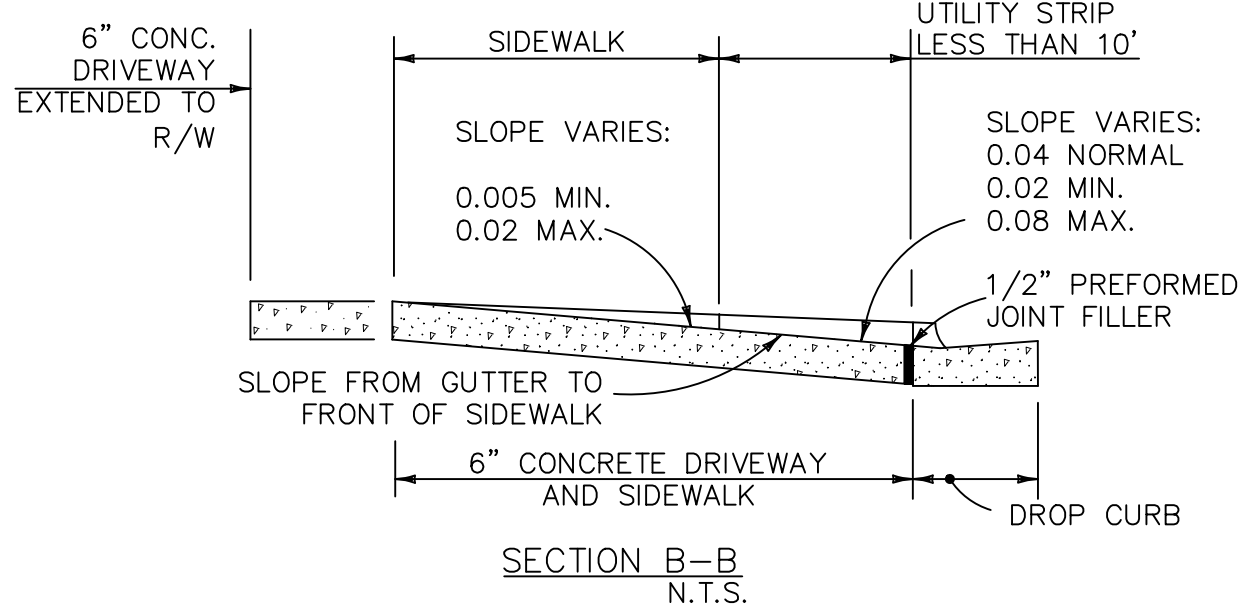
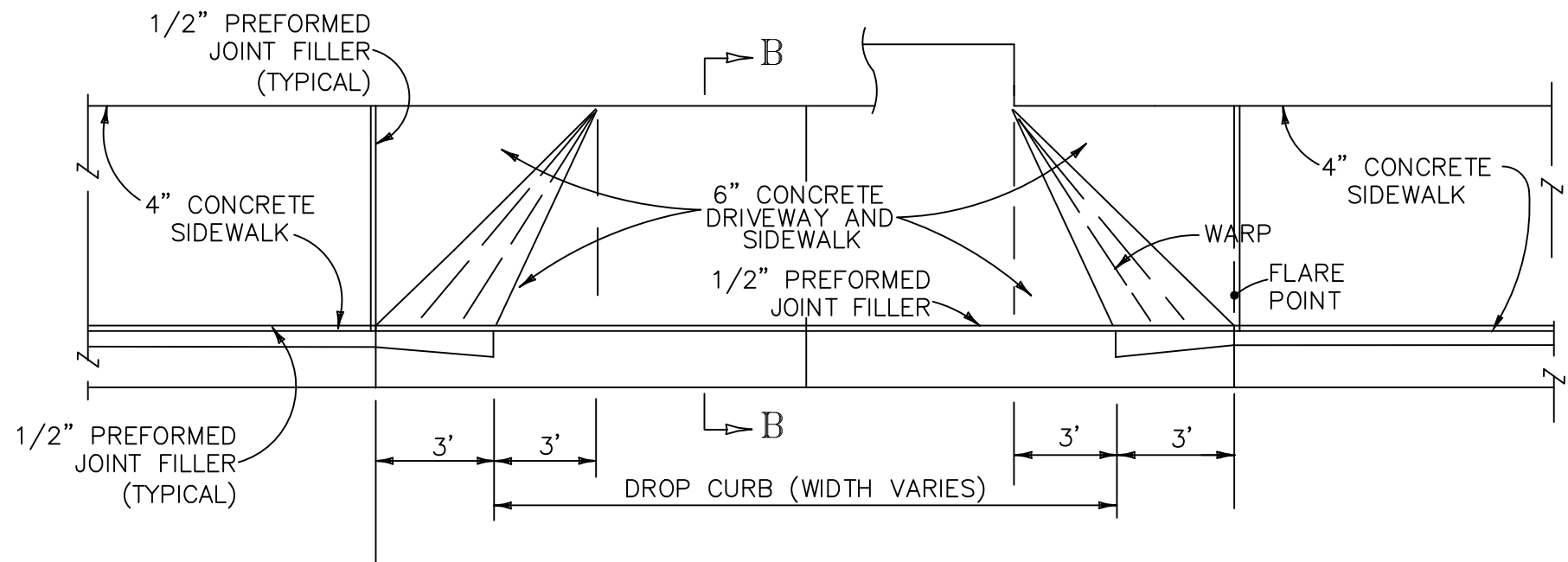
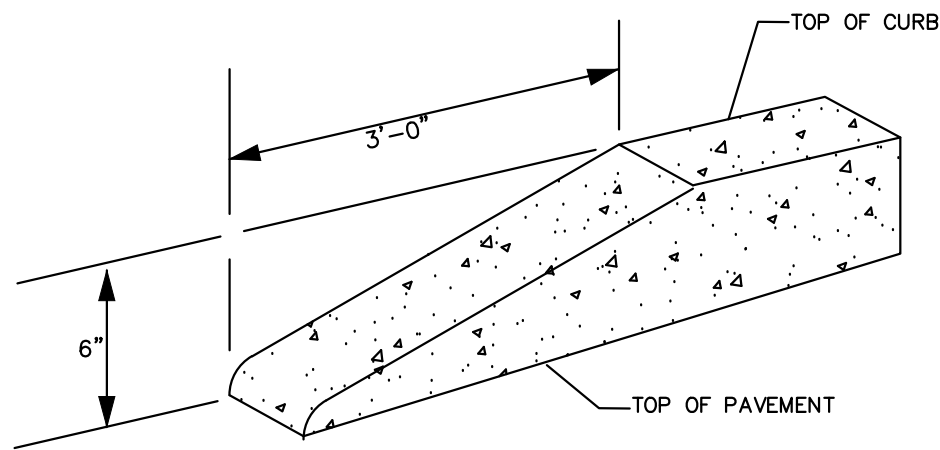


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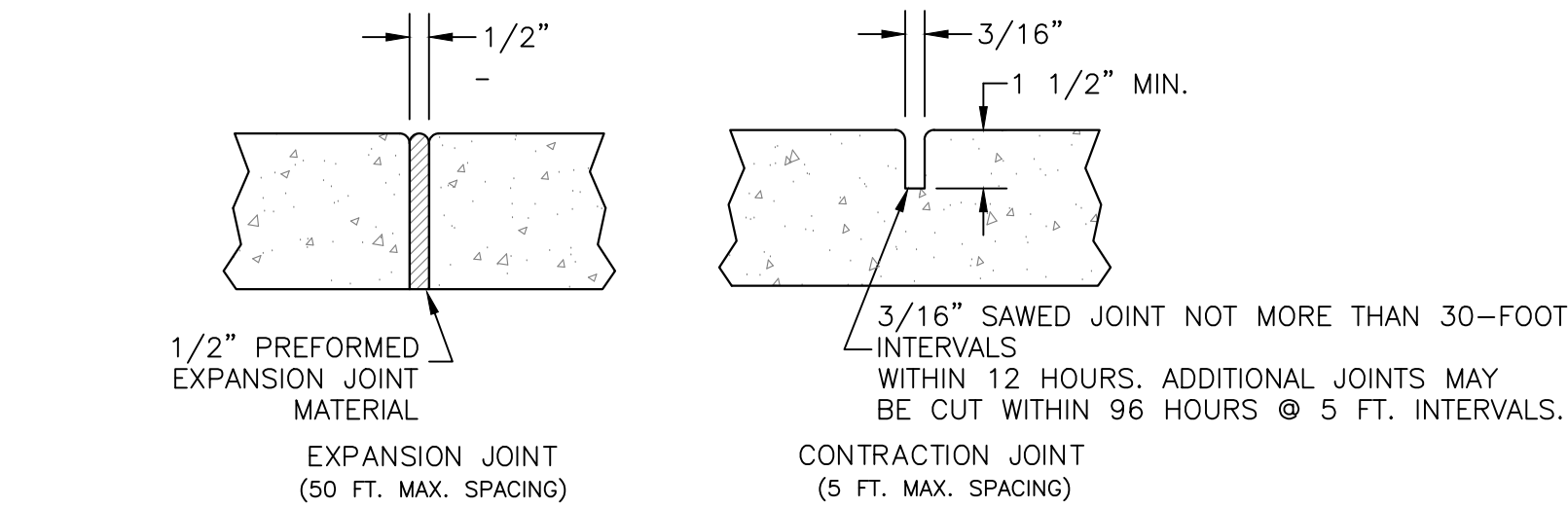
1. SLOPES CAN BE ADJUSTED WITHIN THE RANGES SHOWN TO IMPROVE TIES TO ADJACENT PROPERTY AND ARE TO BE TRANSITIONED TO AVOID DISTORTION IN SIDEWALK CONTINUITY AND MEET A.D.A. REQUIREMENTS
2. COMPLY WITH F.D.O.T. DESIGN STANDARDS INDEX # 515 WHEN DISTANCE BETWEEN CURB AND SIDEWALK IS LESS THAN 10'
3. THIS DETAIL IS APPLICABLE TO FLARE CONSTRUCTION ONLY. SEE FLARED TURNOUT DETAIL ON THIS SHEET AND SITE PLAN FOR CONSTRUCTION DETAILS SPECIFIC TO EACH DRIVEWAY

GENERAL CONSTRUCTION
CONCRETE DRIVEWAY TURNOUTS
N.T.S.



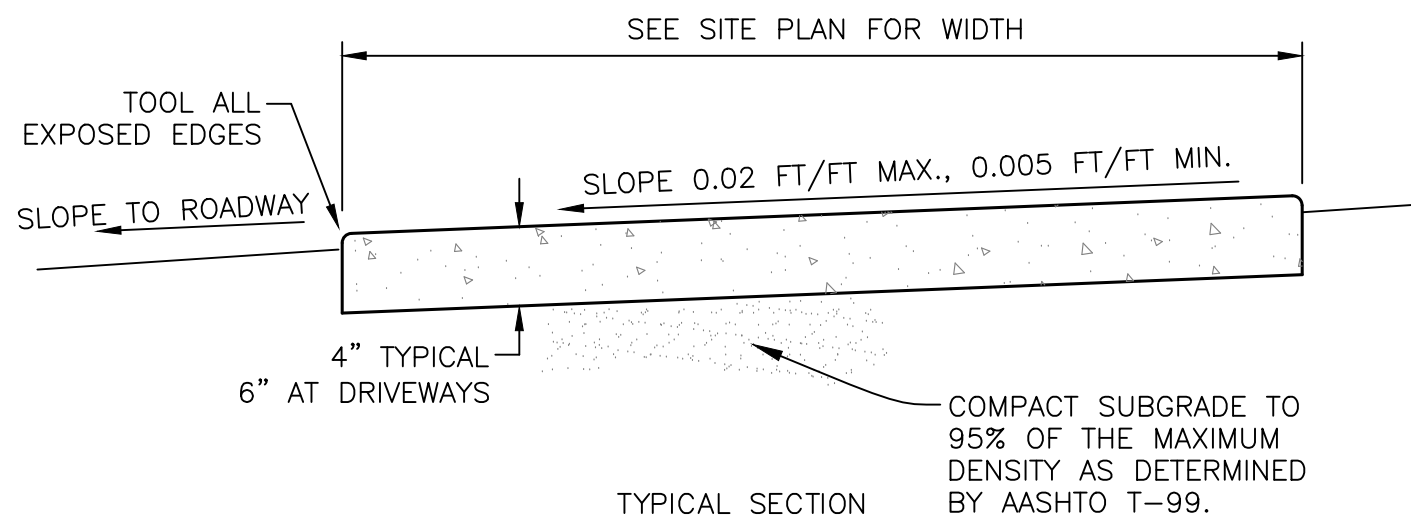
ALL CURBS TO HAVE STANDARD 3' TRANSITION FROM 6" HEIGHT TO FLUSH (0" HEIGHT). A STANDARD TEMPLATE SHALL BE USED AT ALL LOCATIONS TO PROVIDE UNIFORM CURB TRANSITION THROUGHOUT THE PROJECT.

STANDARD CURB END
NOT TO SCALE

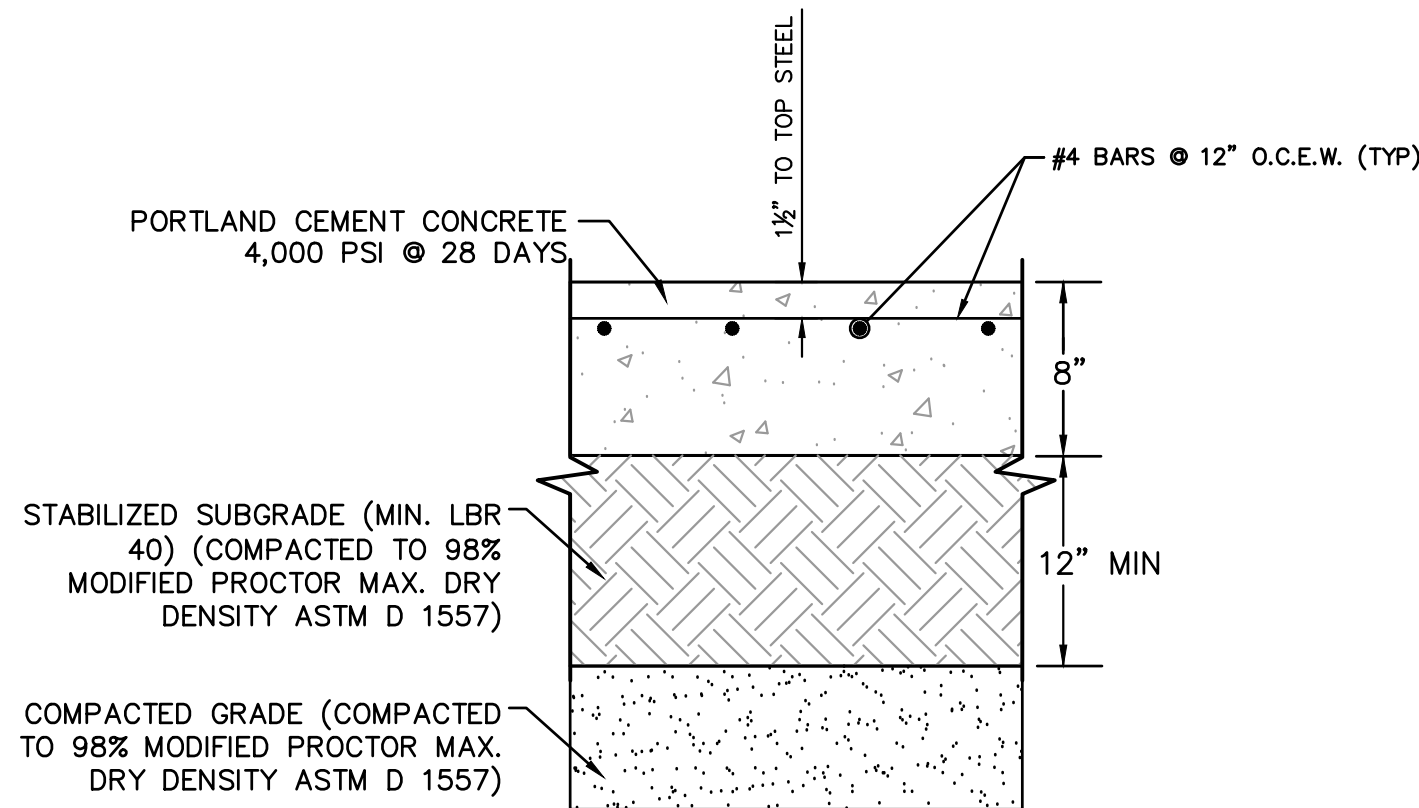


NOTES:

1. PROVIDE EXPANSION JOINTS BETWEEN SIDEWALK AND CURB OR AT ANY OTHER RIGID STRUCTURE, INCLUDING DRIVEWAY, BUILDING, AND COLUMN INTERFACES
2. EXPANSION JOINTS SHALL BE PROVIDED AT 50 FT. MAXIMUM SPACING.
3. ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000 P.S.I. @ 28 DAYS FOR SIDEWALKS.
4. MINIMUM THICKNESS OF SIDEWALK SHALL BE 4". CONCRETE DRIVEWAYS AND SIDEWALKS CROSSING DRIVEWAYS SHALL BE 6" THICK MINIMUM AND SHALL BE REINFORCED WITH 6 x 6 W1.4 x W1.4 WELDED WIRE MESH, PLACED 3" CLEAR FROM BOTTOM.
5. FOR SIDEWALKS AND DRIVEWAYS, COMPACT SUBGRADE TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
6. SEE HARDSCAPE PLANS FOR SURFACING DETAILS.



GENERAL CONSTRUCTION
CONCRETE SIDEWALK
N.T.S.



HEAVY DUTY (VEHICULAR) CONCRETE PAVEMENT SECTION
NOT TO SCALE

NOTE:

1. CONTRACTOR TO REVIEW GEOTECHNICAL REPORT FOR DESIGN CONSIDERATIONS
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR JOINTING PLANS FOR ALL CONCRETE PAVEMENT SECTIONS.
3. CONTROL JOINTS SHALL BE SPACED AT A MAXIMUM OF 15' O.C. IN ALL DIRECTIONS. SEE DETAIL THIS SHEET.
4. CONSTRUCTION JOINTS SHALL BE PLACES AT 60'-0" O.C. MANDATORY AND AS REQUIRED BY CONTRACTOR FOR POUR STOPS. SEE DETAIL THIS SHEET.
5. ALL JOINTS SHALL MAINTAIN AN ASPECT RATIO NEAR 1:1.

CIVIL ENGINEER

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LANDSCAPE ARCHITECT

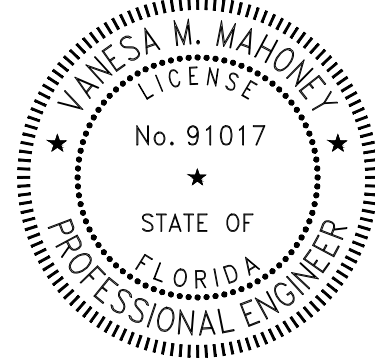
jungles

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MIAMI, FL 33133
PHONE: (305) 858-6777

COA: 22-037
ZON: 22-107

No.	REVISIONS	DATE
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PROJECT No.	140311003
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DRAWN BY	MG
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**CONSTRUCTION
DETAILS**



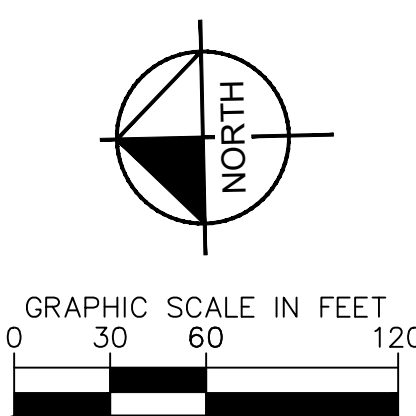
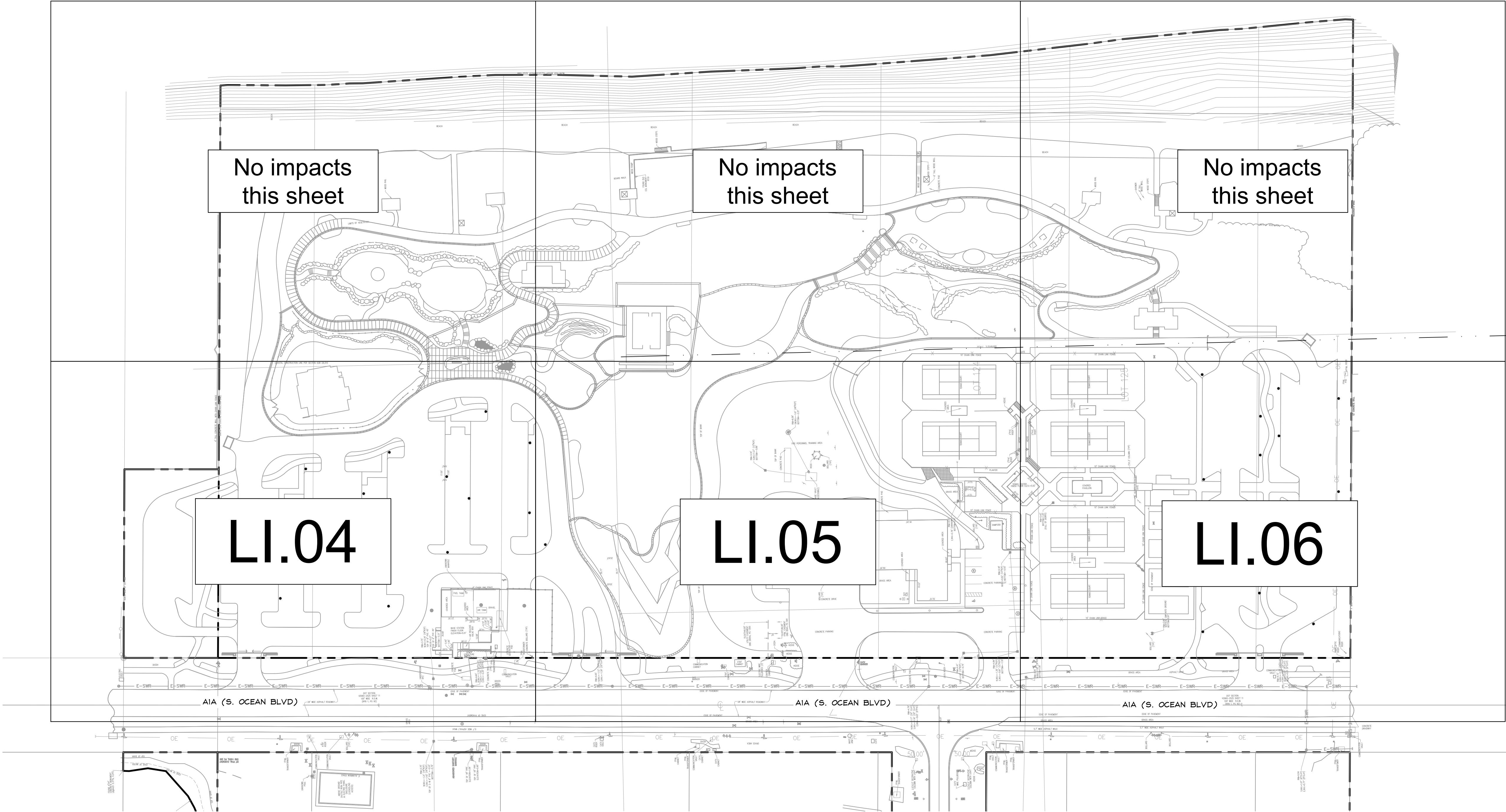
**PHIPPS OCEAN
PARK**
PREPARED FOR
**TOWN OF PALM
BEACH**

TOWN OF PALM BEACH FL

SHEET NUMBER

C3.10

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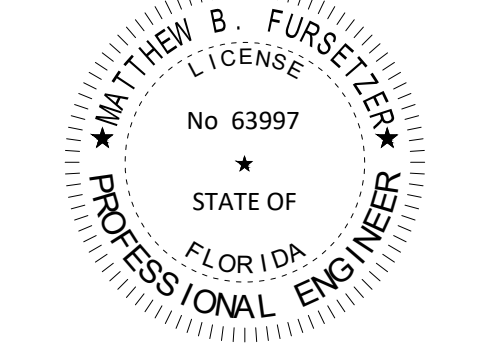
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OVERALL
LIGHTING
PLAN

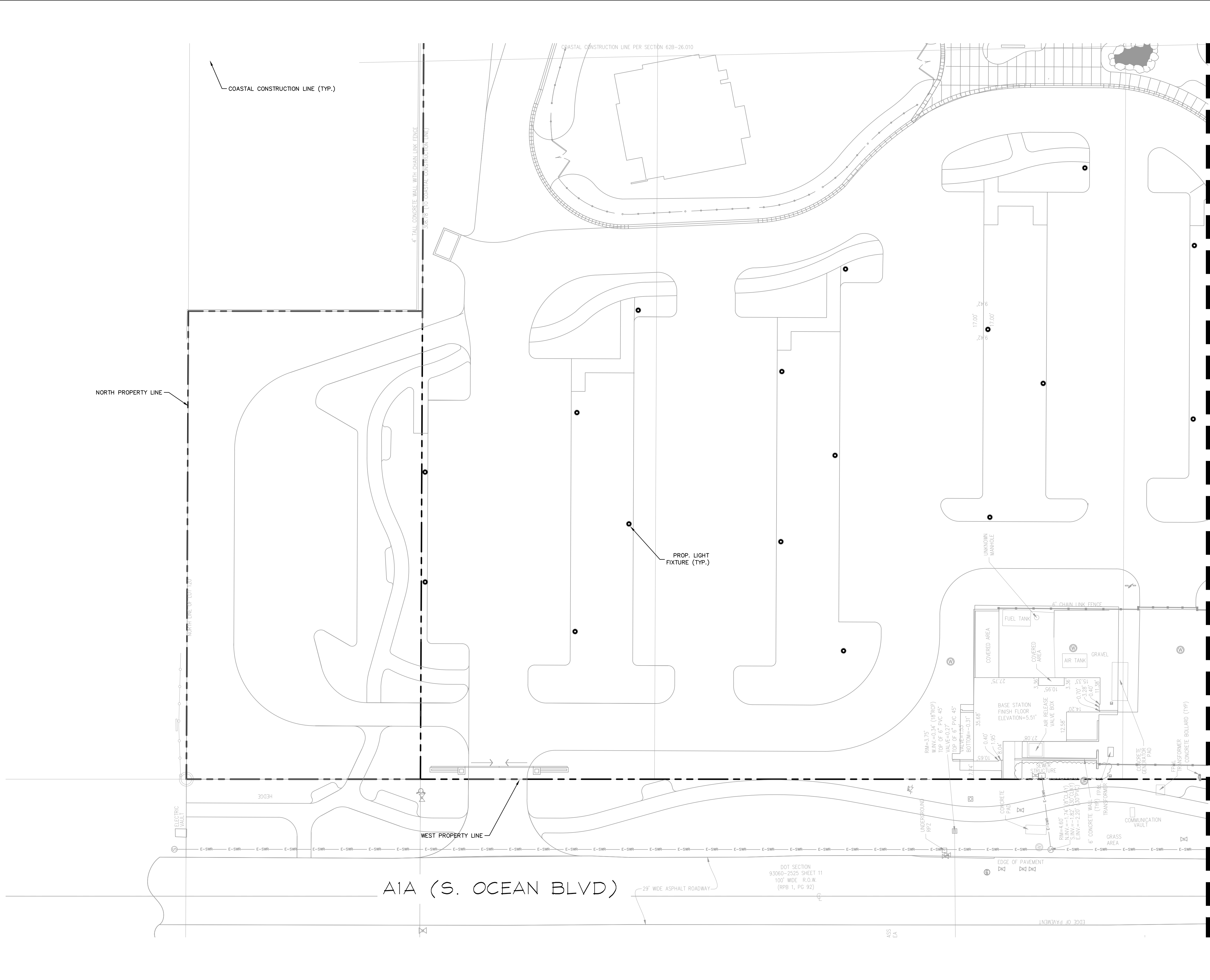


PHIPPS OCEAN
PARK
PREPARED FOR
TOWN OF PALM
BEACH

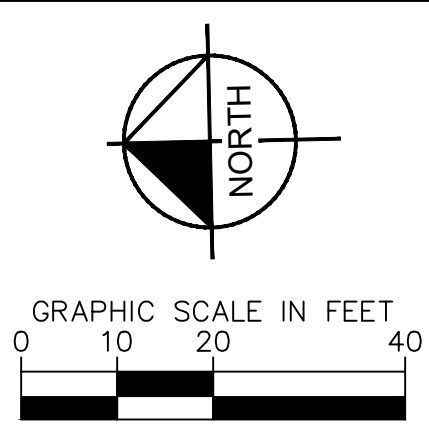
TOWN OF PALM BEACH FL
SHEET NUMBER
LI.00

Plotted By: Alexia Kristen
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MATCHLINE - SEE SHEET LI.05



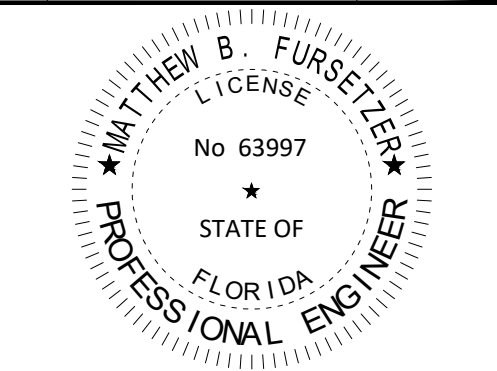
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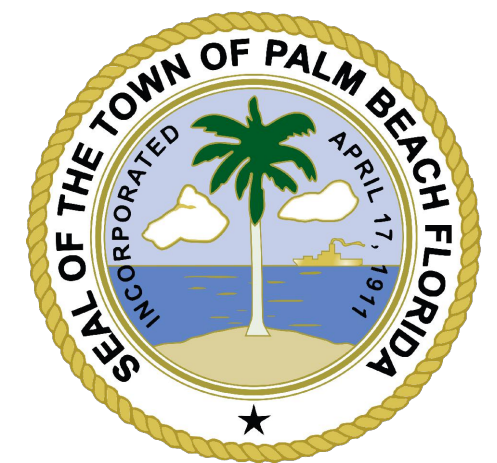
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LIGHTING PLAN



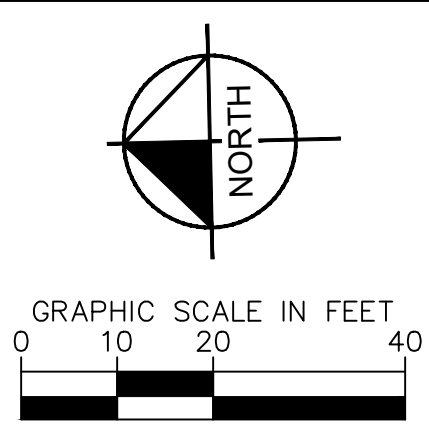
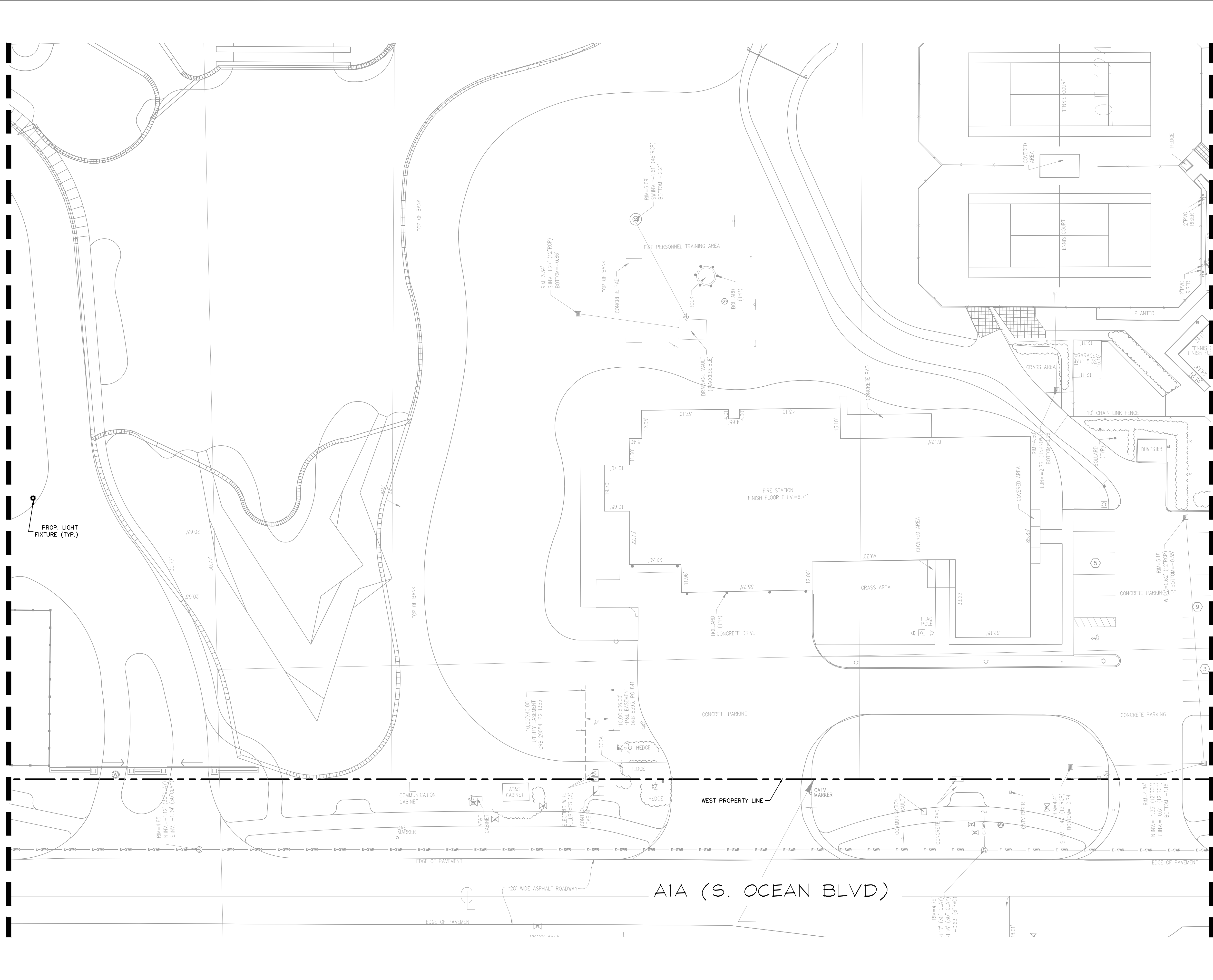
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PREPARED FOR
TOWN OF PALM BEACH

TOWN OF PALM BEACH FL
SHEET NUMBER
LI.04

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MATCHLINE - SEE SHEET LI.04



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ZON: 22-107

No.	REVISIONS	DATE

No. 63997
STATE OF FLORIDA
PROFESSIONAL ENGINEER

PROJECT No. 140311003
DATE 10/28/2022
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DESIGNED BY VM
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LIGHTING PLAN

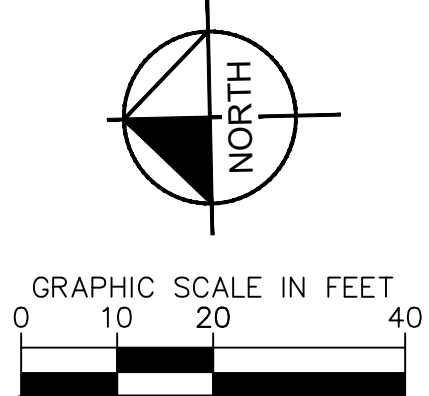
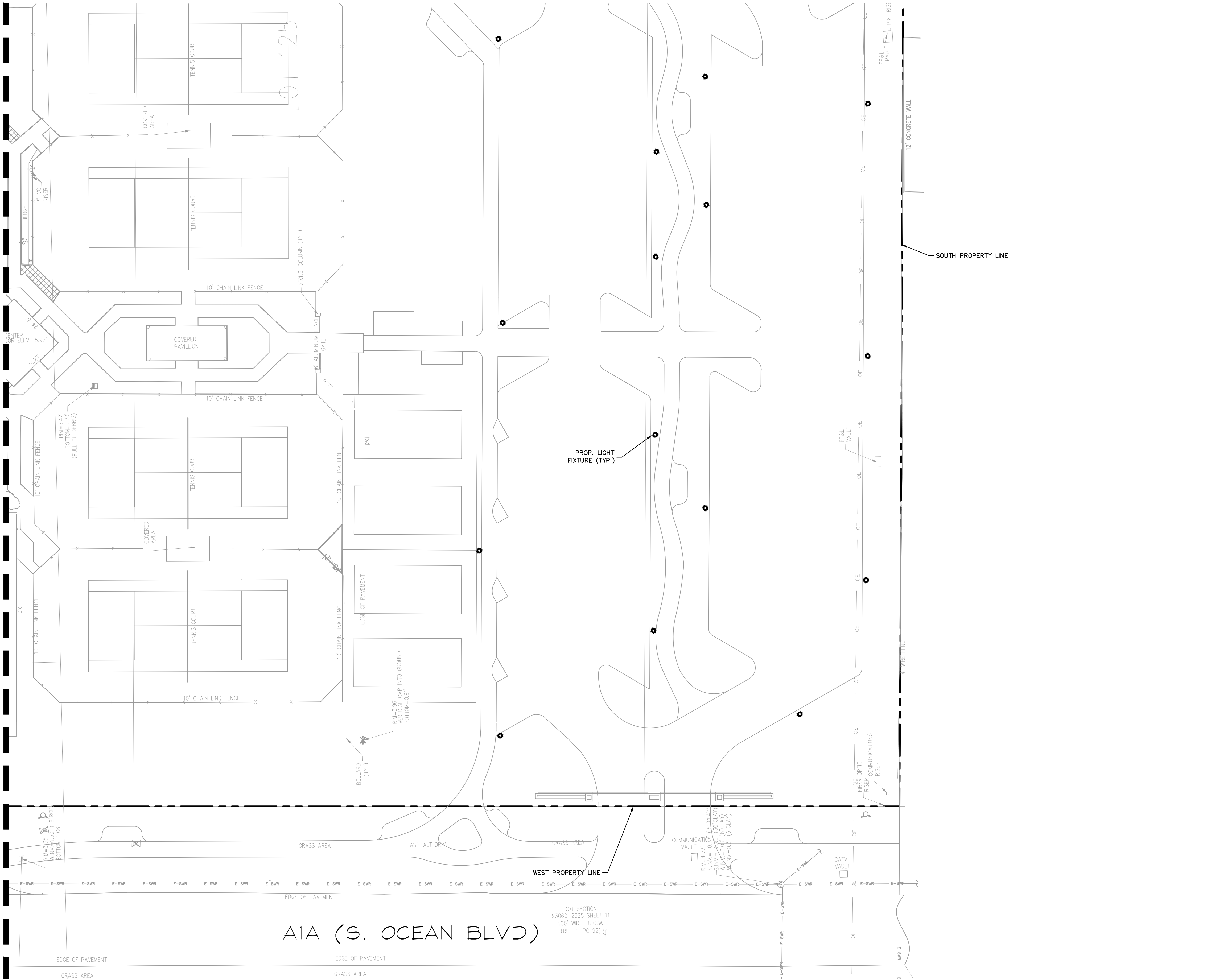
SEAL OF THE TOWN OF PALM BEACH, FLORIDA
INCORPORATED APR. 17, 1911

PHIPPS OCEAN PARK
PREPARED FOR
TOWN OF PALM BEACH

TOWN OF PALM BEACH FL
SHEET NUMBER
LI.05

Plotted By: Alexa, Kristen Sheet Set: PHIPPS OCEAN PARK Layout: LI.06 LIGHTING PLAN October 26, 2022 08:44:54am K:\apps-dev\services\140311003 - phipps ocean park.ccs\CADD\plansheets\LI.06 LIGHTING PLAN.dwg
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MATCHLINE - SEE SHEET LI.05



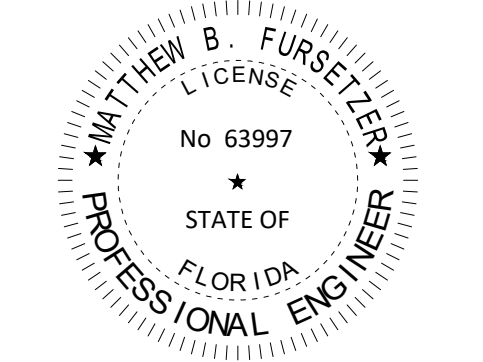
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PROJECT No. 140311003
DATE 10/28/2022
SCALE AS SHOWN
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LIGHTING PLAN



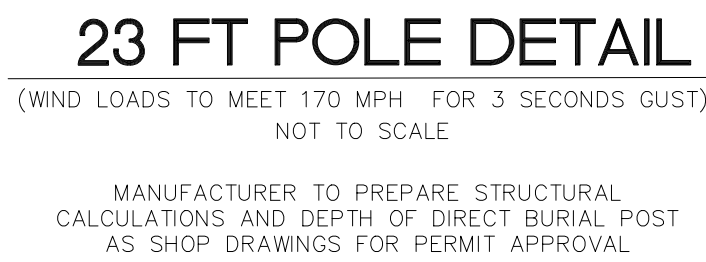
PHIPPS OCEAN PARK
PREPARED FOR
TOWN OF PALM BEACH

TOWN OF PALM BEACH FL
SHEET NUMBER
LI.06

1. LUMINAIRE: HOLLOWPANE – TEARDROP WITH DEEP SKIRT
W/ 6" TENON MOUNTED DECORATIVE ARM
2. THE LOCATION OF THE LIGHT POLES, CONDUCTORS, CONDUIT,
PULL/JUNCTION BOXES AND SERVICE POLES ARE
DIAGRAMMATIC ONLY AND MAY BE SHIFTER BY THE ENGINEER
TO ACCOMMODATE LOCAL CONDITIONS AND EXISTING UTILITY
LOCATIONS.
3. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 OR
SCHEDULE 80, ELECTRICAL GRADE PVC.
4. ALL CONDUIT EXTENDING ABOVE GRADE MUST BE SCHEDULE 80,
ELECTRICAL GRADE PVC.
5. ALL BENDS SHALL WIDE SWEEP 24" RADIUS.
6. ELECTRICAL LINES/CONDUITS TO CROSS OTHER UTILITIES WITH
A MINIMUM OF 12" VERTICAL SEPARATION.
7. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL EQUIPMENT,
INCIDENTALS AND LABOR FOR A COMPLETE ELECTRICAL
SYSTEM AS INDICATED ON THE DRAWINGS. ITEMS NOT SHOWN
BUT OBVIOUSLY NECESSARY FOR A COMPLETE SYSTEM SHALL
BE INCLUDED.
8. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE
(NEC), FLORIDA BUILDING CODE, FPL AND THE LOCAL
BUILDING REQUIREMENTS AND CODES. ALL COMPONENTS
SHALL BE U.L. APPROVED.
9. ALL UNDERGROUND CONDUIT SHALL BE INSTALLED 24" (MIN.)
BELOW FINAL GRADE.
10. CONDUCTORS SHALL BE COPPER STRANDED TYPE RHW-2-XLW
WITH 75°C RISE INSULATION.
11. CONTRACTOR SHALL PROVIDE PULL BOXES AS REQUIRED BY
CODE.
12. UPON COMPLETION OF ELECTRICAL WORK, CONTRACTOR SHALL
ENSURE INSTALLATION IS FREE OF GROUND FAULTS.

1. CONTRACTOR SHALL PROVIDE LIGHTING ANALYSIS AND PROPOSED LIGHTING MATERIAL SHOP DRAWINGS TO THE TOWN OF PALM BEACH FOR APPROVAL PRIOR TO INSTALLATION.

1. ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH NATIONAL ELECTRIC CODE AND LOCAL CODES.



1. COVER TO HAVE A PULL-UP SLOT AND TWO HEX BOLTS TO SECURE IT TO BODY OF BOX.
2. ALL CONDUIT TO ENTER THROUGH THE BOTTOM OF THE JUNCTION BOX.
3. JUNCTION BOX TO MATCH EXISTING GRADE, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
4. SEAL ALL CONDUITS CONTAINING CABLES AND PLUG VACANT CONDUITS.

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LANDSCAPE ARCHITECT

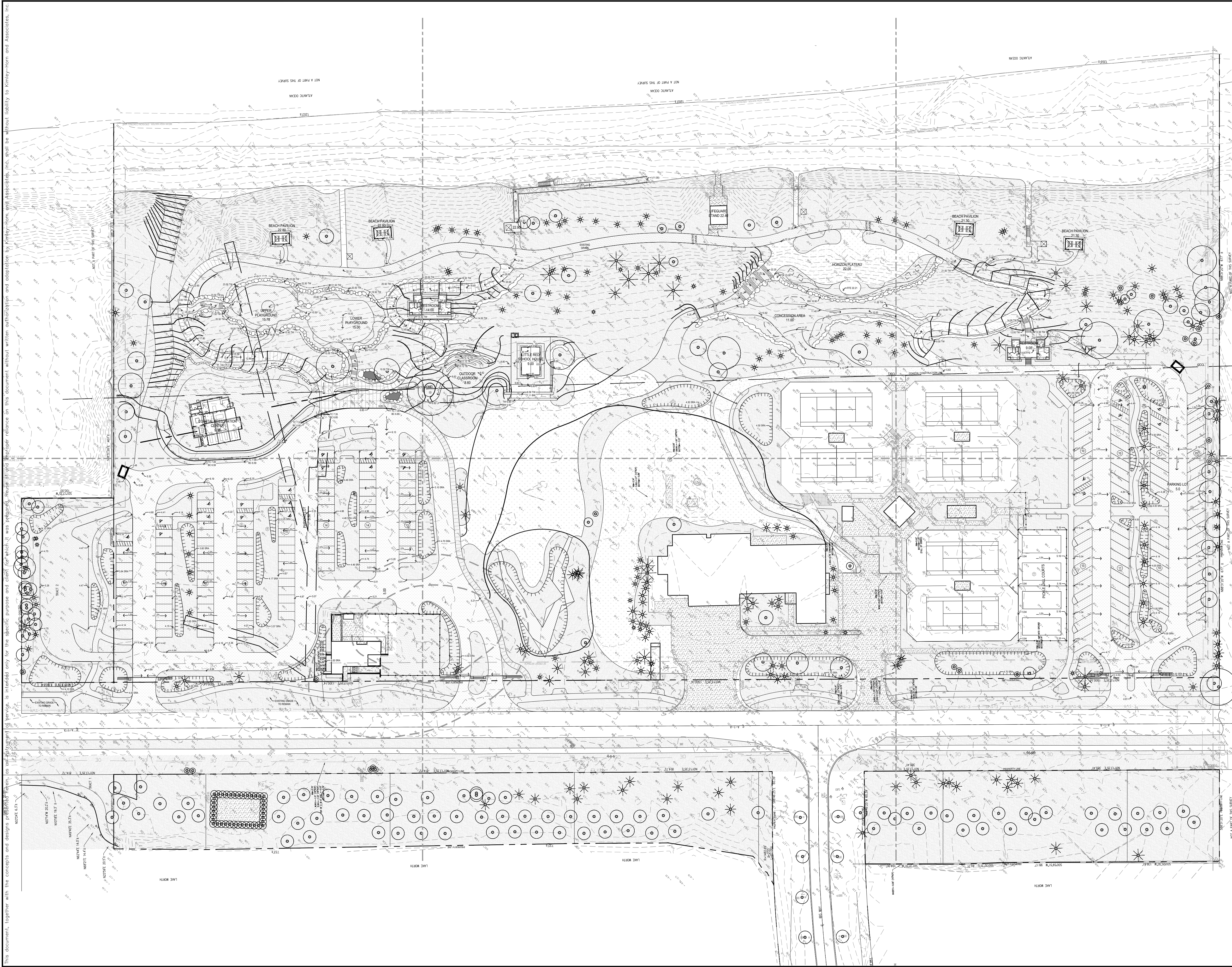
COA: 22-037
ZON: 22-107

A circular professional engineer seal for Matthew B. Fursetzer. The outer ring contains the text "MATTHEW B. FURSETZER" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the word "LICENSE" is at the top, "No 63997" is in the center, a single star is below the number, "STATE OF" is below the star, and "FLORIDA" is at the bottom.

PROJECT No.	140311003
DATE	10/28/2022
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TOWN OF PALM BEACH FL

SHEET NUMBER
LI.10



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LEGEND

PROPERTY LINE

SETBACK

COASTAL CONSTRUCTION CONTROL LINE

SIGHT TRIANGLE

00.00

PROPOSED CONTOUR MAJOR

PROPOSED CONTOUR MINOR

0.00

TW

BW

TS

BS

TOP OF WALL

BOTTOM OF WALL

TOP OF STEP

BOTTOM OF STEP

GENERAL GRADING NOTES:

1. ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL, AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.

2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

3. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.

4. ALL SHRUBS AND GROUND COVER AREAS SHALL BE 2" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).

5. ALL TURF AREAS SHALL BE FLUSH WITH ADJACENT HARDSCAPE AREAS TO ENSURE NO TRIPPING HAZARDS.

6. CONTRACTOR SHALL TEST PERCOLATION IN ALL SRAs AND NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY ISSUES. CONTRACTOR SHALL BE RESPONSIBLE FOR PERCOLATION IN ALL AREAS.

7. CONTRACTOR SHALL MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.

8. SURVEY PROVIDED CORRESPONDS TO LONGITUDE SURVEYS DATED 01/20/2015. ALL EXISTING SPOT ELEVATIONS ARE REPRESENTED IN NGVD.

9. THIS DRAWING REPRESENTS AESTHETIC GRADING AND LANDSCAPE DRAINAGE ONLY. SEE ENGINEERING DRAWINGS FOR OVERALL SITE DRAINAGE AND GRADING. ALL BELOW GRADE CONNECTIONS AND/OR SYSTEM BY OTHERS.

10. ALL FINISH GRADING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.

11. CONTRACTOR SHALL MEET ALL EXISTING GRADES SMOOTHLY AND EVENLY.

12. ALL RAINWATER SHALL BE MAINTAINED WITHIN PRIVATE PROPERTY. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR THE MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.

14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.

0 25 50 100

SCALE: 1:50

CIVIL ENGINEER

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LANDSCAPE ARCHITECT

jungles

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ZON: 22-107

No.	REVISIONS	DATE

PROJECT No.

DATE

SCALE

DESIGNED BY

DRAWN BY

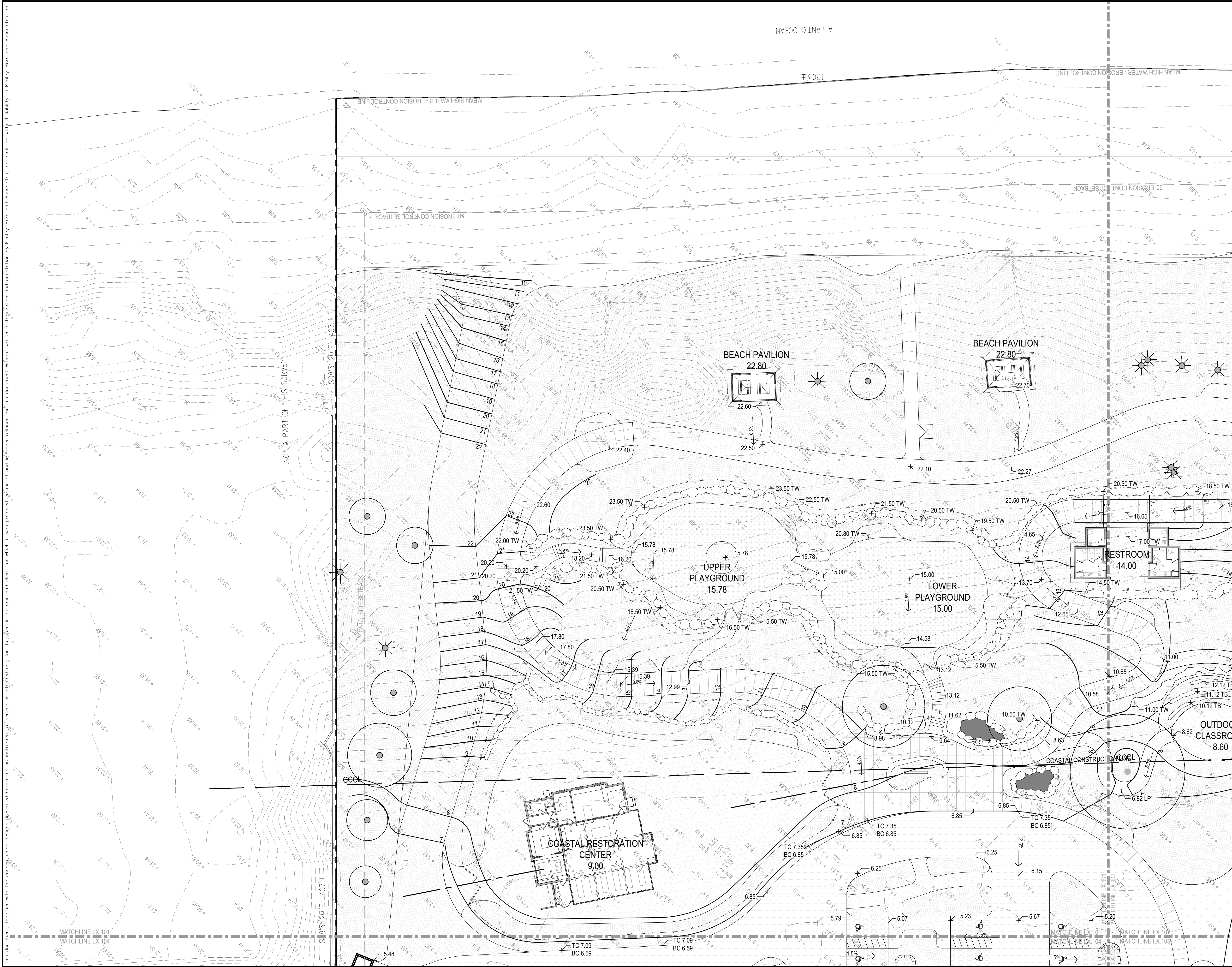
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GRADING PLAN

PHIPPS OCEAN PARK
PREPARED FOR
TOWN OF PALM BEACH

SHEET NUMBER

LG.100



LEGEND

PROPERTY LINE

SETBACK

COASTAL CONSTRUCTION CONTROL LINE

SIGHT TRIANGLE

SRA (SHALLOW RETENTION AREA)

PROPOSED CONTOUR MAJOR

PROPOSED CONTOUR MINOR

PROPOSED SPOT ELEVATION

TW
BW
TS
BS

TOP OF WALL
BOTTOM OF WALL
TOP OF STEP
BOTTOM OF STEP

GENERAL GRADING NOTES:

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10. ALL FINISH GRADING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.

11. CONTRACTOR SHALL MEET ALL EXISTING GRADES SMOOTHLY AND EVENLY.

12. ALL RAINWATER SHALL BE MAINTAINED WITHIN PRIVATE PROPERTY. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR THE MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.

14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.

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SCALE: 1:20

CIVIL ENGINEER

Kimley»Horn

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ARCHITECT

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LANDSCAPE ARCHITECT

jungles

RAYMOND JUNGLES, INC.
2964 AVIATION AVENUE
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PHONE: (305) 858-6777

COA: 22-037
ZON: 22-107

No.	REVISIONS	DATE

PROJECT No.

DATE

SCALE

DESIGNED BY

DRAWN BY

CHECKED BY

GRADING PLAN
NORTHEAST

SEAL OF THE TOWN OF PALM BEACH, FLORIDA
INCORPORATED APRIL 17, 1911

PHIPPS OCEAN PARK
PREPARED FOR
TOWN OF PALM BEACH

SHEET NUMBER

LG.101