

RECEIVED
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THE PALM HOUSE

160 ROYAL PALM WAY
PALM BEACH, FLORIDA 33480

RECOMMENDATIONS FOR IMPROVEMENTS AND COMPLETION

ARCOM FIRST SUBMITTAL
ARC-23-002
(ZON-23-015)
JANUARY 25TH, 2023

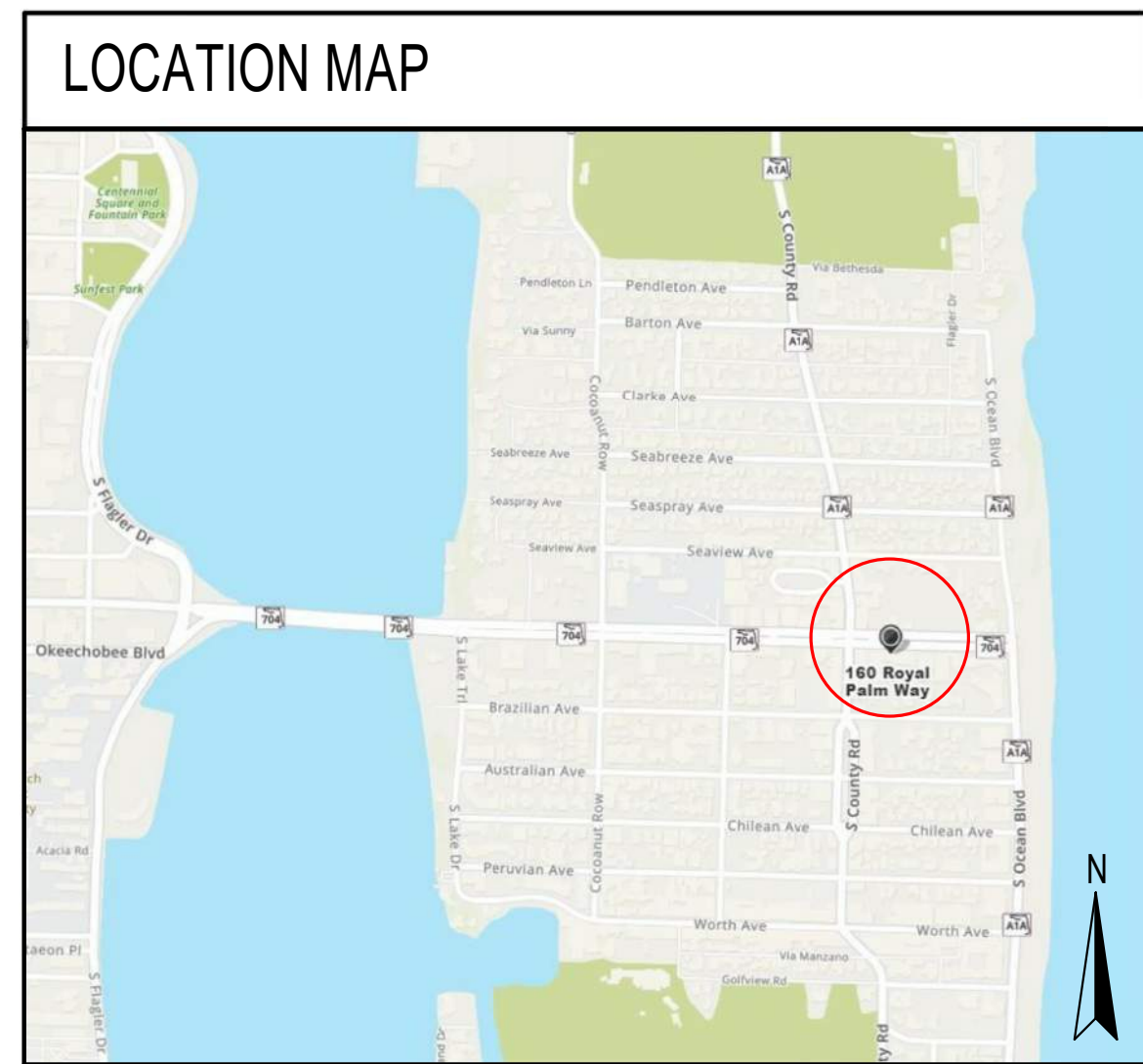
DRAWING INDEX - FINAL SUBMITTAL	
SHEET NO.	SHEET NAME
A000	COVER SHEET
A002	VICINITY MAP
A003	ADJACENT PROPERTIES
A004	ADJACENT PROPERTIES
A005	ADJACENT PROPERTIES
A006	ADJACENT PROPERTIES
A104.A	SITE PLAN - PROPOSED
A106	PROPOSED IMPROVEMENTS
A107.A	EXTERIOR ELEVATIONS - WEST
A107.B	EXTERIOR ELEVATIONS - NORTH
A107.C	ELEVATION - NEW PLANTER WALL
A113	BUILDING SECTION - NORTH/SOUTH
A120.A	LANDSCAPE MODIFICATIONS
A120.B	HARDSCAPE MODIFICATIONS
A120.C	LANDSCAPE PLAN
A205	CONSTRUCTION LOGISTICS
A501	POOL DECK LIGHTING/PHOTOMETRIC PLAN
A502	POOL DECK LIGHTING INFORMATION
C-400	PAVING, GRADING AND DRAINAGE PLAN



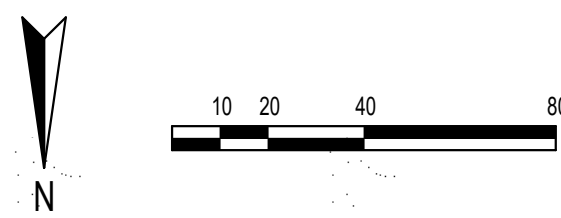
The Palm House Hotel
160 Royal Palm Way



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JANUARY 25TH, 2023 | ZON-23-015



STREETSCAPE PLAN

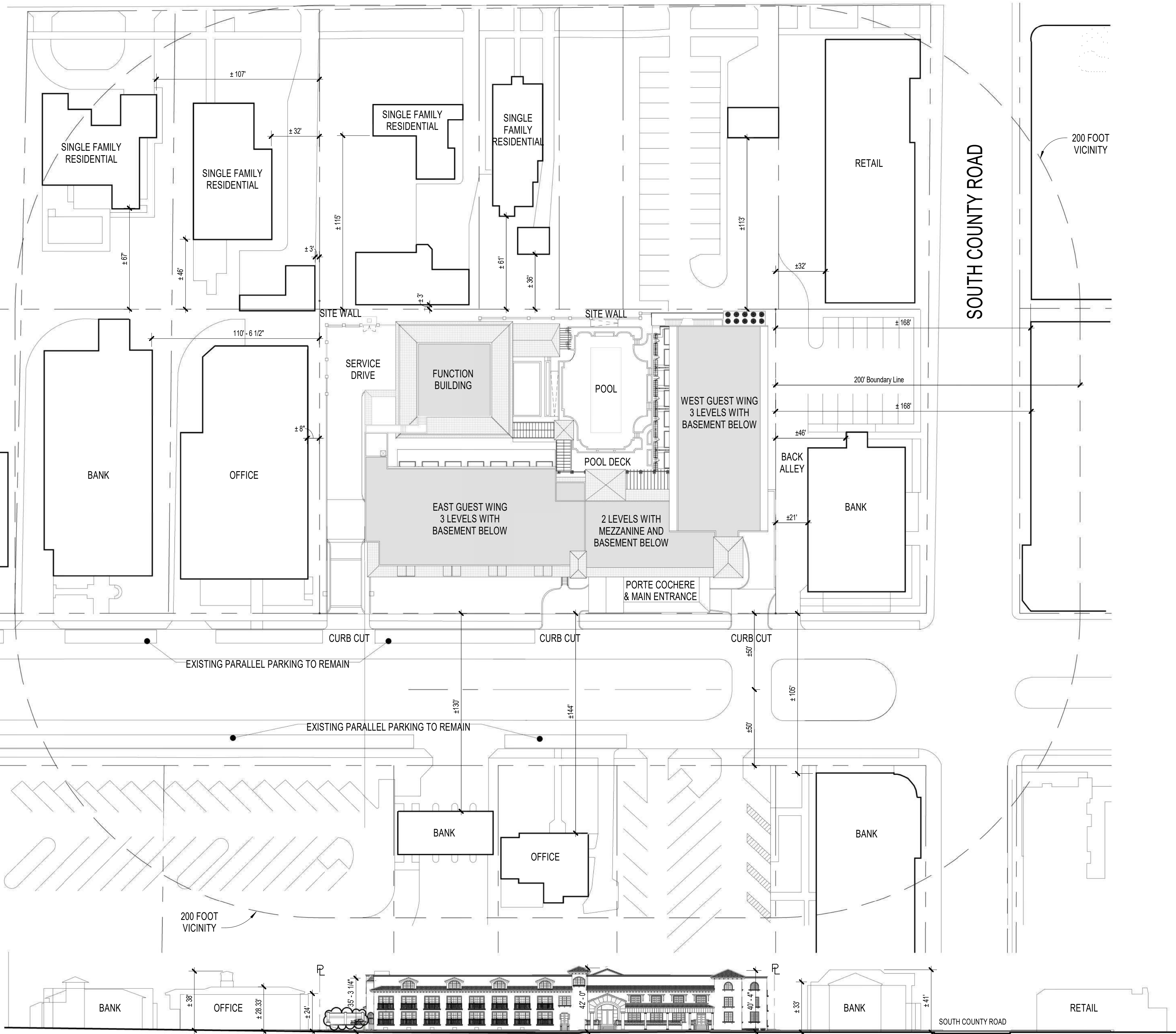


ROYAL PALM WAY

SOUTH OCEAN BOULEVARD

BRAZILIAN AVENUE

SOUTH COUNTY ROAD



STREETSCAPE ELEVATION



The Palm House Hotel
160 Royal Palm Way





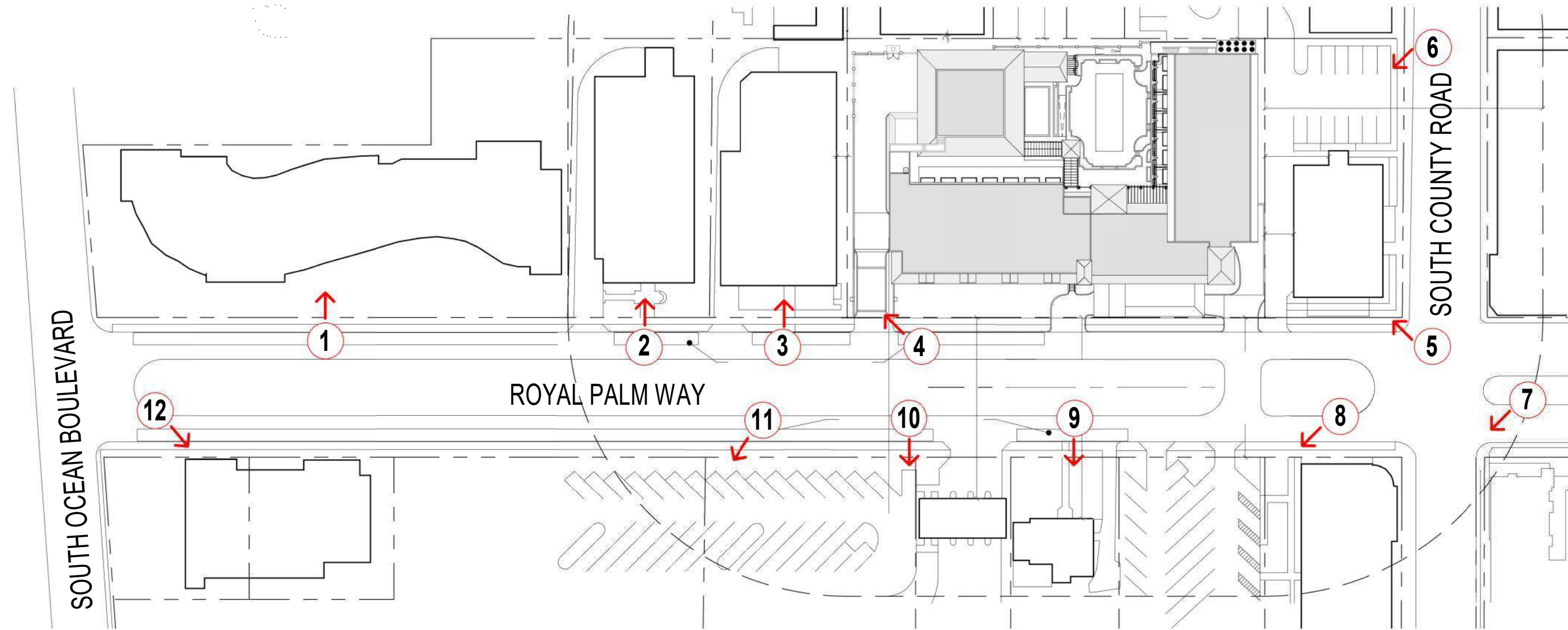
1 ONE ROYAL PALM WAY CONDOMINIUMS



2 BANK OF AMERICA



3 CELEDINAS INSURANCE GROUP





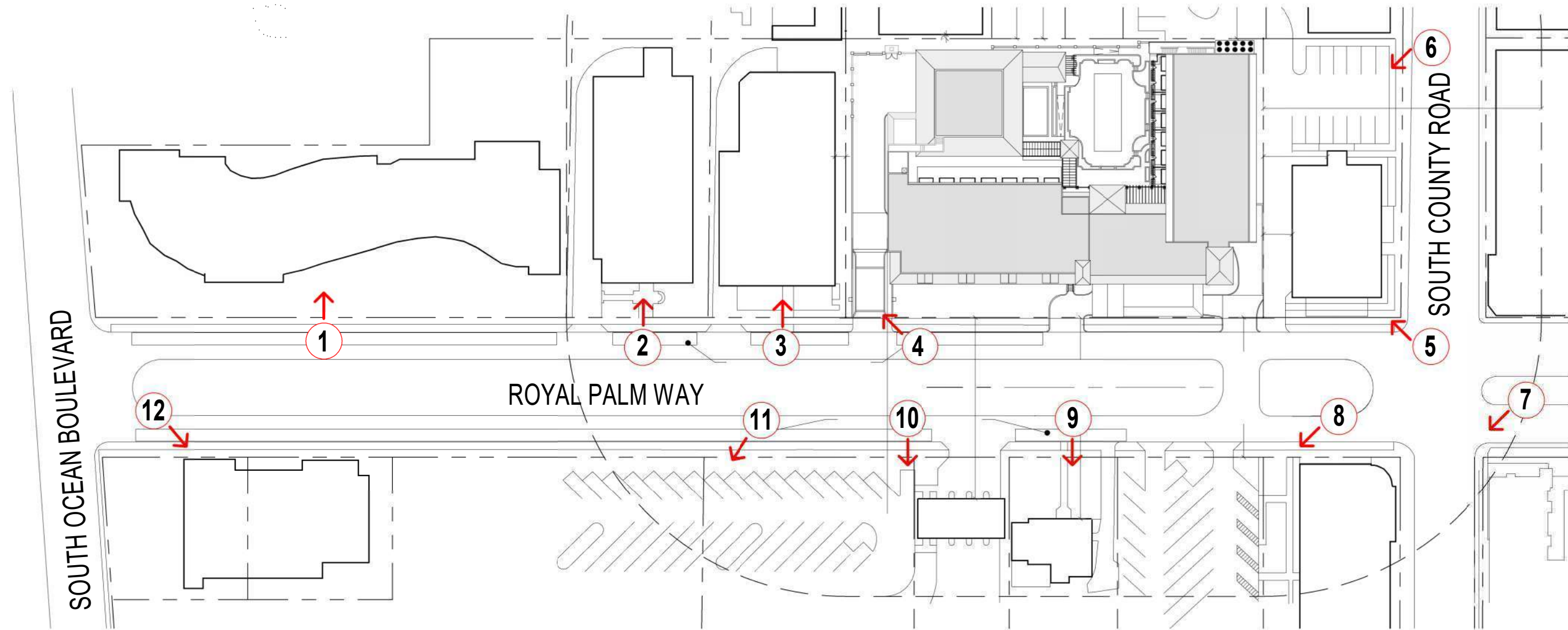
4



5 IBERIA BANK



6 IBERIA BANK PARKING



ADJACENT PROPERTIES

A004



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ARC-23-002
ZON-23-015



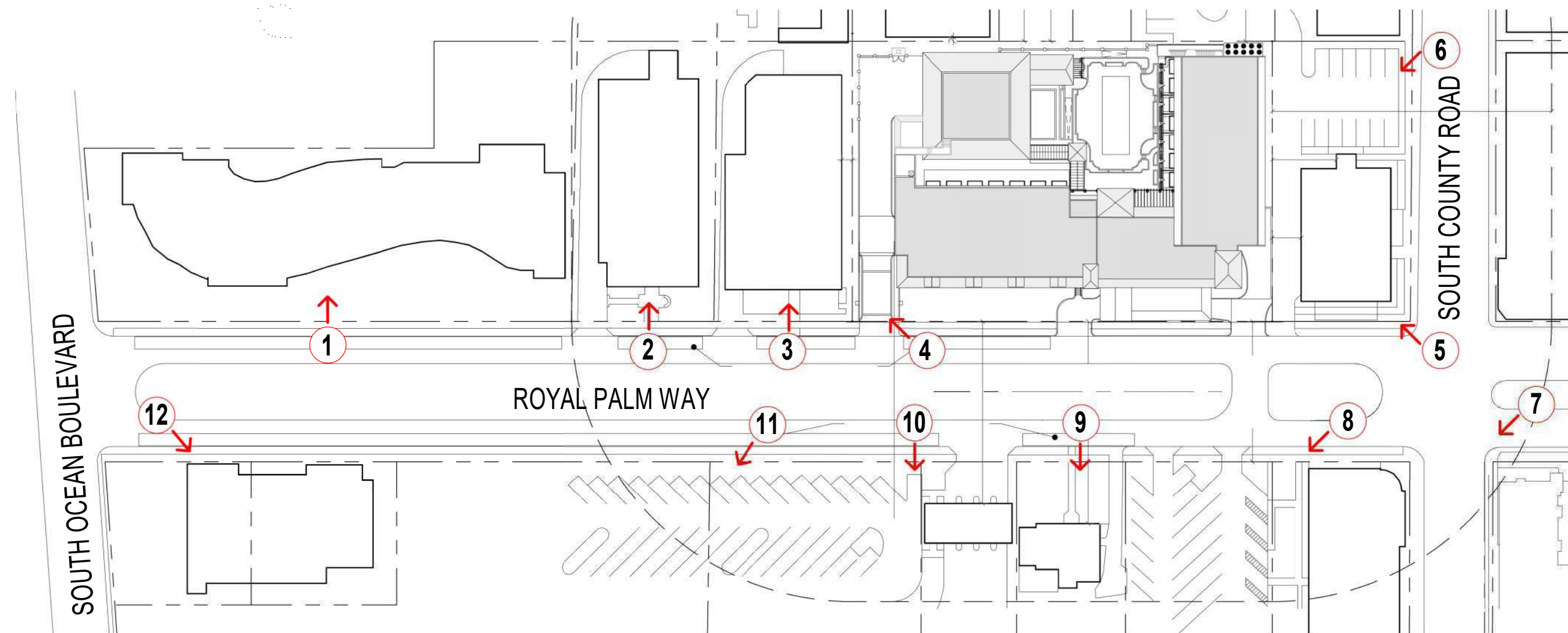
7 J.P. MORGAN BANK



8 WELLS FARGO BANK



9 GUNSTER BUILDING



ADJACENT PROPERTIES

A005



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JANUARY 25TH, 2023
ARC-23-002
ZON-23-015



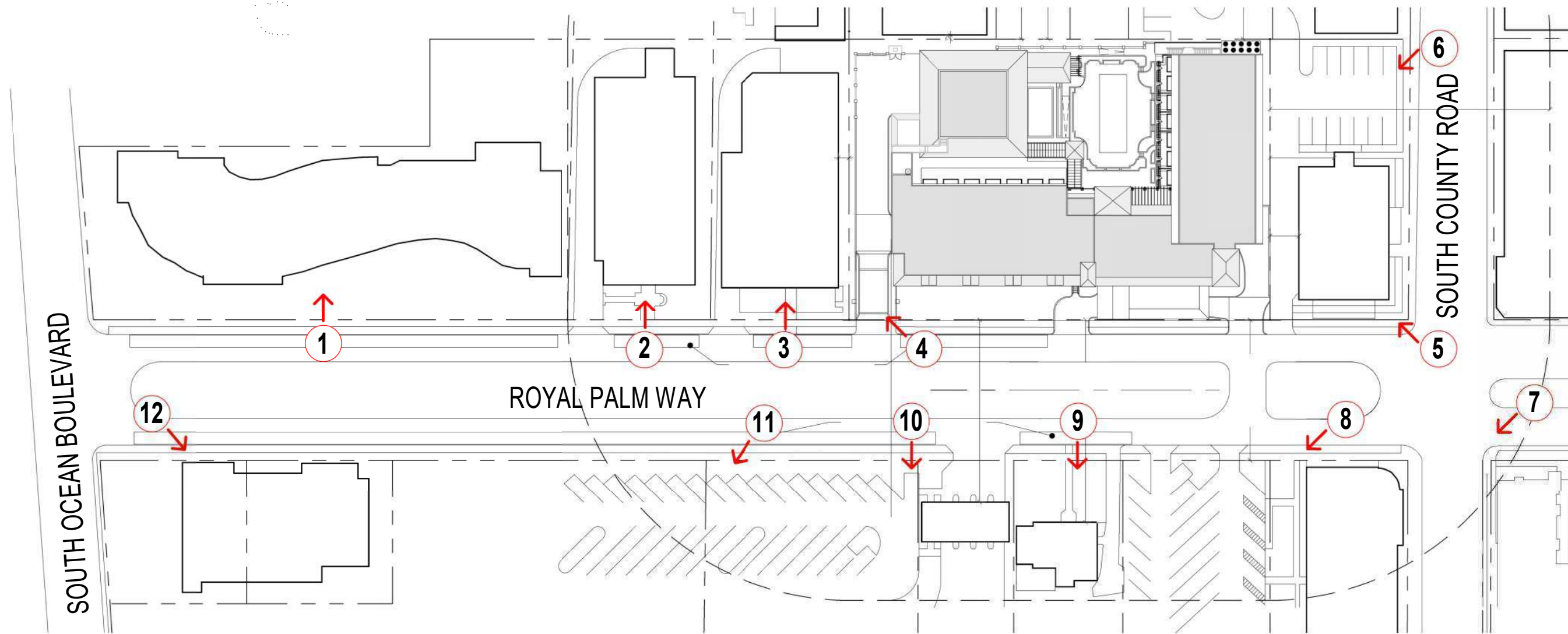
10 WELL FARGO BANK

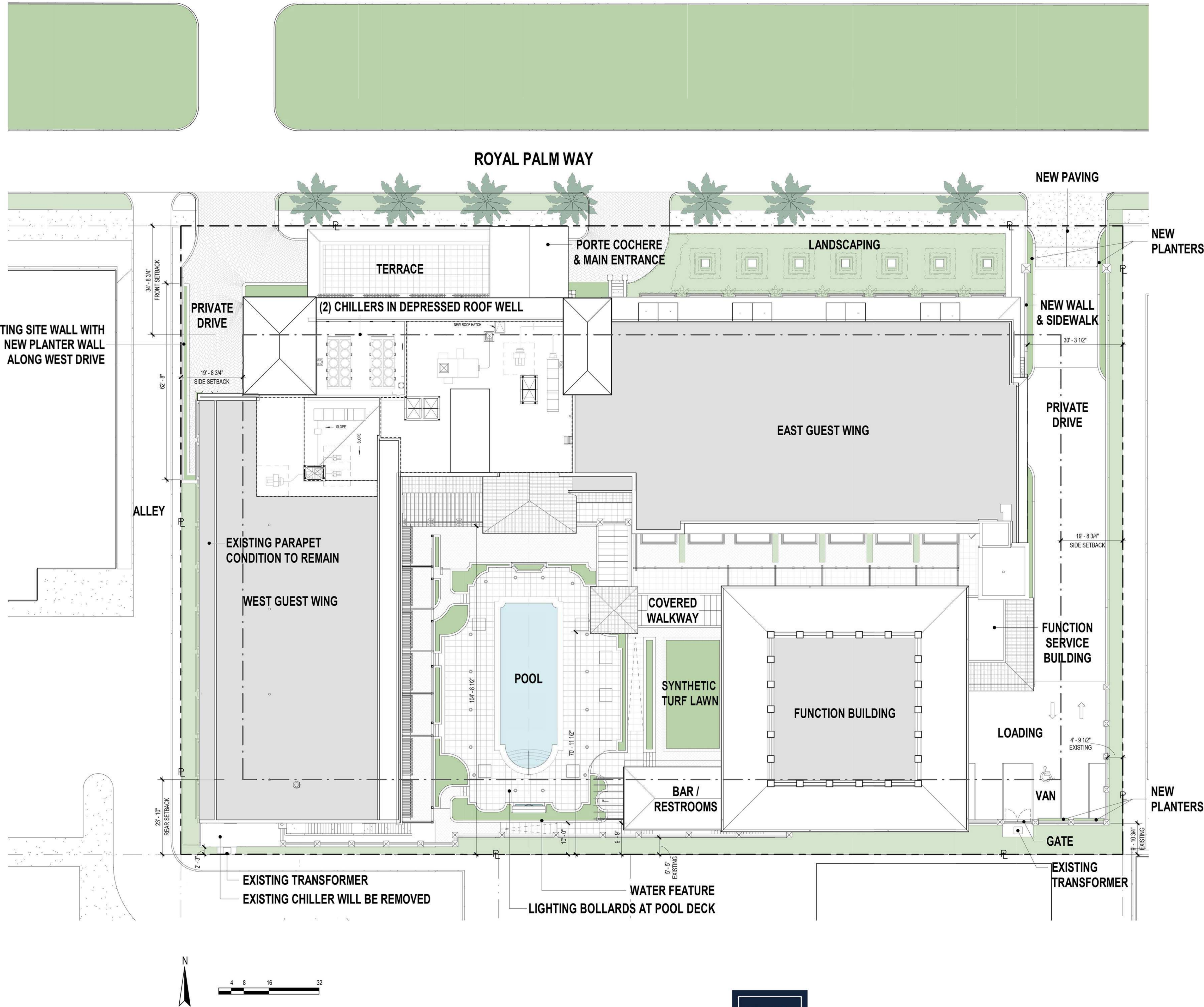


11 PARKING - SURFACE LOT



12 109 RESIDENTIAL BUILDING



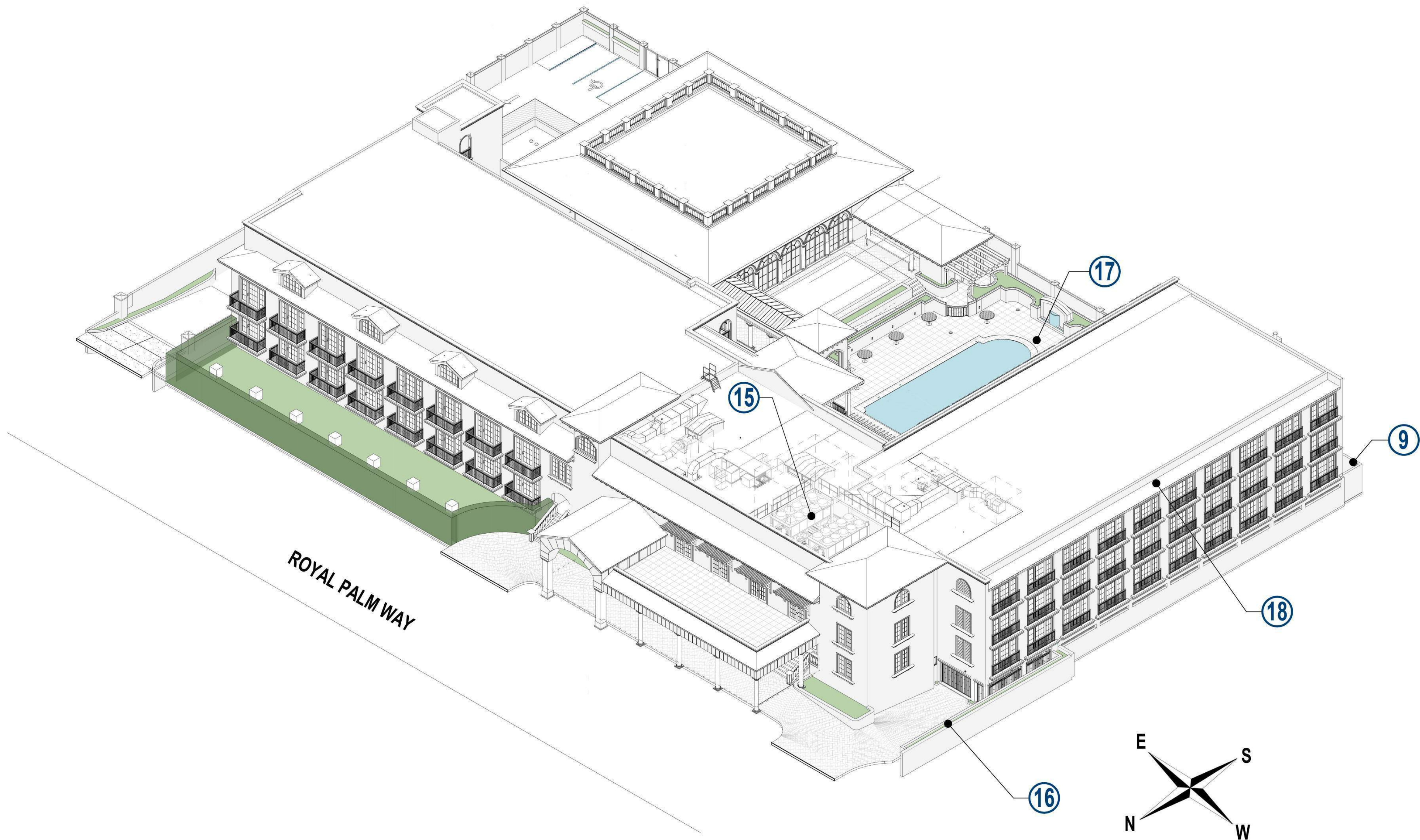


LEGAL DESCRIPTION			
LOTS 31, 32 AND 33, BLOCK F, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.			

ZONING TABULATIONS: ZONE CB			
ZONING ISSUE	REQUIRED / ALLOWED	PREVIOUSLY APPROVED	PROPOSED
USE	CONDO HOTEL	HOTEL	HOTEL
LOT AREA	15,000 SF MIN.	NO CHANGE	NO CHANGE
WIDTH	100 SF MIN.	NO CHANGE	NO CHANGE
DEPTH	150 SF MIN.	NO CHANGE	NO CHANGE
DENSITY	26 UPA MAX.	52.7 UPA	NO CHANGE
GUEST ROOMS	79 GUEST ROOMS	79 GUEST ROOMS	NO CHANGE
SET BACKS	REQUIRED / ALLOWED	PREVIOUSLY APPROVED	
FRONT YARD	(25 FT + 1 FT / EACH 2 FT OF HEIGHT OVER 15 FT) 34.72 FT	0.7 FT AT PORTE COCHERE 24.7 FT (NO CHANGE)	NO CHANGE
SIDE YARD	(5 FT + 1 FT / EACH 2 FT OF HEIGHT OVER 15 FT) 19.72 FT	5.7 FT AT WEST 29.9 FT AT EAST (NO CHANGE)	NO CHANGE
REAR YARD	(15 FT + 1 FT / EACH 2 FT OF HEIGHT OVER 15 FT) 23.88 FT	10 FT (NO CHANGE)	NO CHANGE
BUILDING			
GROSS FLOOR AREA	-	83,777 SF	NO CHANGE
TOTAL GFA w/GARAGES	-	106,117 SF	NO CHANGE
HEIGHT	25 FT / 2 FLOORS	34.61 FT/3 FLOORS (NO CHANGE)	NO CHANGE
OVERALL HEIGHT	30 FT AT FLAT ROOF 35 FT AT OTHER ROOFS	35.27 FT PARAPET (NO CHANGE) 40.27 FT TOWER (NO CHANGE)	NO CHANGE
LOT COVERAGE	50% (30,000 SF) MAX.	63.8% (38,397 SF)	NO CHANGE
LENGTH	150 FT	NO CHANGE	NO CHANGE
LANDSCAPE			
LANDSCAPE AREA	30% (18,064 SF) MIN.	10% (6,207 SF)	NO CHANGE
FRONT YARD	35% (6,300 SF) MIN.	39% (2,884 SF)	NO CHANGE
NATIVE VEGETATION	25% (4,500 SF) MIN.	41% (3,059 SF)	NO CHANGE
FEMA FLOOD ZONE	ZONE X - AREA OF MINIMAL FLOOD HAZARD		

APPLICABLE CODES	
BUILDING	2017 Florida Building Code – Building, 6 th Edition (FBC) (2015 International Building Code, with amendments) 2017 Florida Building Code – Existing Building Code 6 th Edition (FIBC) (2015 International Existing Building Code, with amendments)
FIRE & LIFE SAFETY	2017 Florida Fire Prevention Code, 6 th Edition (FFPC) • 2015 NFPA 1 – Fire Code, with amendments (FFPC – 1) • 2015 NFPA 101 – Life Safety Code, with amendments (FFPC – 101)
ENERGY	2017 Florida Building Code – Energy Conservation, 6 th Edition (FECC) (2015 International Energy Conservation Code, with amendments)
ACCESSIBILITY	2017 Florida Building Code – Accessibility, 6 th Edition (FAC) (2010 ADA standards for Accessible Design – incorporates 28 CFR Part 35, 28 CFR part 36, 2005 ADAAG, and 49 CFR part 37)
ELECTRICAL	2017 Florida Building Code – Electrical, 6 th Edition (FEC) (2014 NFPA 70 – National Electric Code (NEC), with amendments)
MECHANICAL	2017 Florida Building Code – Mechanical, 6 th Edition (FMC) (2015 International Mechanical Code, with amendments)
PLUMBING	2017 Florida Building Code – Plumbing, 6 th Edition (FPC) (2015 International Plumbing Code, with amendments)
ELEVATOR	2017 Florida Building Code – Building, 6 th Edition • Chapter 30 and Referenced Standards of Chapter 30 • Department of Business and Professional Regulation Chapter 399 • Rule 615-C of the Florida Administrative Code





PROPOSED IMPROVEMENTS

9	Remove existing chiller.
15	Modified roof area with new chiller.
16	Existing site wall with new planter wall along west drive.
17	New bollard lighting at pool deck, refer to A501 for pool deck lighting plan.
18	Existing parapet condition to remain.


PROPOSED IMPROVEMENTS

A106



The Palm House Hotel
160 Royal Palm Way





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OVERALL WEST ELEVATION - PROPOSED



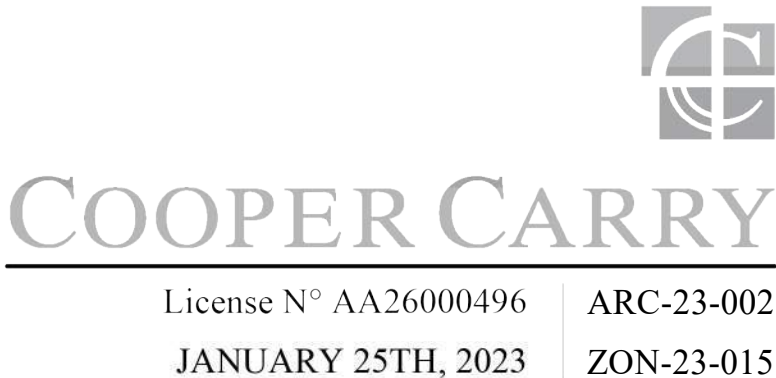
OVERALL WEST ELEVATION - ARCOM APPROVED



OVERALL WEST ELEVATION - EXISTING



The Palm House Hotel
160 Royal Palm Way

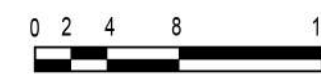


EXTERIOR ELEVATIONS - WEST

A107.A



OVERALL NORTH ELEVATION - PROPOSED



OVERALL NORTH ELEVATION - ARCOM APPROVED



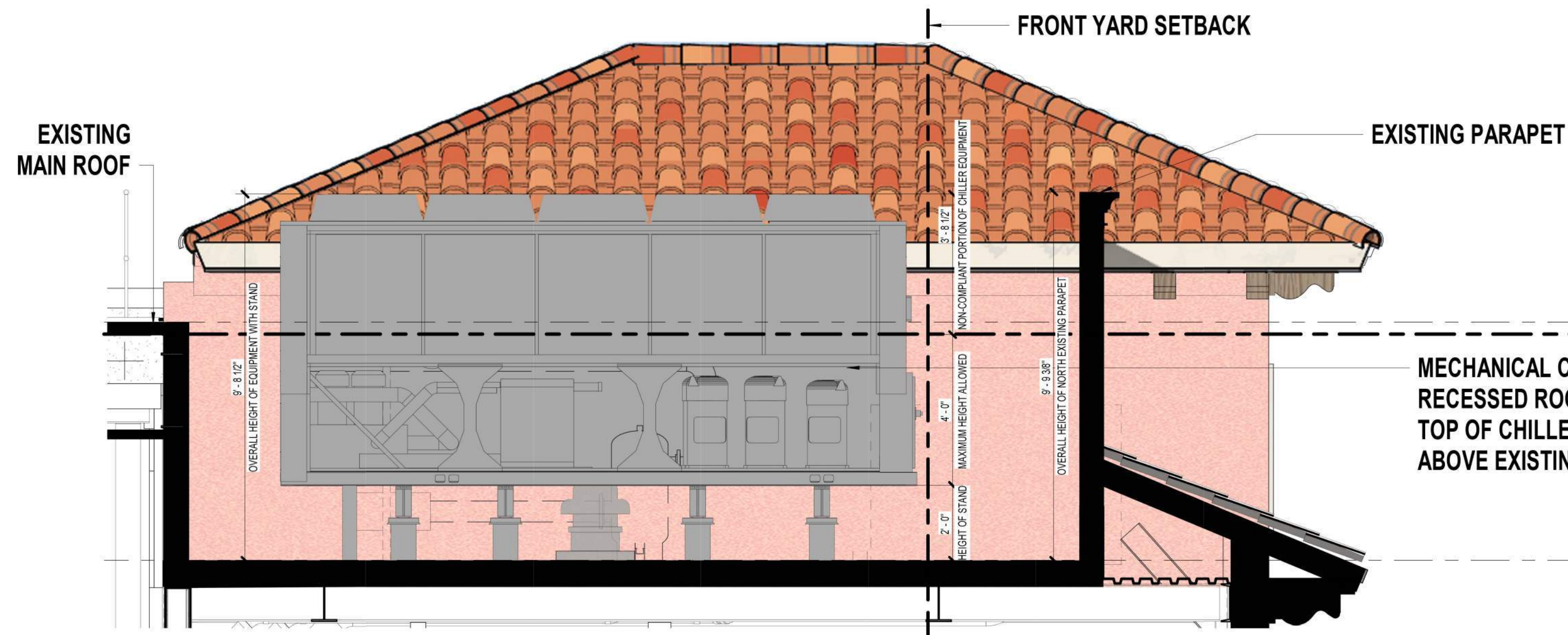
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160 Royal Palm Way



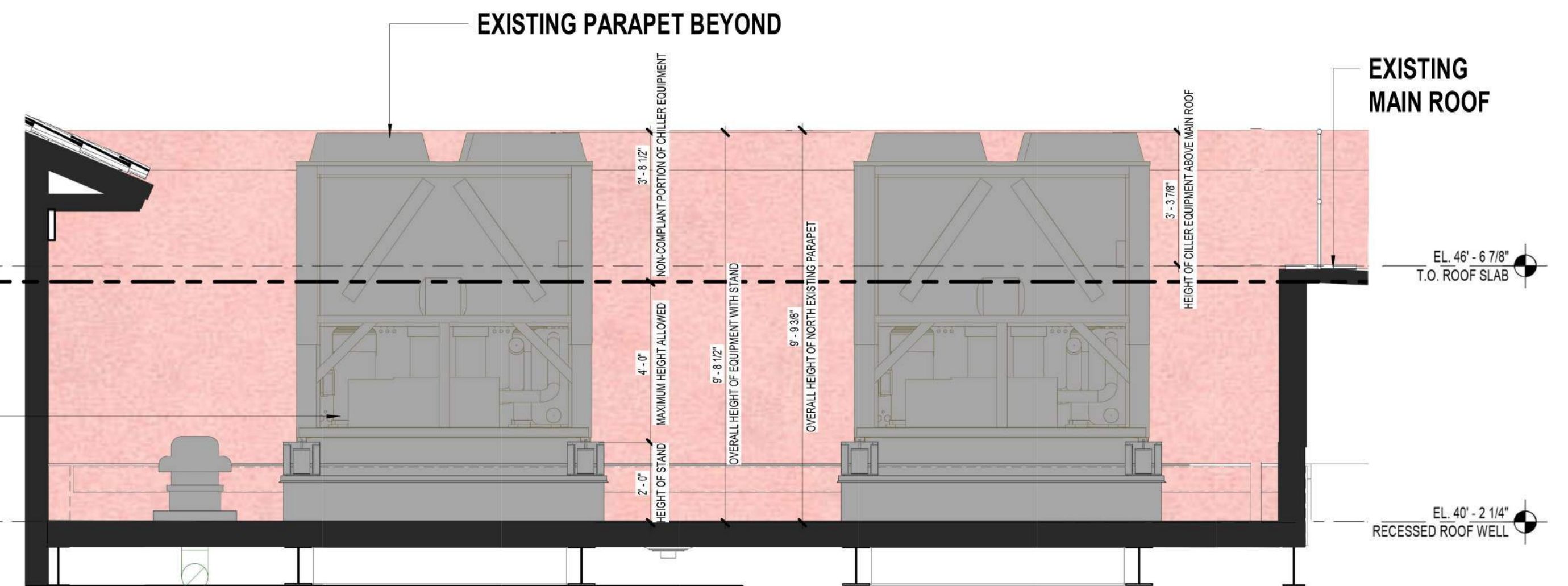
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EXTERIOR ELEVATION - NORTH

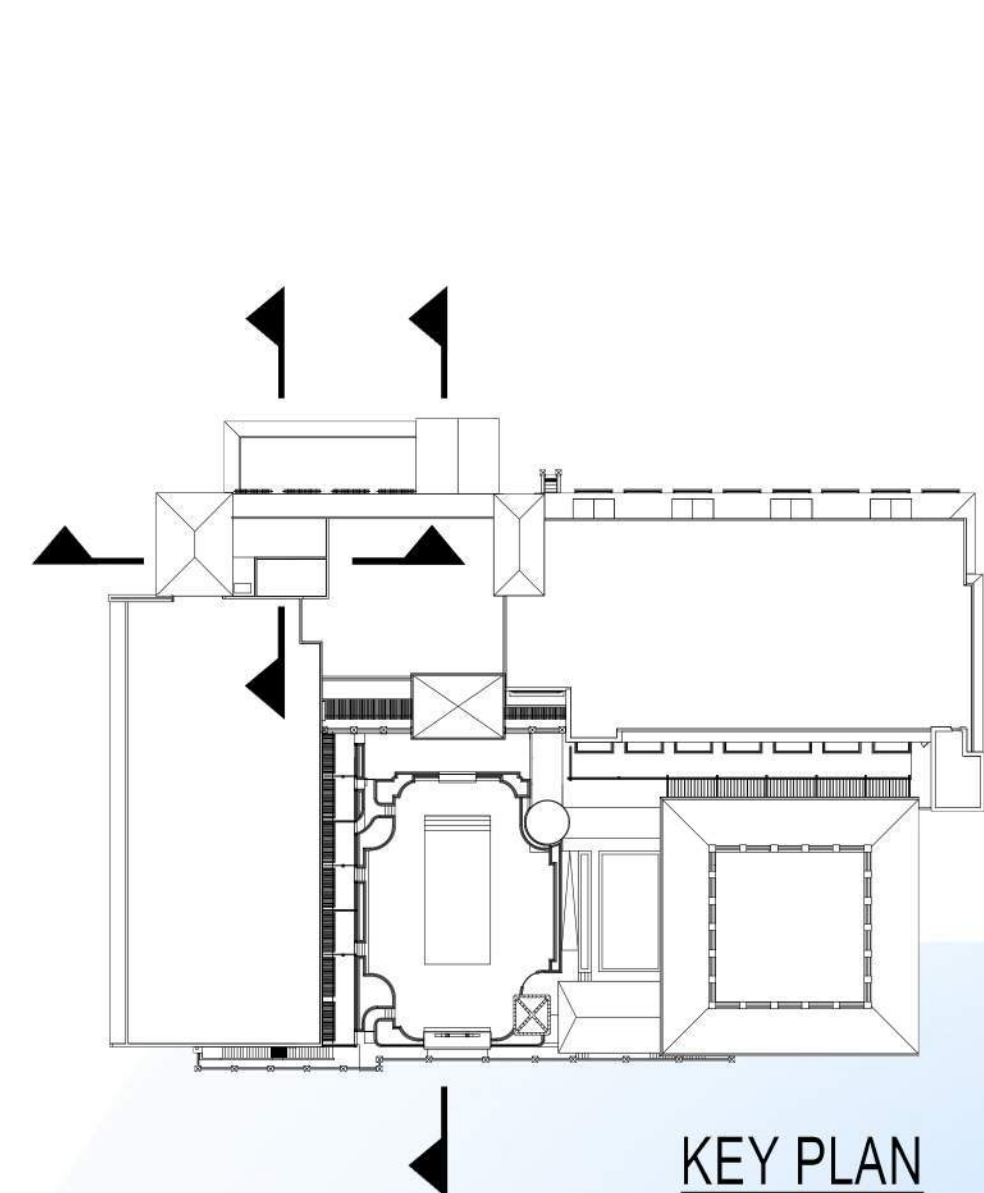
A107.B



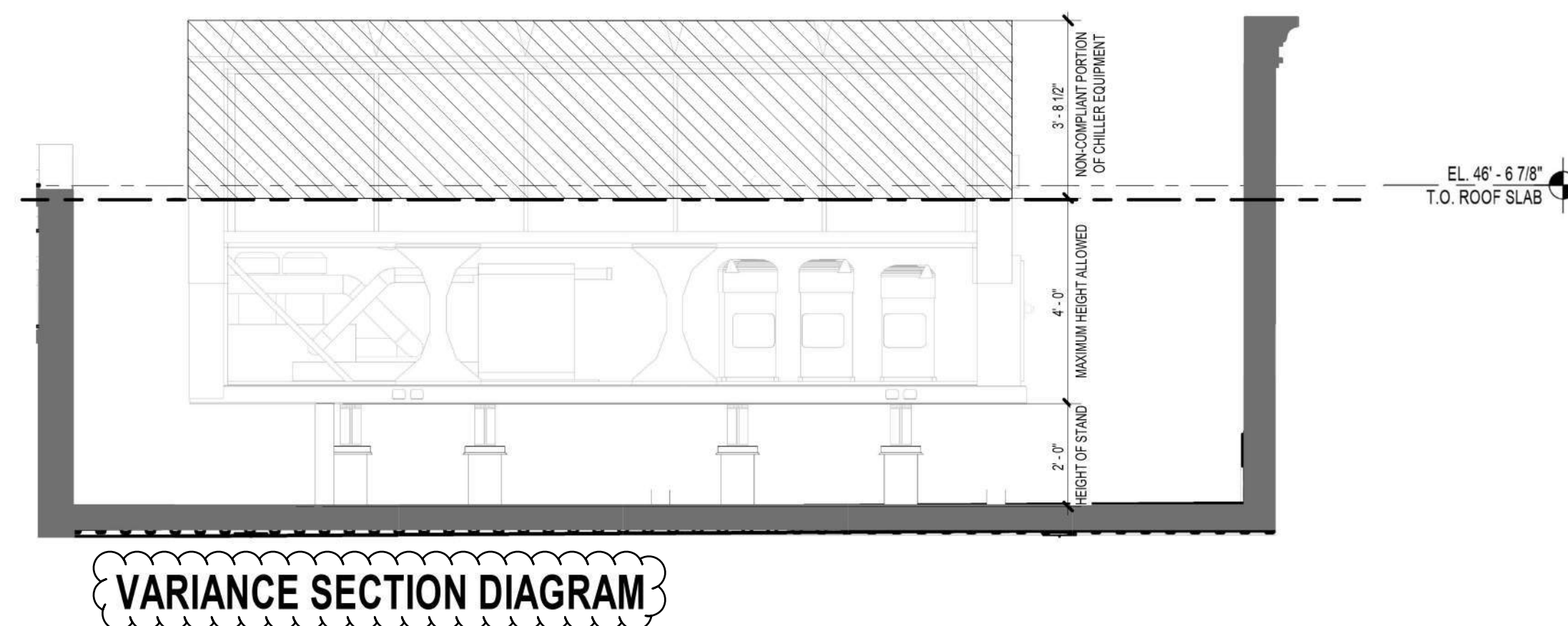
ENLARGED SECTION - ROOF CHILLER WELL - NORTH/SOUTH



ENLARGED SECTION - ROOF CHILLER WELL - EAST/WEST



KEY PLAN



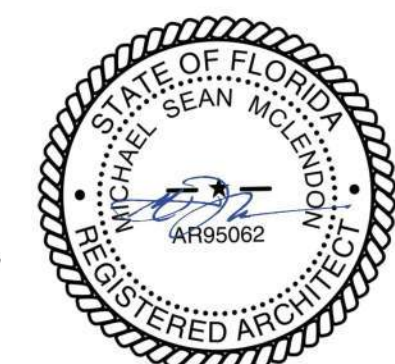
VARIANCE SECTION DIAGRAM



BUILDING SECTION - NORTH/SOUTH



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License N° AA26000496
JANUARY 25TH, 2023



ARC-23-002
ZON-23-015

BUILDING SECTION - NORTH/SOUTH

A113

Remove existing palm trees located in planting strip along Royal Palm Way - replacing the existing palms with *Cocos nucifera* to match the streetscape palms in the median

Existing groundcover plantings surrounding columns to be pruned and shaped to a uniform width and height

Existing palm plantings surrounding the entry stair to be pruned and shaped and additional plantings supplied to fill gaps or missing material

Proposed plantings wall on west

Proposed planter pots in the pool deck area are a combination of dwarf fruiting trees and flowering perennial plants

Proposed palm plantings surrounding the pool deck

Proposed plantings surrounding the pool deck

Proposed hedges dividing the east facing balconies

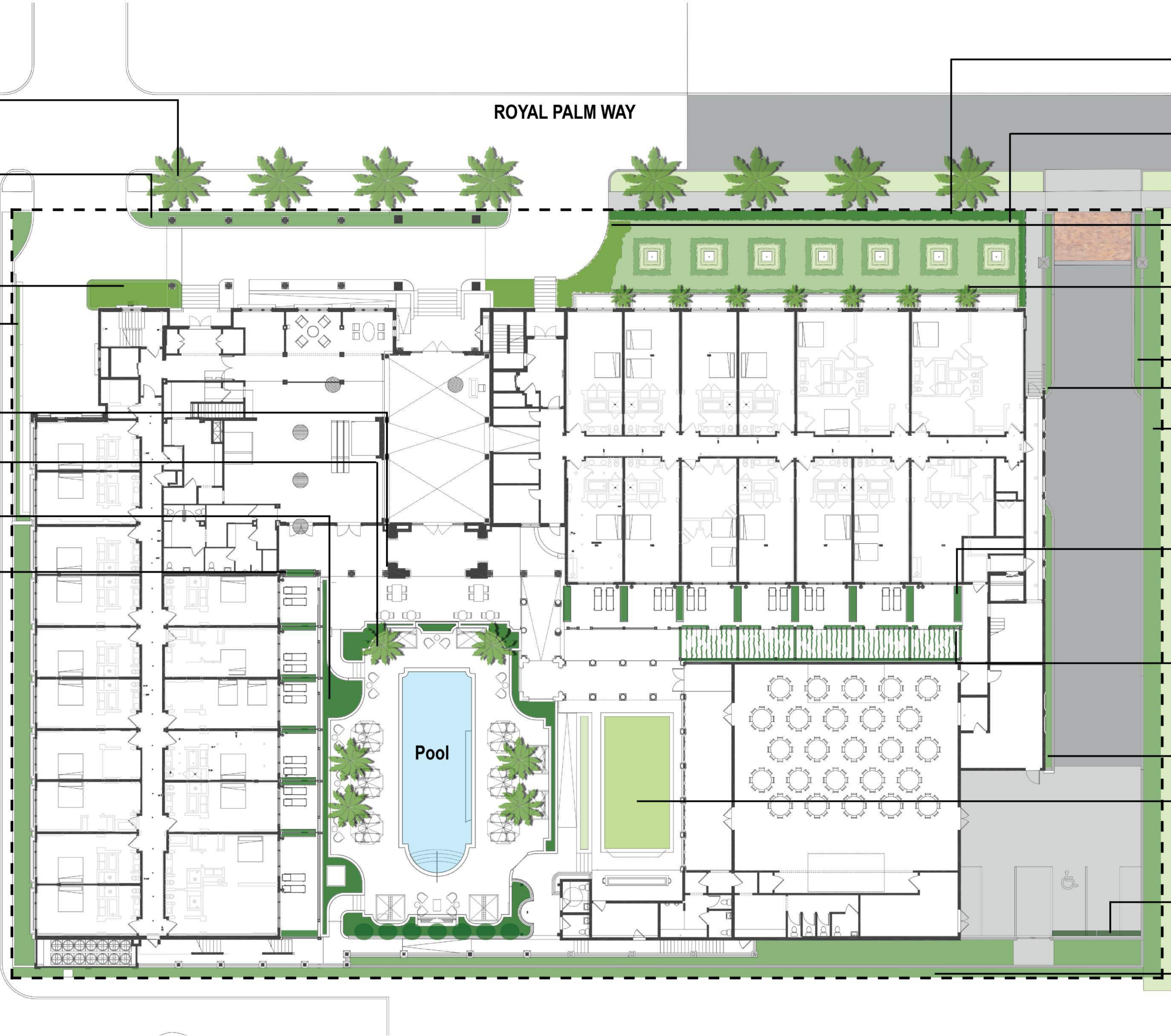
Area (SF)	Landscape Designation
2,472	Front Yard (East Side)
412	Porte-cochere
624	W. Property Line Planting Strip
849	E. Property Line Planting Strip
186	New Planters - East Drive (A)
110	New Planter - East Drive (B)
1,554	S. Property Line Planting Strip
723	Pool Deck Planters
133	W. Lanai Hedges (dividers)
119	E. Lanai Hedges (dividers)
85	E. Lanai Southern Hedges
85	Vine Area for Trellis
20	Vine Planter for South Wall
7,372 SF	TOTAL LANDSCAPE AREA

Landscape Open Space Calculations - Total site area: 60,213 SF

Landscape Area – 30% (18,064 SF) MIN	10% (6,261 SF)
Front Yard – 35% (6,300 SF) MIN	39% (2,884 SF)
Native Vegetation – 25% (4,500 SF) MIN	42% (3,113 SF)*

*Native vegetation uses 7,372 SF of total landscape for calculation

Site design does not reduce landscape open space - no change



Existing screen hedge on the north side of the building to be pruned and shaped to a uniform width and height

All plantings (except street hedge) to be removed and replaced with native plantings

Existing palm plantings surrounding the entry stair to be pruned and shaped and additional plantings supplied to fill in any planting gaps

Existing palm plantings in between the north balconies to be pruned and shaped to a uniform appearance

Proposed vine plantings on east wall

Proposed groundcover planting area

Existing *Clusia* plantings on the east side of the property to be maintained as a hedge to screen the property from the eastern neighboring properties

Proposed hedges surrounding the south facing balconies

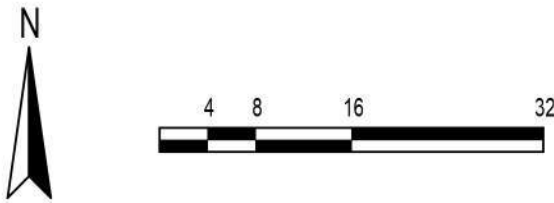
Proposed vines planted on the trellis

Proposed groundcover planting area

Event Lawn (synthetic turf)

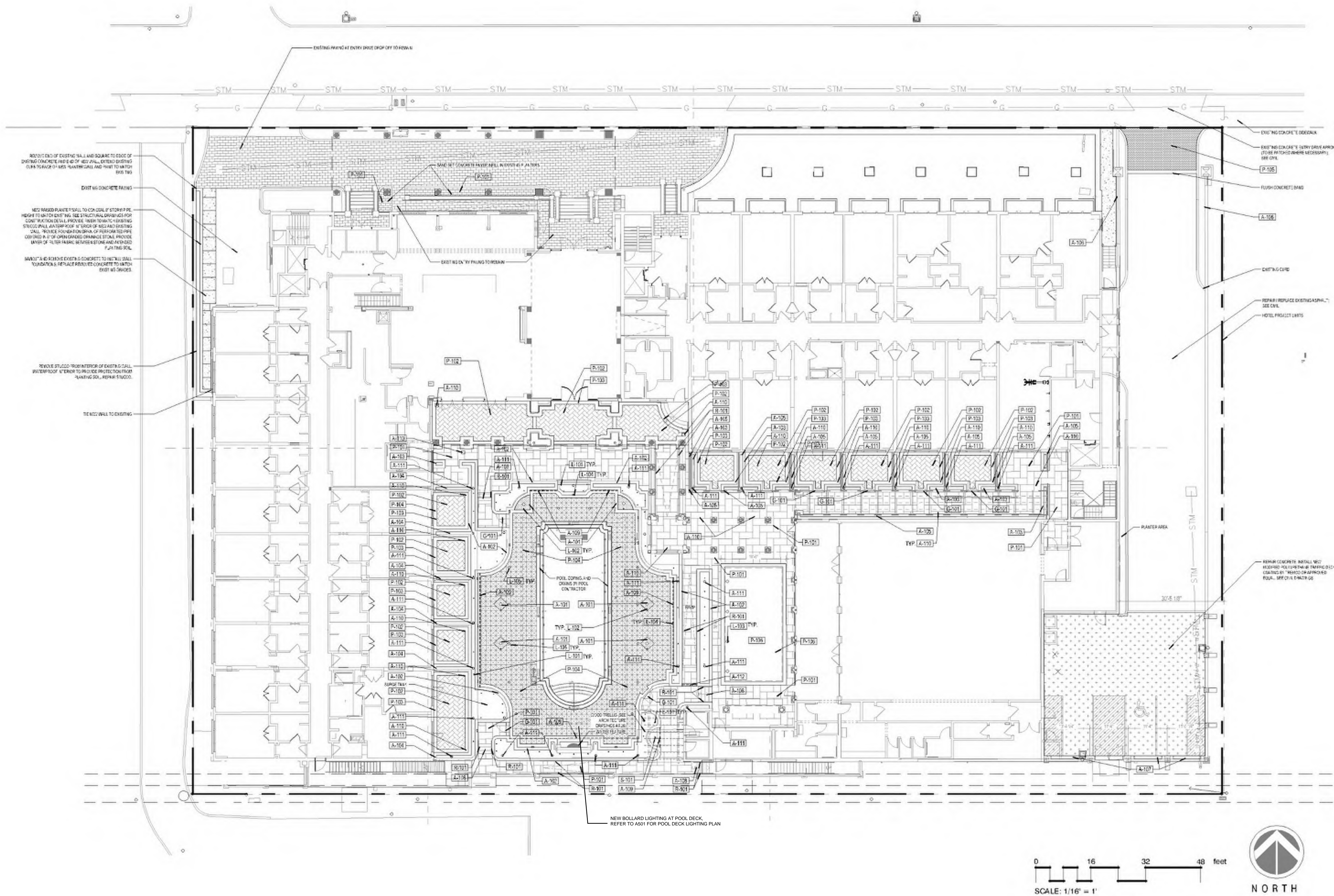
Proposed vines in planters mounted on the south wall with 4'-6" clearance for parked vehicles

See plan enlargement and site sections for information on planting strategy for the southern edge of the property



The Palm House Hotel
160 Royal Palm Way



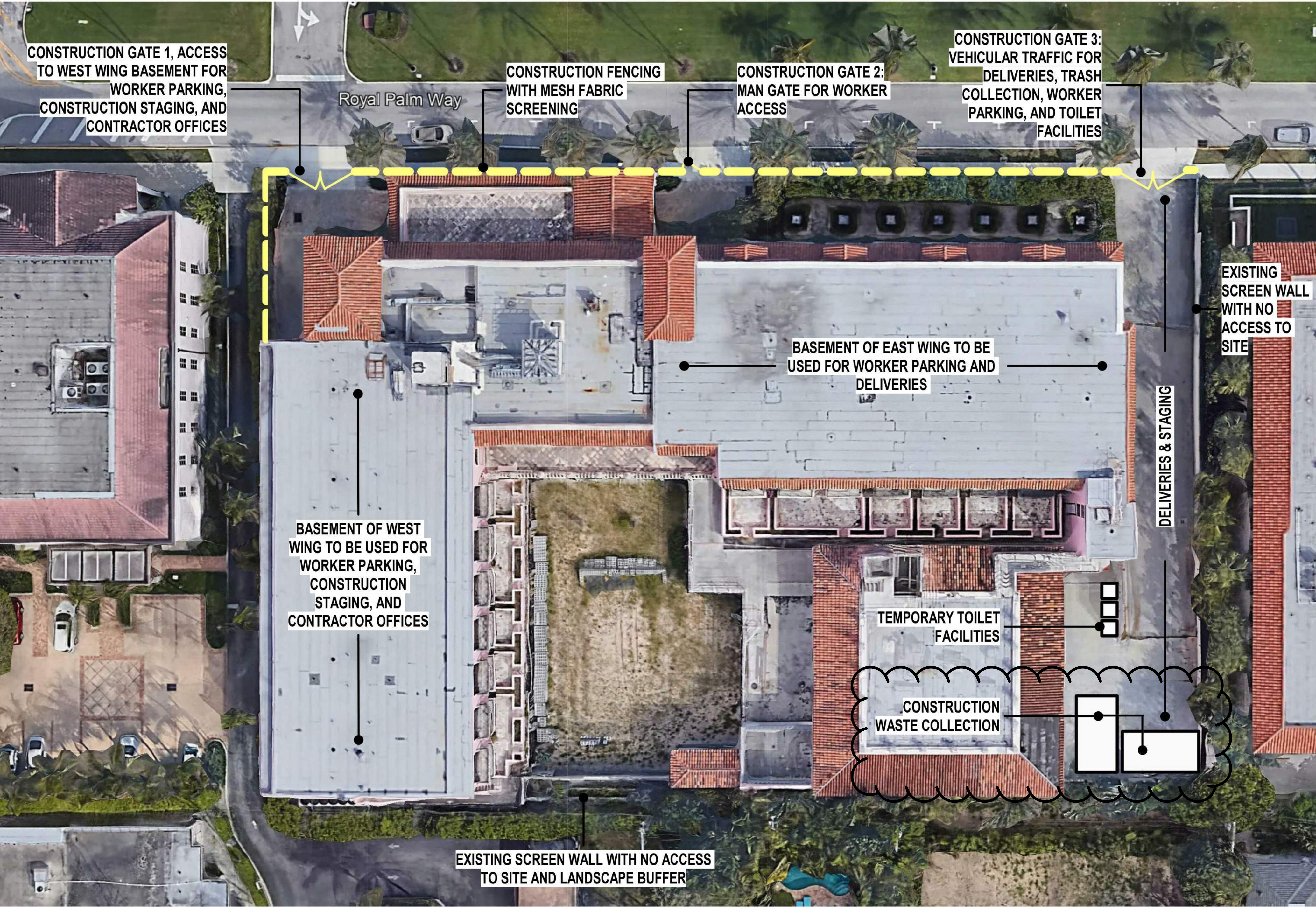


REFERENCE NOTES SCHEDULE

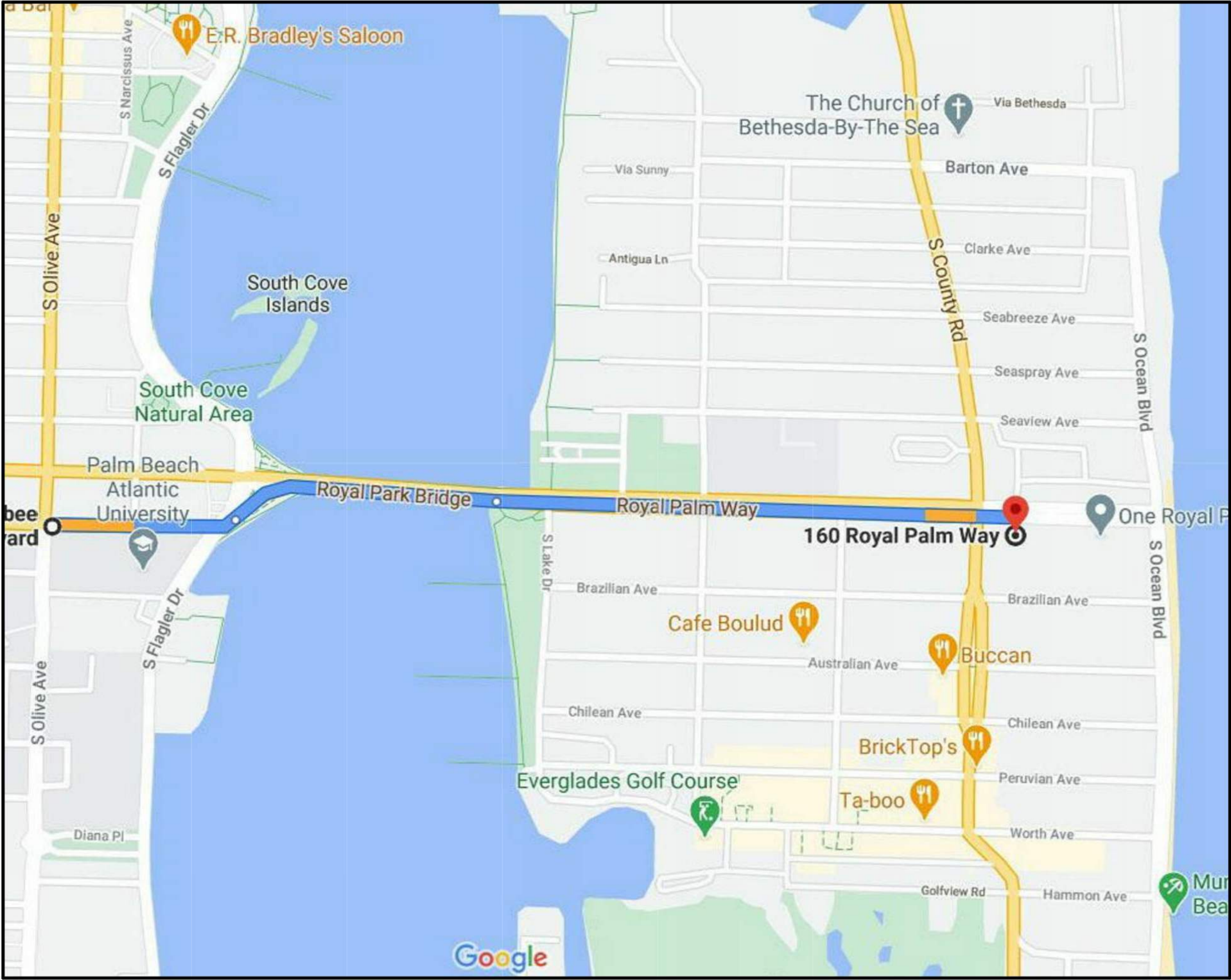
SYMBOL	ARCHITECTURAL FEATURE DESCRIPTION	DETAIL
A-101	FLUSH TREE WELL	3/####
A-102	POOL DECK PLANTER: CMU CORE WALLS WITH STUCCO FINISH, 12" CLASSIC WALL CAP BY STEPSTONE OR APPROVED EQUAL COLOR AND FINISH TBD; 6" OF DRAINAGE STONE COVERED WITH NONWOVEN FILTER FABRIC AND AMENDED PLANTING SOIL, WATERPROOF INTERIOR OF PLANTER; PROVIDE INTERIOR DRAIN THROUGH CONCRETE SLAB BELOW; PROVIDE IRRIGATION TO PLANTERS	2/####
A-103	PATIO ROOM PLANTER: CMU CORE WALLS WITH 1" STUCCO FINISH, 12" CLASSIC WALL CAP BY STEPSTONE OR APPROVED EQUAL COLOR AND FINISH TBD; 6" OF DRAINAGE STONE COVERED WITH NONWOVEN FILTER FABRIC AND AMENDED PLANTING SOIL, WATERPROOF INTERIOR OF PLANTER; PROVIDE INTERIOR DRAIN THROUGH CONCRETE SLAB BELOW; PROVIDE IRRIGATION TO PLANTERS	4/####
A-104	WESTERN PATIO ROOM METAL ARBOR	4/L1.22
A-105	EASTERN PATIO ROOM AND WALKWAY METAL ARBOR	2/L1.22
A-106	STAINLESS STEEL CABLE TRELLIS SYSTEM BY SCS, STAINLESS CABLE SOLUTIONS OR APPROVED EQUAL, WALL MOUNT, 12" GRID, 30' W X 8' HT TOTAL AREA	2/L4.01
A-107	HANGING PLANTER - WILSHIRE BOX HANGING PLANTER BY TOURNESOL, 96"L X 12"W X 18"H, COLOR TBD, INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS, CONNECT DRAINAGE HOLES WITH BLACK PVC AND ROUTE AROUND EDGE OF WALL TOWARD DUMPSTER AREA	1/####
A-108	TILE VENEER STEPS, SEE ARCHITECTURE FOR MORE DETAILS	3/L2.01
A-109	SLOT DRAIN - SERIES 7000 SLOT DRAIN BY SLOT DRAIN SYSTEMS, INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS, PROVIDE 6X6 CATCH BASINS AT EACH RUN OF SLOT DRAIN	5/####
A-110	AREA DRAIN, INSTALL PER MANUFACTURER'S DETAILS, SEE DRAINAGE PLANS	6/####
A-111	PLANTER DRAIN, INSTALL PER MANUFACTURER'S DETAILS, SEE DRAINAGE PLANS	
A-112	TRENCH DRAIN - ALUMINUM TRENCH DRAIN SYSTEM BY ZURN, ZA880-156 WITH ORNAMENTAL DRAIN GRATE OR APPROVED EQUAL, INSTALL IN CONCRETE CHANNEL PER MANUFACTURER'S DETAILS	
SYMBOL	GATE DESCRIPTION	DETAIL
G-101	MONTAGE PLUS MAJESTIC GATE BY AMERISTAR, 48" HT, WELD ON BOX HINGE ATTACHED TO POST MOUNTED TO CONCRETE SLAB BELOW TILE, SELF-CLOSING, SELF-LATCHING LATCH AS REQUIRED BY LOCAL CODES	7/####
SYMBOL	LIGHT DESCRIPTION	DETAIL
L-101	PLANTER LIGHT, INTERLUX CLIVO; SEE ELECTRICAL/LIGHTING PLANS	
L-102	TREE UP-LIGHT, BK-LIGHTING OR AURALIGHT OMEGA; SEE ELECTRICAL/LIGHTING PLANS	
L-103	MUSHROOM BOLLARD PATH LIGHT; AJ100-TS-40F BUCK BY LANDSCAPE FORMS; SEE ELECTRICAL/LIGHTING PLANS	
L-104	WALL LIGHT/STEP LIGHT	
L-105	BOLLARD LIGHT	
SYMBOL	PAVING DESCRIPTION	DETAIL
P-101	COURTYARD PAVES TYPE A, SILVERLAKE BY MIRAGE, MORTAR SET ON CONCRETE SLAB (SEE ARCHITECTURAL DRAWINGS), 24X48, RUNNING BOND PATTERN, COLOR VARIES	10/L2.01
P-102	COURTYARD PAVES TYPE B, QUARTZITI 2.0 BY MIRAGE, MORTAR SET ON CONCRETE SLAB (SEE ARCHITECTURAL DRAWINGS), 12X24 HERRINGBONE FILED, COLOR GLACIER	10/L2.01
P-103	PAVER BORDER TYPE B, QUARTZITI 2.0 BY MIRAGE, MORTAR SET ON CONCRETE SLAB (SEE ARCHITECTURAL DRAWINGS), 12X12	10/L2.01
P-104	POOL DECK TILE, SEE INTERIOR DRAWINGS	
P-105	STAMPED VEHICULAR CONCRETE, RUNNING BOND PATTERN, SCOPLED INTEGRAL COLOR SG 160 SUNSET RED	2/L2.01
P-106	ARTIFICIAL TURF SYSTEM - SYNLAUGUSTINE X 47 BY SYNLAWN; INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS; INSTALL DRAINAGE SYSTEM AS REQUIRED BY MANUFACTURER	6/L2.01
SYMBOL	RAIL DESCRIPTION	DETAIL
R-101	ORNAMENTAL BRASS HANDRAIL - CONTRACTOR SHALL COORDINATE STYLE OF RAIL WITH ARCHITECTURAL DRAWINGS AND PREPARE FIELD MEASURED SHOP DRAWINGS FOR APPROVAL	5/L2.01
SYMBOL	SITE FURNISHINGS DESCRIPTION	DETAIL
S-101	FREESTANDING SHOWER BY OUTDOOR SHOWER CO., MODEL BS-2000-ADA; SINGLE SUPPLY SHOWER UNIT WITH 6A METERED PUSH VALVE; STAINLESS STEEL FINISH; INSTALL ON 6" STAINLESS STEEL BASE CYLINDER WITH BRACKETS PER MANUFACTURER'S DETAILS IN COORDINATION WITH THICKSET TILE FLOORS	



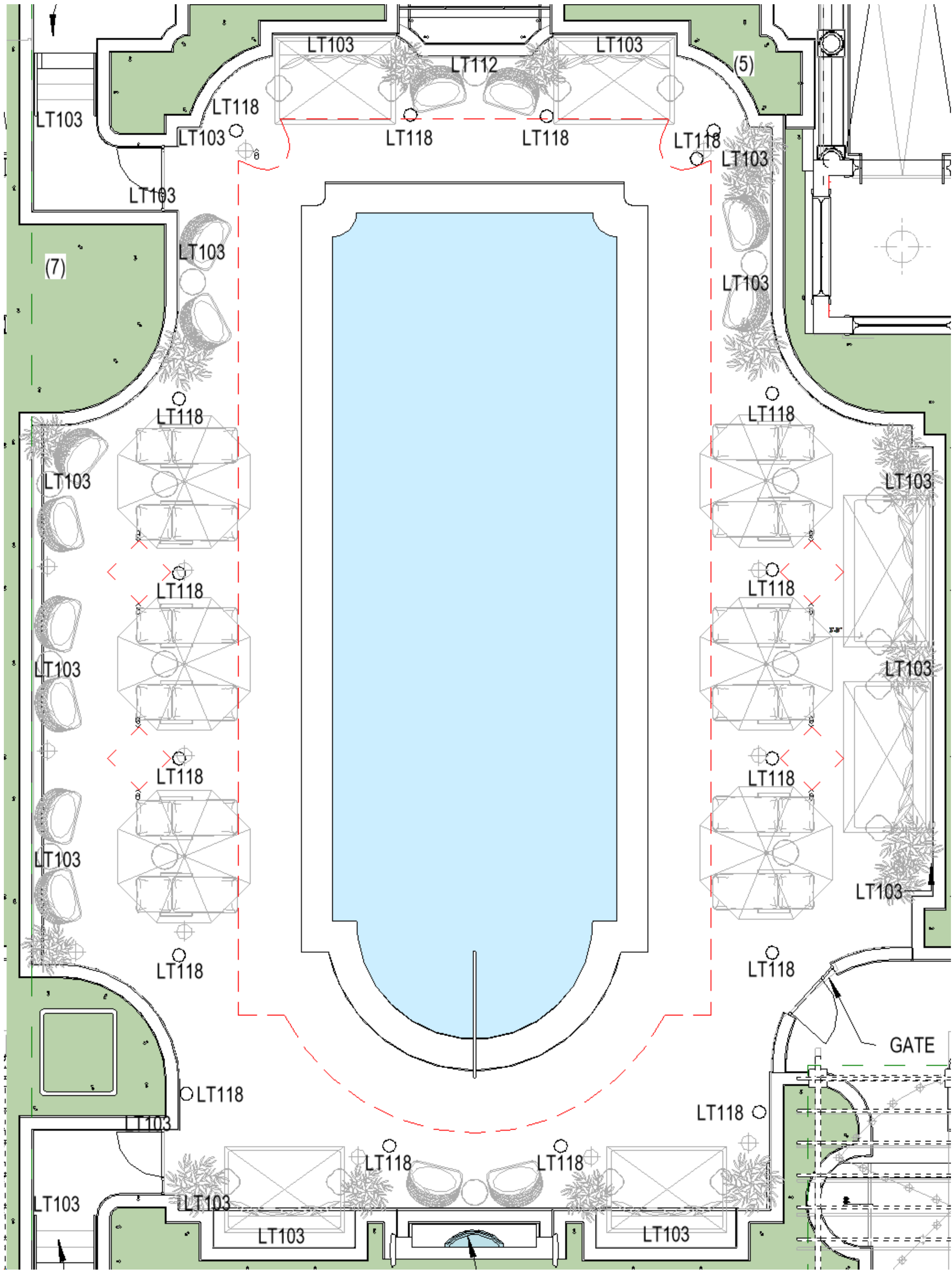
PALM HOUSE HOTEL																																					
ID	Task Name	Duration	Start	Finish	2021	Half 1, 2022				Half 2, 2022				Half 1, 2023				Half 2, 2023				Half 1, 2024				Half 2, 2024				Half 1, 2025				Half 2, 2025			
					S	N	J	M	M	J	S	N	J	M	M	J	S	N	J	M	M	J	S	N	J	M	M	J	S	N							
1	Construction	1012 days	Mon 11/15/21	Tue 9/30/25																																	
2	Mobilize to site	5 days	Mon 11/15/21	Fri 11/19/21																																	
3	Site Enablement	248 days	Mon 11/22/21	Wed 11/2/22																																	
4	Construction	780 days	Tue 9/6/22	Sun 8/31/25																																	
5	Construction Closeout	22 days	Mon 9/1/25	Tue 9/30/25																																	
6																																					



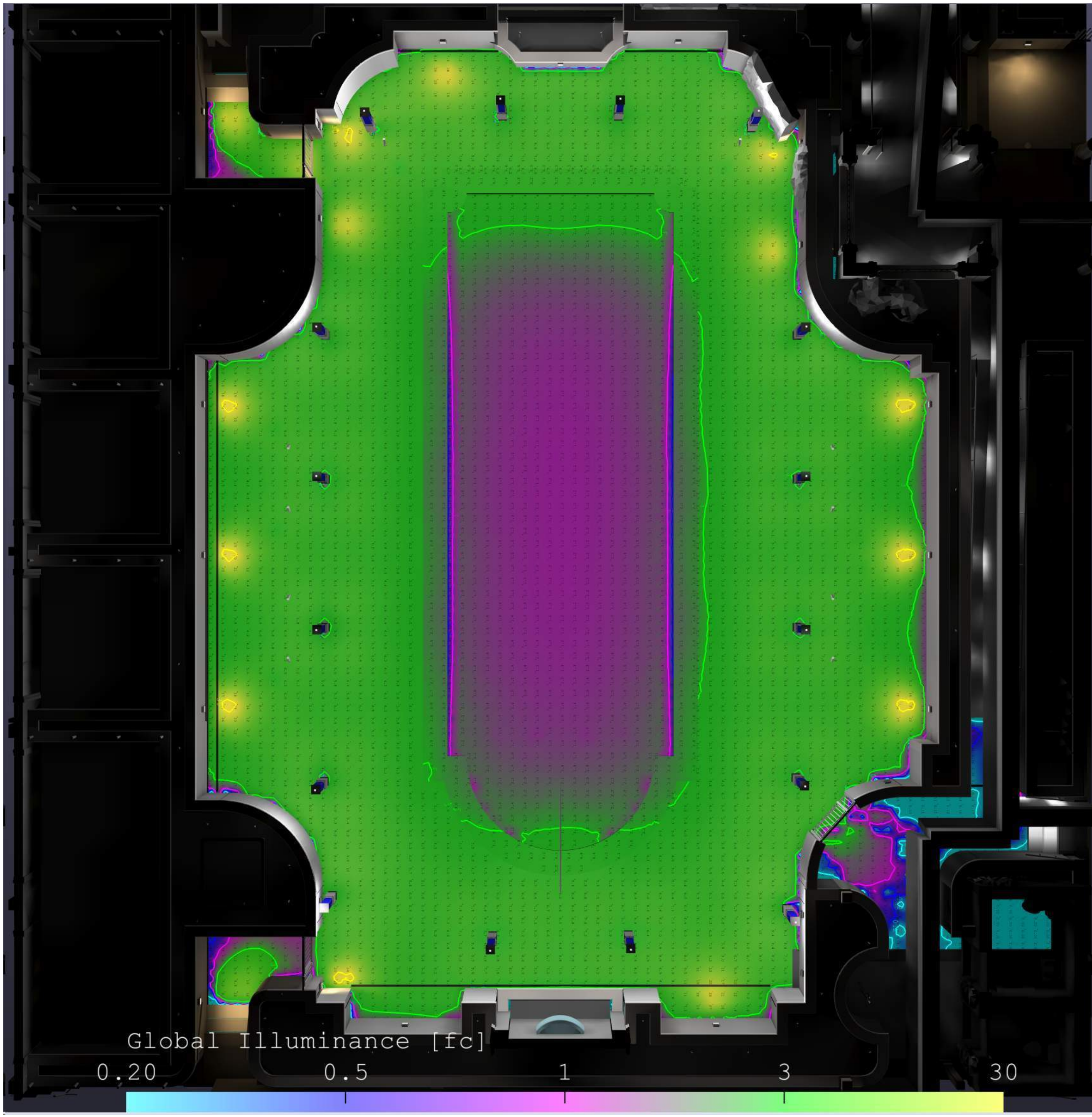
CONSTRUCTION LOGISTICS PLAN
(NOT TO SCALE)



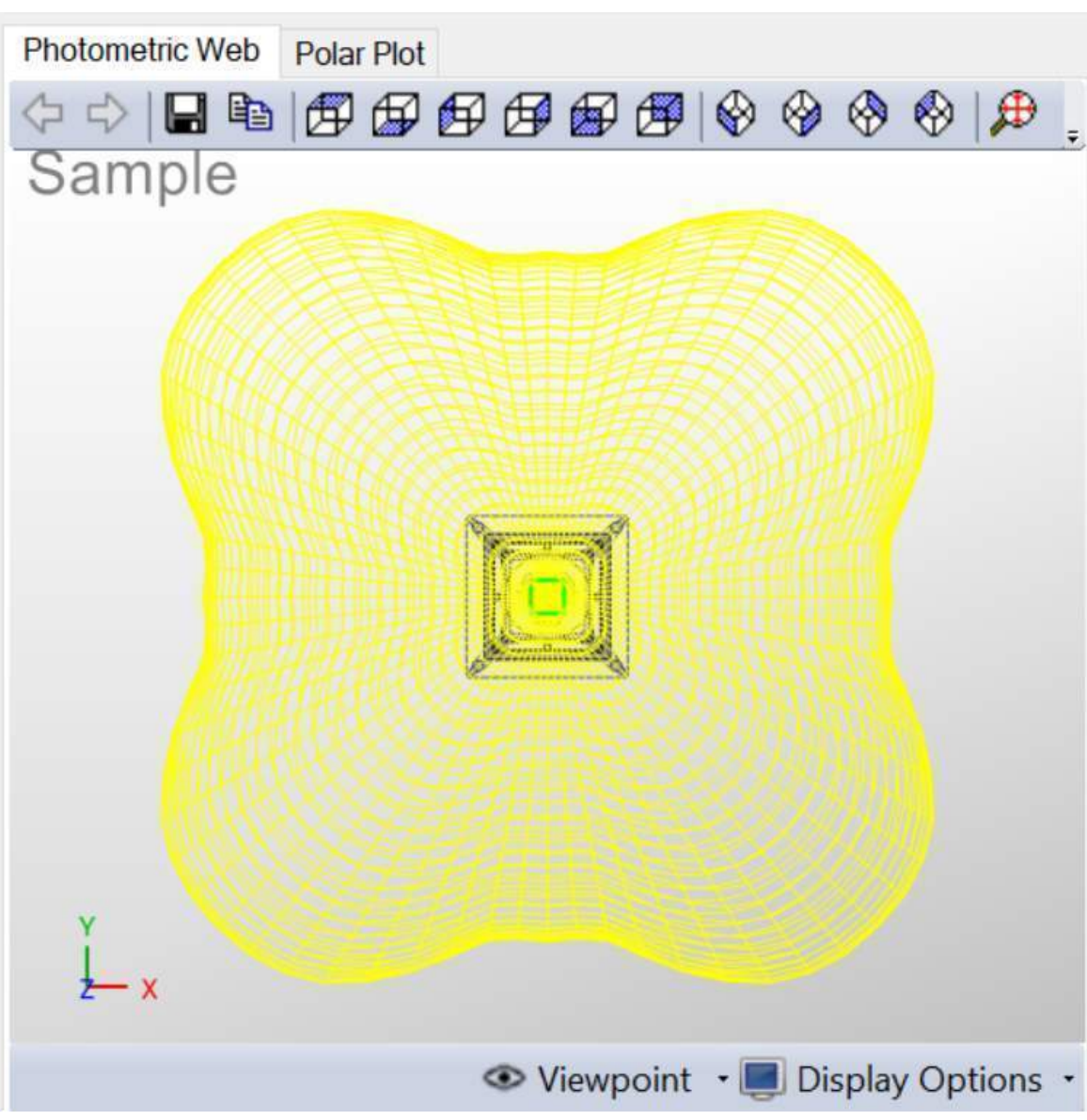
MAXIMUM ESTIMATED TRUCK SIZE: 60 FEET
MAXIMUM ESTIMATED TRIPS: 150
TRUCK LOGISTICS MAP
(NOT TO SCALE)



LT118 - LIGHTING BOLLARDS TOTAL - 16
LT103 - STEPLIGHTS TOTAL - 18



Photometric File			
84668K4.ies			
Definition	Description	Emergency	Horticulture
Light Source			
Lamp Count	Modified	1	Photometric File
Lumens per Lamp	Absolute	Absolute	1
Proration Factor	1.00		
Total Lamp Lumens	Absolute	Absolute	
Luminaire Lumens	2986	2986	
Efficiency (%)	NaN	NaN	
Luminaire Watts	37	37	
Ballast Factor	1.00	1.00	
Total Light Loss Factor	0.95		



POOL DECK LIGHTING/PHOTOMETRIC PLAN

A501



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Unshielded bollards

Post construction: One-piece extruded aluminum with a one-piece die-cast aluminum top housing and base internally welded into an assembly. Die-castings are marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy.

Enclosure: Heavy walled extruded aluminum vertical elements with die-cast top and bottom end caps, removable for relamping. Secured by four (4) mechanically captive stainless steel fasteners threaded into stainless steel inserts. White acrylic diffuser. Fully gasketed using high temperature, molded silicone gaskets for weather tight operation.

Electrical: 39.0 total luminaire system watts, 33.6W LED. -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with a >80 CRI. Available in 4000K (>80 CRI); add suffix K4 to order.

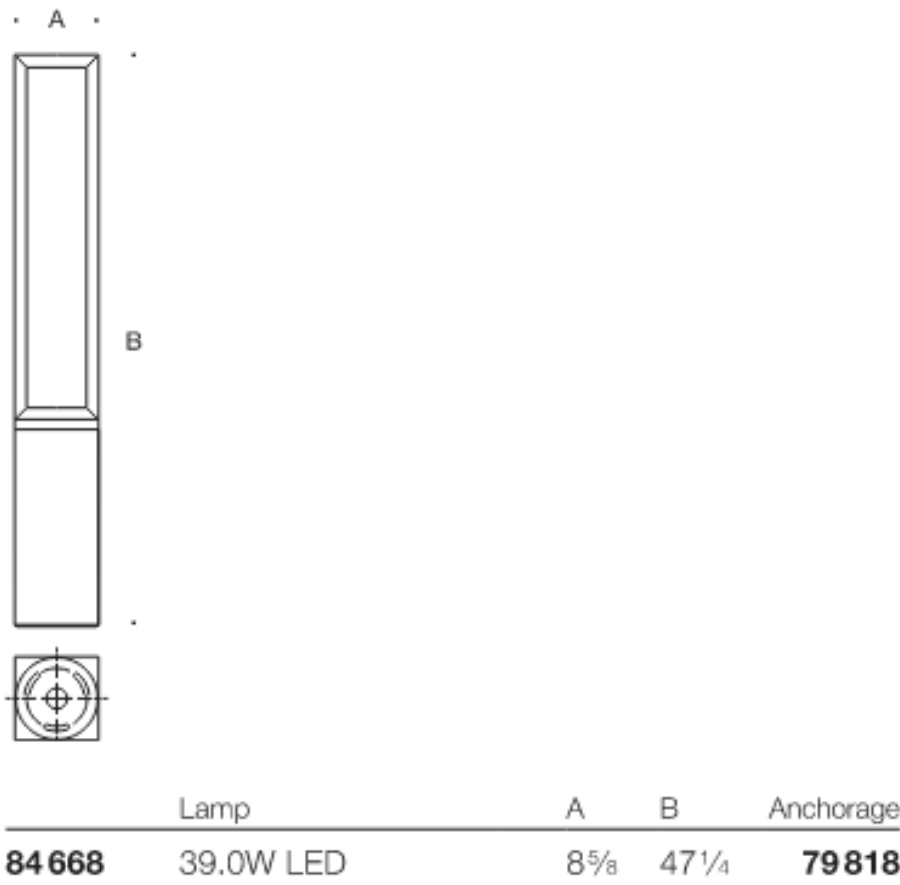
Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Anchor base: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

Finish: Heavy cast aluminum, slotted for precise alignment. Mounts to BEGA 79 818 anchorage kit. Bollard secures to base with one stainless steel set screw. The mounting system allows the luminaire to be adjusted independent of anchor bolt orientation.

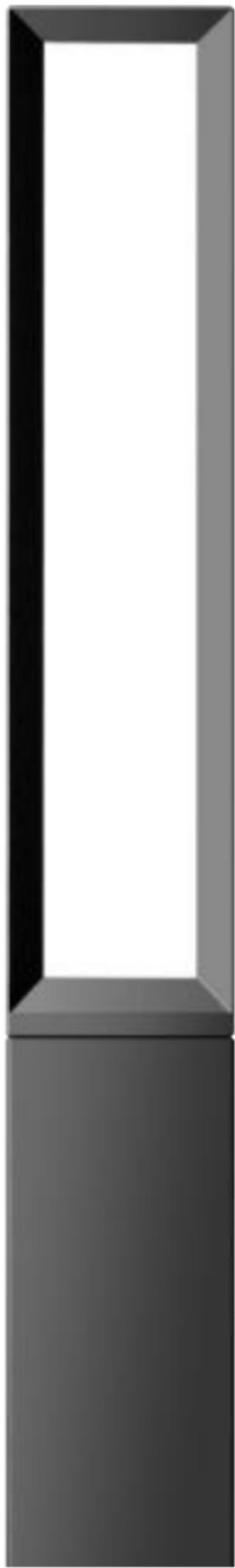
CSA certified to U.S. and Canadian standards for wet locations. Protection class IP65

Weight: 40.2 lbs



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 FAX (805)566-9474 www.bega-us.com
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FINISH: BRONZE

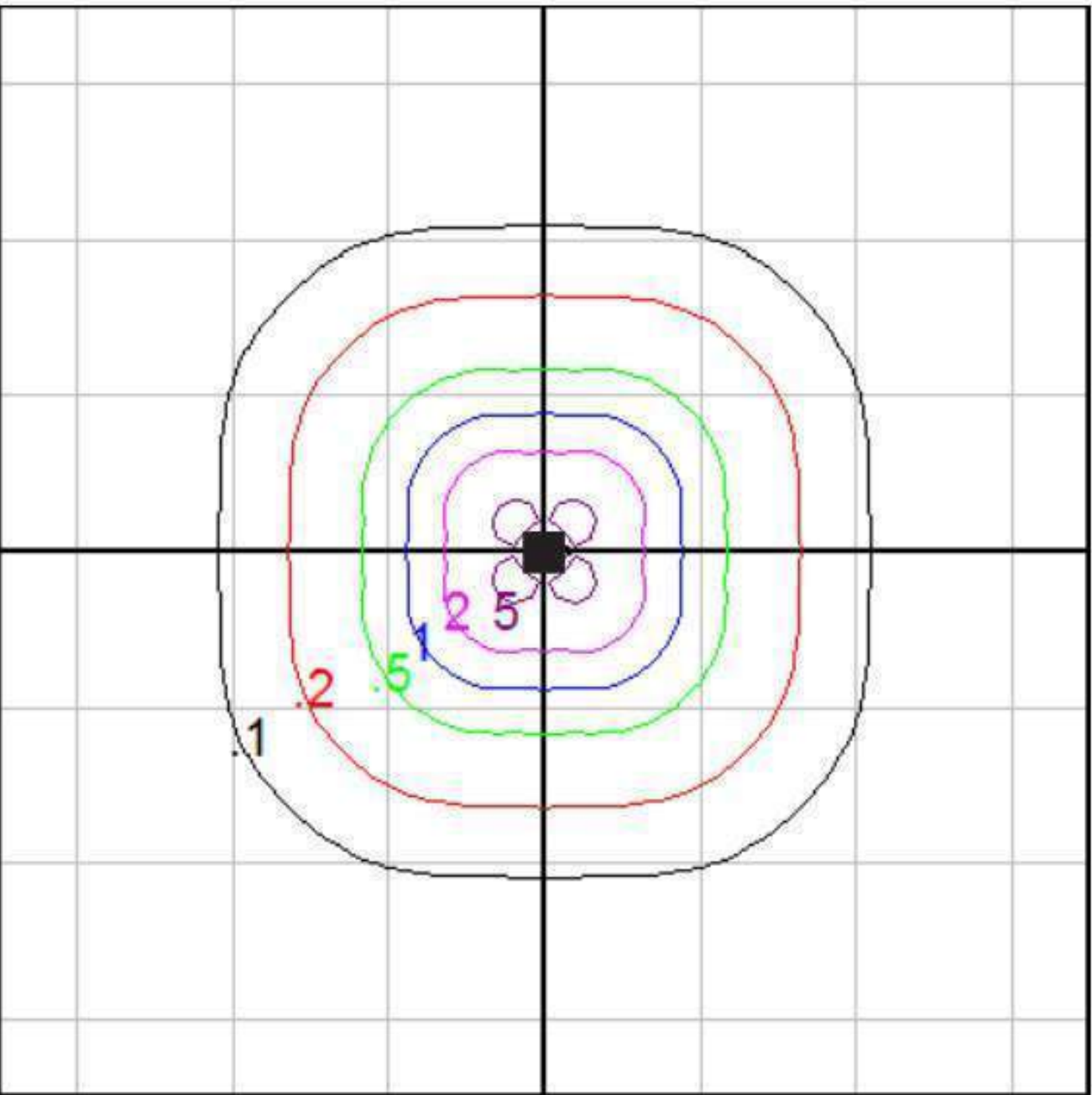


BEGA

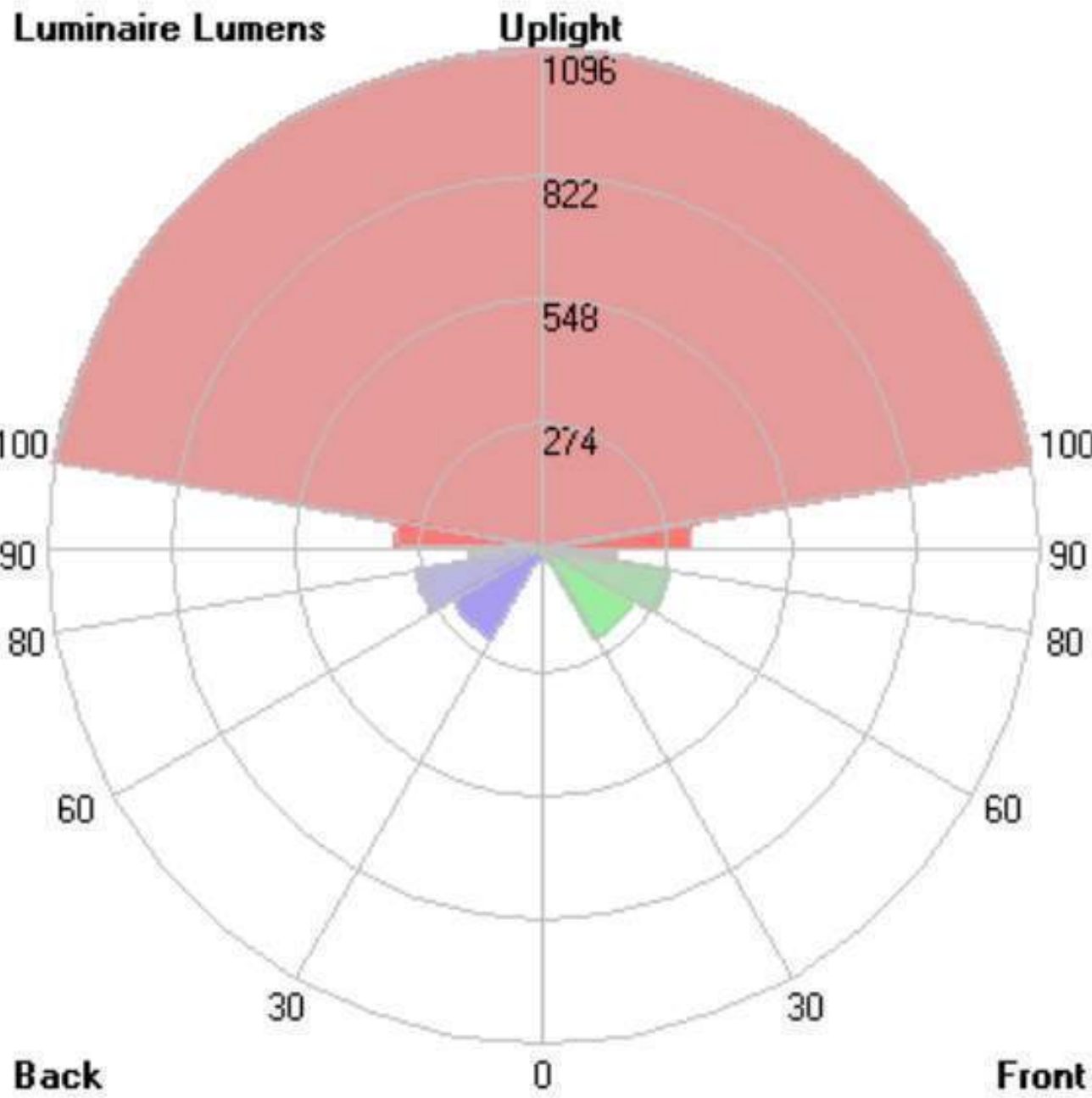
Photometric Filename: 84668.IES

TEST: BE_84668
TEST LAB: BEGA
DATE: 2/22/2016
LUMINAIRE: 84 668
LAMP: 32W LED

Characteristics	
IES Classification	N.A.
Longitudinal Classification	N.A.
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	2837
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	79
Total Luminaire Watts	36
Ballast Factor	1.00
Upward Waste Light Ratio	0.50
Max. Cd.	341.4 (45H, 90V)
Max. Cd. (<90 Vert.)	340.7 (45H, 87.5V)
Max. Cd. (At 90 Deg. Vert.)	341.4 (12.0%Lum)
Max. Cd. (80 to <90 Deg. Vert.)	340.7 (12.0%Lum)
Cutoff Classification (deprecated)	N.A. (absolute)



Grid Spacing = 10 ft.



In the interest of product improvement, BEGA reserves the right to make technical changes without notice.
BEGA 1000 Bega Way, Carpinteria, CA 93013 (805)684-0533 Fax (805)566-9474 www.bega-us.com © Copyright BEGA-US 2018 8/27/2018

POOL DECK LIGHTING INFORMATION

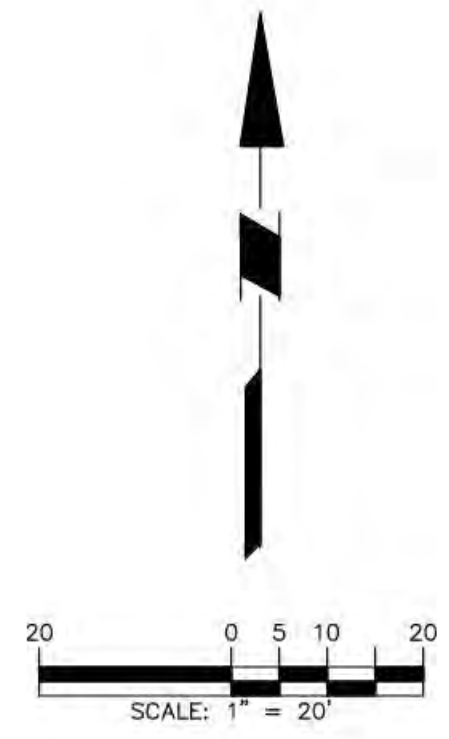
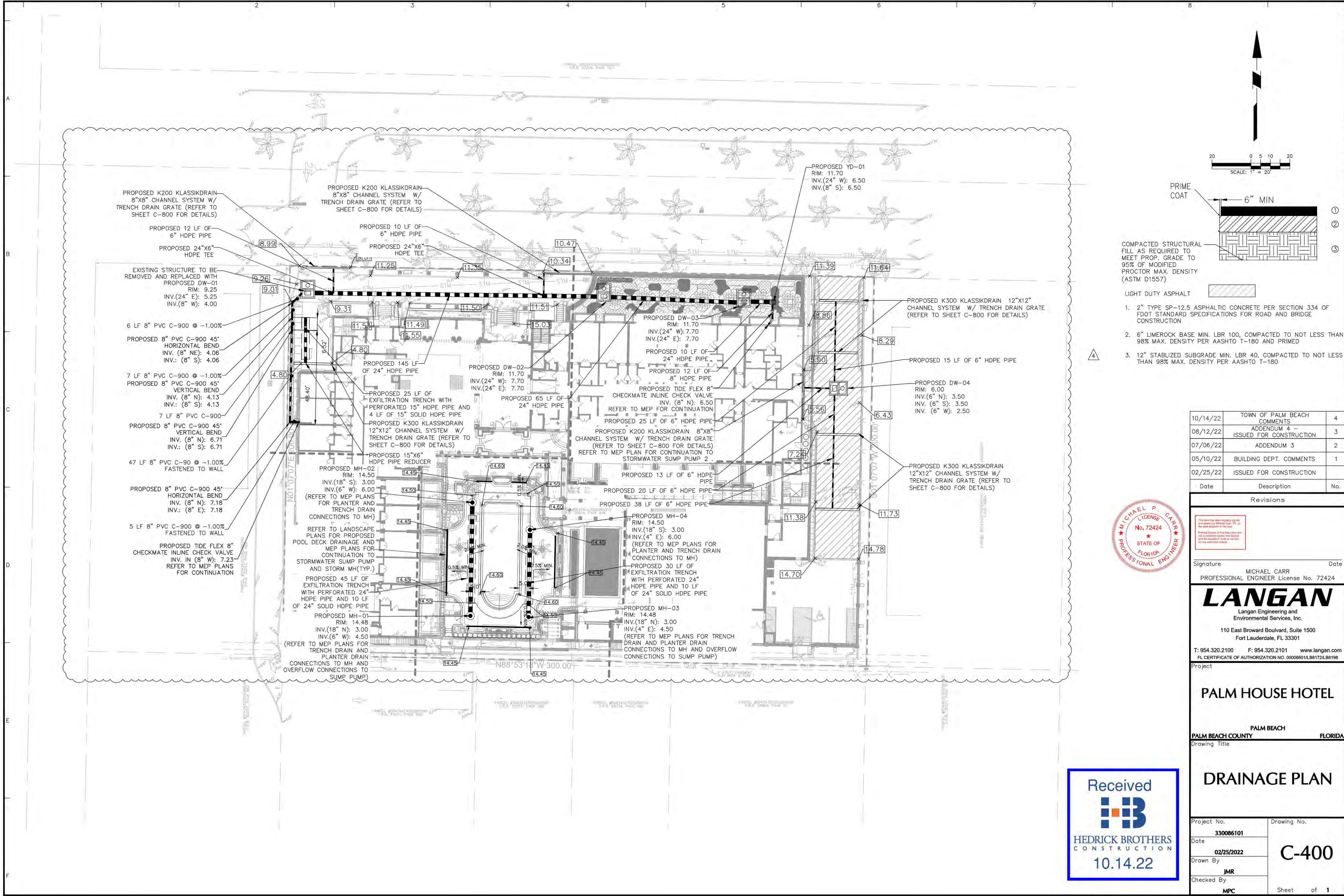
A502



The Palm House Hotel
160 Royal Palm Way



COOPER CARRY
License N° AA26000496 | ARC-23-002
JANUARY 25TH, 2023 | ZON-23-015



- PRIME COAT
- 6" MIN
- COMPACTED STRUCTURAL FILL AS REQUIRED TO MEET PROP. GRADE TO 95% OF MODIFIED PROCTOR MAX. DENSITY (ASTM D1557)
- LIGHT DUTY ASPHALT
- 2" TYPE SP-12.5 ASPHALTIC CONCRETE PER SECTION 334 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - 6" LIMEROCK BASE MIN. LBR 100, COMPACTED TO NOT LESS THAN 98% MAX. DENSITY PER AASHTO T-180 AND PRIMED
 - 12" STABILIZED SUBGRADE MIN. LBR 40, COMPACTED TO NOT LESS THAN 98% MAX. DENSITY PER AASHTO T-180

10/14/22	TOWN OF PALM BEACH COMMENTS	4
08/12/22	ADDENDUM 4 - ISSUED FOR CONSTRUCTION	3
07/06/22	ADDENDUM 3	2
05/10/22	BUILDING DEPT. COMMENTS	1
02/25/22	ISSUED FOR CONSTRUCTION	
Date	Description	No.



Revisions		
Signature: MICHAEL CARR PROFESSIONAL ENGINEER License No. 72424		
Date: 10/14/22		
LANGAN Langan Engineering and Environmental Services, Inc. 110 East Broward Boulevard, Suite 1500 Fort Lauderdale, FL 33301 T: 954.320.2100 F: 954.320.2101 www.langan.com FL CERTIFICATE OF AUTHORIZATION NO. 00006010LB172LB198		
Project: PALM HOUSE HOTEL		
PALM BEACH PALM BEACH COUNTY FLORIDA		
Drawing Title: DRAINAGE PLAN		
Project No. 330086101	Drawing No. C-400	
Date: 02/25/2022	Drawn By: JMR	
Checked By: MPC	Sheet of 1	

