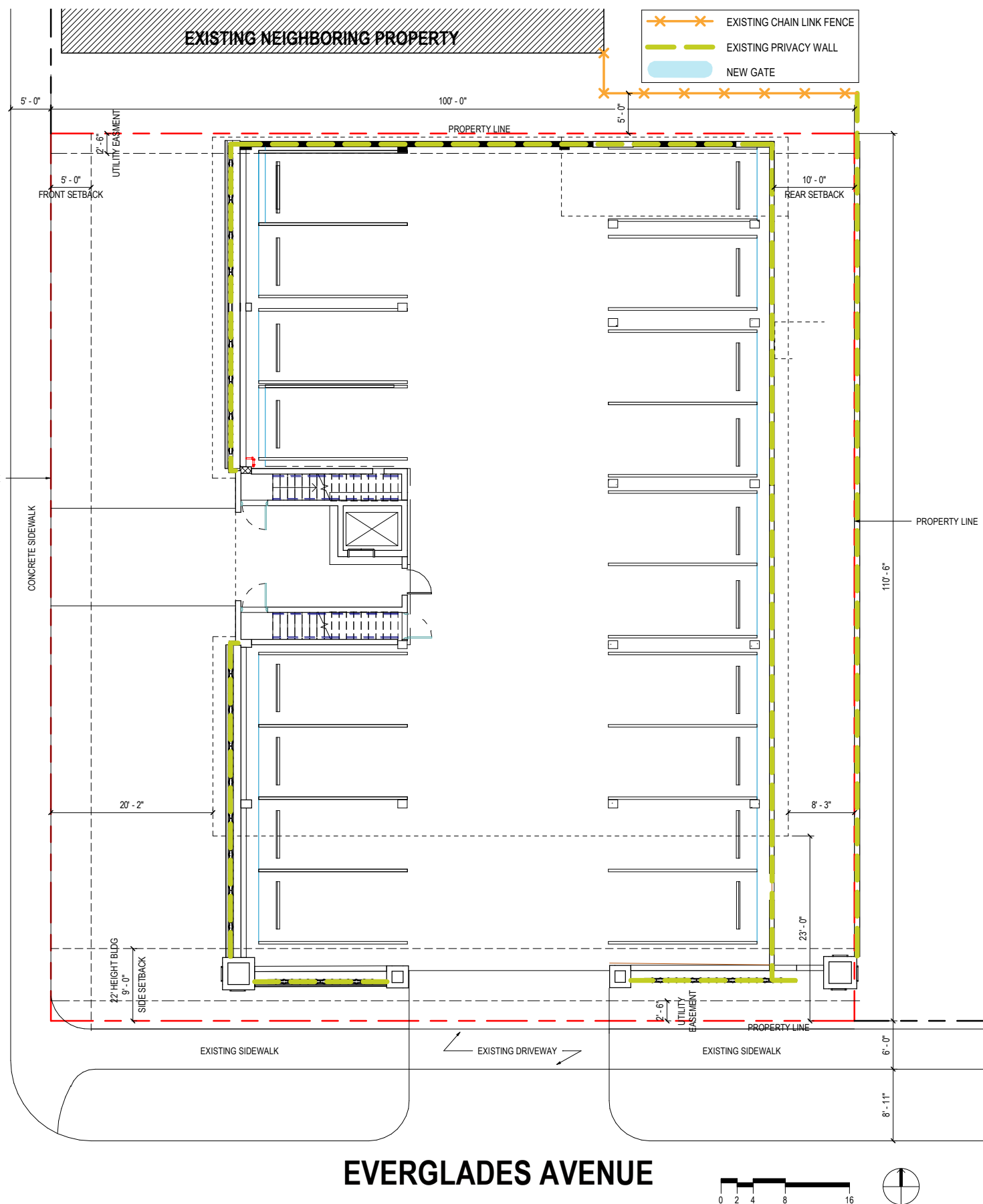
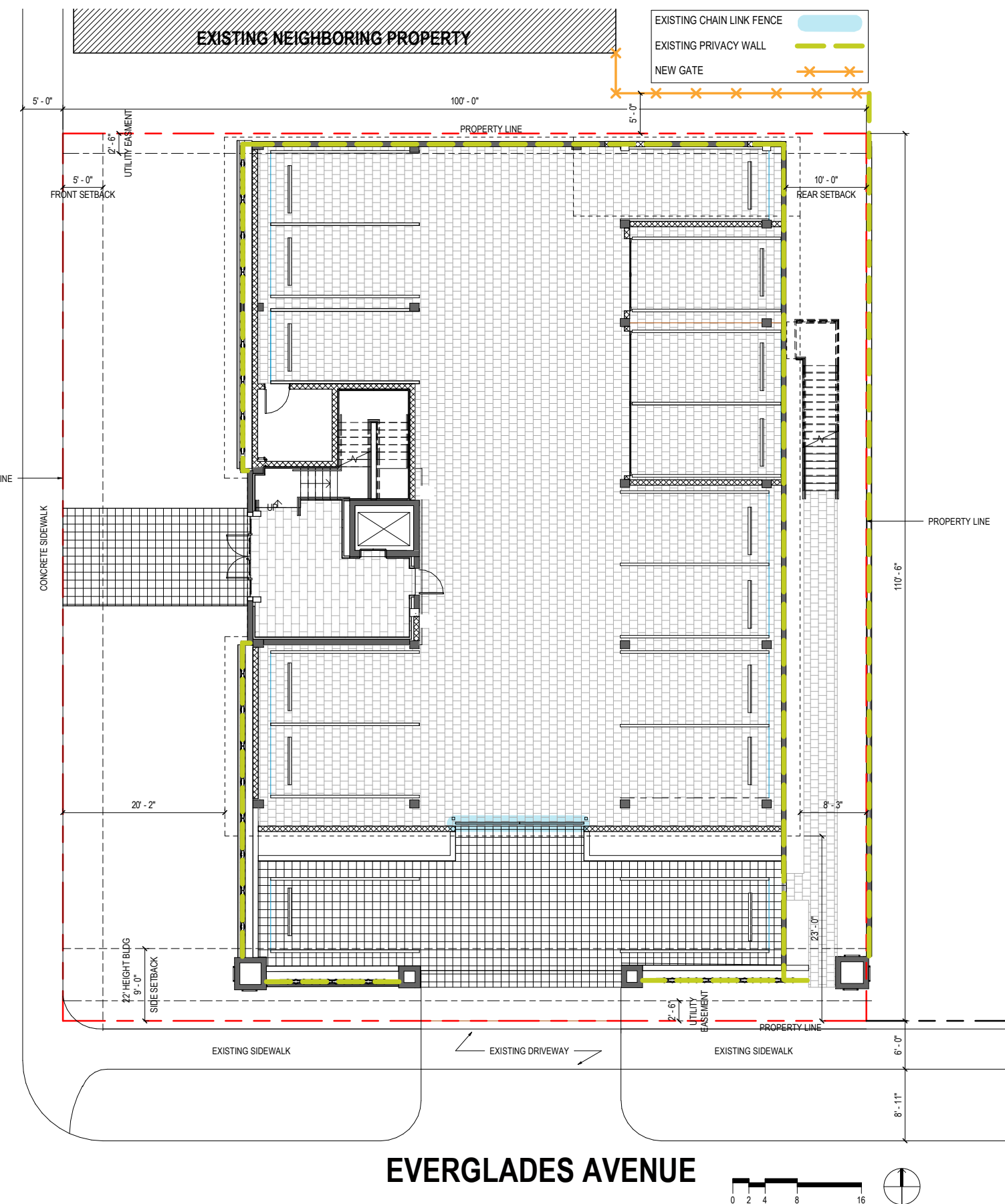
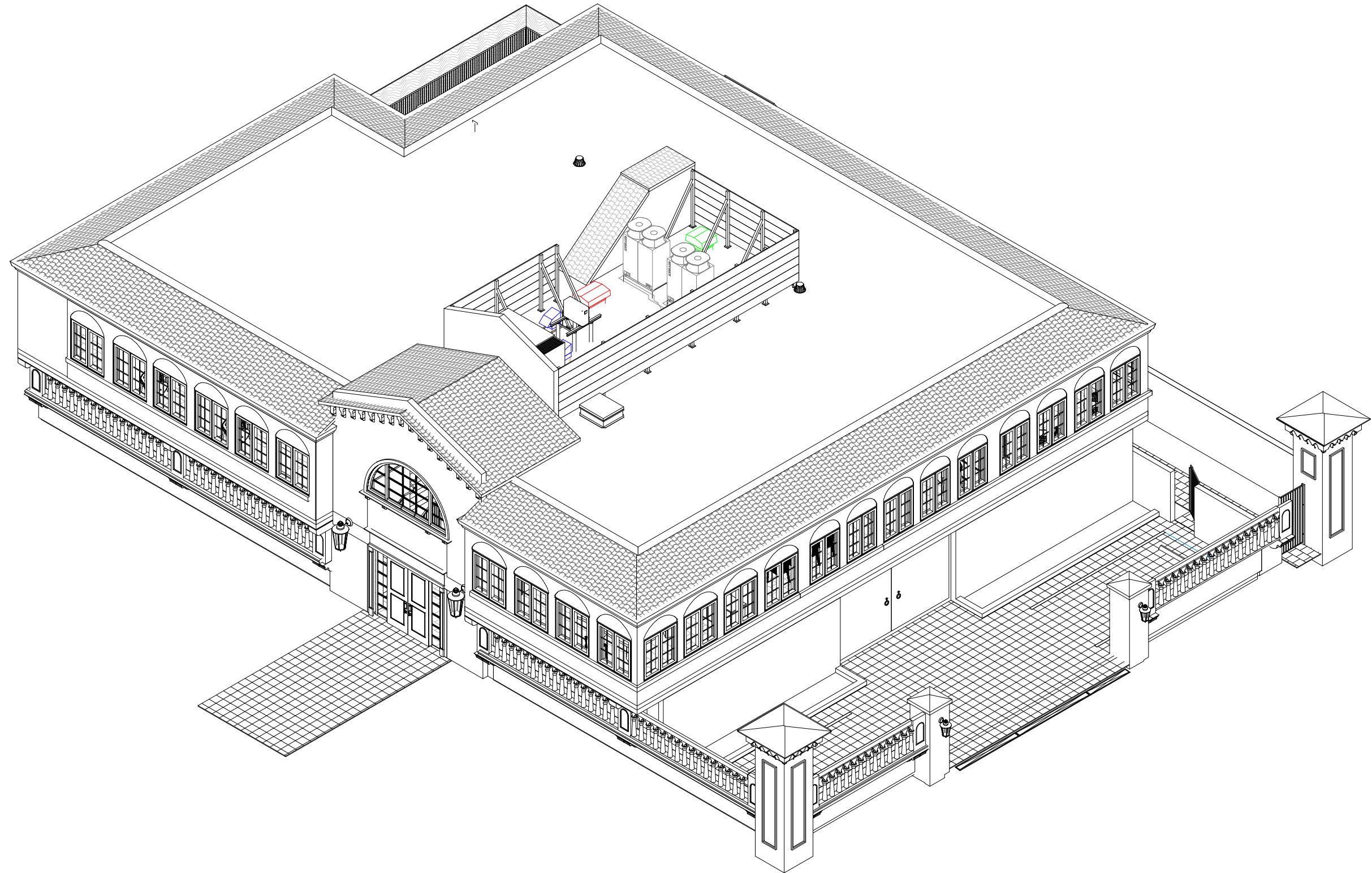


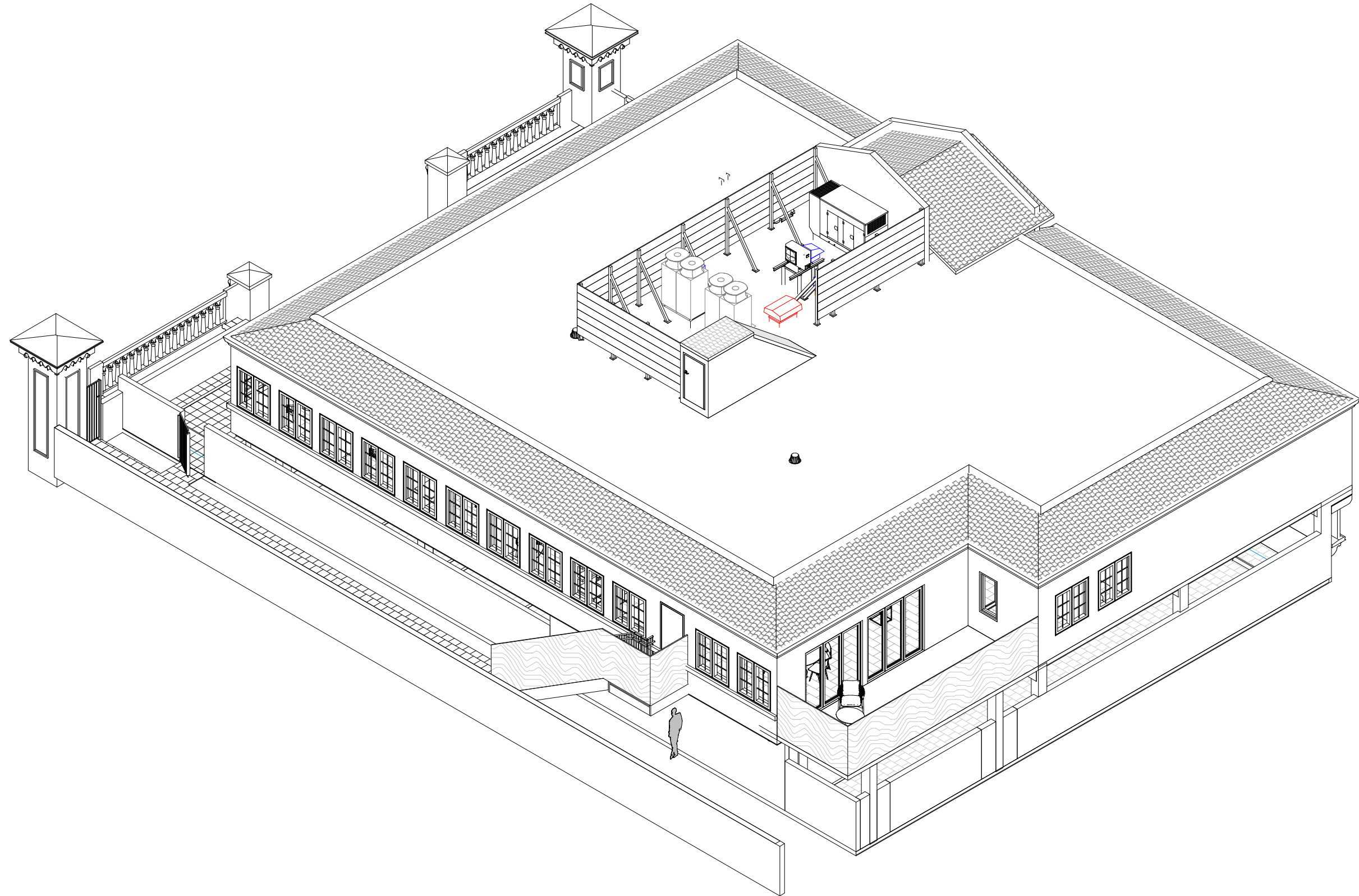
BRADLEY PLACE

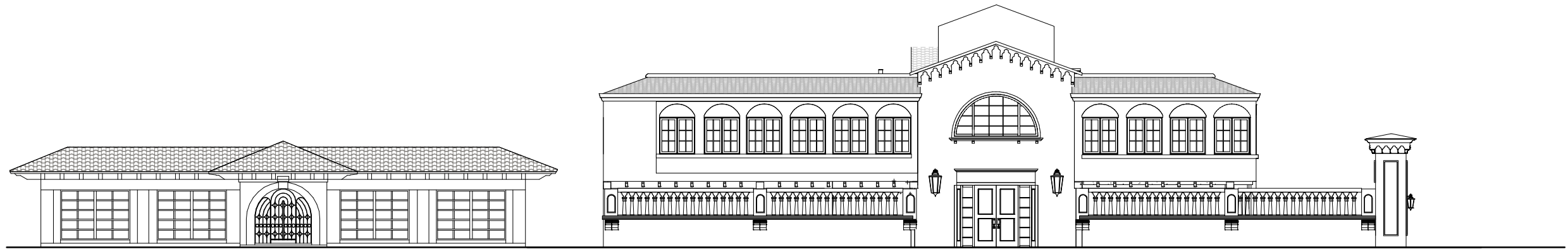


BRADLEY PLACE

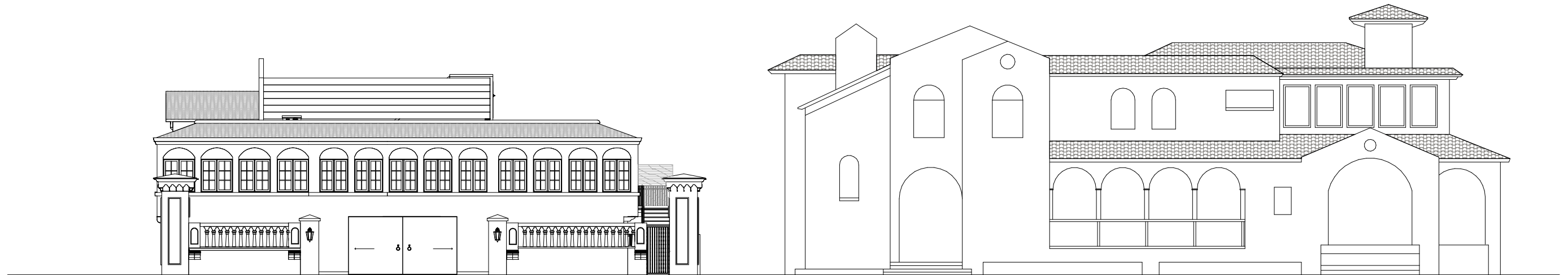




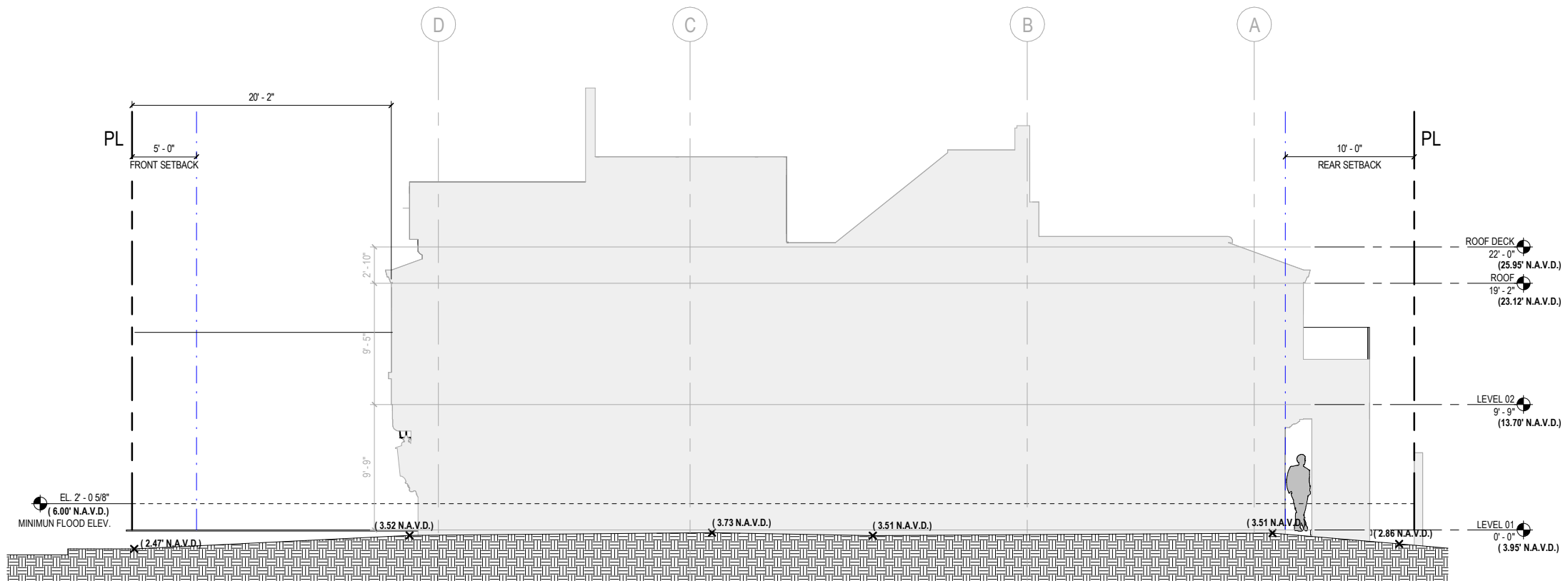




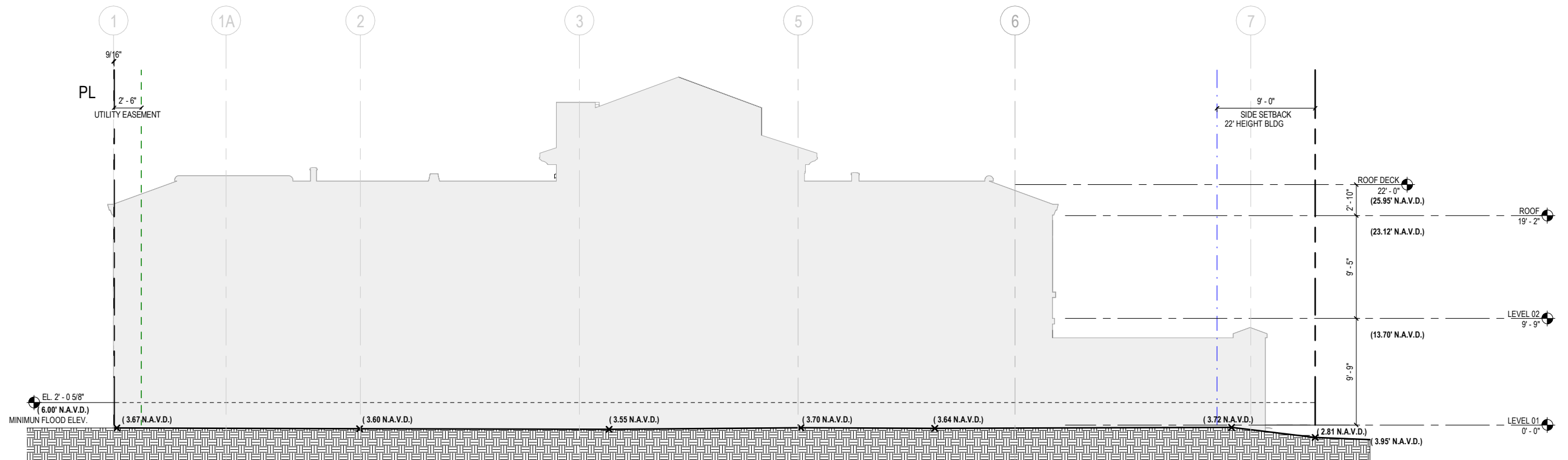
01 STREETSCAPE ELEVATION - WEST
SCALE: 1/8" = 1'-0"



02 STREETSCAPE ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

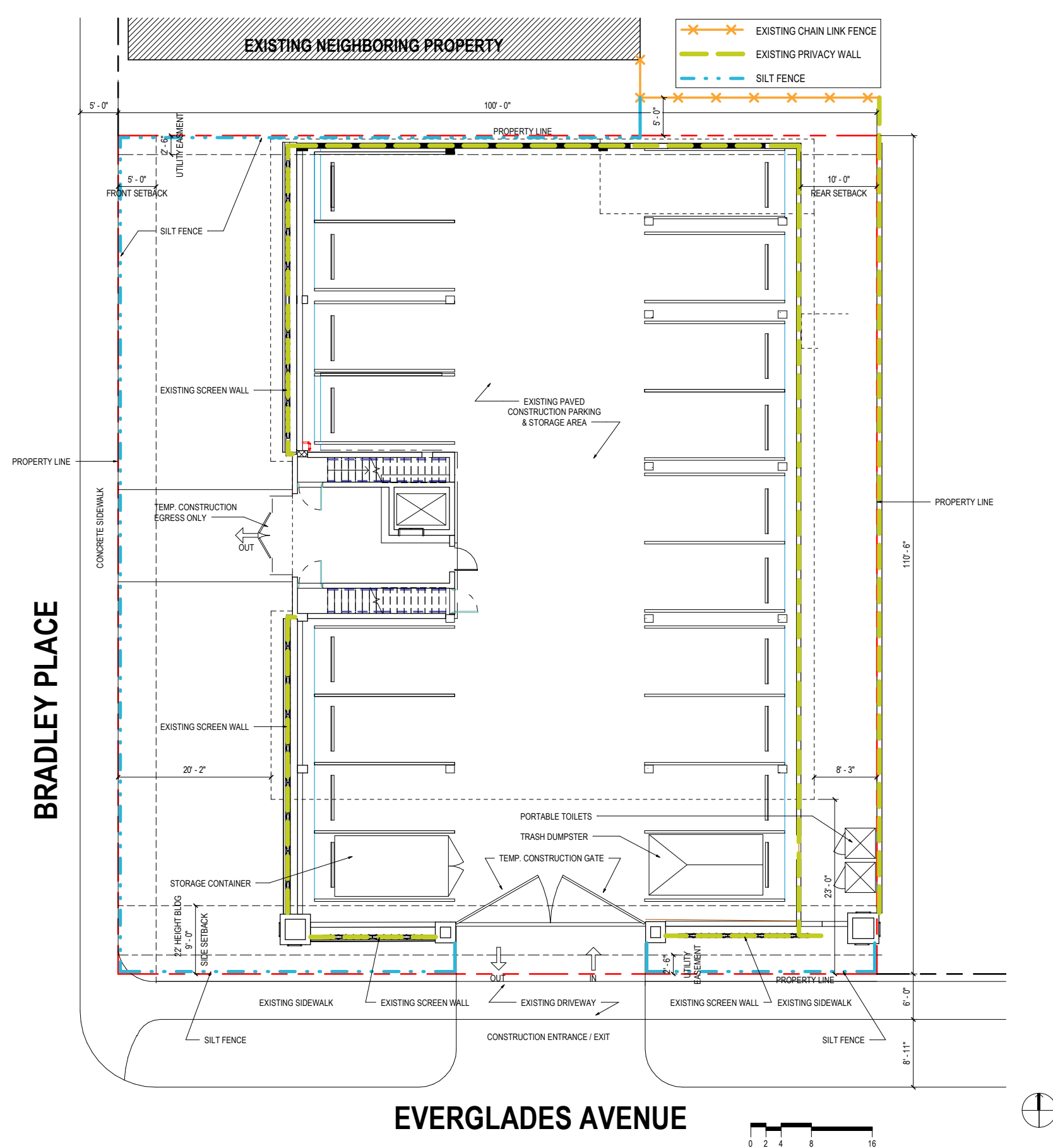


1 YARD SECTION DIAGRAM E-W
SCALE: 3/16" = 1'-0"



2 YARD SECTION DIAGRAM N-S
SCALE: 3/16" = 1'-0"

YARD SECTION DIAGRAMS





May 31, 2022

Craig Hauschild
Town of Palm Beach
Public Works
360 South County Road
Palm Beach, FL 33480
561) 838-5430

Re: ARC-22-123 (ZON-22-078)
231 Bradley Place
Engineering Comments

Dear Mr. Hauschild:

Kimley-Horn and Associates, Inc., is pleased to submit this letter to address the engineering comments provided to our Client on 5-9-2022.

We understand the following engineering comments need to be addressed:

- 1. Recertification of existing stormwater management system. Paving and Grading plans meeting current standards need to be submitted. This can be accomplished with existing, installation of a new system to current standards, or a combination of the two.*

We have reviewed the existing stormwater system and offsite permit that the subject site drains to. The offsite system takes on flow from the basins listed in said permit. The subject site is located within one of these stormwater basins and is thus captured in the offsite system and ultimately discharged into the intercoastal waterway via an existing master stormwater pump station located adjacent the intercoastal waterway.


The subject site has existing area drains within the parking area and an existing trench drain along the south property line located on grade within the wall opening to the parking area. These drains take on stormwater flow from the parking area and roof drains, prior to discharging to the offsite system. The existing system does not appear to have any onsite retention.

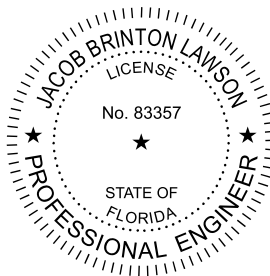
We recommend the system be cleaned and recertified to meet the existing expectations of the system. The existing drainage plan has been created based on the survey information we received and is limited to show the discovered underground piping connections and the final grading of the new paver system that is designed by others. The existing system will be cleaned as needed so that the system may be recertified to meet the intent of the original design.

We appreciate the opportunity to provide this letter in response to the above comment. Please contact me if you have any questions.

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.


Jacob B. Lawson, P.E.
Kimley-Horn and Associates, Inc
445 24th Street
Suite 200
772-794-4110
Jacob.Lawson@kimley-horn.com

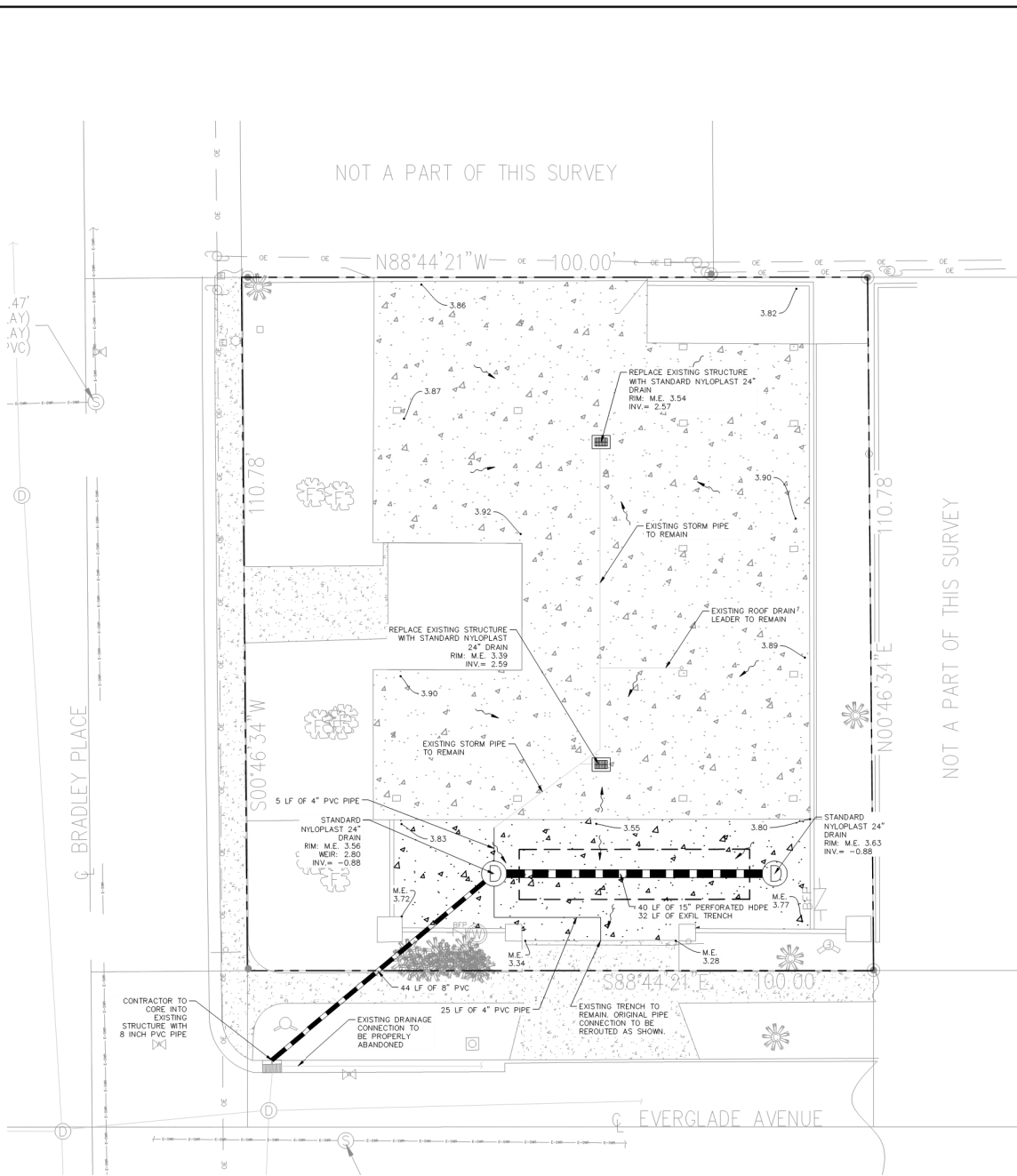


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JACOB B. LAWSON, P.E. ON 05/31/2022
USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED
AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Printed By: blinck, Date: 6/22/2022, Sheet: 2 of 2, Project: 231 BRADLEY PLACE, PREPARED FOR ALKEON CAPITAL MANAGEMENT, LLC, TOWN OF PALM BEACH, FL. This document, together with the drawings and specifications, is an instrument of service, and shall be read and construed as such. It is the responsibility of the user to ensure that the information contained herein is accurate and complete. No part of this document shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from the user.

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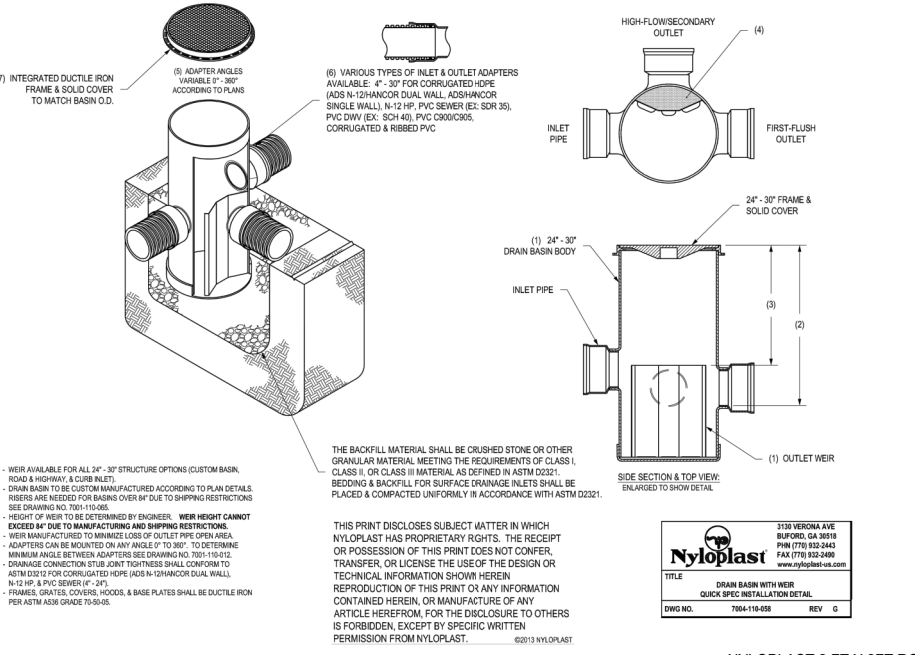
PAVING AND GRADING NOTES

1. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. ALL MATERIALS AND CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST FOOT DESIGN STANDARDS AND LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
5. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE SPECIFICATIONS AND LOCAL JURISDICTIONAL AGENCY. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
9. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
10. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW-CUT THE FULL DEPTH OF EXISTING PAVEMENT FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
11. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS SPECIFIED OTHERWISE.
12. CONTRACTOR SHALL EXCAVATE EXISTING PAVEMENT/SIDEWALK AREAS THAT ARE TO BE LANDSCAPED A MINIMUM OF 30\"/>

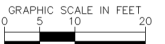
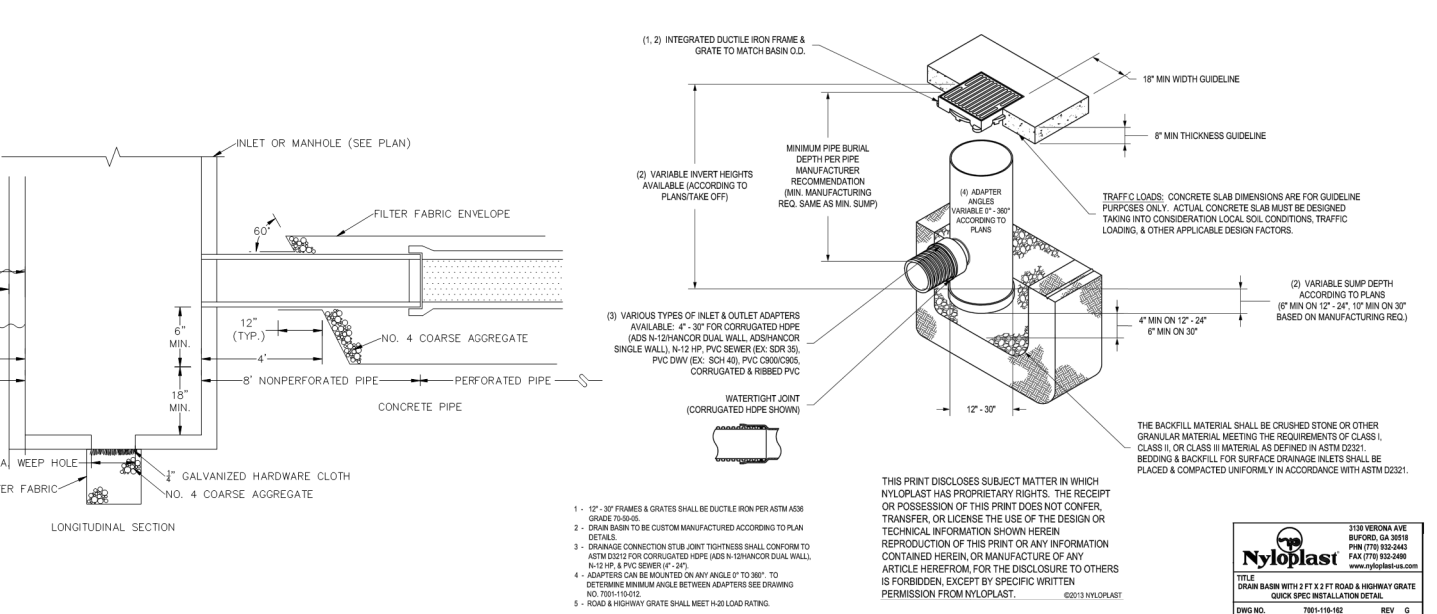
DRAINAGE NOTES

1. CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USF GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
2. CONTRACTOR TO REFER TO FDOT DESIGN STANDARD (AND NOT LIMITED TO) INDEX'S 200, 201, 210, 211, 214, 232 & 233 FOR MANHOLE, INLET AND GRATE SPECIFICATIONS.
3. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SLOPED BEARING HEAVY DUTY H-20 RATED TRAFFIC RINGS AND GRATES.
4. CONTRACTOR TO VERIFY ALL EXISTING UTILITY RINGS AND COVERS ON SITE ARE HEAVY DUTY TRAFFIC RATED. CONTRACTOR TO REPLACE DEFICIENT RINGS AND COVERS WITH HEAVY DUTY TRAFFIC RATED RINGS AND COVERS. CONTRACTOR TO ADJUST RIM ELEVATIONS OF ANY UTILITIES THAT CHANGE IN ELEVATION DURING CONSTRUCTION.
5. ALL CLEAN-OUT COVERS SHOULD BE RATED FOR HEAVY DUTY TRAFFIC.
6. SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6\"/>

NYLOPLAST DRAIN BASIN WITH WEIR



NYLOPLAST 2 FT X 2 FT ROAD & HIGHWAY STRUCTURE: 32 __ AGS __ X



LEGEND AND ABBREVIATIONS

- M.E. MATCH EXISTING
- EXISTING FLOW PATTERN
- DRAINAGE STRUCTURES
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPERTY LINE
- EXISTING STORM PIPE TO REMAIN
- PROPOSED STORM PIPE
- PROPOSED STORM PIPE
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE SEE NOTE 20 OF THE PAVING AND GRADING NOTES

Kimley»Horn
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445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT
147702003
DATE
6/22/2022
SCALE
AS SHOWN
DESIGNED BY
JBL
DRAWN BY
SJB
CHECKED BY
JBL
DATE

231 BRADLEY PLACE
PREPARED FOR
ALKEON CAPITAL MANAGEMENT, LLC
TOWN OF PALM BEACH

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C-200