

FINAL SUBMITTAL - REVISION 3

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- SCOPE OF WORK**
- Exterior modifications of windows, paint, and new hip roof at entry.
  - Addition of store front glass at main entrance.
  - Modification to existing stairs. Additional egress back stair at east facade.
  - New proposed balcony.
  - Total demolition of interior partitions for new partition layout.

01. GENERAL REQUIREMENTS

Landscape and Zoning	01
Survey	02
Vicinity Map & Location Plan	03
Existing Facade Pictures	04
Neighborhood Pictures	05
Precedent Pictures	06
Context Site Plan	07
Existing Site Plan	08
Proposed Site Plan	09

02. ADDITIONS

Zoning - Variances	10
Zoning Information	11
Zoning- Lot Coverage Calc.	12
Demolition Plan - Level 1	13
Demolition Plan - Level 2	14
Demolition Plan - Roof	15
Proposed Level 1 Plan	16
Proposed Level 2 Plan	17
Proposed Roof Plan	18
Elevations- East	19
Elevations - North	20
Elevations - West	21
Elevations - South	22
Color Elevations - East	23
Color Elevations - East with Landscaping	24
Color Elevations - North	25
Color Elevations - North with Landscaping	26
Color Elevations - West	27
Color Elevations - West with Landscaping	28
Color Elevations - South	29
Color Elevations - South with Landscaping	30
Details - Stairs, Railings, & Doors	31
Building Sections	32

Rendering without Landscape	33
Rendering with Landscape	34
Fences, Walls, & Gates	35
Axonometric View 1	36
Axonometric View 2	37
Streetscape Elevations	38
Yard Section Diagrams	39
Truck Route	40
Construction Screening and Staging Logistics Plan	41

03. CIVIL

Letter - Engineering Comments	42
Existing Paving, Grading, and Drainage Plan	43- C-200

04. LANDSCAPE

Existing Condition Plan	44 - L0.00
Landscape Plan	45 - L1.00
Landscape Details	46 - L1.50
Irrigation Plan	47 - L2.00
Irrigation Details	48 - L2.50
Irrigation Notes	49 - L2.51
Irrigation Notes	50 - L2.52
Landscape Palette	51
Landscape Rendering	52

ARCOM HEARING DATE: SEPTEMBER 28, 2022



## Town of Palm Beach

Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:		
4		Required	Proposed
5	Lot Size (sq ft)	11,048 SQ FT	
6	Landscape Open Space (LOS) (Sq Ft and %)	2,762 SQ FT, 25%	3,119 SQ FT, 28%
7	Perimeter LOS (Sq Ft and %)	N/A	N/A
8	Front Yard LOS (Sq Ft and %)	1,092 SQ FT, 35%	2,136 SQ FT, 64%
9	Native* Trees %	N/A	N/A
10	Native* Palms %		100%
11	Native* Shrubs %		100%
12	Native* Vines / Ground Cover %		100%

\*To determine appropriate native vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect

REV BF 20220304



## Town of Palm Beach

Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	231 Bradley Place, Palm Beach FL 33480		
2	Zoning District:	C-TS Commercial Town Serving		
3	Structure Type:	2 Stories		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	4,000 SF min.	11,048 SF	11,048 SF
6	Lot Depth	90' min.	100 SF	100 SF
7	Lot Width	30' min.	110 SF	110 SF
8	Lot Coverage (Sq Ft and %)	7,000 SF/ 70%	5,900 SF/ 53.4%	6,280 SF/ 56.8%
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl, Accessory Structures, etc)	15,000 GSF	12,280 GSF	13,060 GSF
10	Cubic Content Ratio (CCR) (R-B ONLY)			
11	*Front Yard Setback (Ft.)	5'-0"	20'-2"	20'-2"
12	* Side Yard Setback (1st Story) (Ft.)	N/A	N/A	N/A
13	* Side Yard Setback (2nd Story) (Ft.)	9'-0"	23'-0"	23'-0"
14	*Rear Yard Setback (Ft.)	10'-0"	10'-0"	3'-8"
15	Angle of Vision (Deg.)	100D Front Yard		
16	Building Height (Ft.)	25'-0" max.	22'-10"	22'-10"
17	Overall Building Height (Ft.)	25'-0" max.	24'-2"	24'-4"
18	Crown of Road (COR) (NAVD)			
19	Max. Amount of Fill Added to Site (Ft.)	N/A	N/A	N/A
20	Finished Floor Elev. (FFE)(NAVD)	6' NAVD	3.95' NAVD	3.95' NAVD
21	Zero Datum for point of meas. (NAVD)			
22	FEMA Flood Zone Designation	AE	AE	AE
23	Base Flood Elevation (BFE)(NAVD)	BFE= 6' NAVD	BFE= 6' NAVD	BFE= 6' NAVD
24	Landscape Open Space (LOS) (Sq Ft and %)	2,762 SF, 25%		3,119 SF, 28%
25	Perimeter LOS (Sq Ft and %)	N/A		N/A
26	Front Yard LOS (Sq Ft and %)	1,092 SF, 35%		2,136 SF, 64%
27	**Native Plant Species %	Please refer to separate landscape legend.		

\* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

\*\* Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

REV BF 20220304

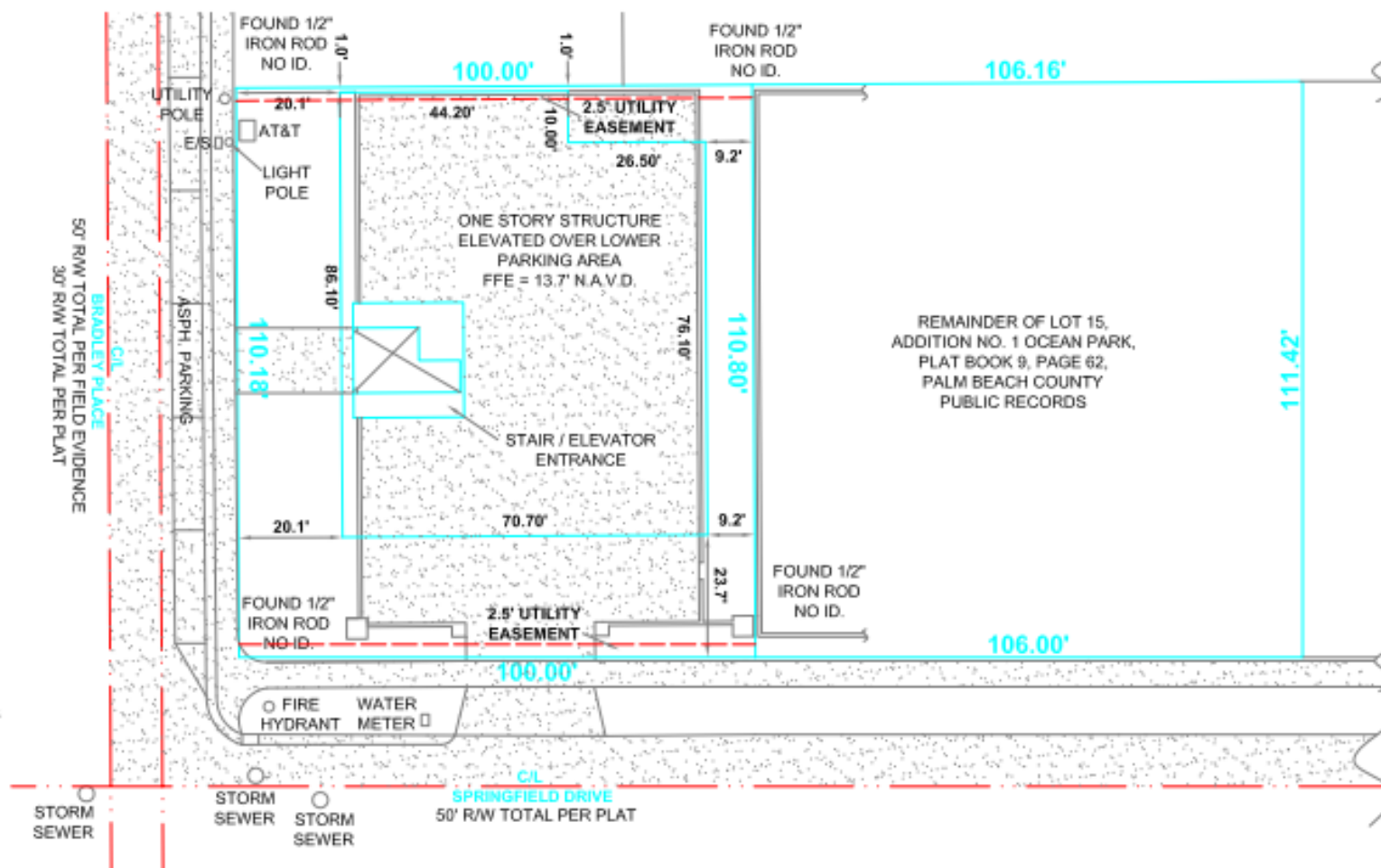
# INVOICE NO.:70106

DATE:	DESCRIPTION:
10/02/2021	FIELD LOCATION OF IMPROVEMENTS

## ABBREVIATIONS / SYMBOLS:

A/C	= AIR CONDITIONING UNIT
ADJ	= ADJACENT
BCR	= BROWARD COUNTY RECORDS
BM	= BENCHMARK
CALC	= CALCULATED
CA	= CENTRAL ANGLE
CIL	= CENTERLINE
CB	= CATCH BASIN
CBS	= CONCRETE BLOCK WALL
CHATT	= CHATTAHOOCHEE
CONC	= CONCRETE
CM	= CONCRETE MONUMENT
COL	= COLUMN
D	= DEED
DE	= DRAINAGE EASEMENT
DS	= DRAINAGE STRUCTURE
ELEV.	= ELEVATION
EW	= EDGE OF WATER
FD	= FOUND
FF	= FINISHED FLOOR
ID	= IDENTIFICATION
INV	= INVERT
IP	= IRON PIPE
IR	= IRON ROD
L	= LENGTH
LAE	= LIMITED ACCESS EASEMENT
LME	= LAKE MAINTENANCE EASEMENT
LP	= LIGHT POLE
M	= MEASURED
NID	= NAIL AND DISC
NG	= NATURAL GROUND
NR	= NON RADIAL
NTS	= NOT TO SCALE
OHC	= OVERHEAD CABLES
ORB	= OFFICIAL RECORD BOOK
P	= PLAT
PB	= PLAT BOOK
PBCR	= PALM BEACH COUNTY RECORDS
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVATURE
PCP	= PERMANENT CONTROL POINT
PG	= PAGE
PI	= POINT OF INTERSECTION
POB	= POINT OF BEGINNING
POC	= POINT OF COMMENCEMENT
PRC	= POINT OF REVERSE CURVATURE
PRM	= PERMANENT REFERENCE MONUMENT
PT	= POINT OF TANGENCY
R	= RADIUS
RGE	= RANGE
RDE	= ROOF OVERHANG EASEMENT
R/W	= RIGHT OF WAY
SEC	= SECTION
S/W	= SIDEWALK
TOS	= TOP OF BANK
TYP	= TYPICAL
UE	= UTILITY EASEMENT
WF	= WOOD FENCE
WPP	= WOOD POWER POLE (UTILITY POLE)

OVERHEAD CABLES	CONVERSION INCHES TO DECIMAL
METAL FENCE	1" = 0.08'
METAL FENCE	2" = 0.17'
WOOD FENCE	3" = 0.25'
WOOD FENCE	4" = 0.33'
WOOD FENCE	5" = 0.42'
WOOD FENCE	6" = 0.50'
WOOD FENCE	7" = 0.58'
WOOD FENCE	8" = 0.67'
WOOD FENCE	9" = 0.75'
WOOD FENCE	10" = 0.83'
WOOD FENCE	11" = 0.92'
WOOD FENCE	12" = 1.0'



REVIEW OF COMMONWEALTH LAND TITLE INSURANCE COMPANY COMMITMENT NO. PG582111020; DATED: NOVEMBER 3, 20201

ITEM 1- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 2- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 3a- PLOTTABLE; NONE

ITEM 3b- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 3c- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 3d- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

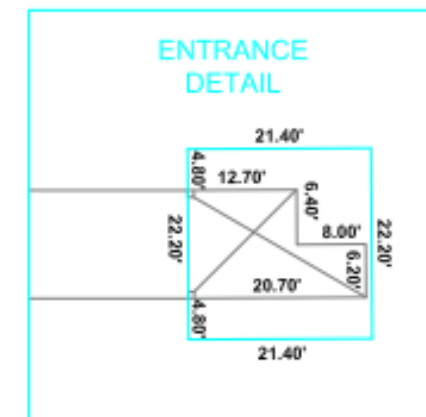
ITEM 4- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 5- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY

ITEM 6- PLOTTABLE; PLOTTED ALL PLAT MATTERS

ITEM 7- PLOTTABLE; PLOTTED UTILITY EASEMENTS ALONG NORTH AND SOUTH PROPERTY LINES (DESCRIPTION OF EASEMENTS ARE AMBIGUOUS)

ITEM 8- NOT PLOTTABLE; DOES NOT AFFECT THIS PROPERTY



**PROPERTY ADDRESS:**  
231 BRADLEY PLACE, PALM BEACH, FL. 33480

**LEGAL DESCRIPTION:**  
THE WEST 100' OF LOT 15, ADDITION NO. 1 OCEAN PARK, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 9, PAGE 62, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**GENERAL NOTES:**

- THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- ELEVATION ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988) UNLESS OTHERWISE NOTED.
- IN SOME CASES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED FOR CLEARER ILLUSTRATION. MEASURED RELATIONSHIP SHALL HAVE PRECEDENCE OVER SCALE POSITIONS.
- ALL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.10 (FT)
- "ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES." (CHAPTER 61G17-6.003 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

\*\* 5J-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.

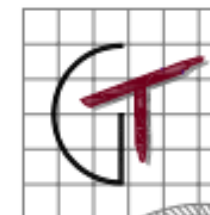
(b) BOUNDARY MONUMENTS:

f. WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE, ALTERNATE MONUMENTATION MAY BE USED THAT IS DURABLE AND IDENTIFIABLE." (EXAMPLES: FENCE POST, BLDG. CORNERS, ETC.)

**CERTIFICATIONS:**

- BRADLEY PALM LLC, A DELAWARE LIMITED LIABILITY COMPANY
- TRIDENT TITLE, A DIVISION OF LANDCASTLE TITLE GROUP, LLC
- COMMONWEALTH LAND TITLE INSURANCE COMPANY

**FLOOD DATA:**  
FLOOD ZONE: AE6  
COMMUNITY NUMBER:120220  
COMMUNITY NAME:TOWN OF PALM BEACH  
PANEL NUMBER:12099C0581F

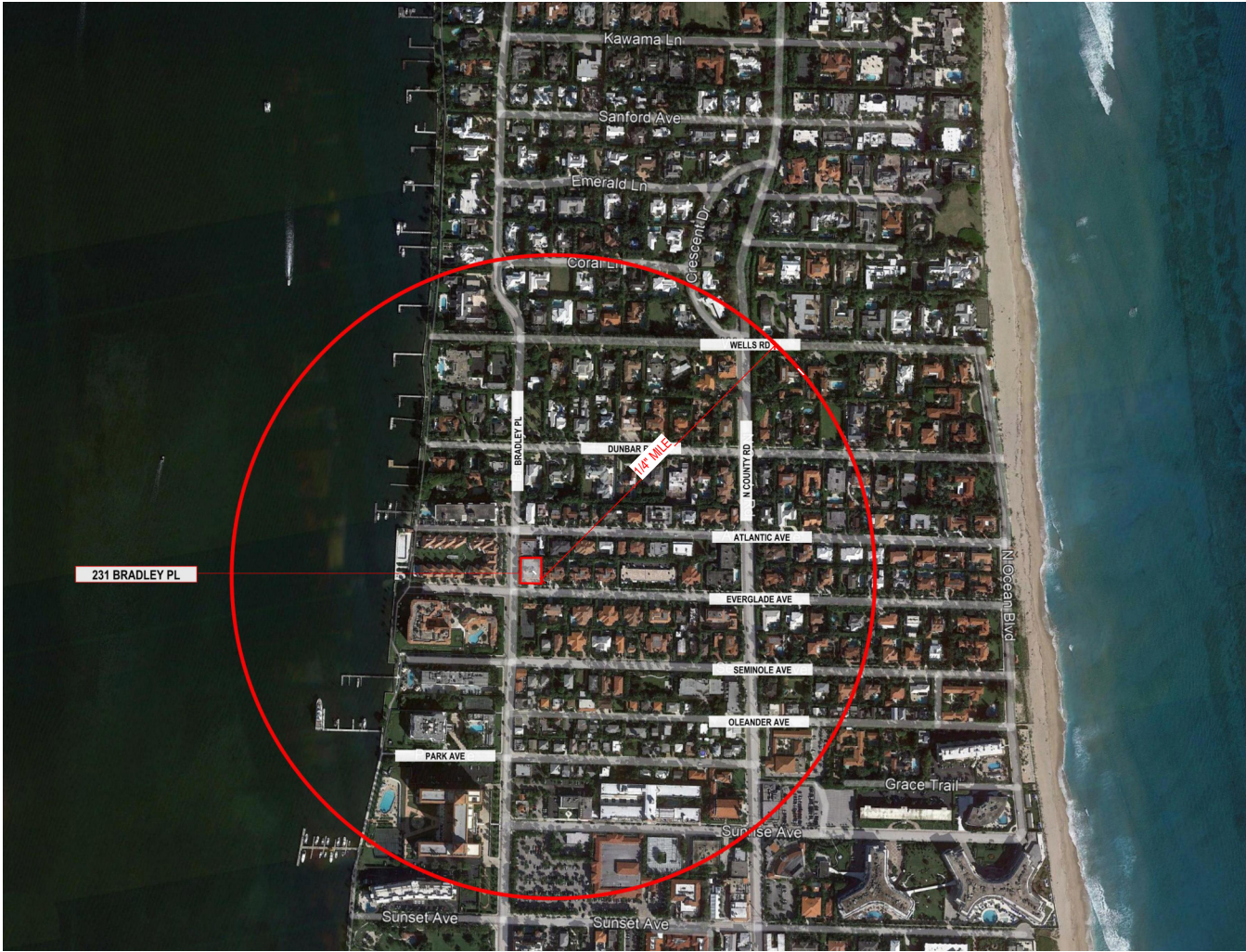


## GT SURVEYOR SERVICES INC.

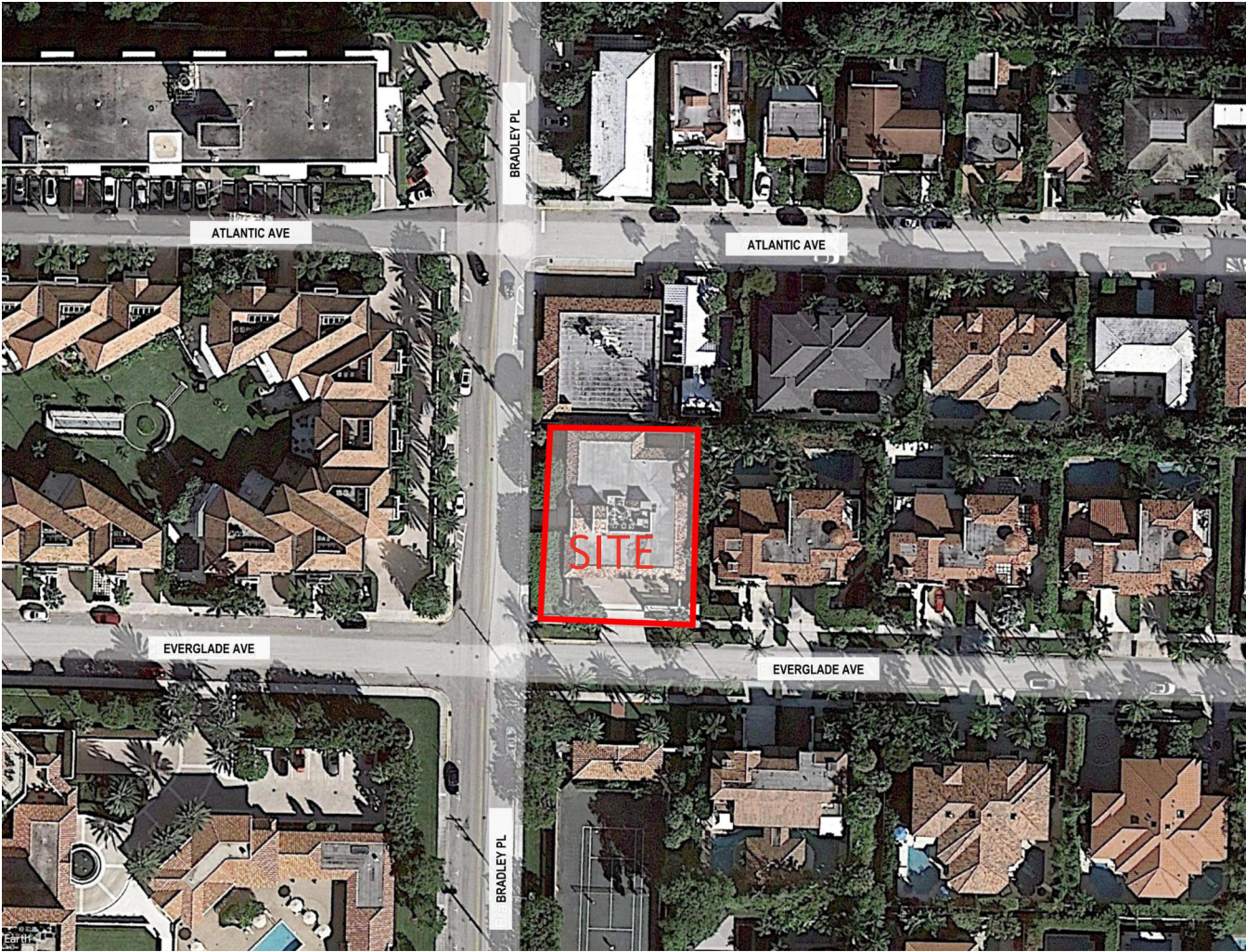
1660 SOUTHERN BLVD. UNIT K  
WEST PALM BEACH  
FLORIDA 33406-1747  
OFFICE: 561-753-0353  
FAX: 561-753-0342  
E-MAIL: gtsurveying@gmail.com

I HEREBY CERTIFY THAT THIS MAP OF BOUNDARY SURVEY WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. FURTHERMORE THIS SURVEY MEETS THE INTENT OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

SIGNED:  
GINO FURLANO SURVEYOR AND MAPPER  
FLORIDA LICENSE NO. 5044  
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR/MAPPER NAMED ABOVE.



VICINITY MAP



LOCATION PLAN





1. EAST - REAR YARD



2. WEST FACADE



3. SOUTH FACADE



4. NORTH - SIDE YARD



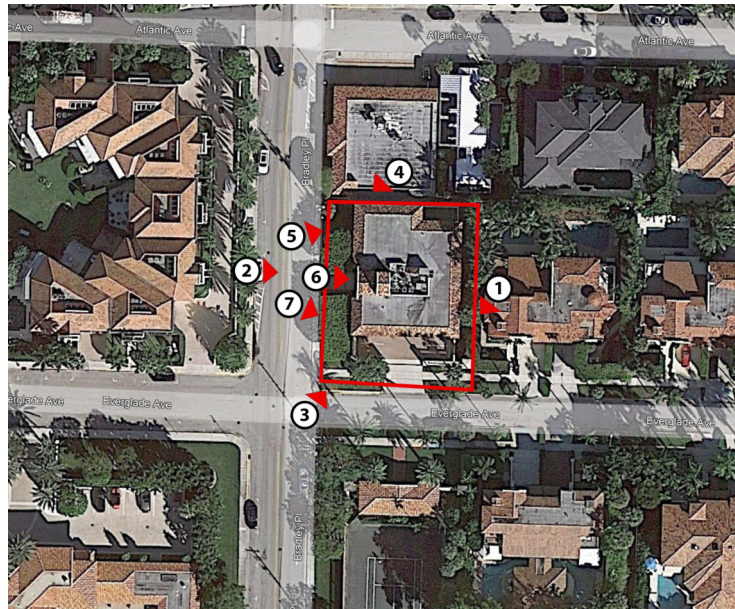
5. PARTIAL WEST FACADE



6. PARTIAL WEST FACADE



7. PARTIAL WEST FACADE



KEY PLAN