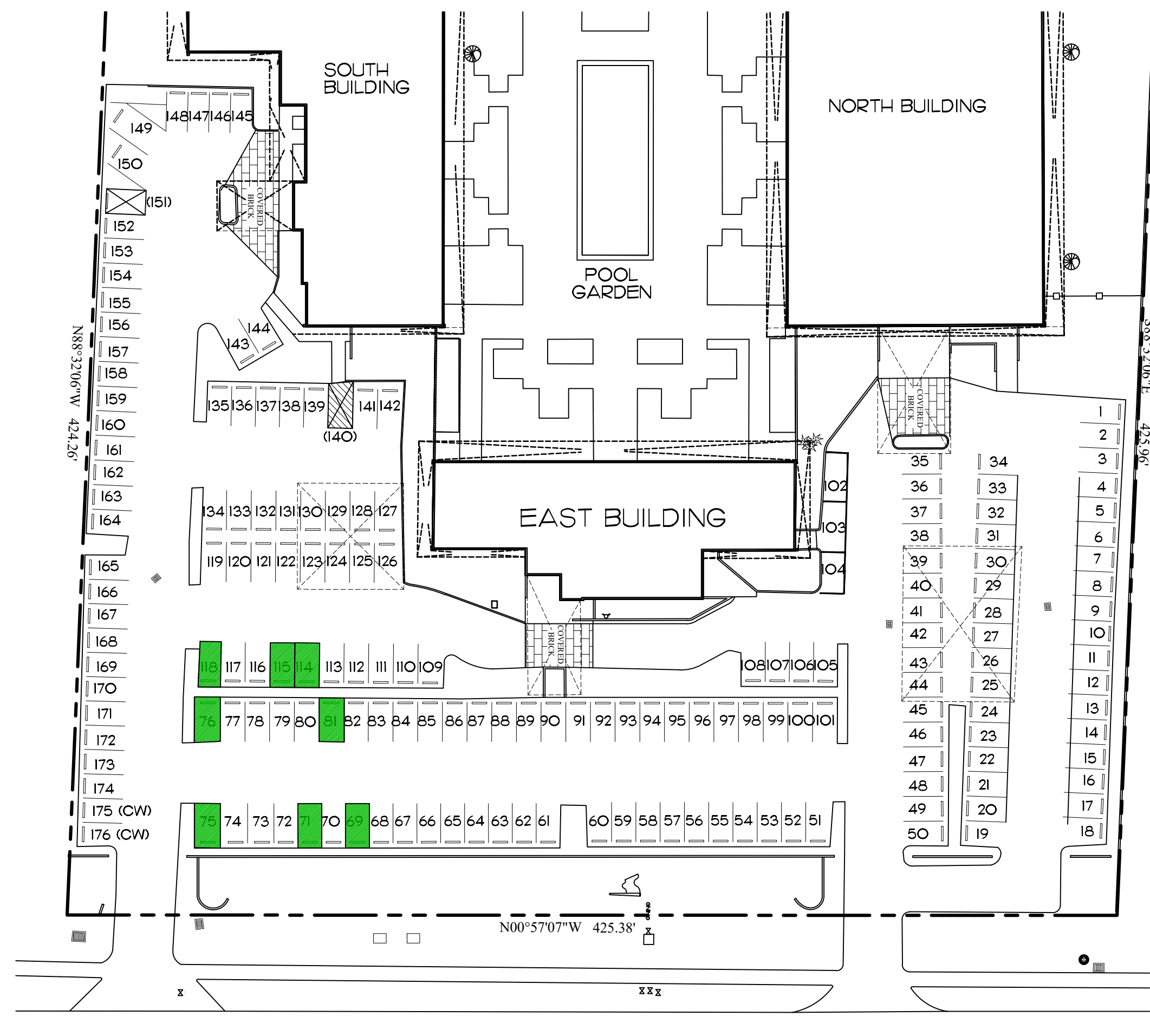
* EXISTING LAYOUT INCLUDES TWO CODE VIOLATIONS: NO HANDICAP SPACES (SIX REQUIRED) AND TWO UNDERSIZED SPACES.
**PROPOSED LAYOUT MEETS CODE WITH SIX HANDICAP SPACES AND NO UNDERSIZED SPACES, LAYOUT INCREASES SERVICE PARKING AND PROVIDES ADDITIONAL TREES FOR SHADE.



Parking Stall
Standard

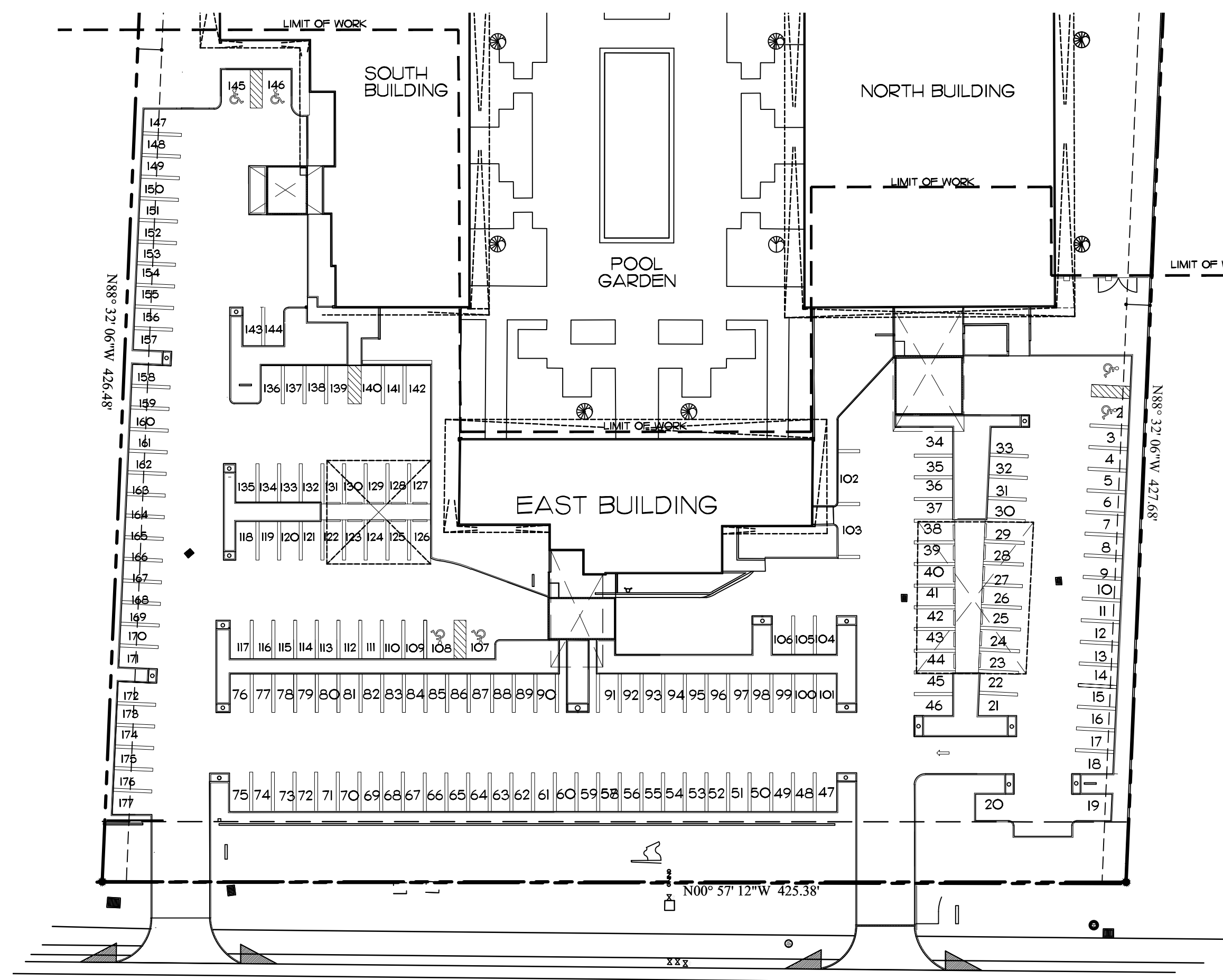


Parking Stall
Handicap



■ GUEST
PARKING
X NOT USED FOR PARKING
- WALKING PATH
CW - CAR WASH
STALLS

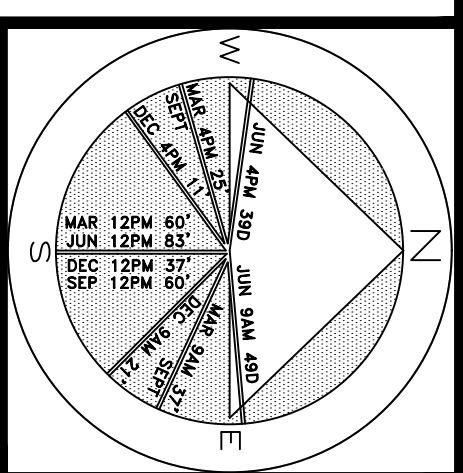
Existing



Proposed

ZON# 23-008
ARCOM# 22-245-2022

Parking Lot
SCALE IN FEET 0' 40' 80' 120'



JOB NUMBER: # 18024.00 LA
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DATE: 09.19.2022
10.03.2022
11.07.2022
11.28.2022

SHEET L7.2

1600 sf.

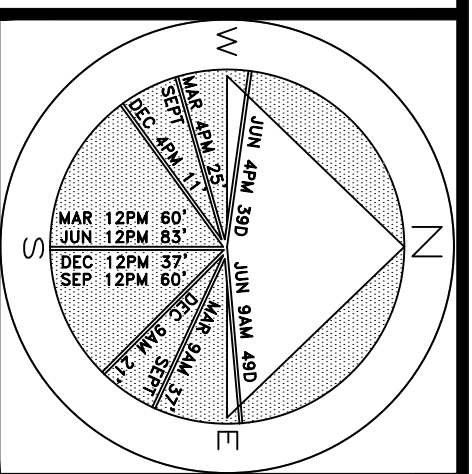
AREA IN SQ. FT.

2022
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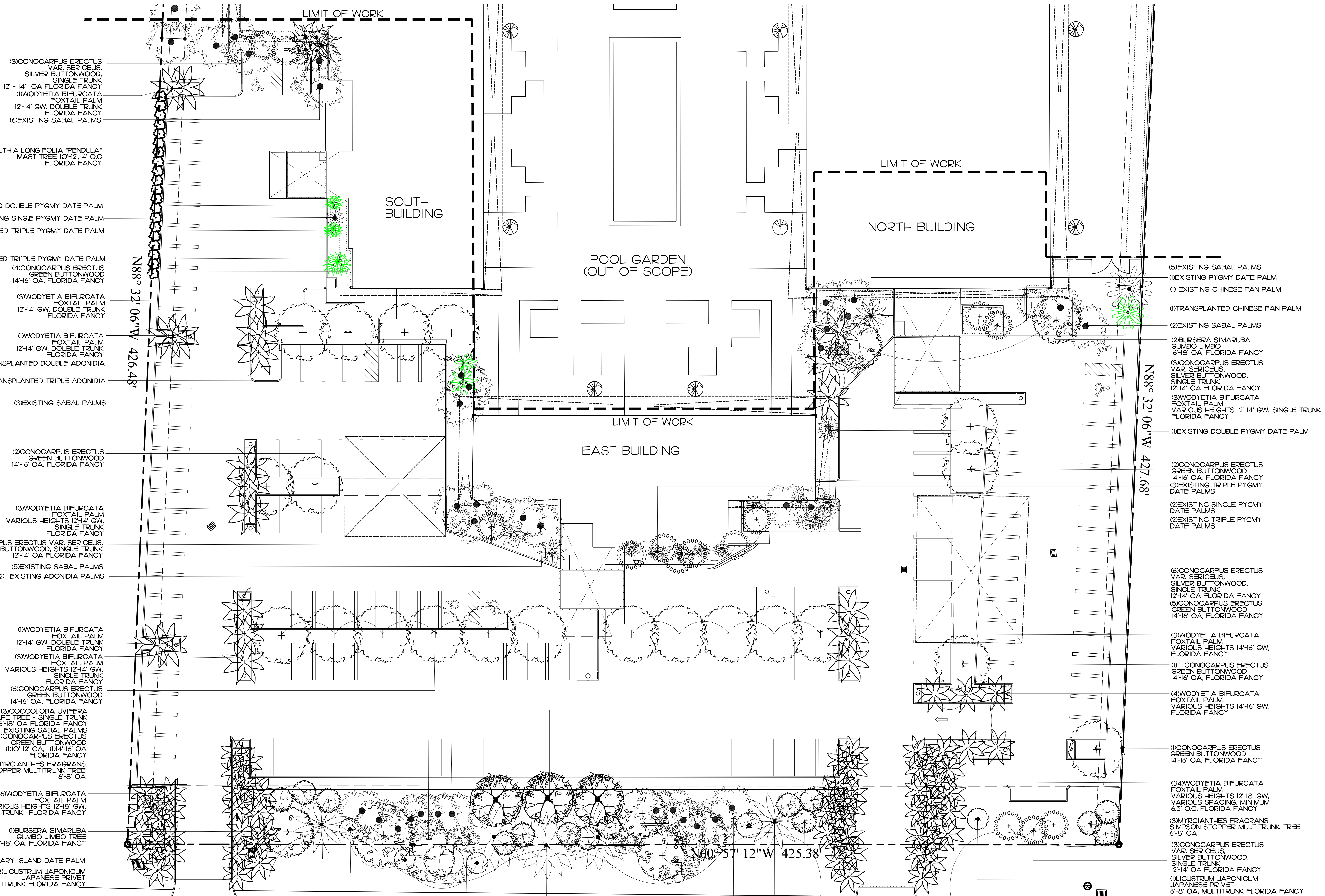
The Cove
2784 South Ocean
Town of Palm Beach



JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottsegen
DATE: 09.19.2022
10.03.2022
10.24.2022
11.07.2022
11.28.2022
12.08.2022

SHEET L8.0

400 sf.
AREA IN SQ. FT.



SAFE SITE TRIANGLE TYPICAL
8' X 15'

(7)EXISTING SABAL PALM
(1)BURSERA SIMARUBA
GUMBO LIMBO TREE
16'-18' OA, FLORIDA FANCY
(3)SERENOA REPENS
SILVER SAW PALMETTO
7 GAL. 45' O.C.
EXISTING GREEN SAW PALMETTO
(5)MYRCIANTHES FRAGRANS
SIMPSON STOPPER MULTITRUNK TREE
6'-8' OA

(3)EXISTING
BISMARCK PALMS

(3)MYRCIANTHES FRAGRANS
SIMPSON STOPPER MULTITRUNK TREE
6'-8' OA
EXISTING CANARY ISLAND DATE PALM
(1)IGLUSTRUM JAPONICUM
JAPANESE PRIVET
6'-8' OA, MULTITRUNK FLORIDA FANCY
(6) EXISTING SABAL PALMS
(3)BURSERA SIMARUBA
GUMBO LIMBO TREE
16'-18' OA, FLORIDA FANCY
(3)SERENOA REPENS
SILVER SAW PALMETTO
7 GAL. 45' O.C.

ZON# 23-008
ARCOM# 22-245-2022

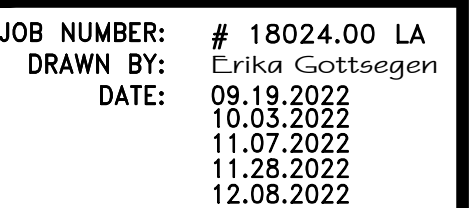
SCALE IN FEET 0' 20' 40' 60'

Tree & Palm Landscape Plan

2022
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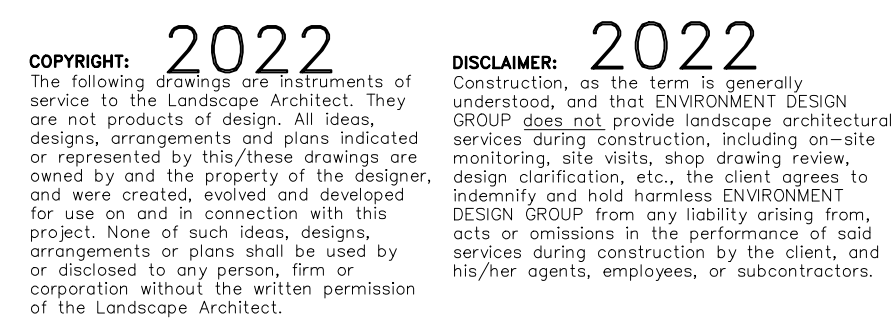
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AREA IN SQ.FT.

400 sf.

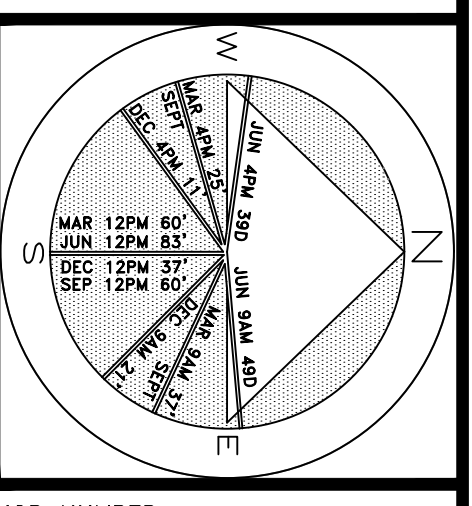


SCALE IN FEET 0' 20' 40' 60'

ZON# 23-008
ARCOM# 22-245-2022



The Cove
2784 South Ocean
Town of Palm Beach



JOB NUMBER: # 18024.00 LA
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ZON# 23-008
ARCOM# 22-245-2022
Rendered Landscape Plan
SCALE IN FEET 0' 30' 60' 90'

SHEET L8.2
400 sf.
AREA IN SQ. FT.

Trees

SYMBOL	COMMON NAME	QTY	NATIVE	DESCRIPTION
	BURSERIA SIMARUBA GUMBO LIMBO	6	YES	16'-18' , FLORIDA FANCY
	COCOLOBIA UVIFERA SEAGRAPE TREE - SINGLE TRUNK	3	YES	14'-16' OA FLORIDA FANCY
	CONOCARPUS ERECTUS GREEN BUTTWOOD	23	YES	14'-16' OA, FLORIDA FANCY
	CONOCARPUS ERECTUS VAR. SERICEUS, SILVER BUTTWOOD, SINGLE TRUNK	18	YES	10'-12' OA FLORIDA FANCY
	LIGUSTRUM JAPONICUM JAPANESE PRIVET	5	NO	6'-8' OA, MULTITRUNK FLORIDA FANCY
	MYRCIANTHES FRAGRANS SIMPSON STOPPER	14	YES	MULTITRUNK TREE 6'-8' OA
TOTAL NATIVE SPECIES		70 65 (93%)		

Palms

SYMBOL	COMMON NAME	QTY	NATIVE	DESCRIPTION
	ACOELORRHAPHIS WRIGHTII EVERGLADES PALM	1	YES	18'-20' OA, MULTITRUNK, FLORIDA FANCY
	REPENS SILVER SILVER SAW PALMETTO	14	YES	4' H, 48' O.C, FLORIDA FANCY
	WODYETIA BIFURCATA - SINGLE FOXTAIL PALM	77	NO	VARIOUS HEIGHTS 12'-18' GW, SINGLE TRUNK FLORIDA FANCY
	WODYETIA BIFURCATA - DOUBLE FOXTAIL PALM	3	NO	12'-14' GW, DOUBLE TRUNK FLORIDA FANCY
TOTAL NATIVE SPECIES		95 15 (16%)	NOTE: DUE TO THE LARGE NUMBER OF NATIVE SABAL PALMS TO REMAIN ON THE PROPERTY (43), AS WELL AS THE LARGE NUMBER OF NATIVE TREES AND SHRUBS WE ASK IF YOU MAY CONSIDER WAIVING THE 35% NATIVE FOR THE PALMS.	
TOTAL INCL. EXISTING SABAL PALMS NATIVE SPECIES		139 53 (42%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	ST AUGUSTIN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Vines & Groundcover

SYMBOL	COMMON NAME	QTY	NATIVE	DESCRIPTION
	ANNUALS SPP SEASONAL ANNUALS	325	NO	1 GAL. 12" O.C
	FICUS MICROCARPA GREEN ISLAND FICUS	658	NO	3 GAL. 12" O.C
	MIMOSA STRIGILLOSA SUNSHINE MIMOSA	1,408	YES	1 GAL. 12" O.C
	LIRIOPE MUSCARI 'EVERGREEN GIANT' LILTYRIF GIANT	898	NO	1 GAL. 18" O.C
	PHYLA NODIFLORA FROG FRUIT	905	YES	1 GAL. 12" O.C
TOTAL NATIVE SPECIES		4,194 2,313 (55.2%)		

Shrubs

SYMBOL	COMMON NAME	QTY	NATIVE	DESCRIPTION
	BEGONIA ODORATA 'ALBA' WHITE BEGONIA	126	NO	3 GAL. 24" O.C
	CHRYSOBALANUS ICAGO 'HORIZONTAL' GREEN COCOPLUM	386	YES	3 GAL. 24" O.C
	CLUSIA GUTTIFERA SMALL LEAF CLUSIA	70	NO	7 GAL. 36" O.C
	CONOCARPUS ERECTUS GREEN BUTTWOOD HEDGE	151	YES	60" HT. 36" O.C
	CONOCARPUS ERECTUS VAR. SERICEUS SILVER BUTTWOOD LOW HEDGE	84	YES	7 GAL. 24" O.C
	CRINUM ASIATICUM CRINUM LILY	6	NO	7 GAL. 36" O.C
	CRINUM AUGUSTUM 'QUEEN EMMA' CRINUM LILY	20	NO	7 GAL. 36" O.C
	MULLENBERGIA CAPILLARIS MULLY GRASS	400	YES	3 GAL. 24" O.C
	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS	396	NO	3 GAL. 42" O.C
	TABERNAEMONTANA DIVARICATA PINWHEEL JASMINE	118	NO	3 GAL. 24" O.C
	TRIPSACUM FLORIDANA FLORIDA GAMMA GRASS	1007	YES	3 GAL. 36" O.C
TOTAL NATIVE SPECIES		2,764 2,028 (73.4%)		

Native Landscape Legend

PROPERTY ADDRESS:	THE COVE - 2784 S OCEAN BOULEVARD	
	REQUIRED	PROPOSED
LOT SIZE (SQ FT)	181,602 SF	181,602 SF
LANDSCAPE OPEN SPACE (LOS) (SQ FT AND %)	63,561 SF (35%)	62,996 (34.7%) SF
PERIMTETER LOS (SQ FT AND %)	N/A	N/A
FRONT YARD LOS (SQ FT AND %)	7,514 SF (72.9%)	8,728 SF (84.6%)
NATIVE TREES %	25 (35%)	65 (93%)
NATIVE PALMS %	34 (35%)	15 (16%)* SEE NOTE UNDER 'TREES & PALMS'
NATIVE SHRUBS %	732 (35%)	2,028 (73.4%)
NATIVE VINES / GROUND COVER %	1,648 (35%)	2,313 (55.2%)

ENVIRONMENT
DESIGN
GROUP

139 North County Road 520-B Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424

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dustin@environmentdesigngroup.com

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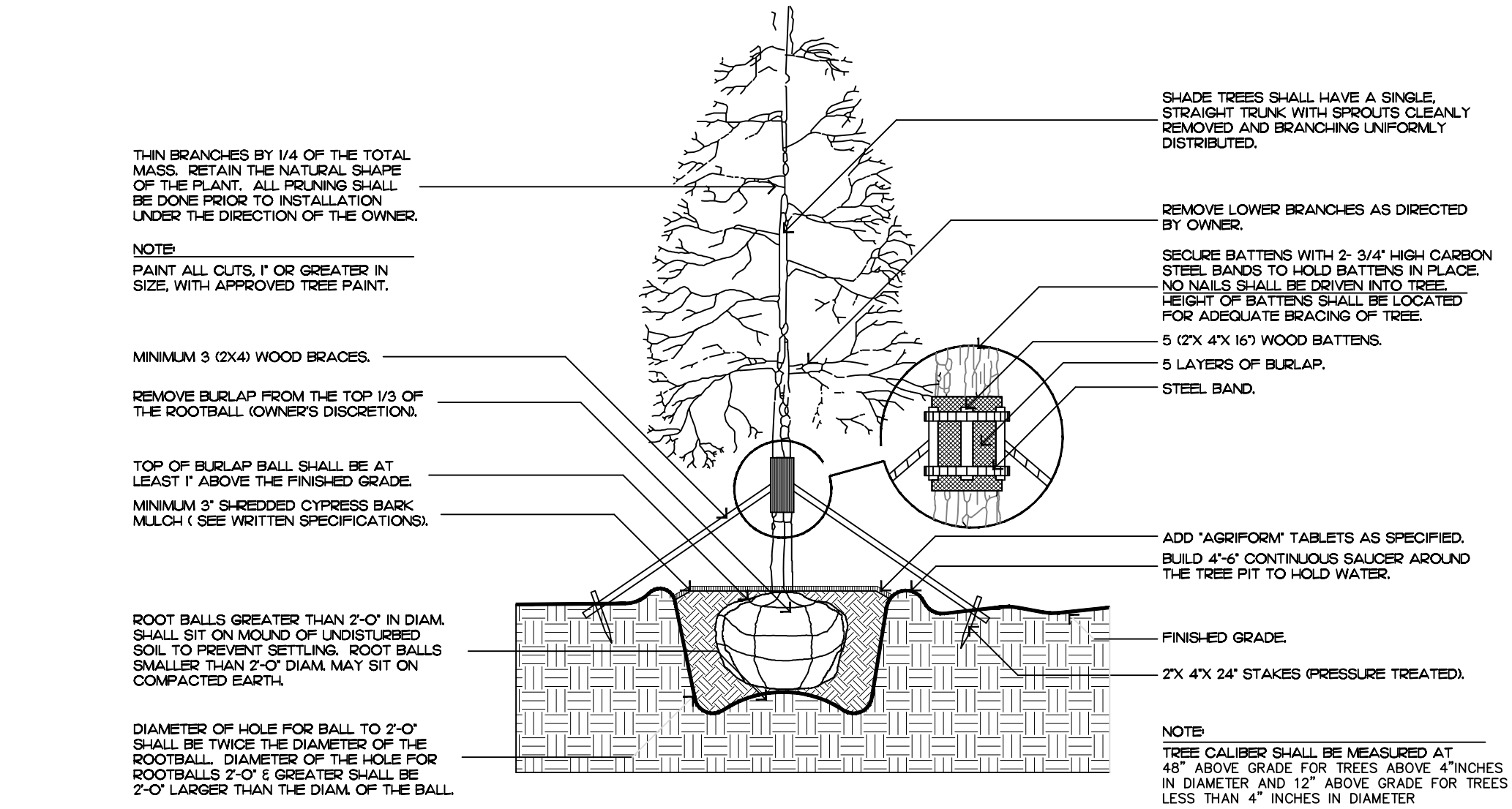
SHEET L8.3

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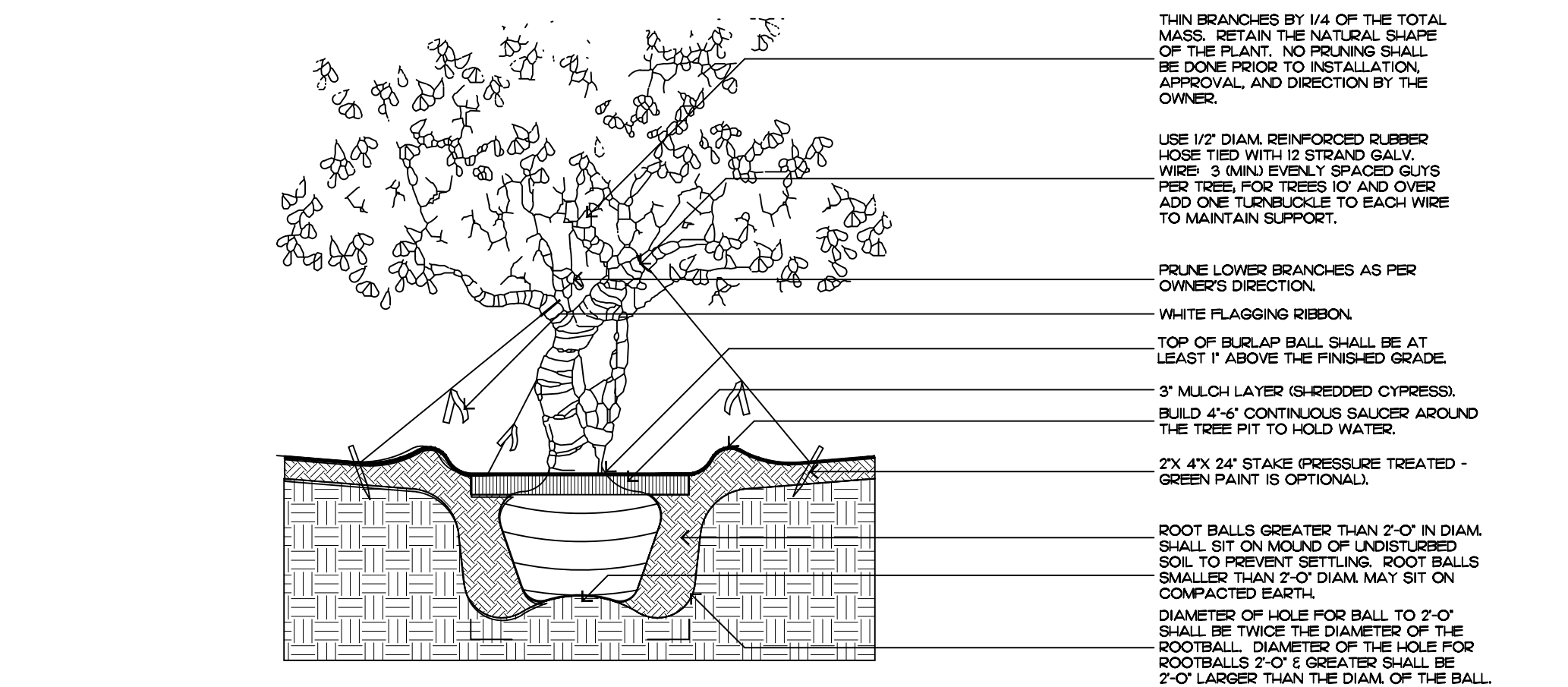
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ZON# 23-008
ARCOM# 22-245-2022
Plant Schedule



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

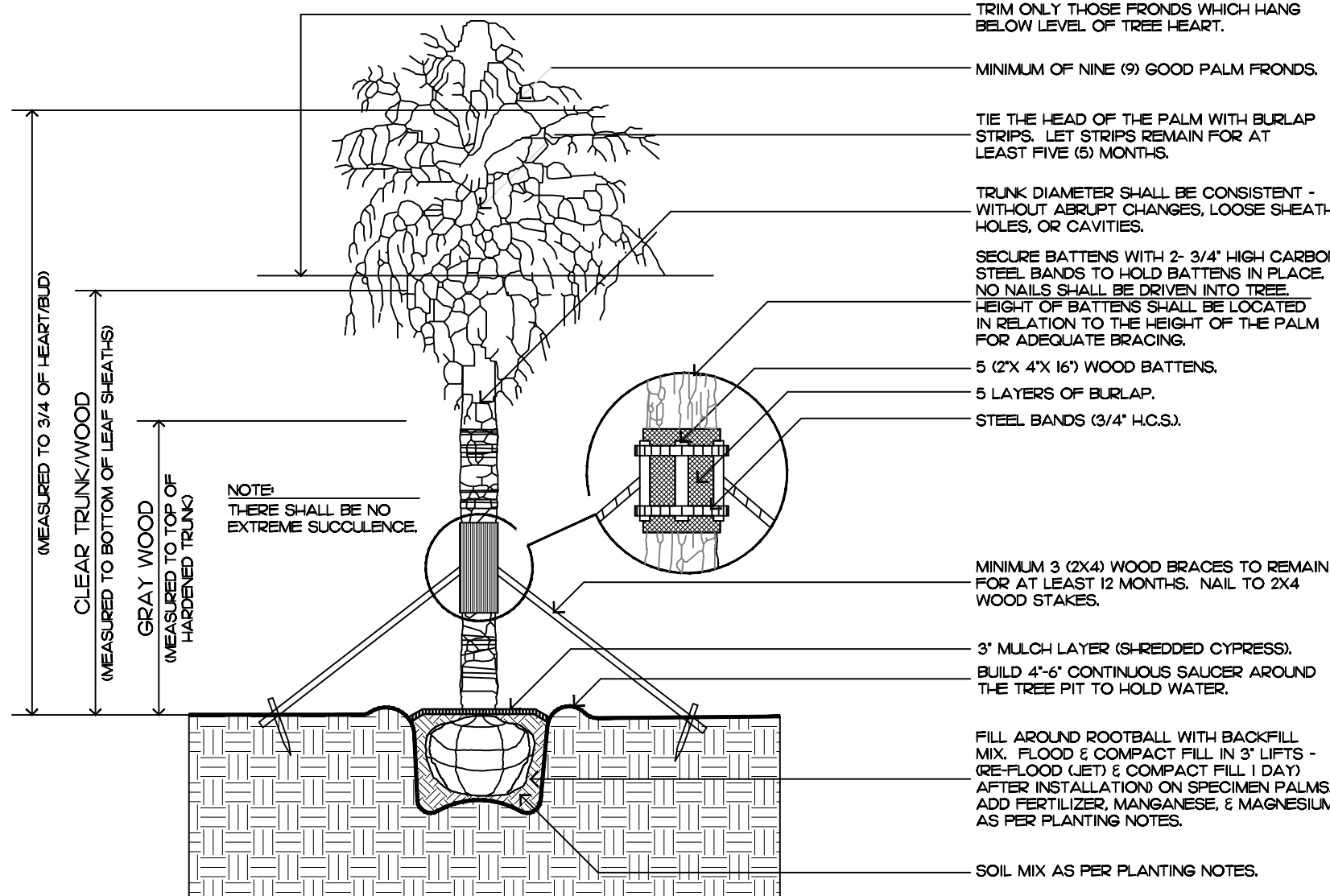
tree planting



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

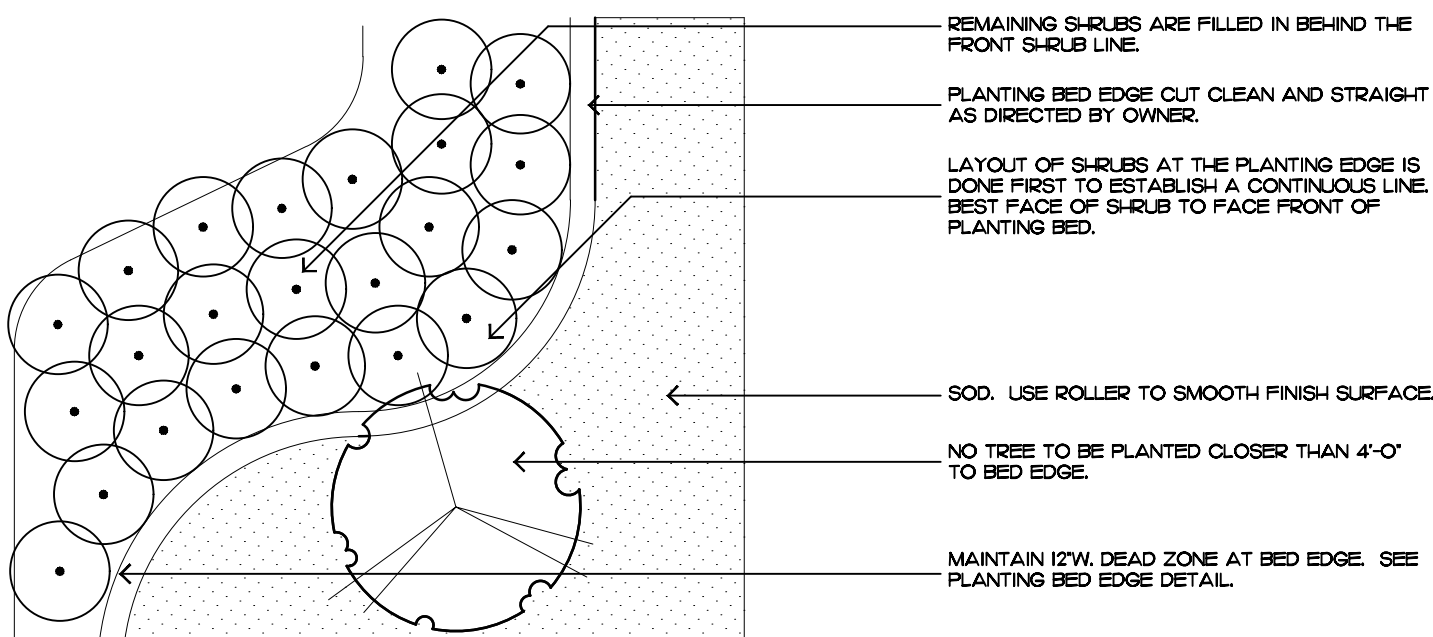
irregular and multi-stem tree

shrub planting



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

palm tree planting



shrub & ground cover layout

PLANTING NOTES

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC. IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SIX PERCENT (6%) NITROGEN
SIX PERCENT (6%) PHOSPHOROUS
SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND. CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTION:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BB MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF VY CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARRERD OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FEASIBLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" (S 1 & II), LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANOVES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANT AND SIZE SHOWN SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS. TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ZON# 23-008
ARCOM# 22-245-2022
Planting Details & Specifications

Lighting Schedule Parking & Entrances

FOR DETAILED DESCRIPTION SEE L9.I PHOTOMETRICS

SYMBOL	DESCRIPTION	QTY.
SLI-SL3	STREET LIGHTS - LITHONIA DSX-I-LE D-SERIES SIZE 1	28
ALI-AL2	COVERED PARKING AND PORT COCHERE: KENALL MR FFL - SURFACE MOUNT- LED	32



PARKING LOT LIGHTS

MILLENIUM EDGE™ MR13/MR17 SERIES - FLAT FACE LOW PROFILE

- PRODUCT FEATURES:
- » Surface mount - ceiling or wall;
 - » 13"Dia.x3"D (MR13FFL), 17"Dia.x4"D (MR17FFL)
 - » Peace of Mind Guarantee® against breakage available
 - » Dust and water protected to IP64 standards
 - » Full cut-off for IIDA-Approved™ Dark Sky installations - Ceiling Mount only.
 - » ADA compliant

COVERED AREAS CEILING MOUNT

Lighting Schedule Landscape Lighting

SYMBOL	DESCRIPTION	QTY.
UL1	UPLIGHT - AURORALIGHT - LSLIO AGAVE BRASS - 3 WATTS - LED 2700K SHROUD 60 ANGLED - OPTIC 40 WIDE	9
UL2	UPLIGHT - AURORALIGHT - HSLII-LM TAOS BRASS - 6 WATTS - LED 2700K SHROUD 60 ANGLED - OPTIC 40 WIDE	14
UL3-UL7	UPLIGHT - AURORALIGHT - HSLI6-LM TELLURIDE BRASS - 8 WATTS - LED 2700K SHROUD 60 ANGLED - OPTIC 40 WIDE	72



UP LIGHT- UL1



UP LIGHT- UL2



UP LIGHT- UL3-7

Lighting Plan

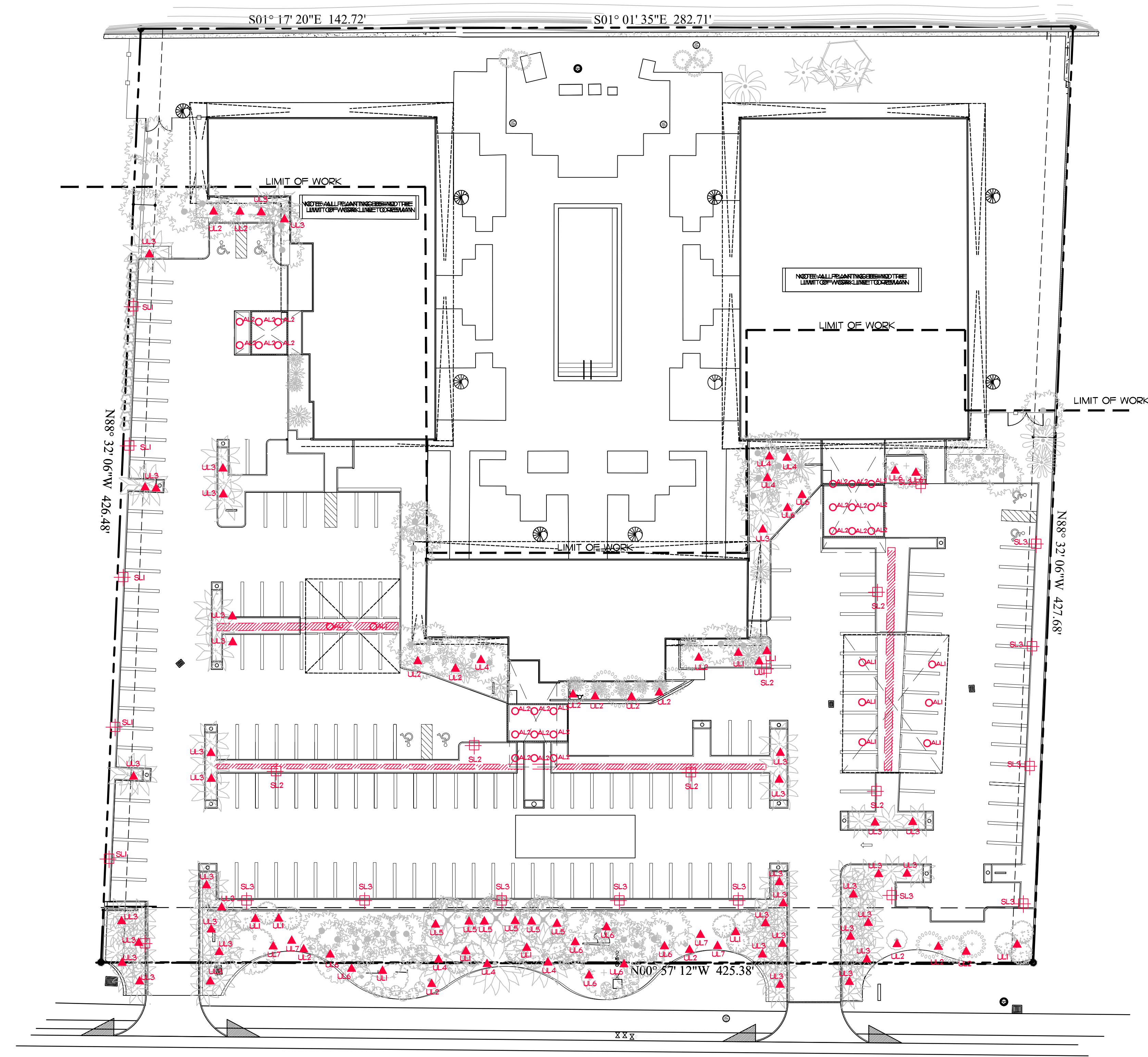
SCALE IN FEET 0' 30' 60' 90'

The Cove
2784 South Ocean Boulevard
Town of Palm Beach

JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottsegen
DATE: 11.28.2022

SHEET L9.0

64 sf.
AREA IN SQ.FT.



Proposed Electrical Conduit

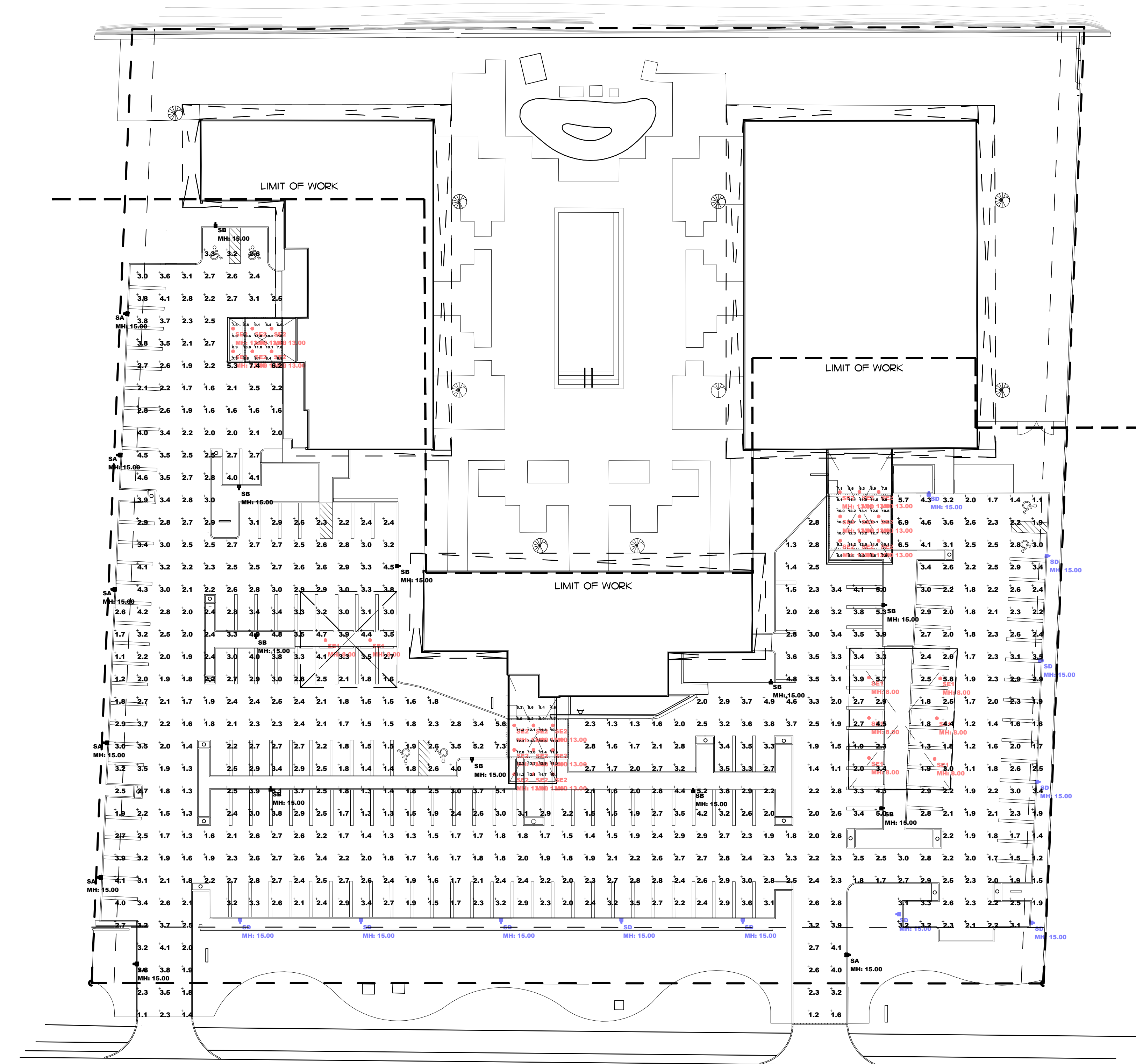


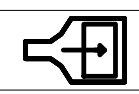
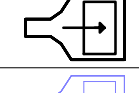
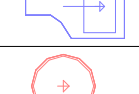
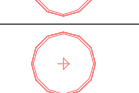
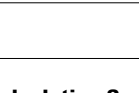
LOCATIONS FOR ELECTRICAL CONDUIT
FOR ELECTRICAL CHARGING STATIONS

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48 HOURS BEFORE DIGGING
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SUNSHINE STATE ONE CALL
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Luminaire Schedule: THE COVE, 2784 S OCENA - SITE_rev02 TOWN OF PALM BEACH, FL 11/21/2022										
Symbol	Qty	Label	Arrangement	Manufacturer	Catalog Number	Mounting	LLF	Luminaire Lumens	Luminaire Watts	Arrangement Watts
	7	SA	Single	Lithonia Lighting	DSXO LED P2 40K BLC MVOLT	POLE MOUNT A.F.G.	0.903	4925	49	49
	10	SB	Single	Lithonia Lighting	DSXO LED P6 40K TSW MVOLT	POLE MOUNT A.F.G.	0.903	16464	134	134
	11	SD	Single	Lithonia Lighting	DSXO LED P2 40K T4M MVOLT H5	POLE MOUNT A.F.G.	0.903	4563	49	49
	8	SE1	Single	Kenall	MR13FFL-PP-MW-10L40K-DCC-DV	SURFACE MOUNT A.F.F.	0.855	1111	12.95	12.95
	24	SE2	Single	Kenall	MR13FFL-PP-MW-20L40K-DCC-DV	SURFACE MOUNT A.F.F.	0.855	2145	23.56	23.56

Calculation Summary: THE COVE, 2784 S OCENA - SITE_rev02 TOWN OF PALM BEACH, FL 11/21/2022							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE CANOPY (center)	Illuminance	Fc	10.58	13.8	4.6	2.30	3.00
ENTRANCE CANOPY (left side)	Illuminance	Fc	8.89	11.0	6.5	1.37	1.69
ENTRANCE CANOPY (right side)	Illuminance	Fc	10.54	13.6	6.9	1.53	1.97
PARKING LOT	Illuminance	Fc	2.63	7.4	1.1	2.39	6.73

JOB NUMBER: # 18024.00 LA
DRAWN BY: Erika Gottsegen
DATE: 11.28.2022

SHEET L9.1

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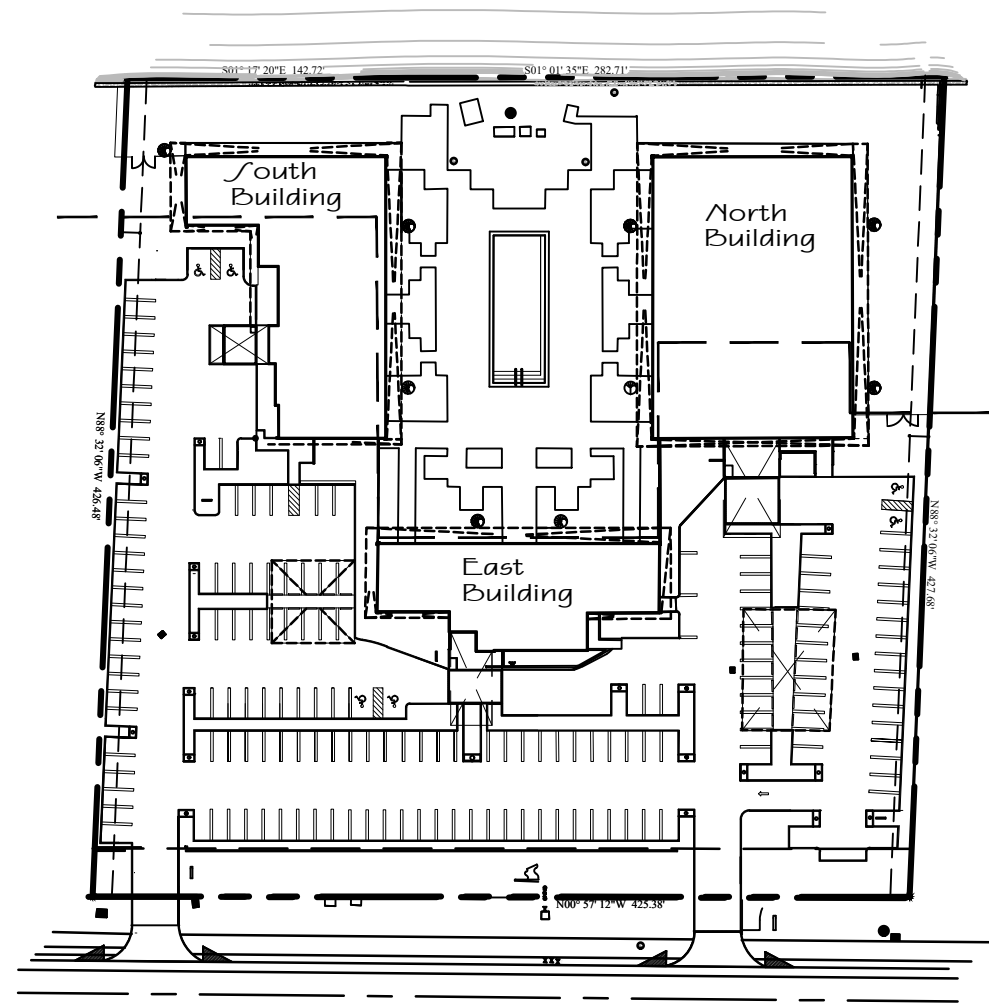
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Photometrics



900 sf.

AREA IN SQ.FT.



Site Plan
SCALE 1" = 100'



Interior East Elevation - North Building



East Elevation - North Building

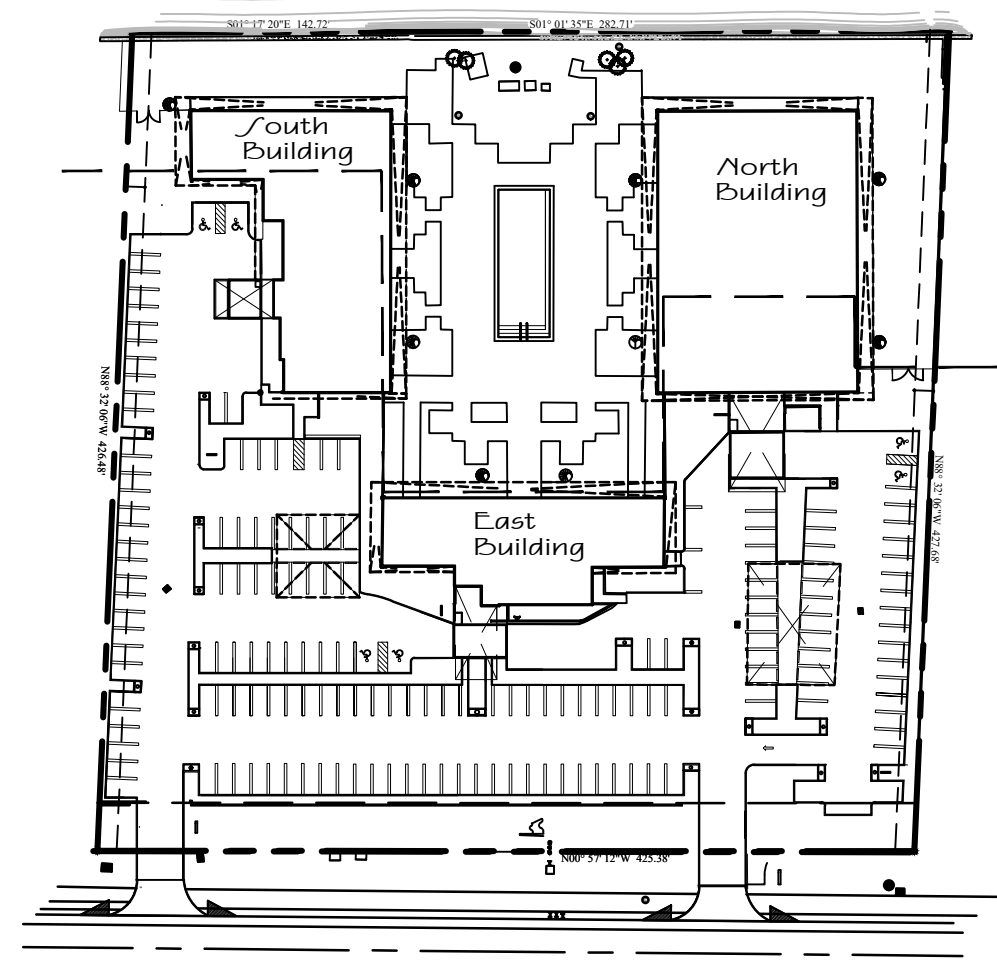
The Cove
2784 South Ocean
Town of Palm Beach

JOB NUMBER: # 18024.00 LA
DRAWN BY: James Aparicio
Lauren Freeman
DATE: 11.17.2021
11.28.2022

SHEET L10.0

ZON# 23-008
ARCOM# 22-245-2022

Rendered Landscape Elevations



Site Plan

SCALE 1" = 100'



East Elevation - East Building



South Elevation - South Building

The Cove
2784 South Ocean
Town of Palm Beach

JOB NUMBER: # 18024.00 LA
DRAWN BY: James Aparicio
Lauren Freeman
DATE: 11-17-2021

SHEET L10.1

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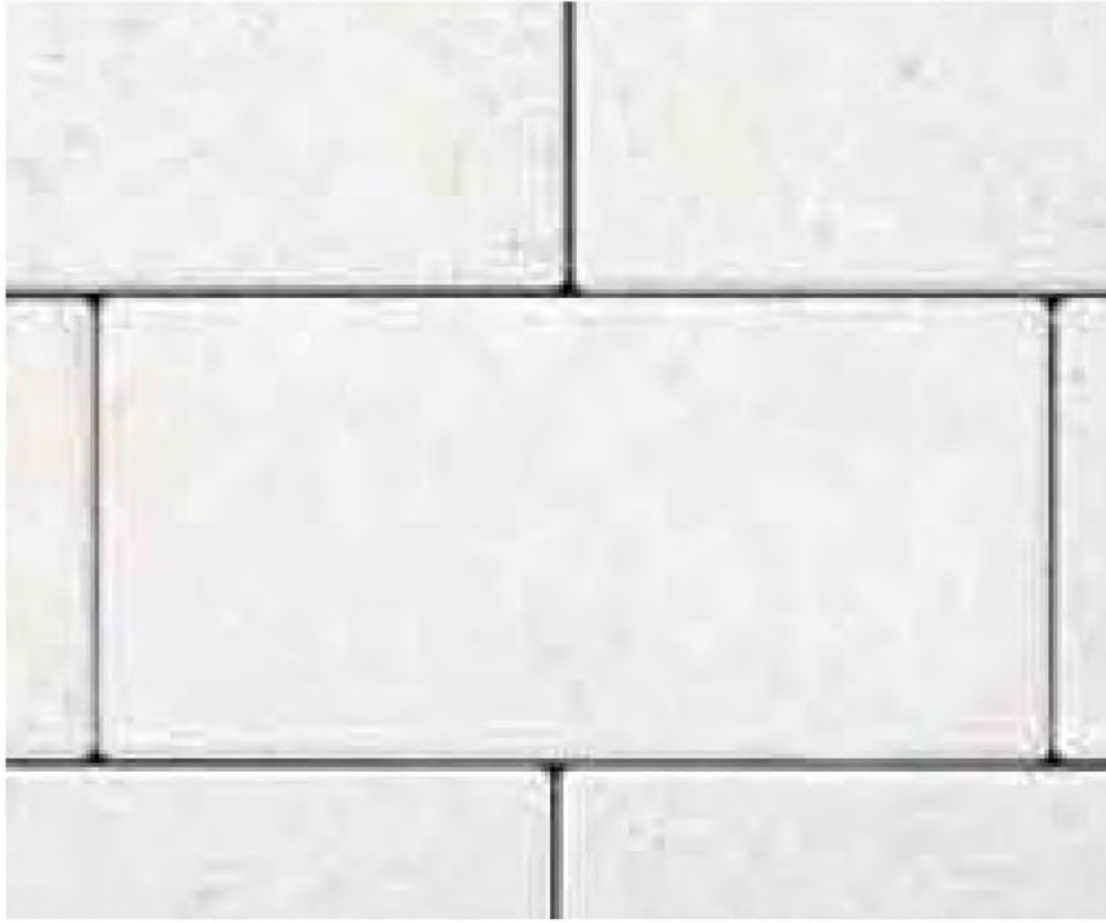
Rendered Landscape Elevations



BELGARD CATALINA SLATE

Belgard Paver

Entry Paving from South Ocean Boulevard
& Drop off Areas



BELGARD MODULINE WHITE

Belgard Paver

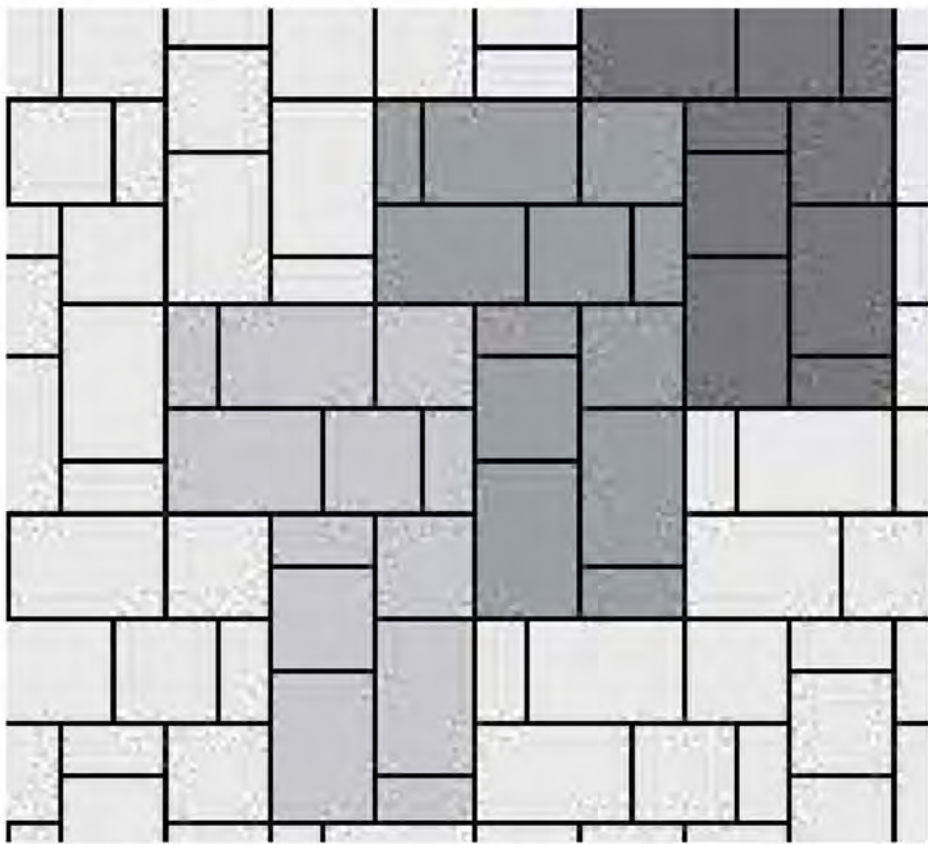
Paving stripes for Parking stalls



BELGARD CATALINA TITANIUM

Belgard Paver

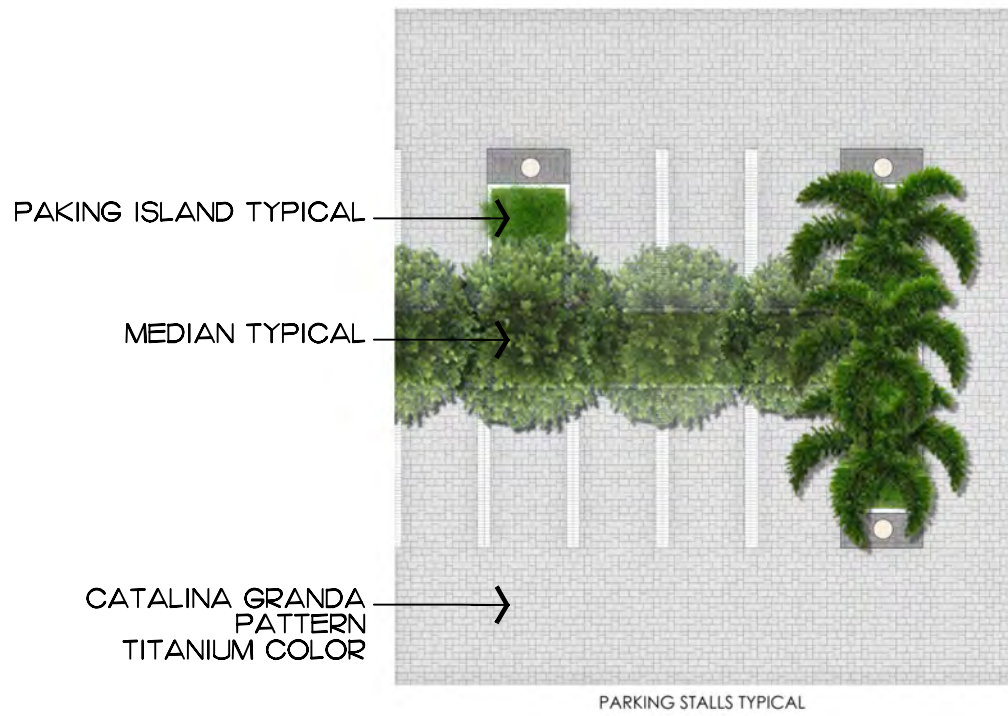
For the Majority of Parking lot



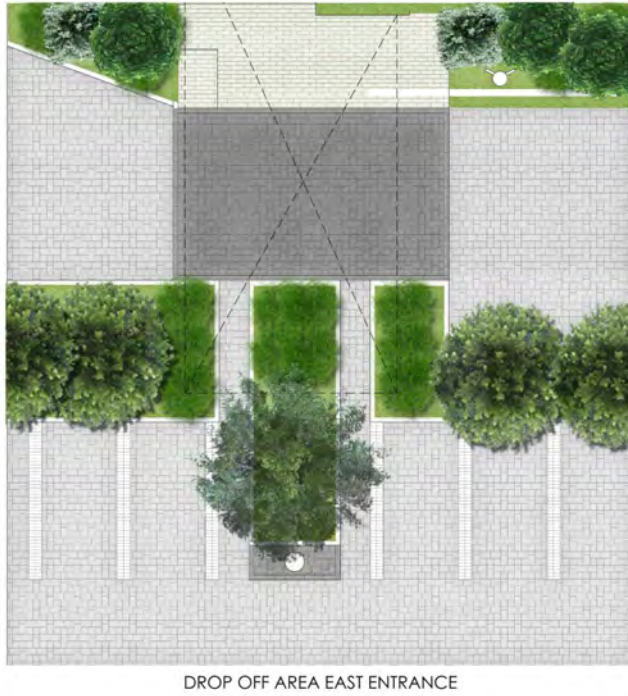
CATALINA GRANA PATTERN
3-PIECE PATTERN 'B'

Belgard Paver

Proposed Paving Pattern



Parking and Building Entrance



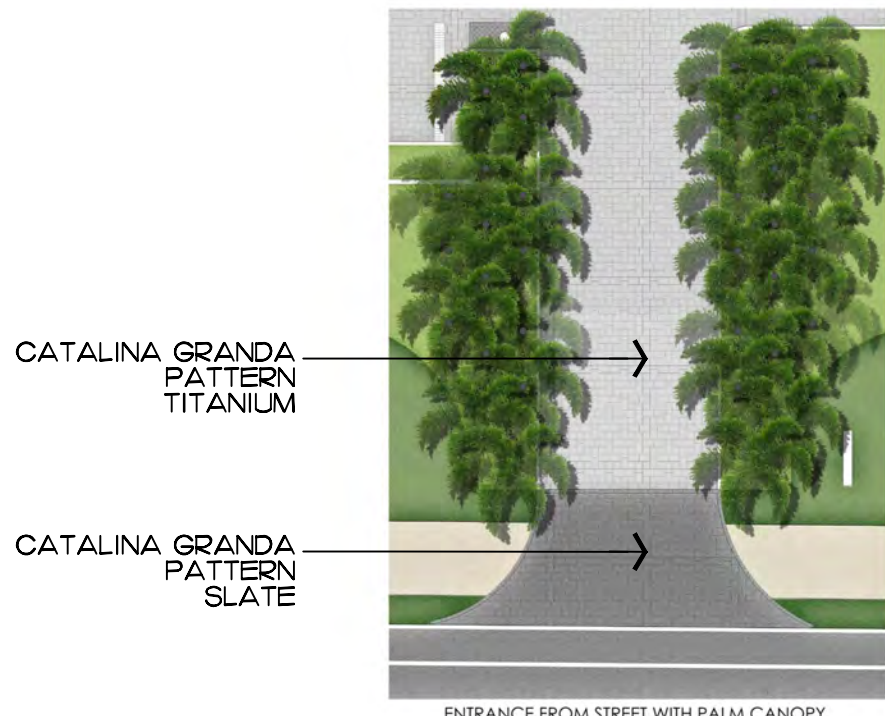
DROP OFF AREA EAST ENTRANCE



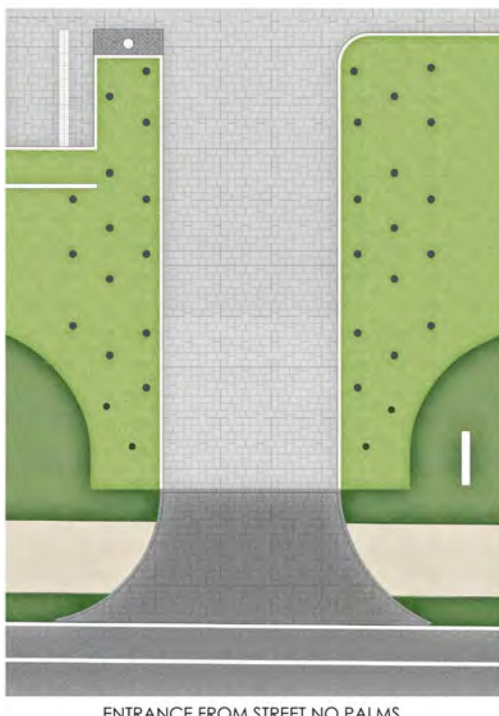
FOXTAIL PALMS & ORNAMENTAL GRASSES



CATALINA GRANA PATTERN WITH DARK BORDER



Entrance from South Ocean



ENTRANCE FROM STREET NO PALMS