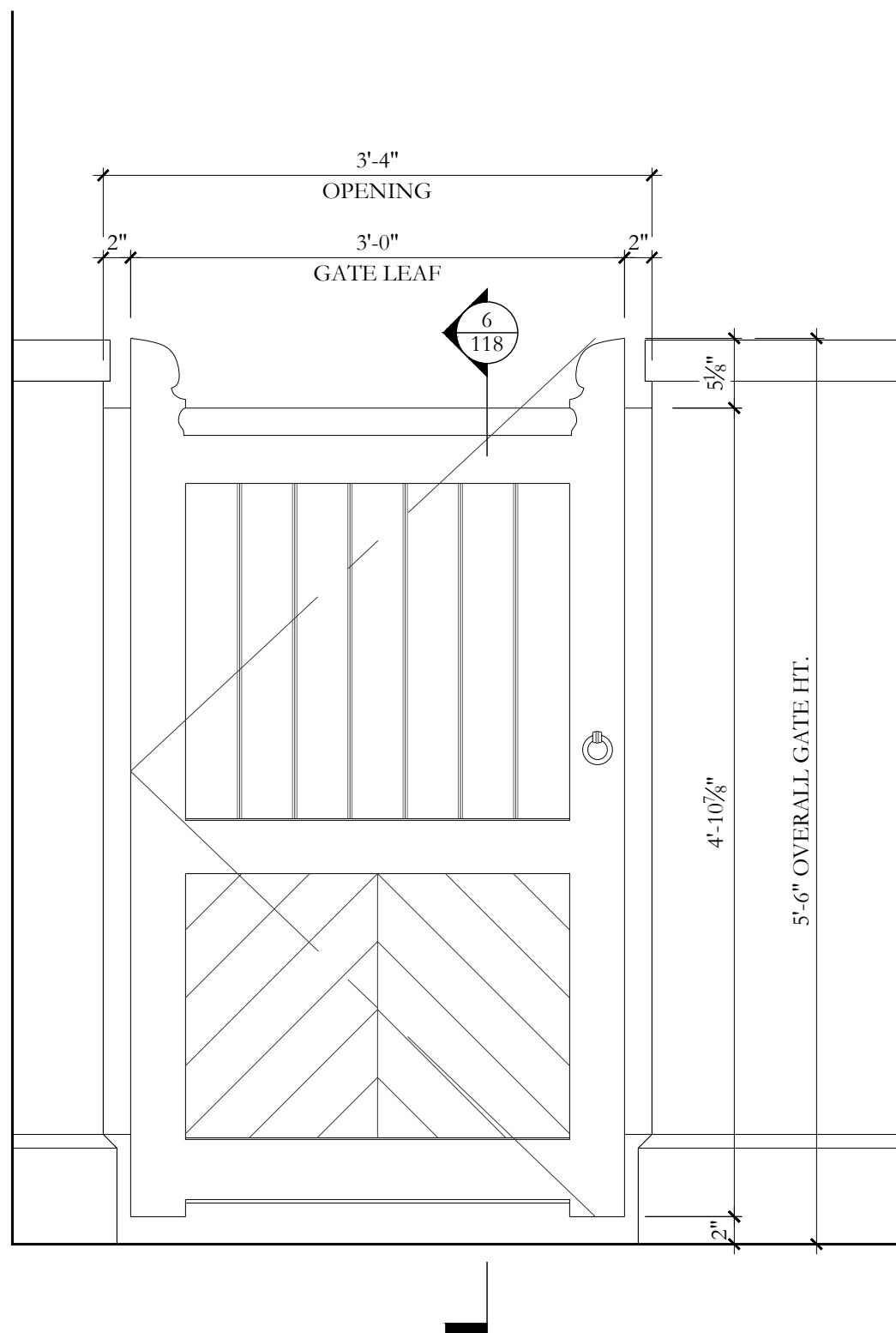
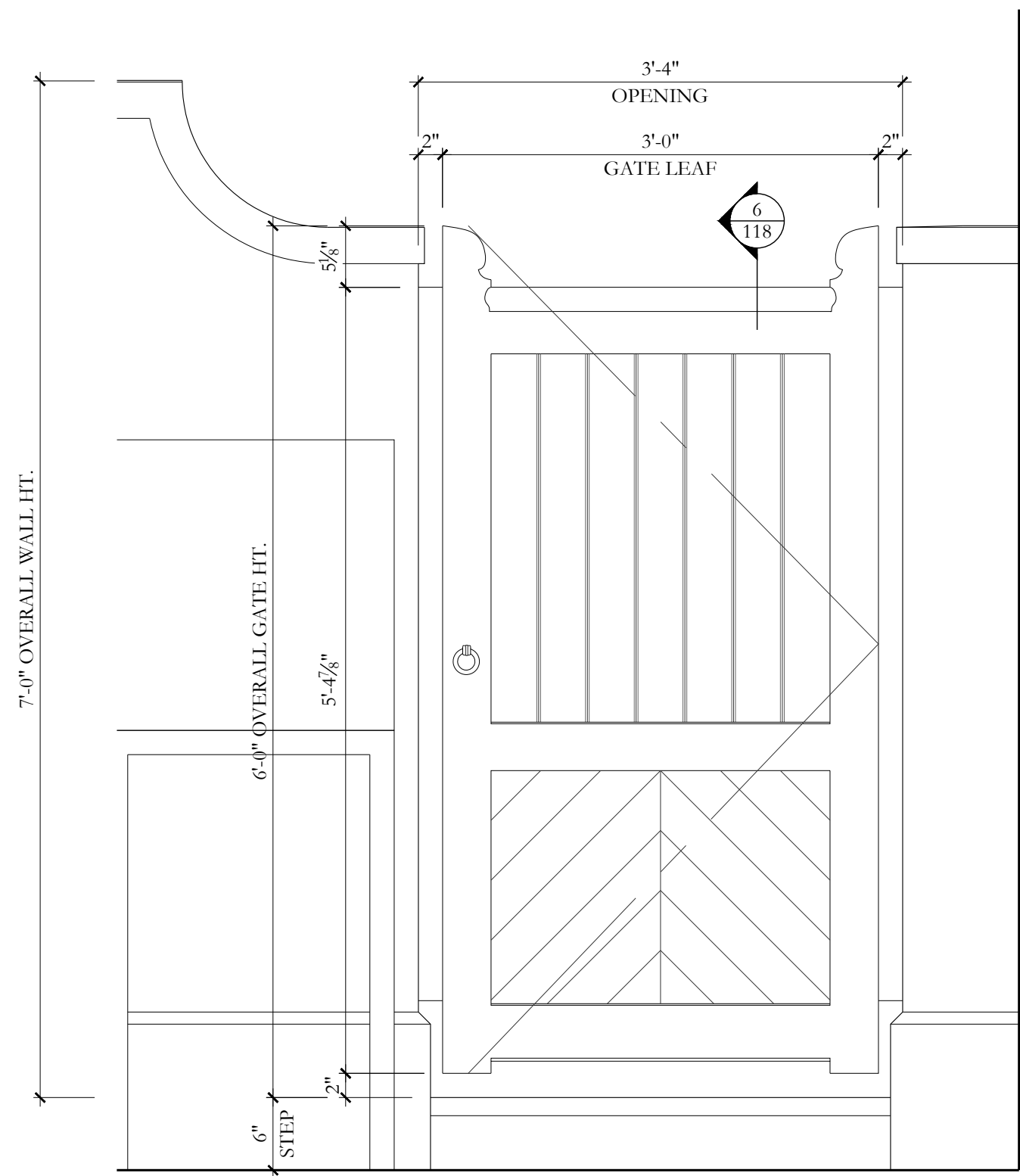


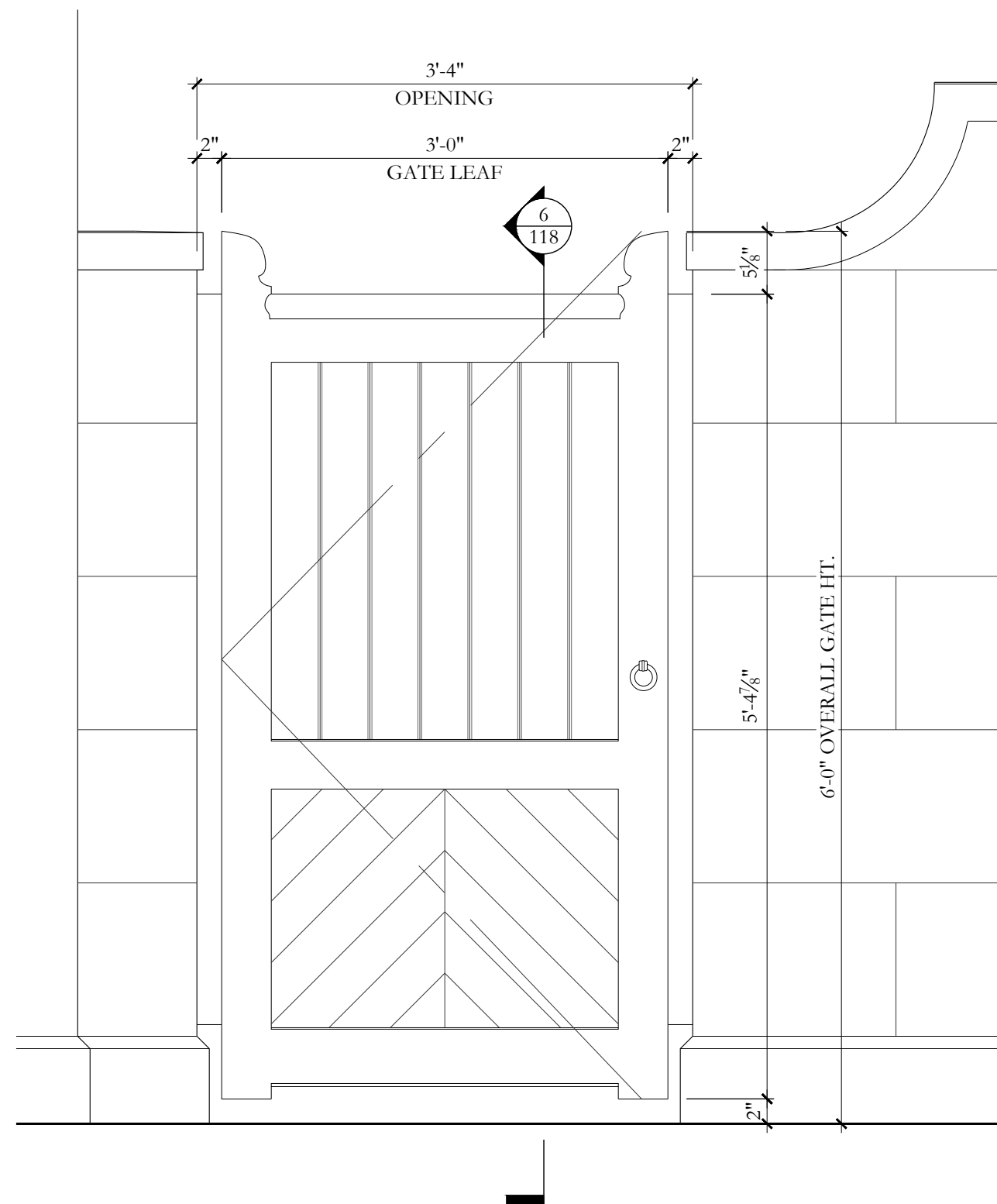
1 FRONT (S.W.) GATE - SOUTH ELEVATION
1" = 1'-0"



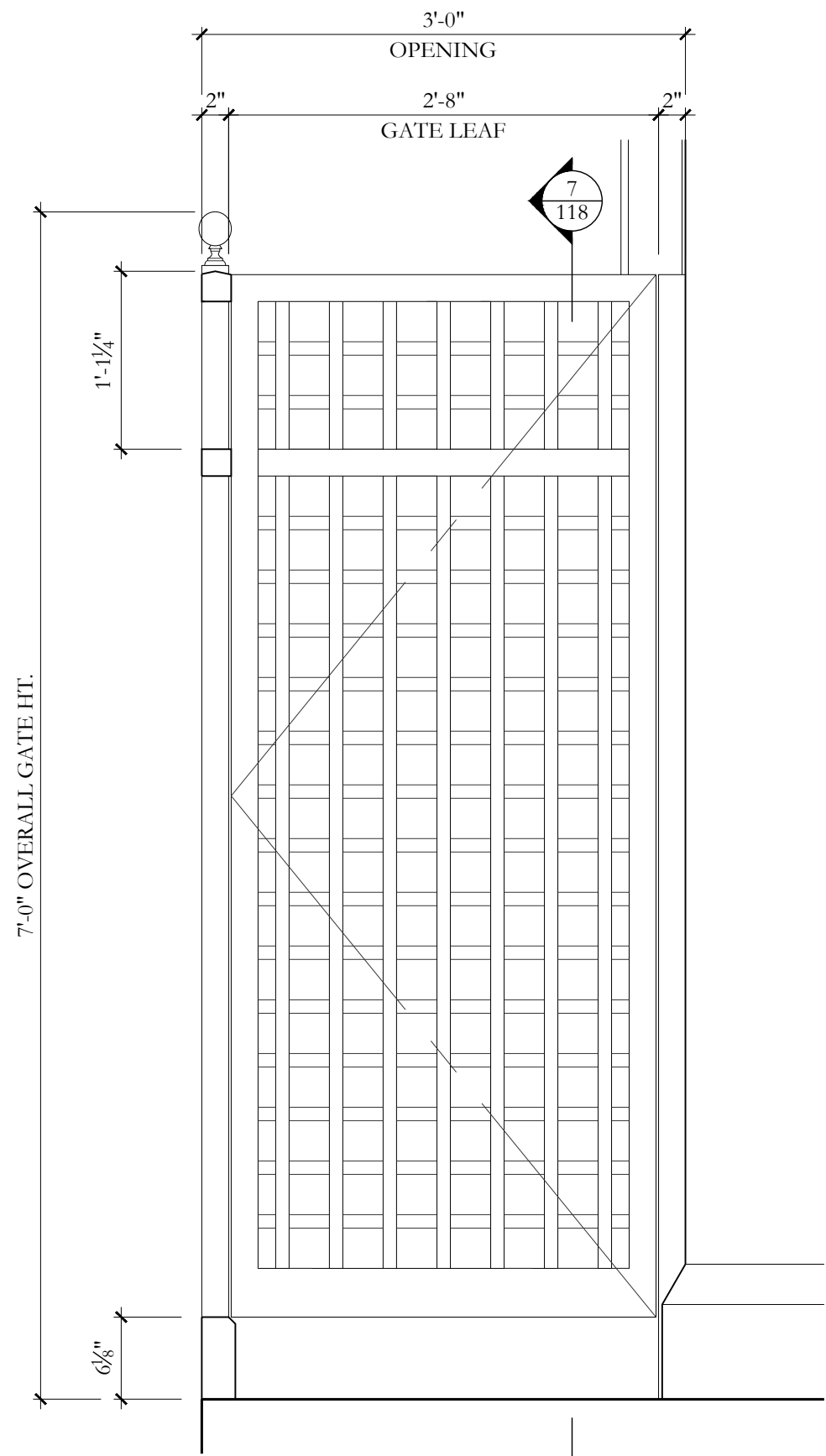
2 FRONT (S.W.) GATE - NORTH ELEV.
1" = 1'-0"



3 NORTHWEST GATE - NORTH ELEVATION
1" = 1'-0"

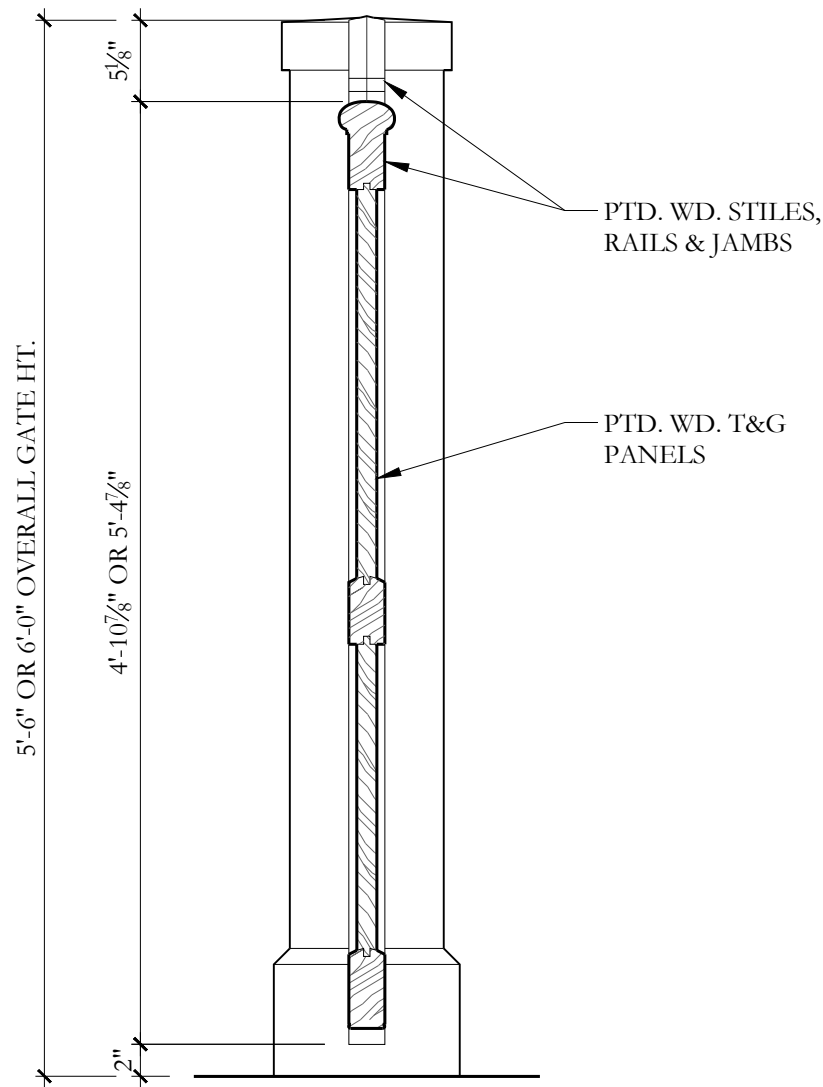


4 NORTHWEST GATE - SOUTH ELEVATION
1" = 1'-0"



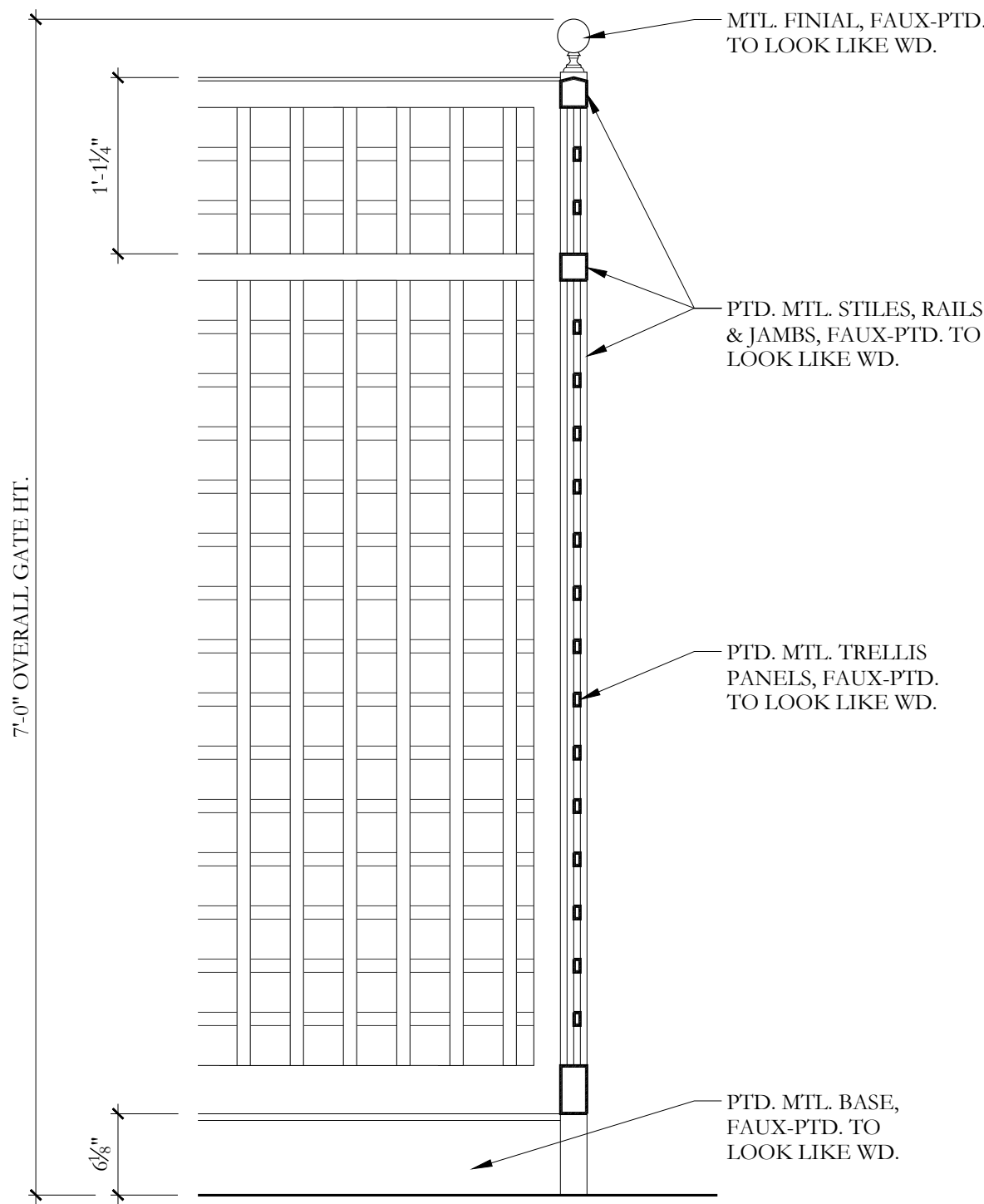
5 NORTHEAST GATE - NORTH ELEV.*
1" = 1'-0"

* SOUTH ELEVATION
IS MIRROR IMAGE.



6 TYP. WOOD GATE SECTION
1" = 1'-0"

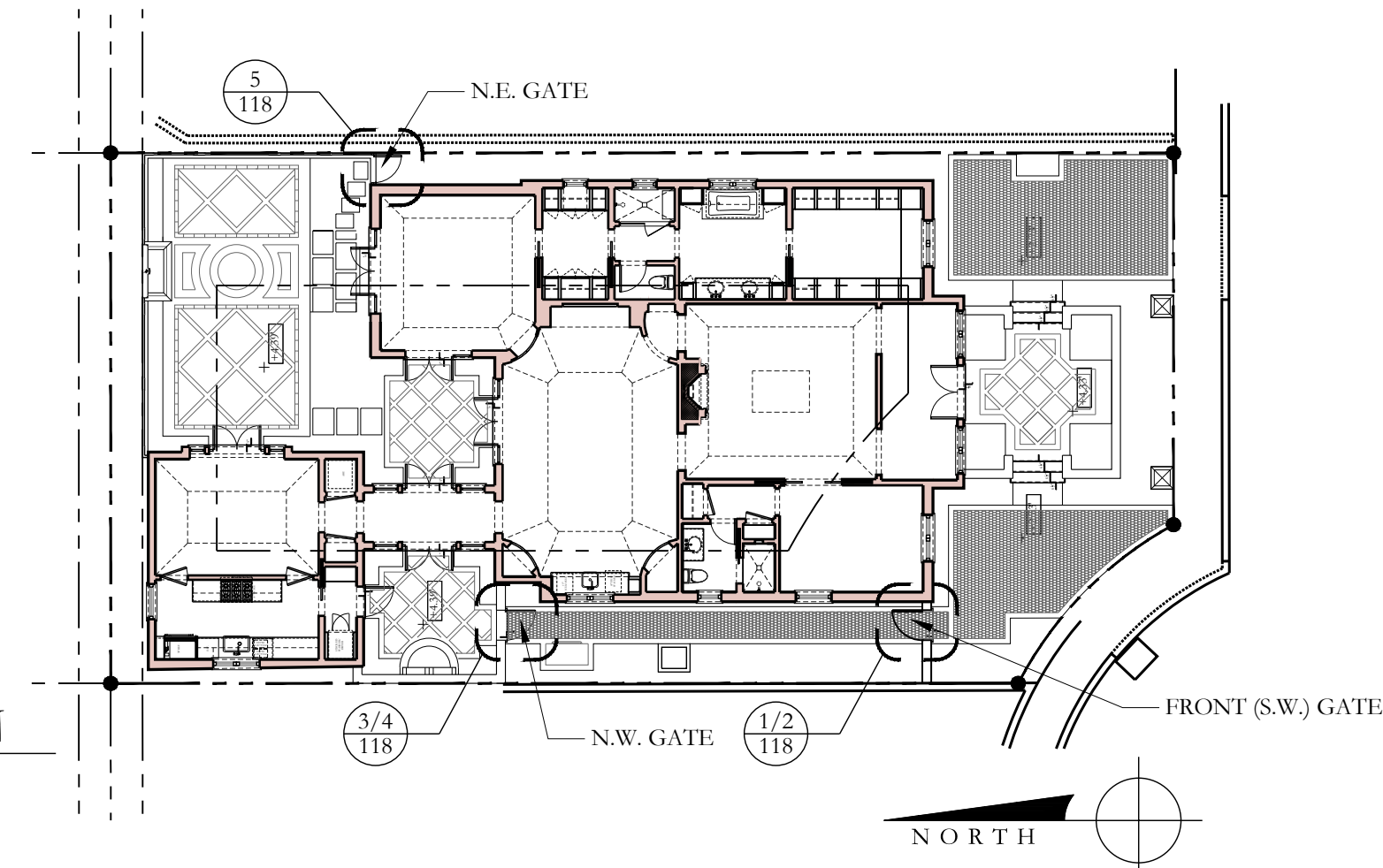
SEE ELEVATIONS
#1, #2, #3 & #4



7 TYP. METAL GATE SECTION
1" = 1'-0"

SEE ELEVATION #5

8 KEY PLAN
1/16" = 1'-0"



LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
GATE DETAILS

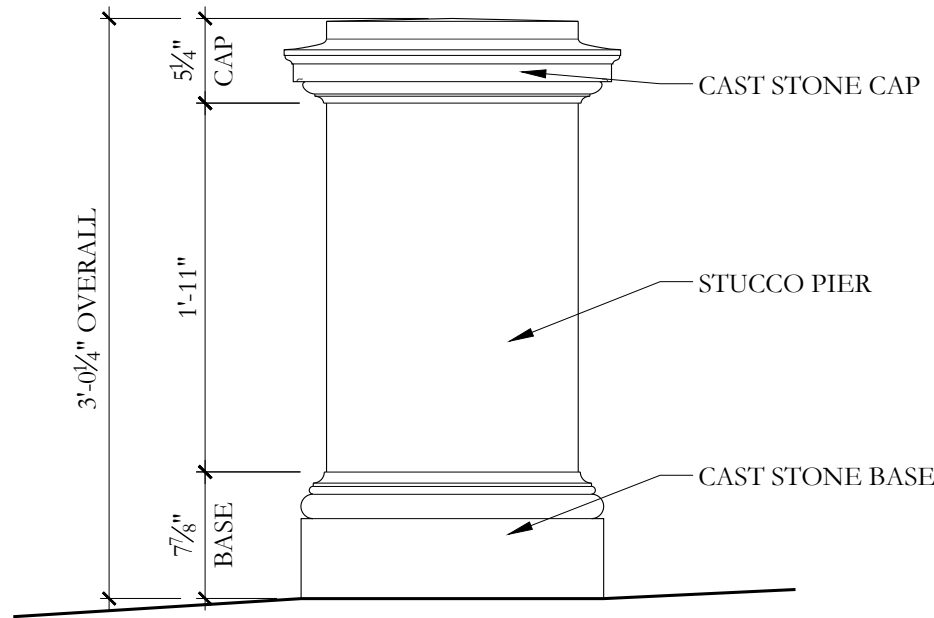
DATE
AUGUST 1, 2022
SCALE
AS NOTED
BY
KC, STC

SHEET NO
A-118

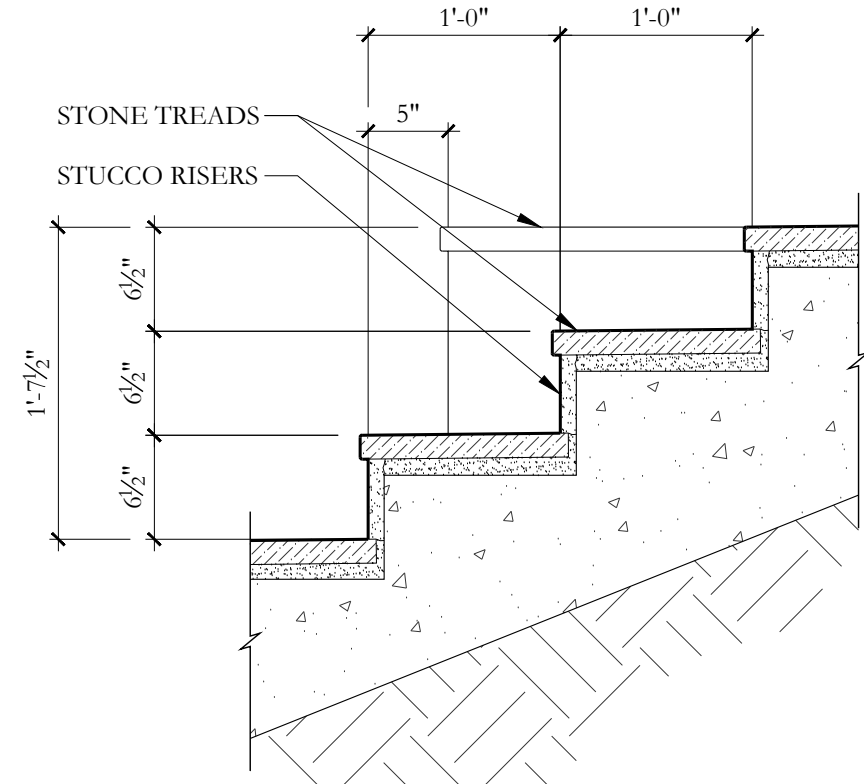


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LICENSE NO. AA28000846

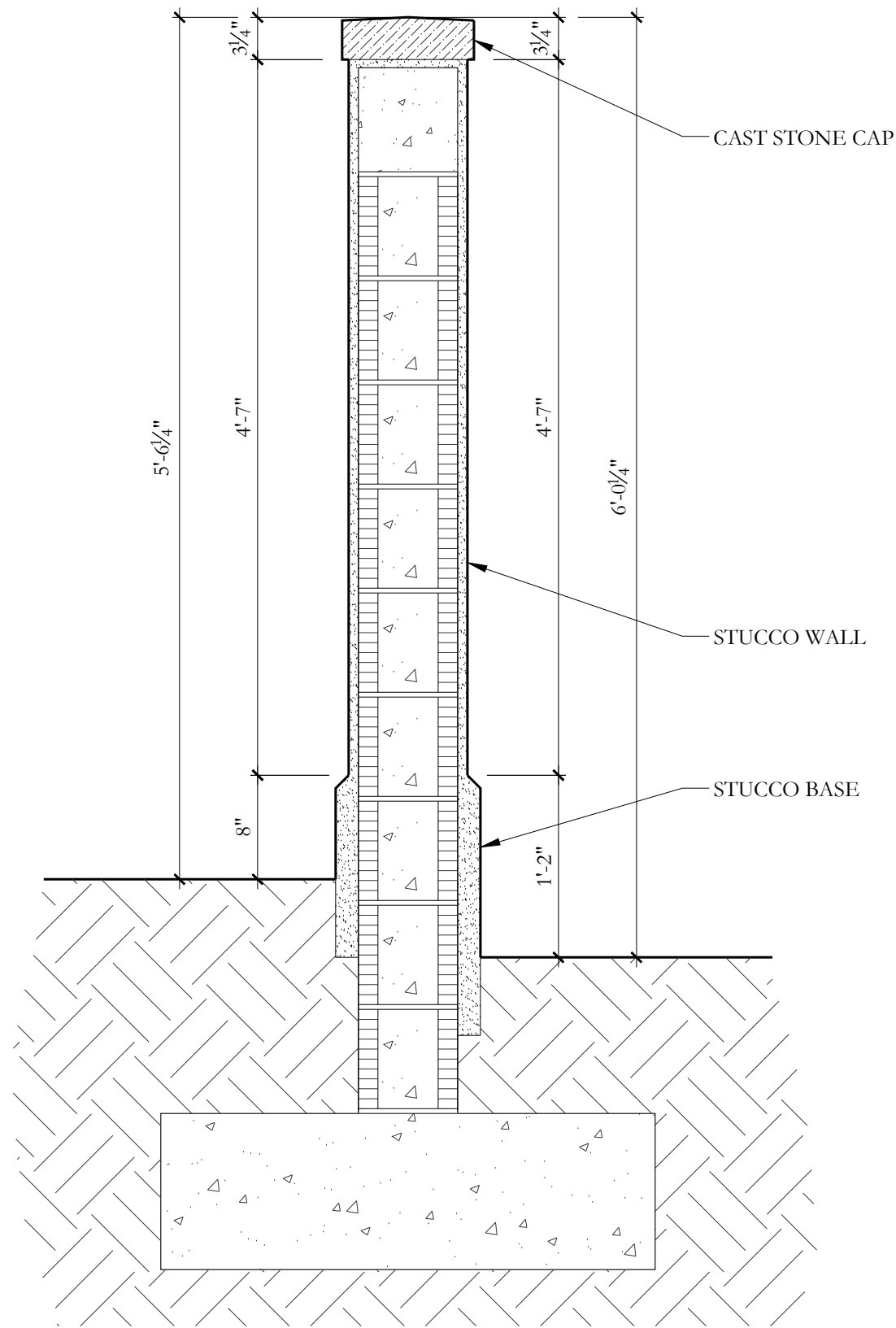
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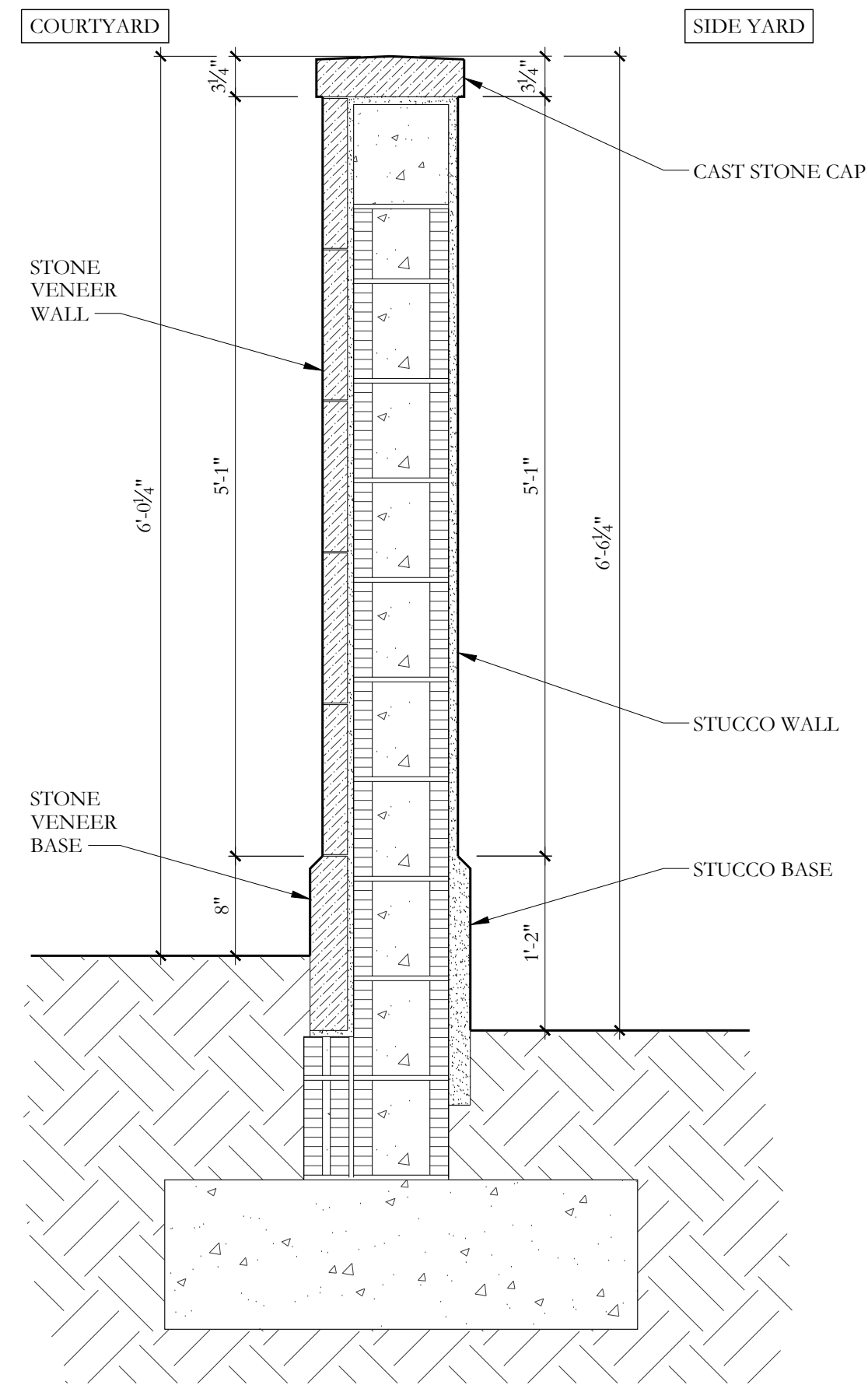
1 FRONT DRIVE PIERS
1" = 1'-0"



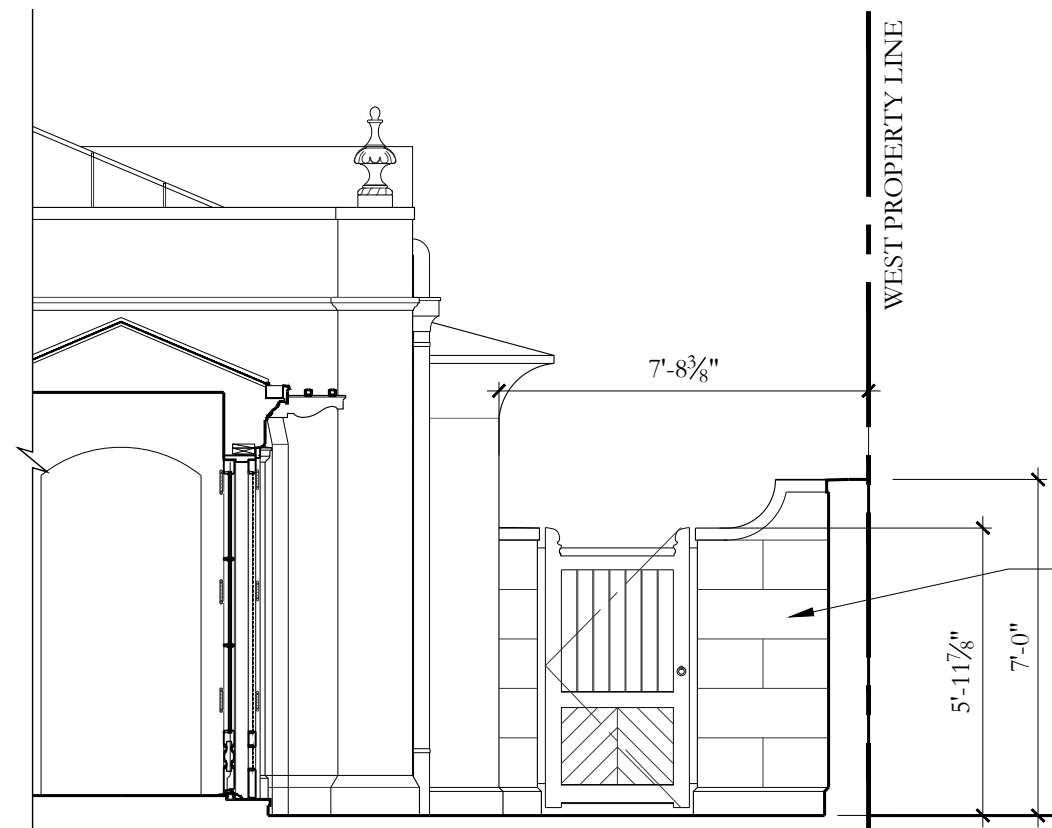
2 FRONT STEPS @ PLATFORM
1" = 1'-0"



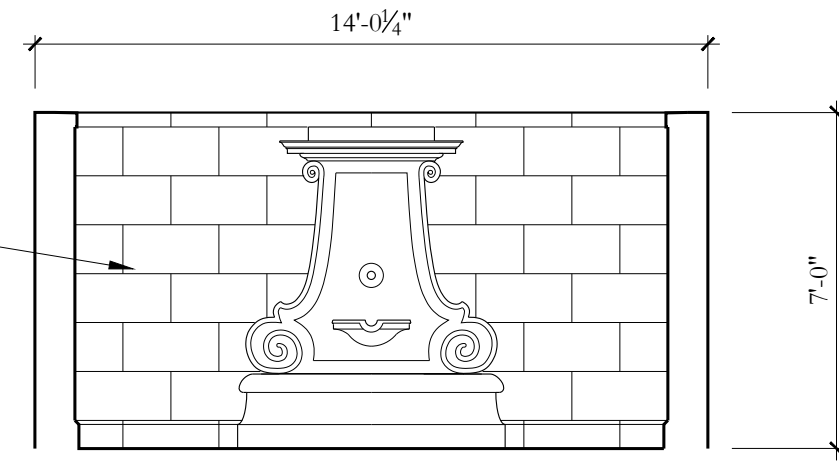
3 STUCCO SITE WALL SECTION
1" = 1'-0"



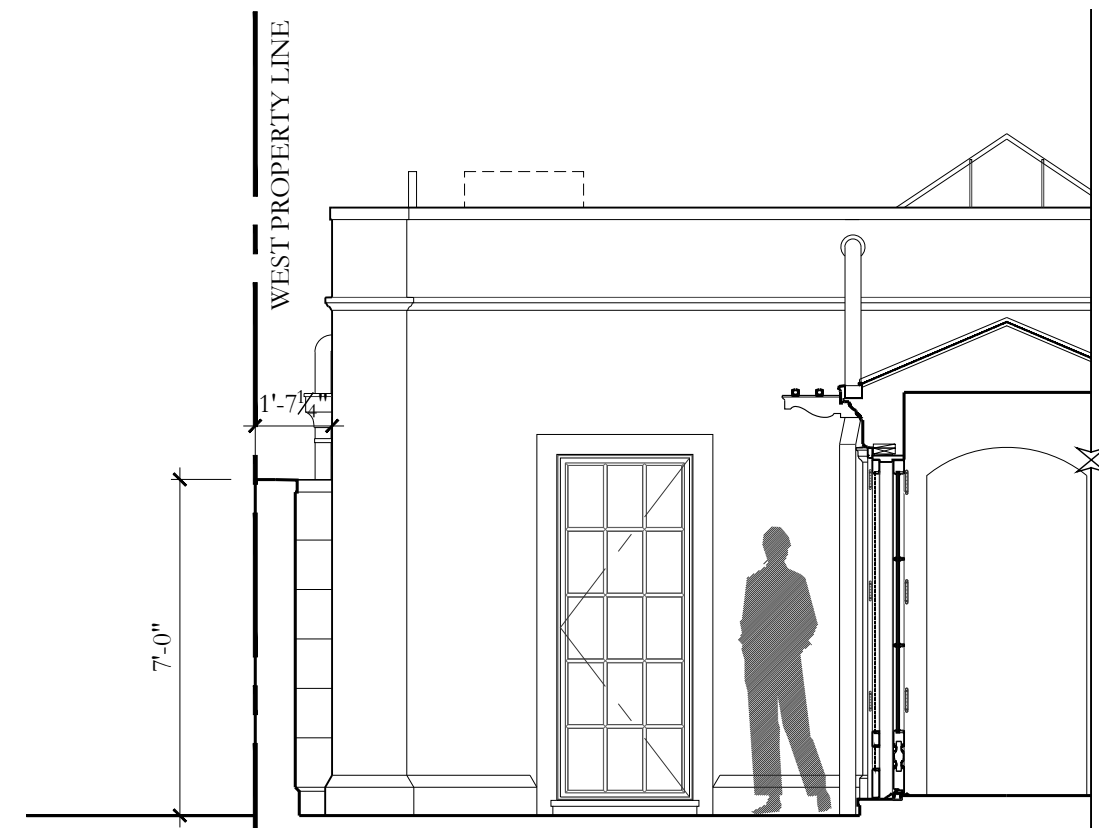
4 STUCCO/STONE SITE WALL SECTION
1" = 1'-0"



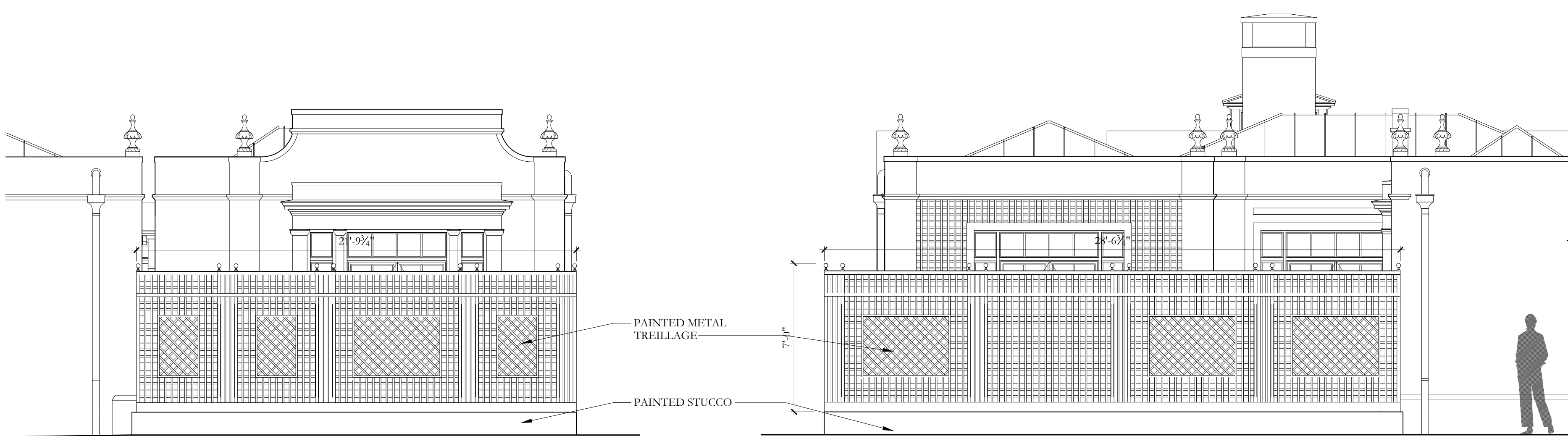
8 COURTYARD: SOUTH ELEVATION
1/4" = 1'-0"



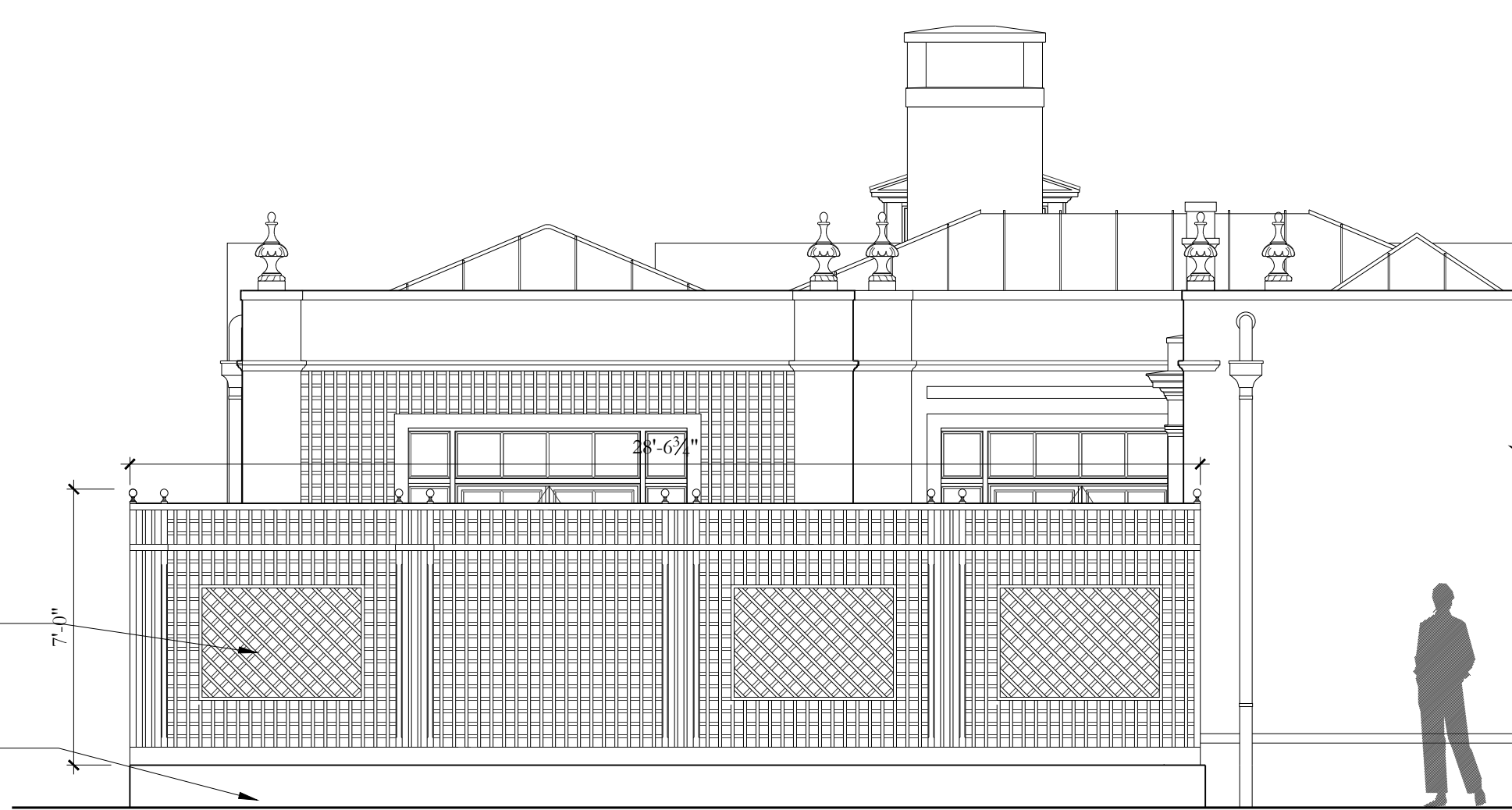
9 COURTYARD: WEST ELEVATION
1/4" = 1'-0"



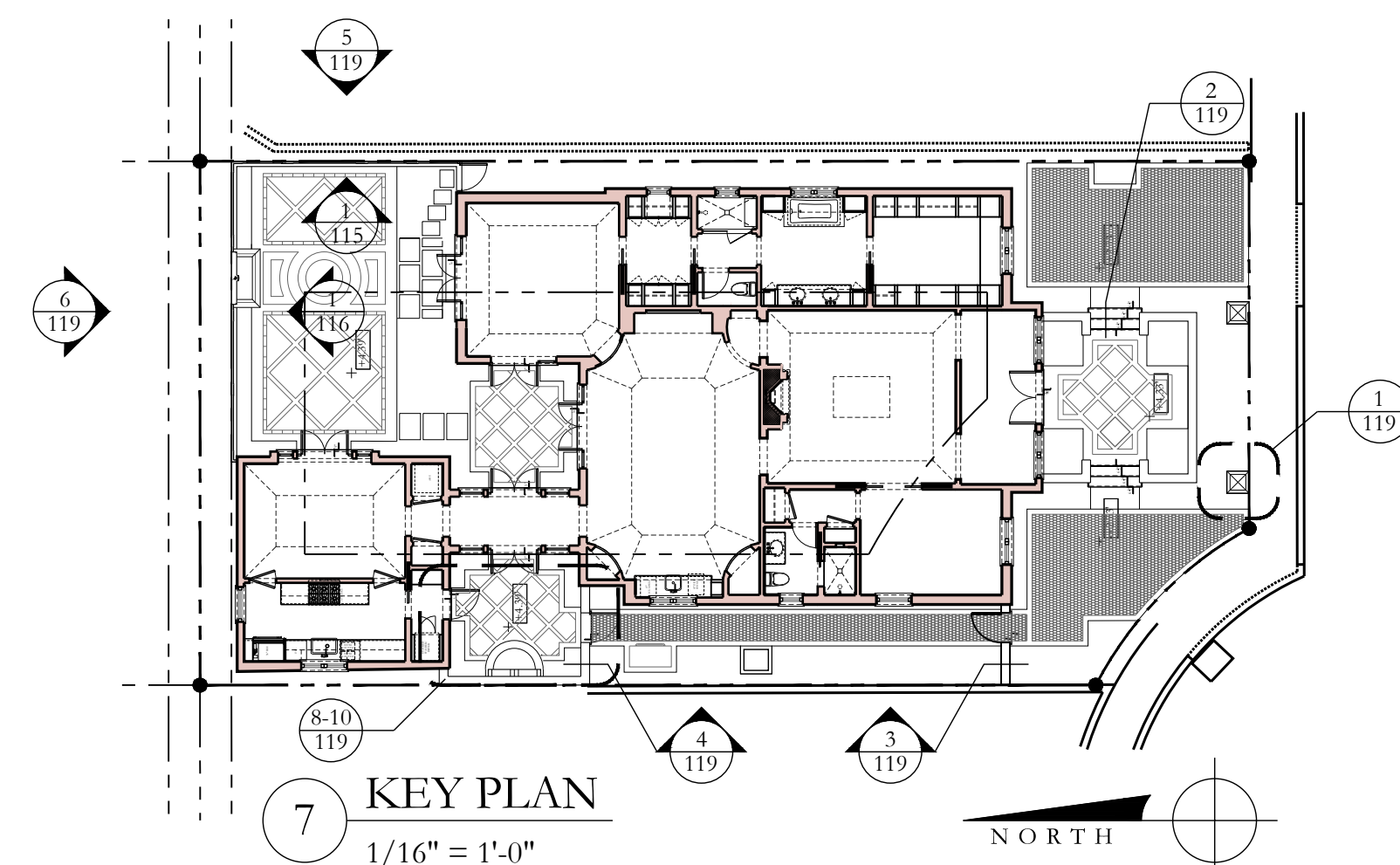
10 COURTYARD: NORTH ELEVATION
1/4" = 1'-0"



5 TREILLAGE EAST ELEVATION, FROM OUTSIDE PROPERTY
1/4" = 1'-0"



6 TREILLAGE NORTH ELEVATION, FROM OUTSIDE PROPERTY
1/4" = 1'-0"



7 KEY PLAN
1/16" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
SITE WALL, TREILLAGE, & MISC.
ELEVATIONS & DETAILS

DATE
AUGUST 1, 2022

SCALE
AS NOTED

BY
KC, STC

SHEET NO

A-119

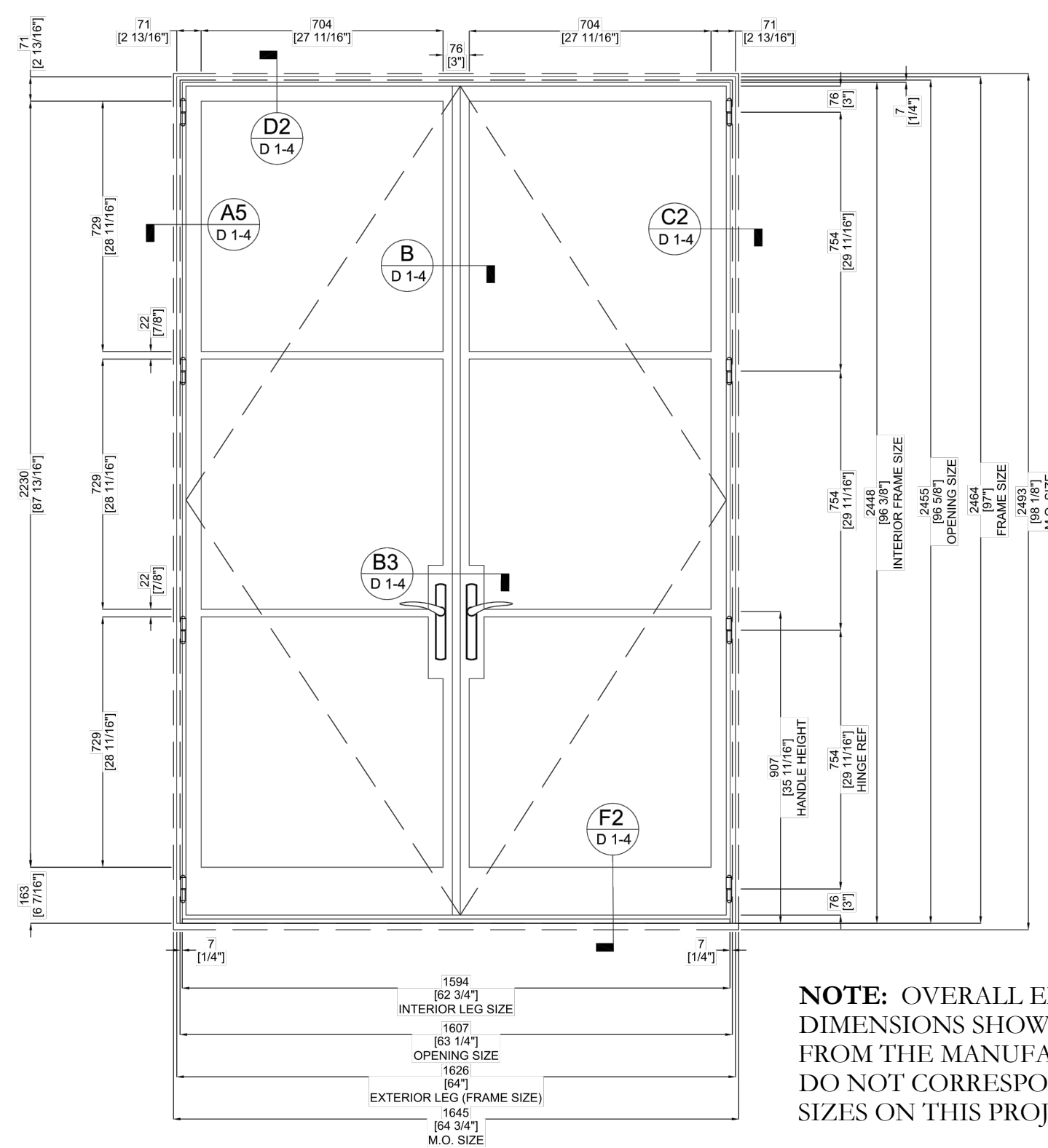


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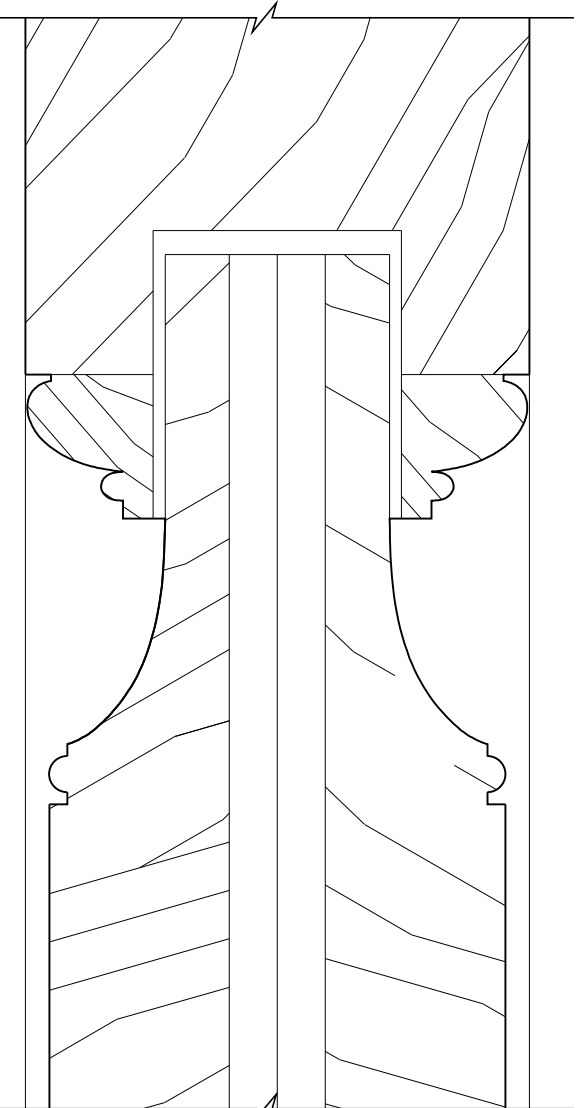
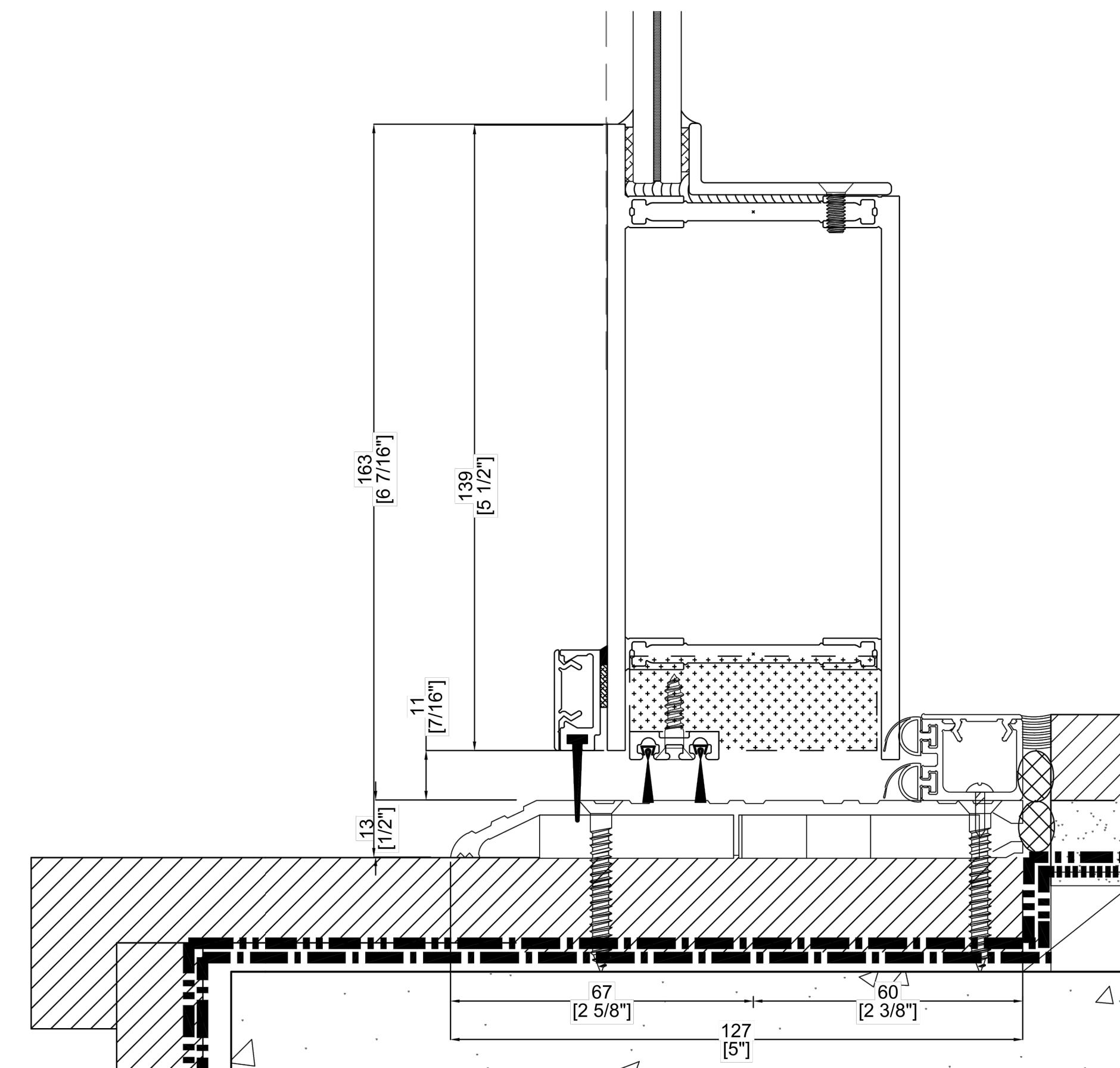
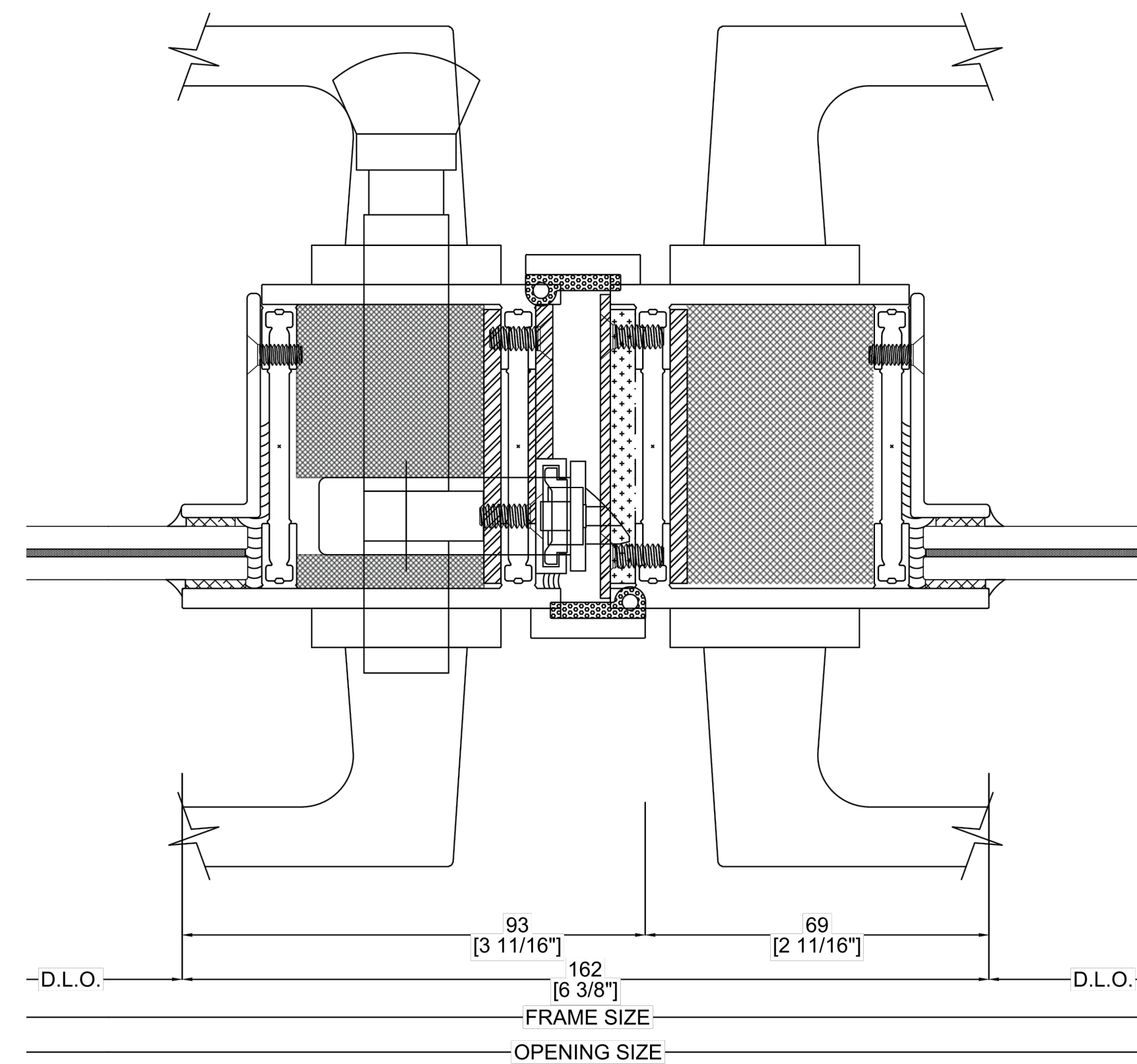
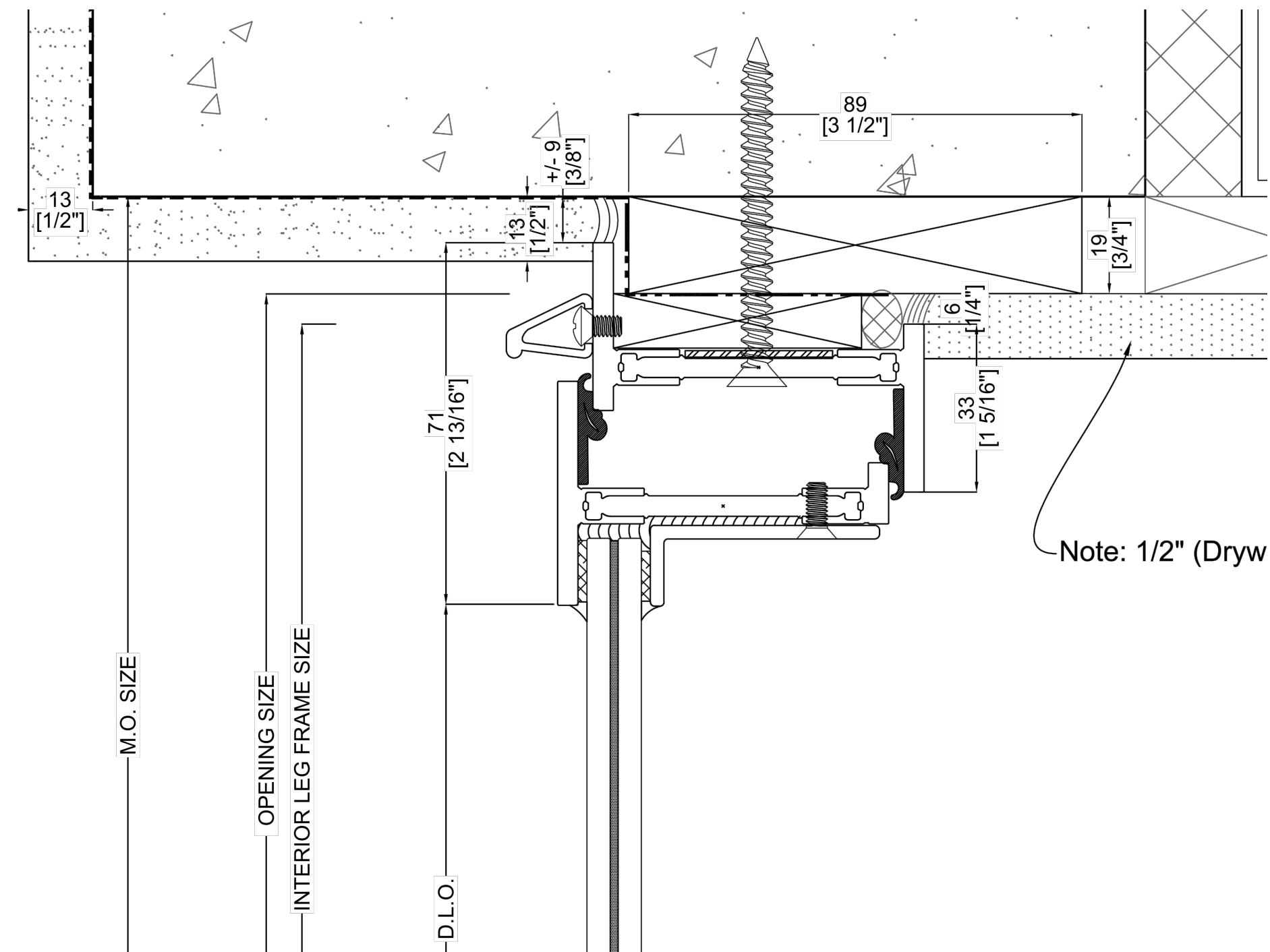
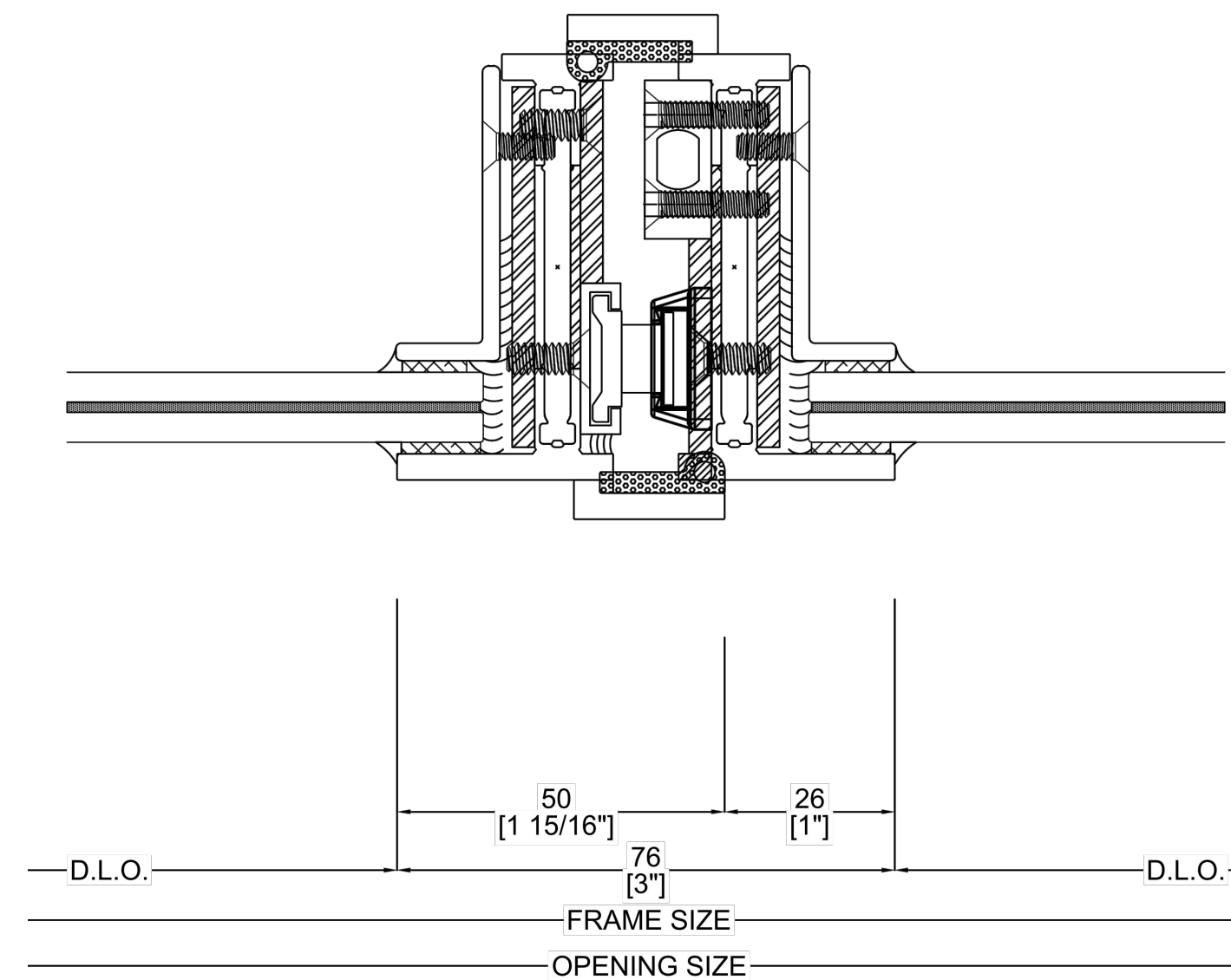
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* BRAND: OPTIMUM STEEL WINDOWS OR SIMILAR
MATERIAL: STAINLESS STEEL
PROTECTION: HURRICANE IMPACT RATED



D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

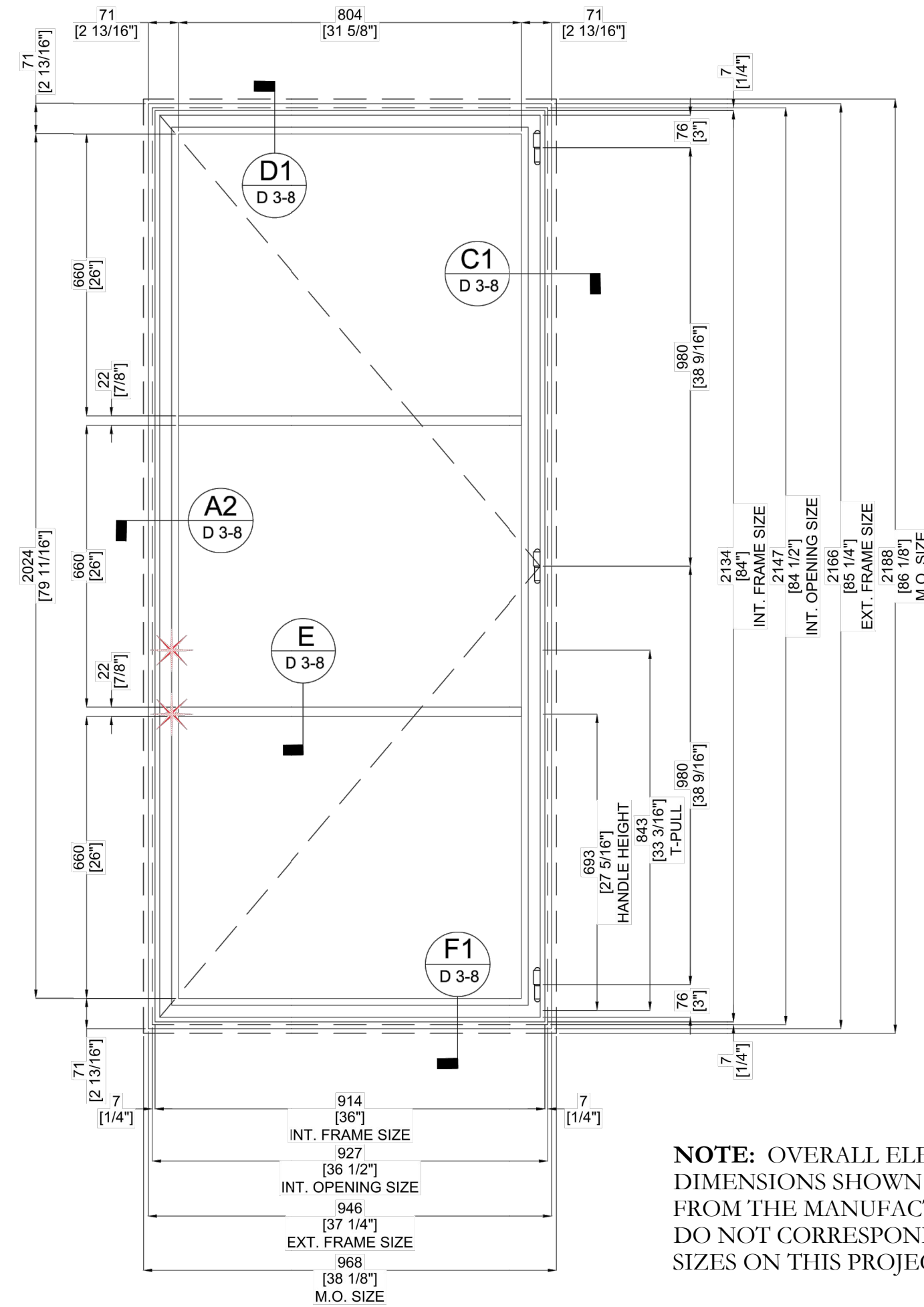
DATE AUGUST 1, 2022	SHEET NO A-120
SCALE AS NOTED	
BY STC	


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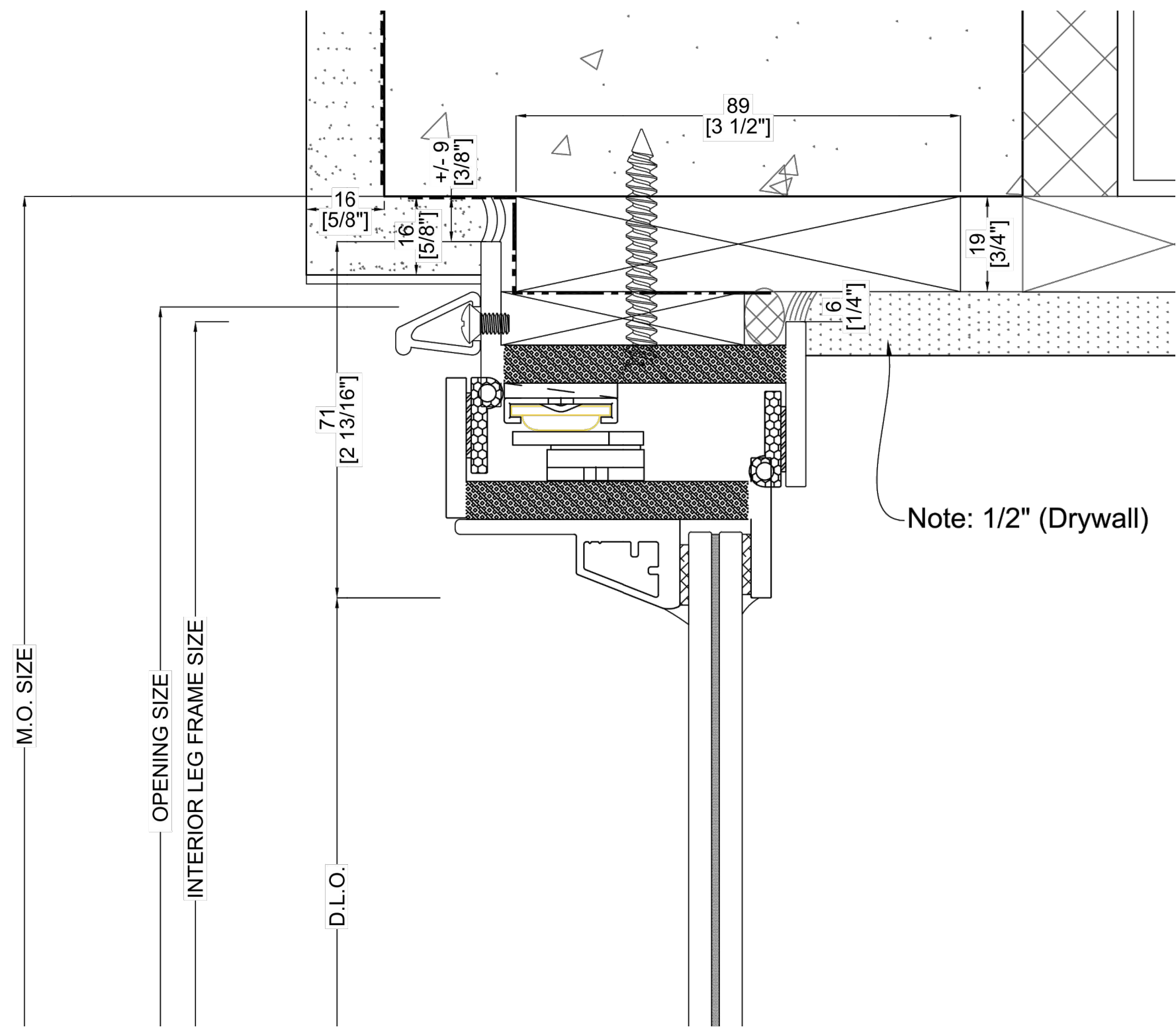


NOTE: OVERALL ELEVATION DIMENSIONS SHOWN ARE GENERIC FROM THE MANUFACTURER, AND DO NOT CORRESPOND TO UNIT SIZES ON THIS PROJECT.

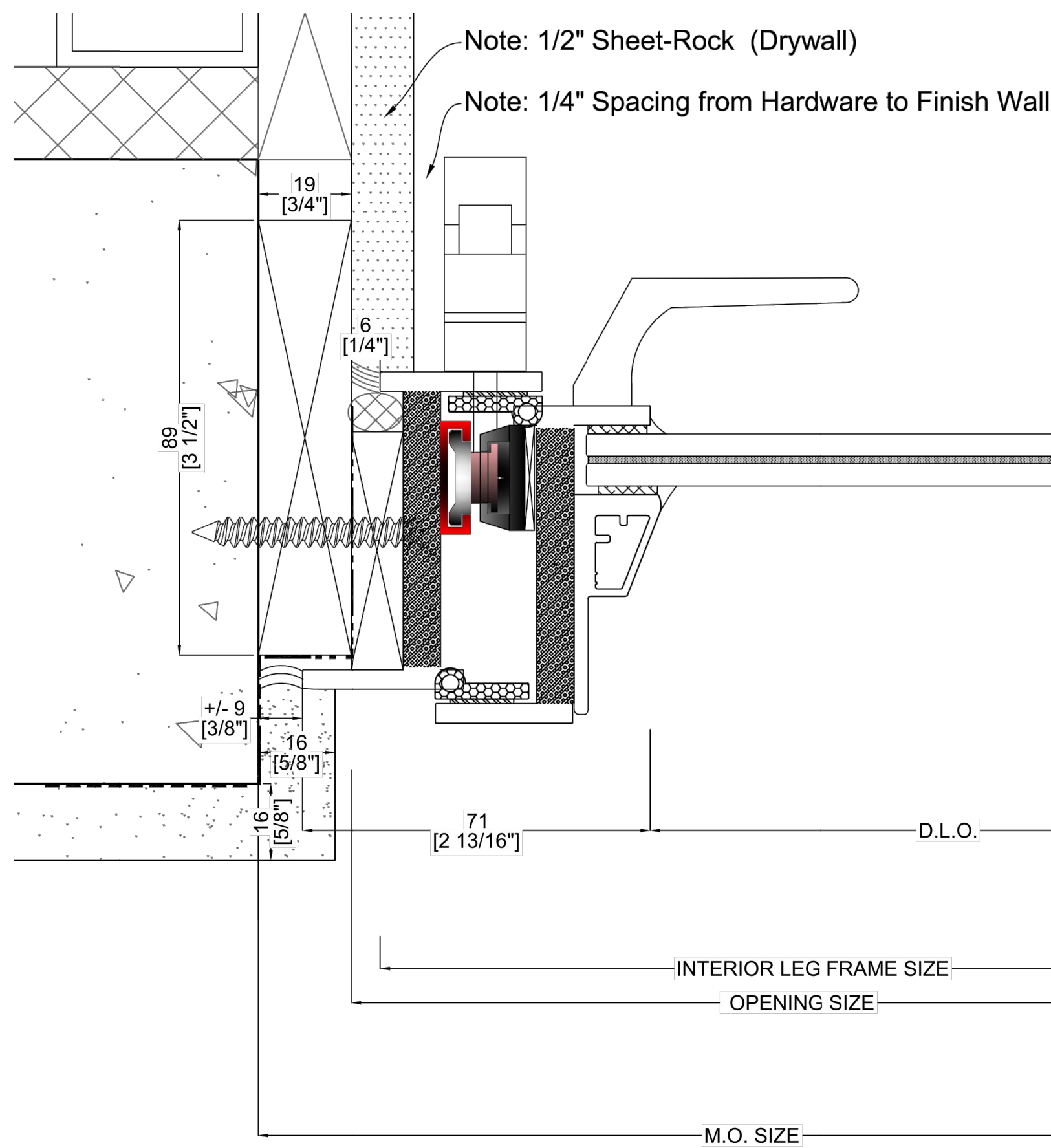
1 OUTSWING CASEMENT WINDOW* TYP. ELEVATION
3/4" = 1'-0"

* BRAND:
MATERIAL:
PROTECTION:

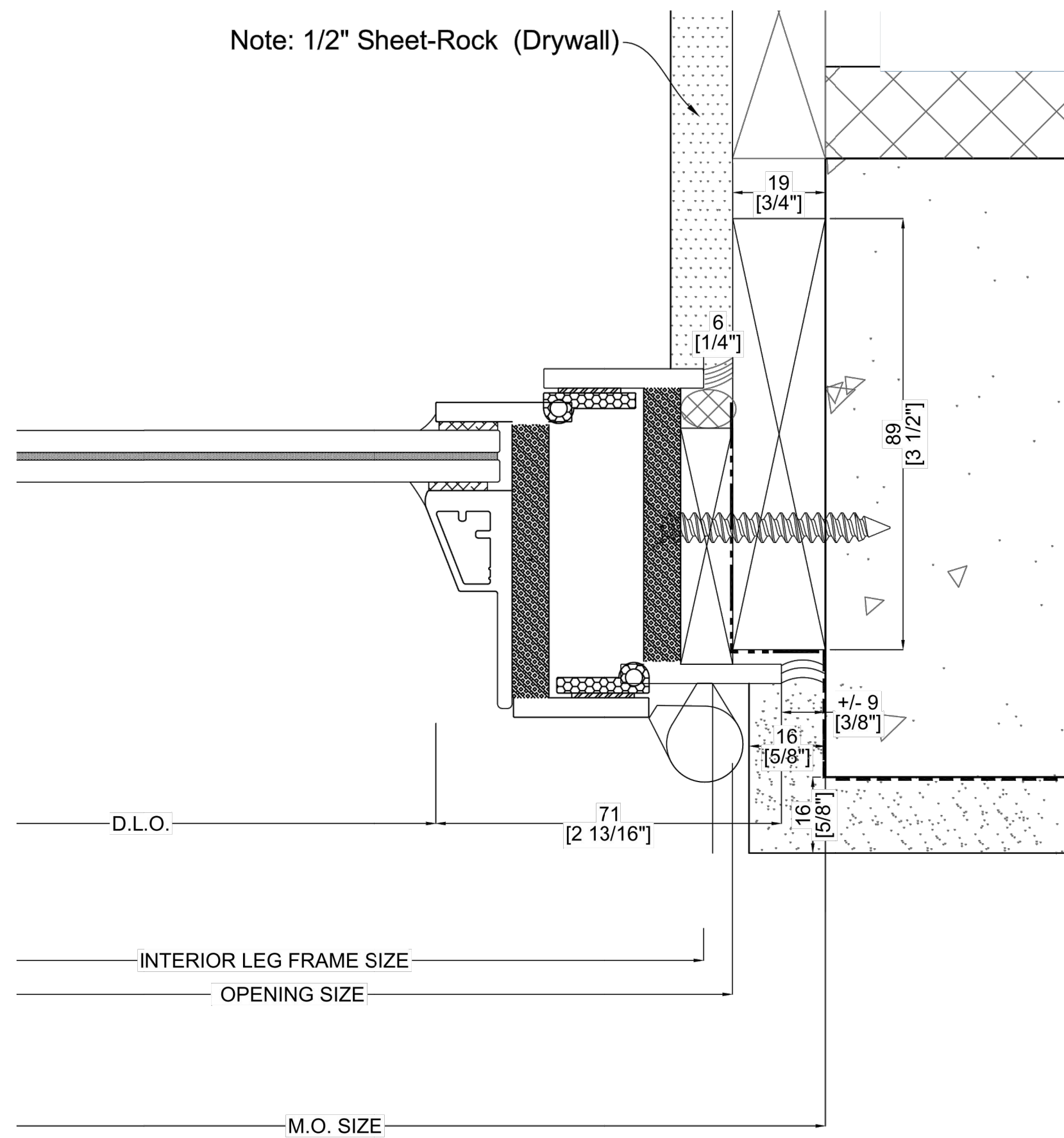
**OPTIMUM STEEL WINDOWS
STAINLESS STEEL
HURRICANE IMPACT RATED**



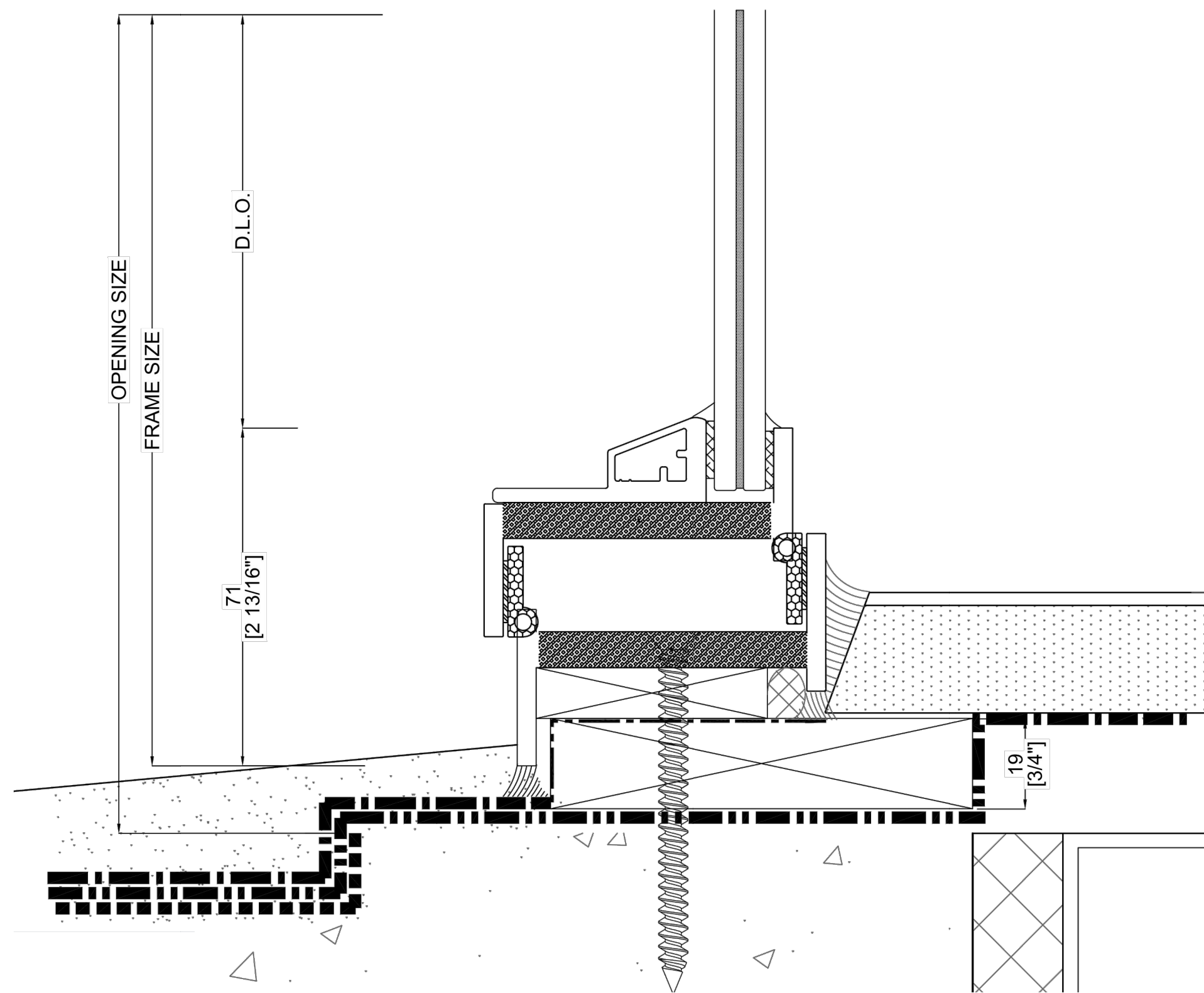
2 OUTSWING CASEMENT WINDOW HEADER SECTION DETAIL
FULL SIZE



3 OUTSWING CASEMENT WINDOW JAMB PLAN DETAIL
FULL SIZE



4 OUTSWING CASEMENT WINDOW JAMB PLAN DETAIL
FULL SIZE



5 OUTSWING CASEMENT WINDOW SILL SECTION DETAIL
FULL SIZE

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
OUTSWING CASEMENT
WINDOW DETAILS

DATE
AUGUST 1, 2022
SCALE
AS NOTED
BY
STC

SHEET NO
A-121



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1 CURRENTLY PROPOSED RENDERING OF SOUTH FACADE
N.T.S.

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
EAST FACADE RENDERINGS

DATE AUGUST 1, 2022	SHEET NO A-200
SCALE N.T.S.	
BY KC	

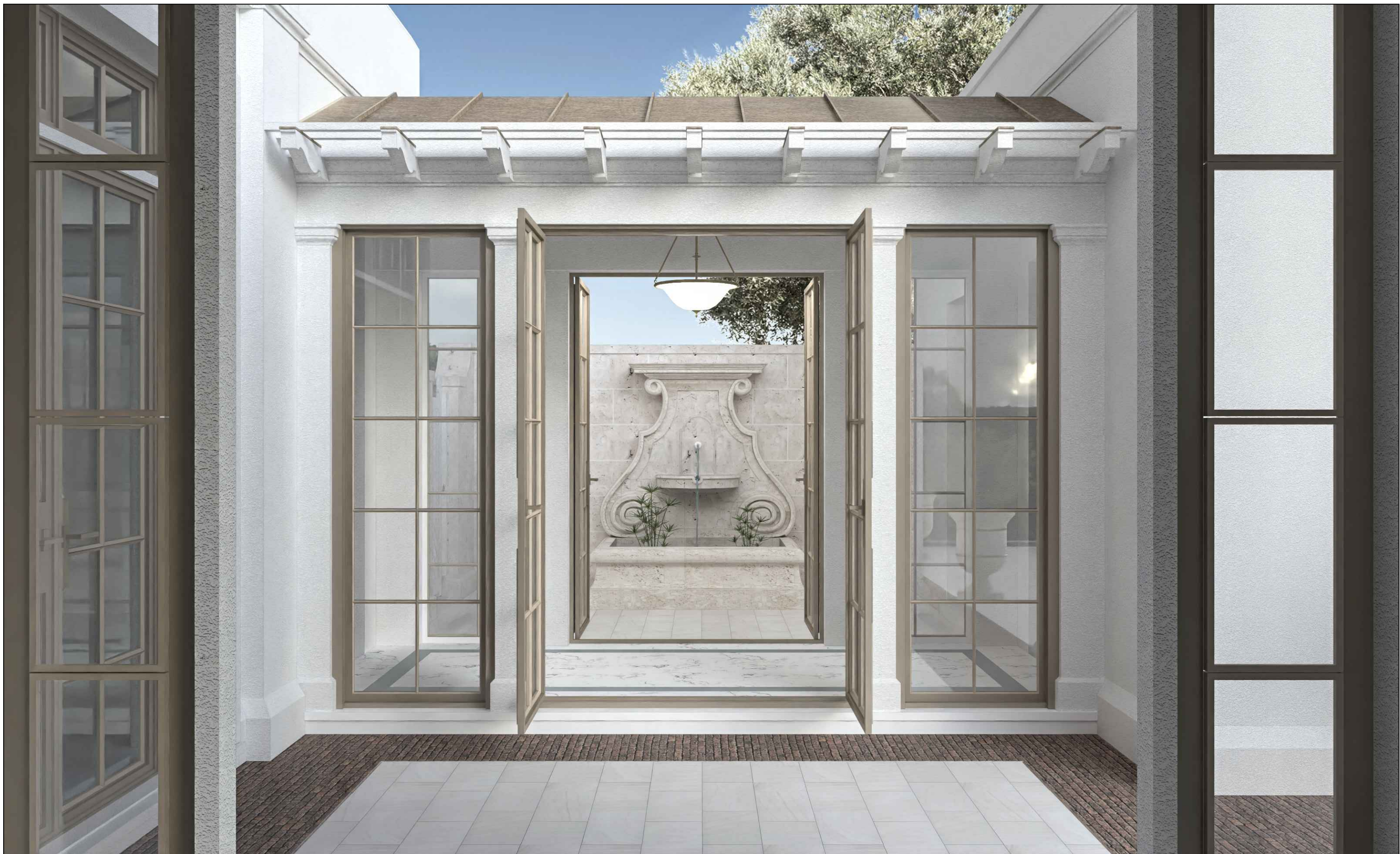


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1 VIEW FROM MASTER BEDROOM OF WEST COURTYARD THROUGH CONNECTOR
N.T.S.



2 VIEW OF MASTER BEDROOM, CONNECTOR & DINING ROOM FROM NORTHEAST
N.T.S.

NOTE: RENDERINGS DEPICT
ARCHITECTURAL DETAILS ONLY. FOR
COLORS, MATERIALS, & HARDSCAPE SEE
MATERIALS PALETTE (A-220) OR
LANDSCAPE ARCHITECT'S DRAWINGS

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

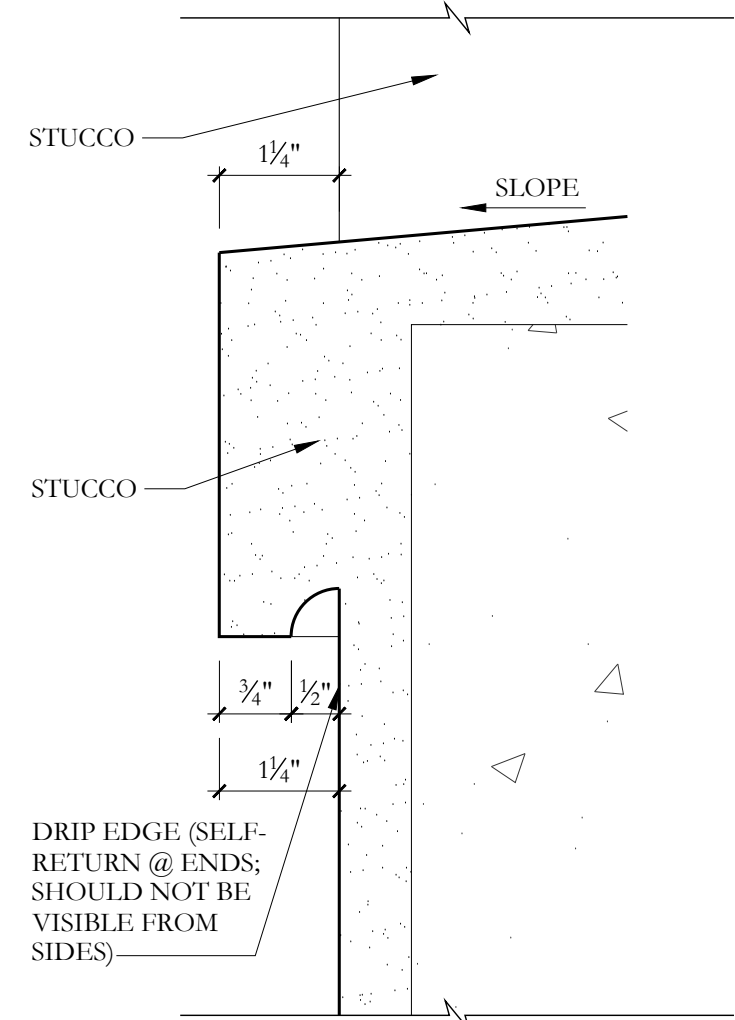
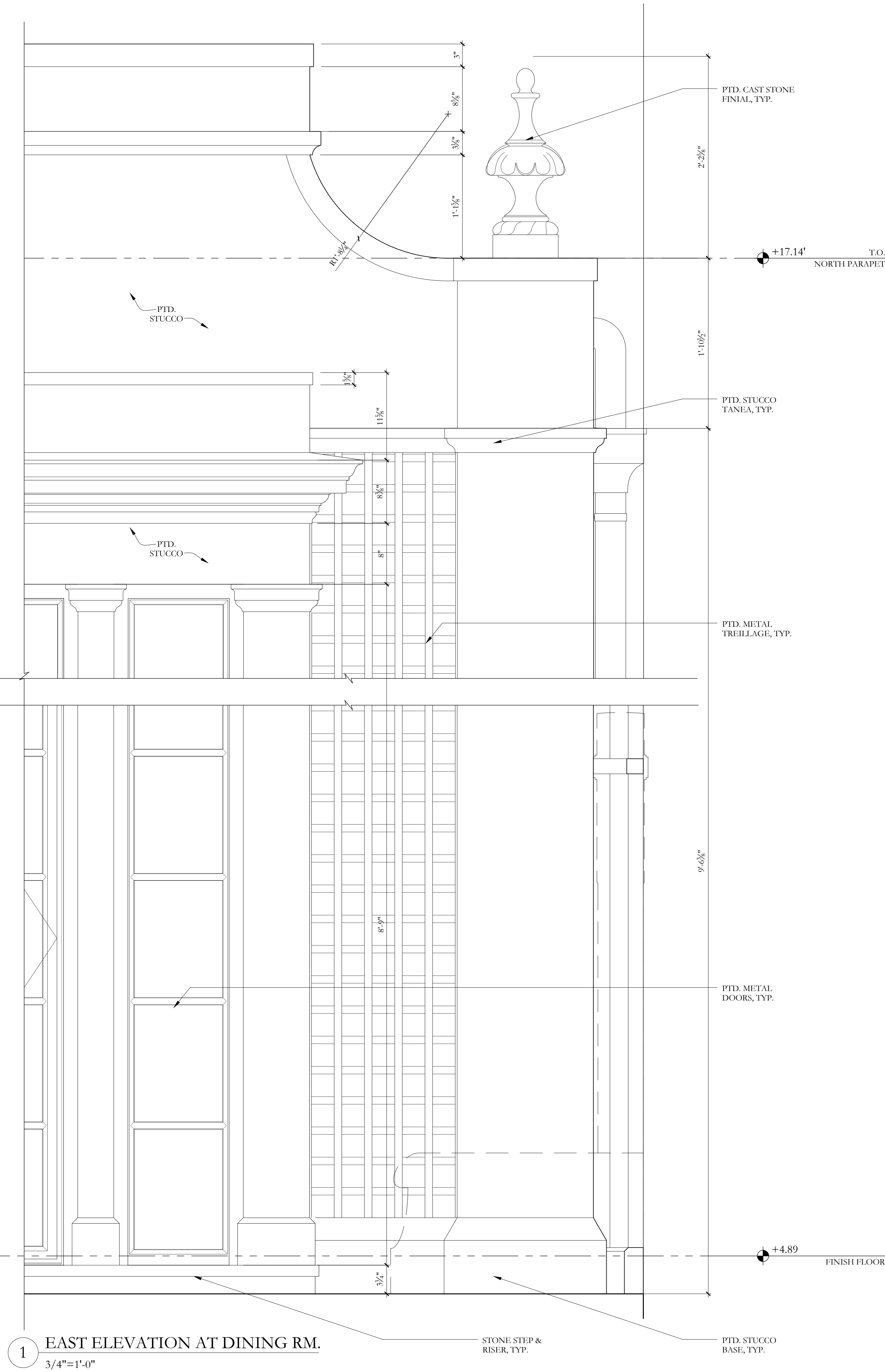
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
RENDERINGS

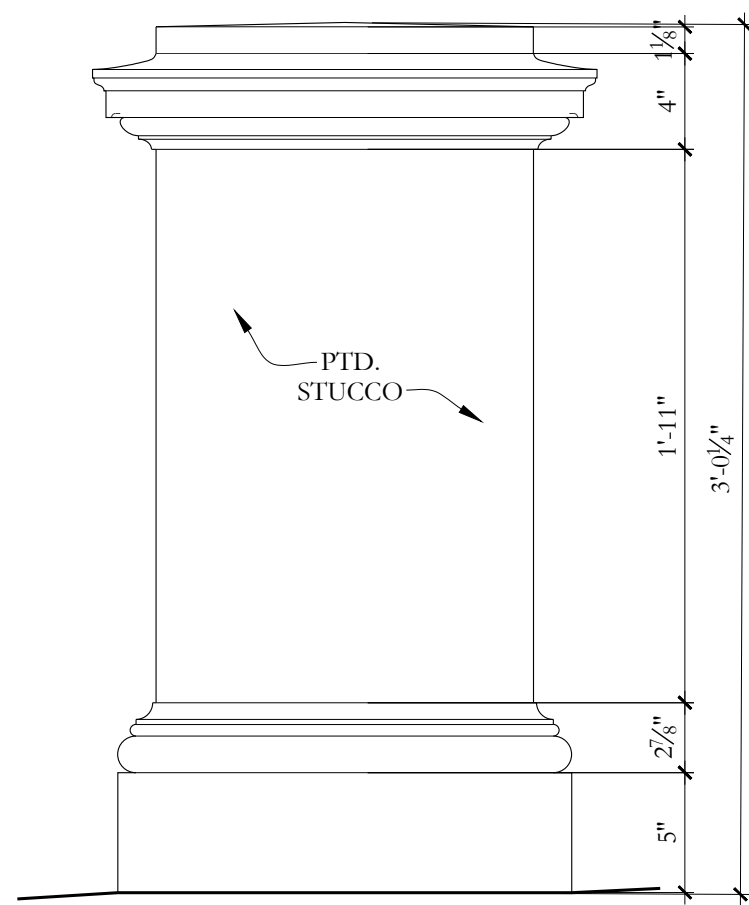
DATE AUGUST 1, 2022	SHEET NO A-201
SCALE N.T.S.	
BY KC	


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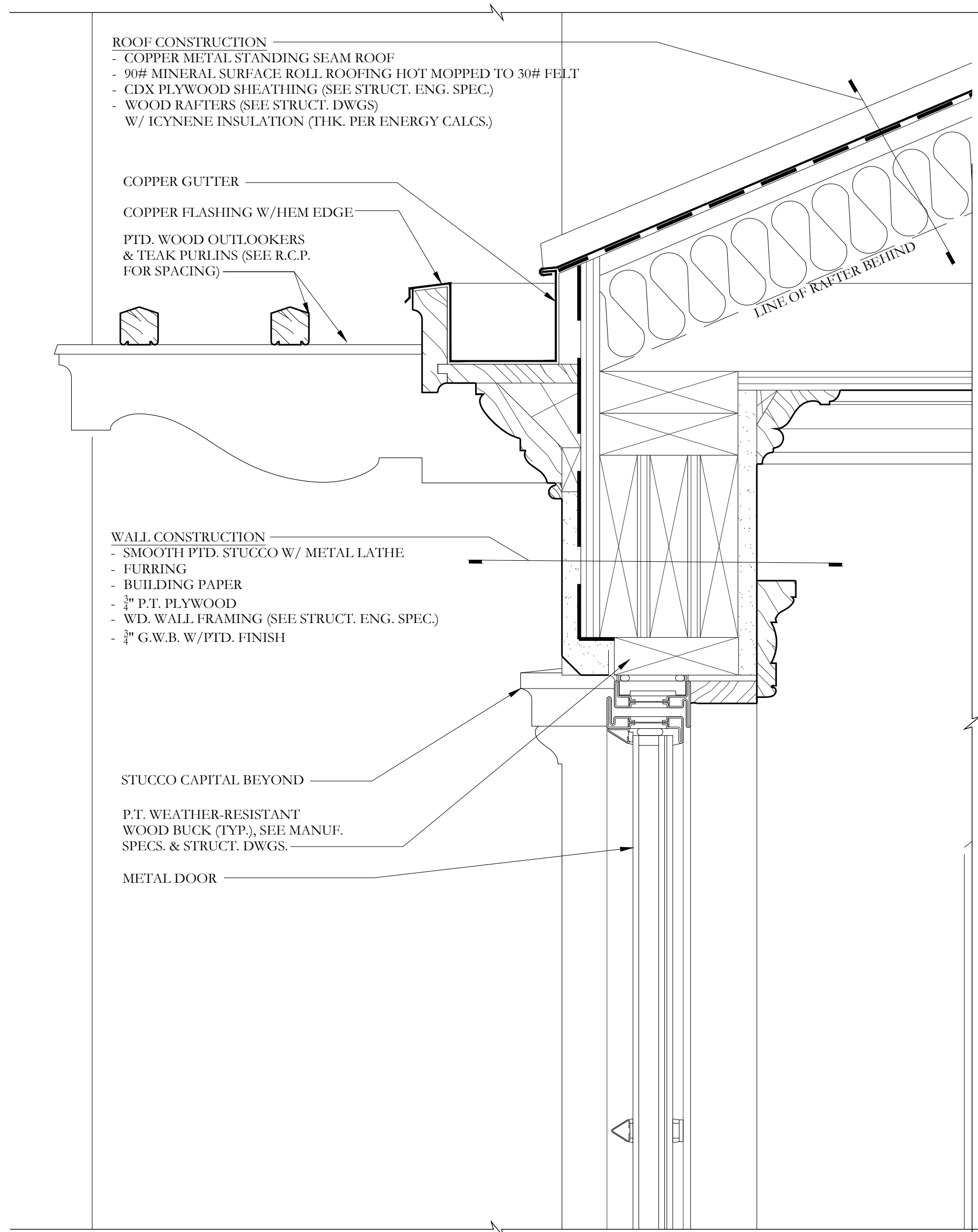
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2 TYP. WINDOW SILL SECT.
6"=1'-0"



3 PIER AT THE ENTRY
3/4"=1'-0"



4 GALLERY EAVE DETAIL
3"=1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
EXTERIOR DETAILS

DATE
AUGUST 1, 2022

SHEET NO

SCALE
AS NOTED

A-210

BY
KC, SPB



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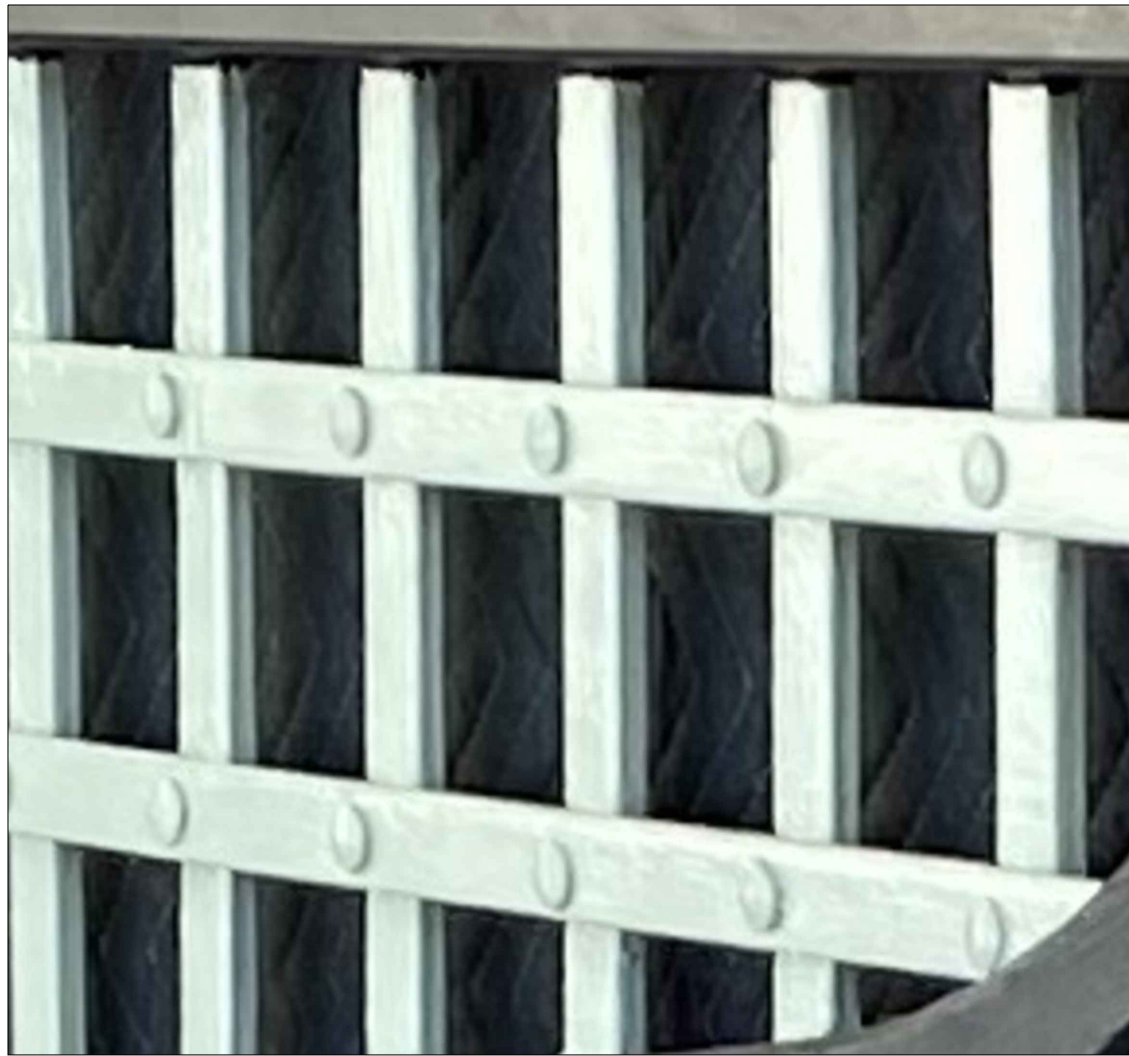
MAIN FACADE: PAINTED STUCCO WALLS & TRIM
CREAM (WALLS) & PINK (TRIM) TO MATCH EXISTING



NORTH SIDE OF HOUSE: PAINTED STUCCO TRIM
LIMESTONE COLOR



PAINTED WOOD RAFTER TAILS
PAINTED CREAM



METAL LATTICE
PAINTED TO MATCH ENTRY DOOR & GATE



HIP ROOFS, LEADERS & DOWNSPOUTS
LEAD COATED COPPER



METAL DOORS & WINDOWS
BRONZE/BLACK COLOR



HARDSCAPE
LIMESTONE



WOOD ENTRY DOOR & GATE FINISH
DISTRESSED CYPRESS

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
MATERIALS & COLORS PALETTE

DATE AUGUST 1, 2022	SHEET NO A-220
SCALE AS NOTED	
BY KG, SPB	



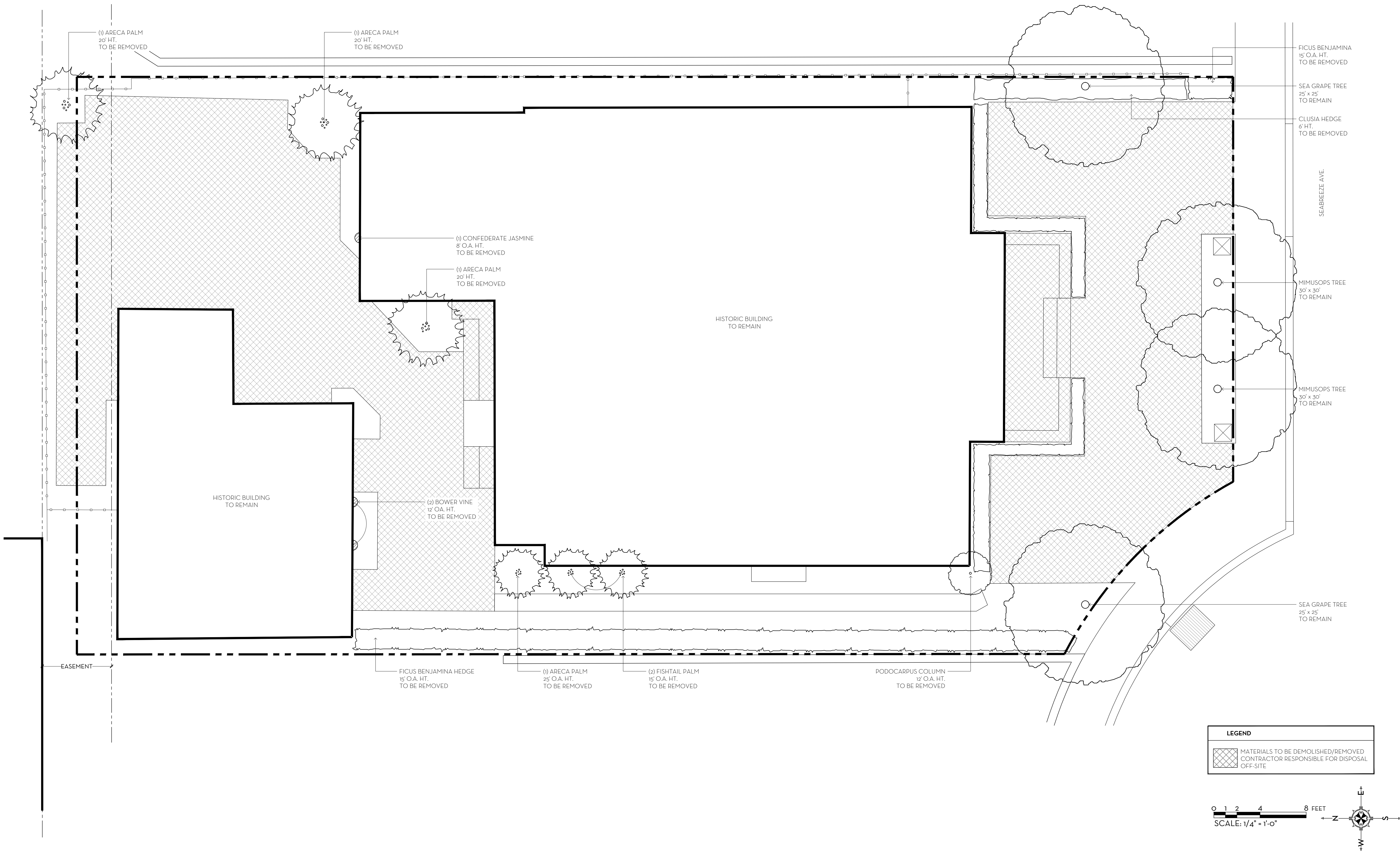
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NEW YORK - PALM BEACH

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Tree/Palm Disposition Material Schedule															
USDA Hardiness Zone: 10b															
Item No.	Common Name	Botanical Name	Height	Spread (DIA FT)	Condition	Disposition	Native								
1	Sea Grape	Coccoloba uvifera	25'	25'	Fair	Remain	*	8	Areca Palm	Dypsis lutescens	25'	12'	Fair	Remove	
2	Mimusops	Mimusops roxburghiana	30'	30'	Fair	Remain		9	Areca Palm	Dypsis lutescens	20'	10'	Fair	Remove	
3	Mimusops	Mimusops roxburghiana	30'	30'	Fair	Remain		10	Areca Palm	Dypsis lutescens	20'	12'	Fair	Remove	
4	Sea Grape	Coccoloba uvifera	25'	25'	Fair	Remain	*	11	Areca Palm	Dypsis lutescens	20'	12'	Fair	Remove	
5	Podocarpus	Podocarpus macrophyllus	12'	3'	Fair	Remove		12	Ficus	Ficus benjamina	15'	N/A	Poor	Remove	
6	Fishtail Palm	Caryota mitis	15'	6'	Fair	Remove		13	Clusia	Clusia guttifer	6'	N/A	Fair	Remove	
7	Fishtail Palm	Caryota mitis	15'	6'	Fair	Remove		14	Bower Vine	Pandorea jasminoides	12'	N/A	Fair	Remove	
								15	Bower Vine	Pandorea jasminoides	12'	N/A	Fair	Remove	
								16	Confederate Jasmine	Trachelospermum jasminoides	8'	N/A	Fair	Remove	



MARIO F. NIEVERA

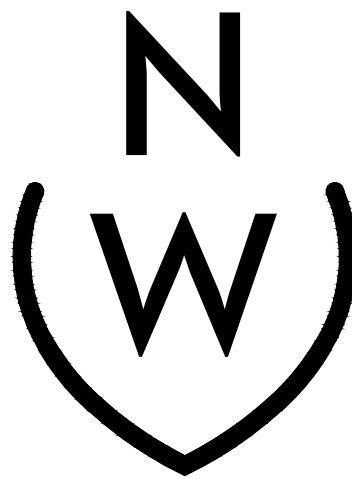
State of Florida
Landscape Architect
Registration No.
6666856

EXISTING / DEMOLITION PLAN

RESIDENCE

441 SEAVIEW AVENUE, PALM BEACH, FL.

8 AUGUST 2022
27 JUNE 2022



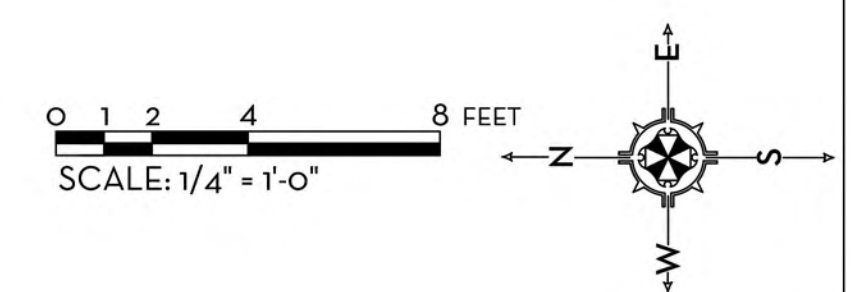
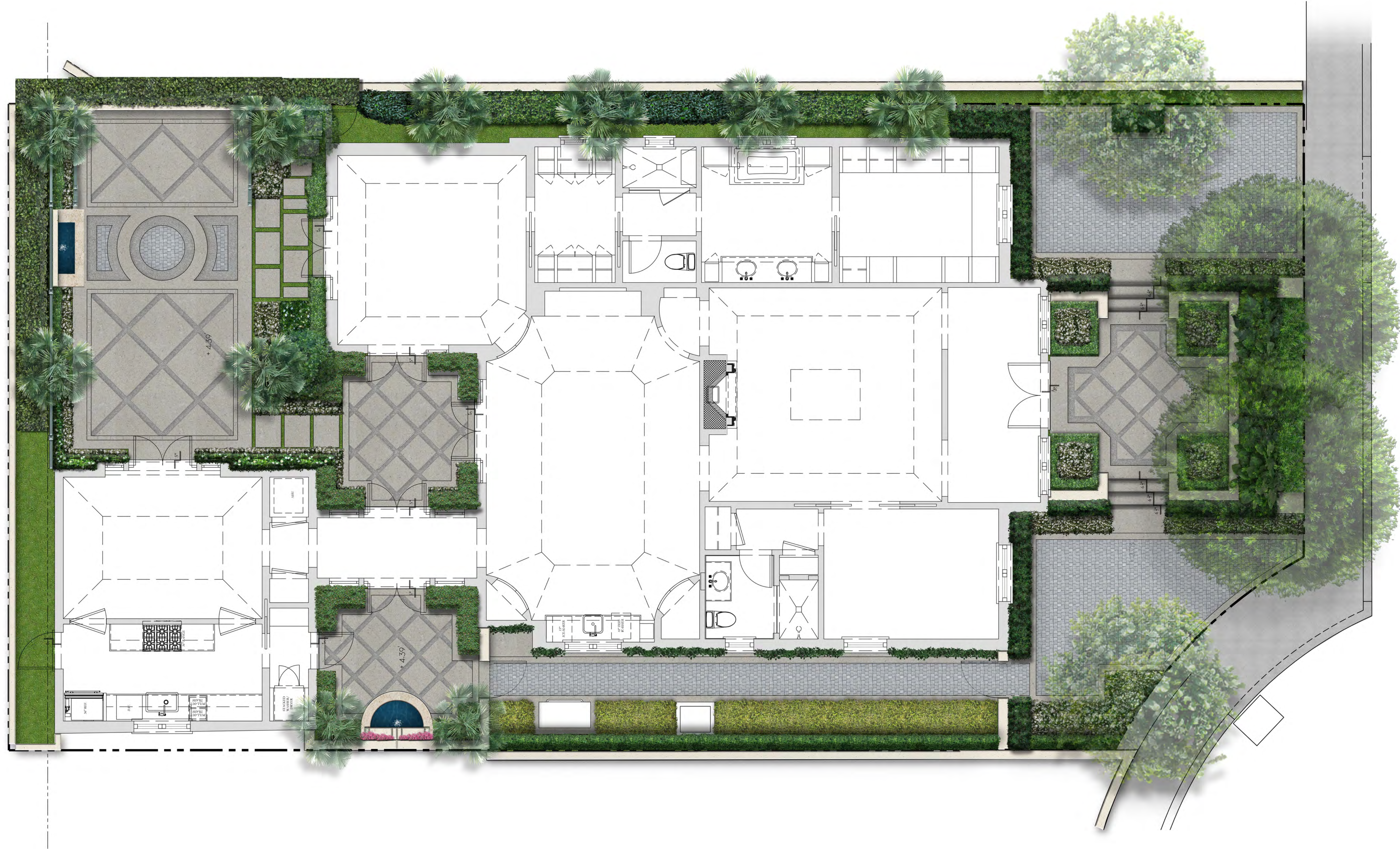
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Suite 502
West Palm Beach, FL 33401
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F: 561-659-2113

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EX

SCALE: 1/4" = 1'-0"



MARIO F. NIEVERA
State of Florida
Landscape Architect
Registration No.
6666856

SITE PLAN
RESIDENCE
441 SEAVIEW AVENUE, PALM BEACH, FL.

8 AUGUST 2022
27 JUNE 2022



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Lo

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SOUTH ELEVATION



INTERIOR NORTH ELEVATION

MARIO F. NIEVERA

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Landscape Architect
Registration No.
6666856

SCALE: 1/4" = 1'-0"

ELEVATIONS
RESIDENCE
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EL1



EAST ELEVATION



WEST ELEVATION

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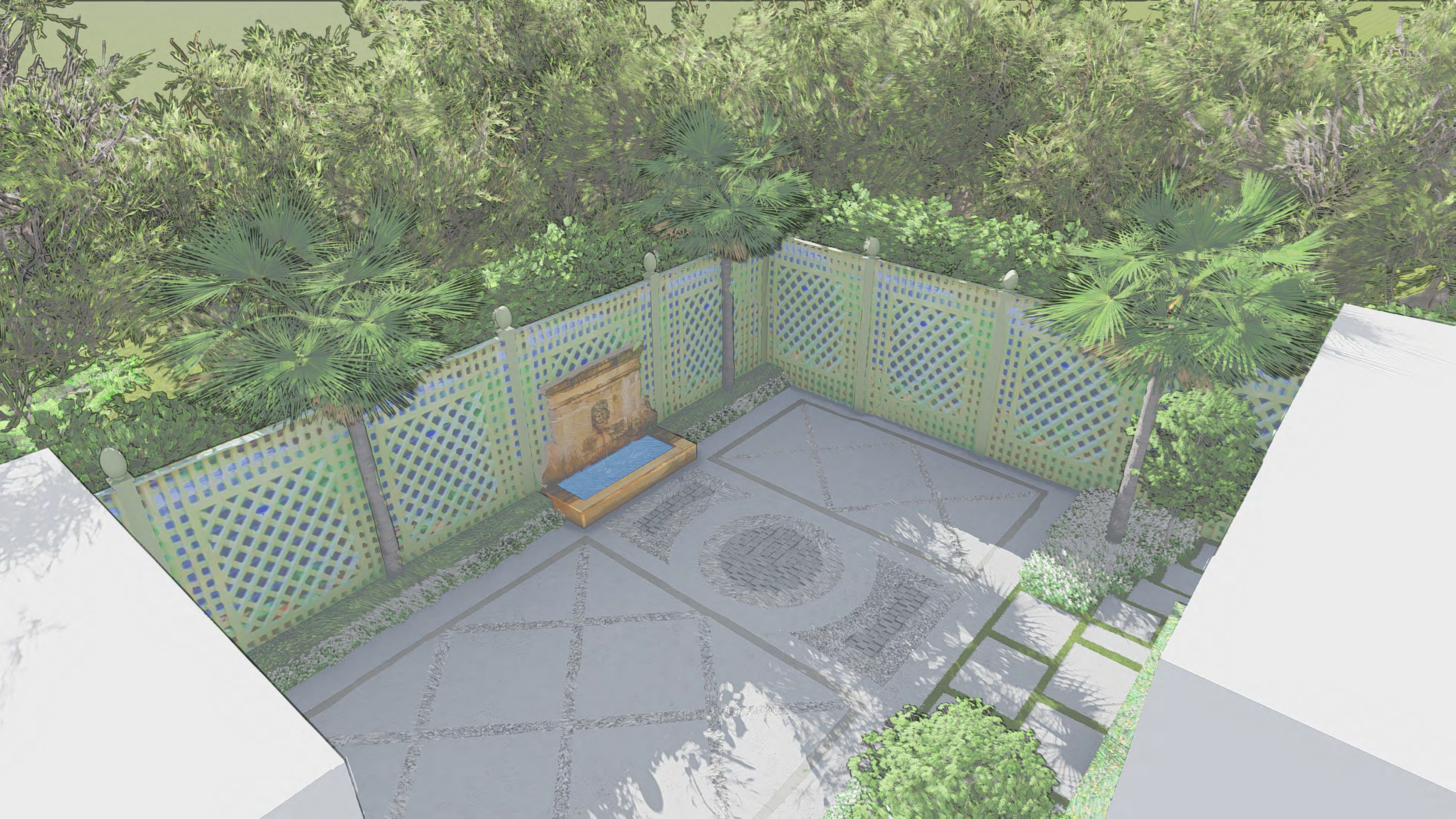
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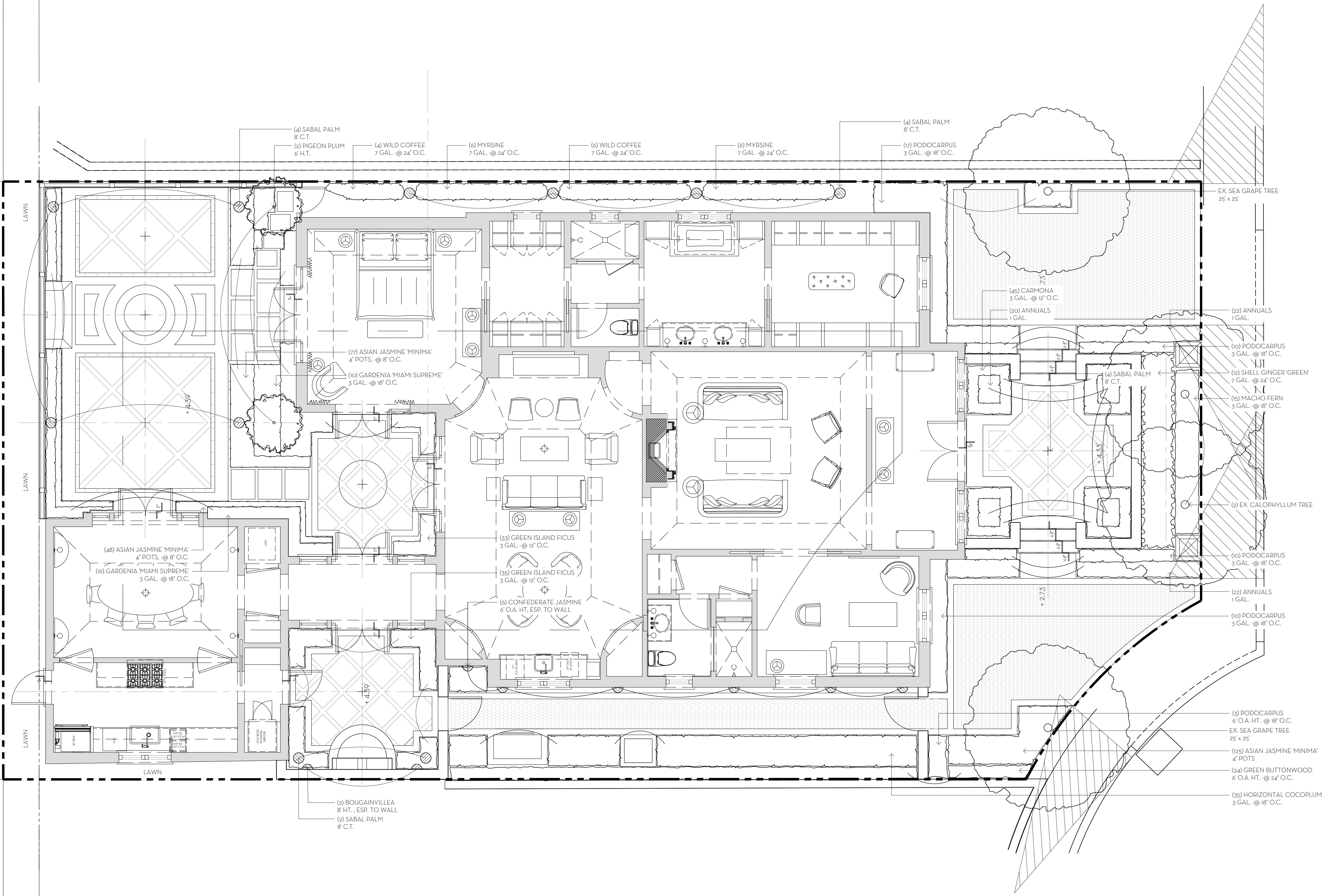
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EL2







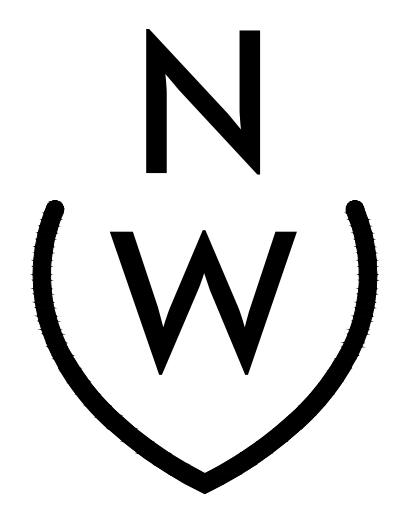


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LANDSCAPE PLAN
RESIDENCE
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LP1

SCALE: 1/4" = 1'-0"

LP2

OVERALL R-B SITE CALCULATIONS:

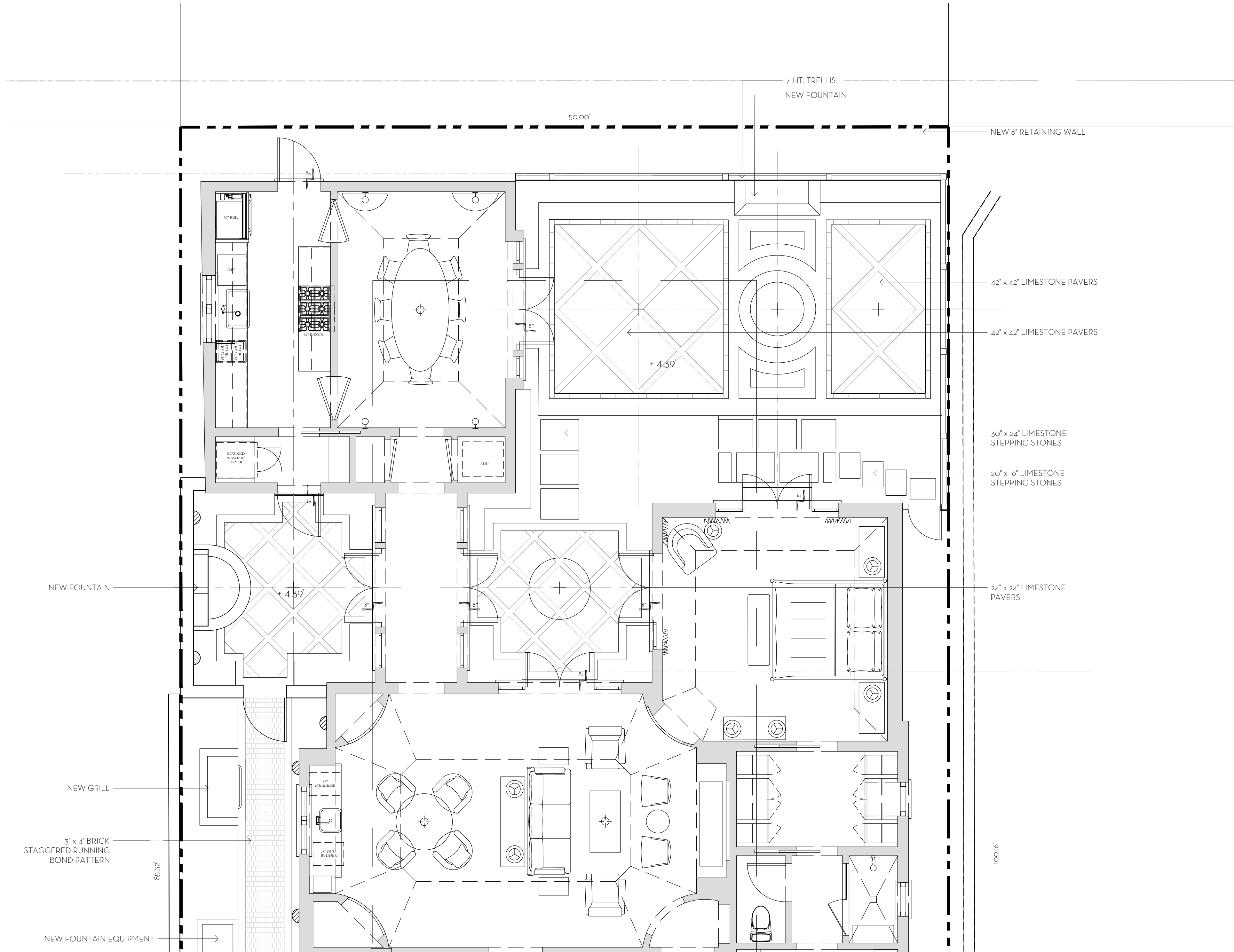
SITE AREA =	4,876	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	2,193	SQ. FT.	45%
EXISTING =	858	SQ. FT.	18%
PROPOSED =	1,010	SQ. FT.	20.7%

FRONT SETBACK SITE CALCULATIONS:

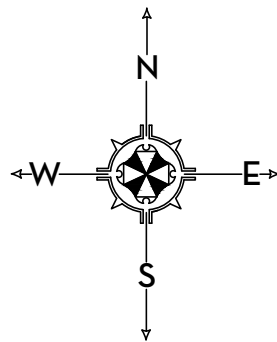
25' SETBACK AREA =	1,118	SQ. FT.	100%
MINIMUM LANDSCAPE:			
REQUIRED =	447	SQ. FT.	40%
EXISTING =	315	SQ. FT.	28.1%
PROPOSED =	317	SQ. FT.	28.4%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	2,530	SQ. FT.
MINIMUM LANDSCAPE:		
(50% OF 2,530 SF) = 1,265.0 REQUIRED		
EXISTING =	793	SQ. FT.
PROPOSED =	794	SQ. FT.



0 1 2 4 8 FEET
SCALE: 1/4" = 1'-0"

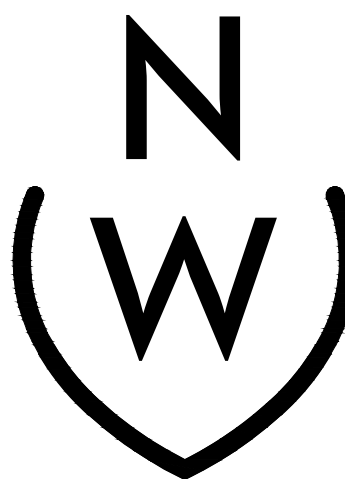


MARIO F. NIEVERA

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Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
RESIDENCE
441 SEAVIEW AVENUE, PALM BEACH, FL.

8 AUGUST 2022
27 JUNE 2022

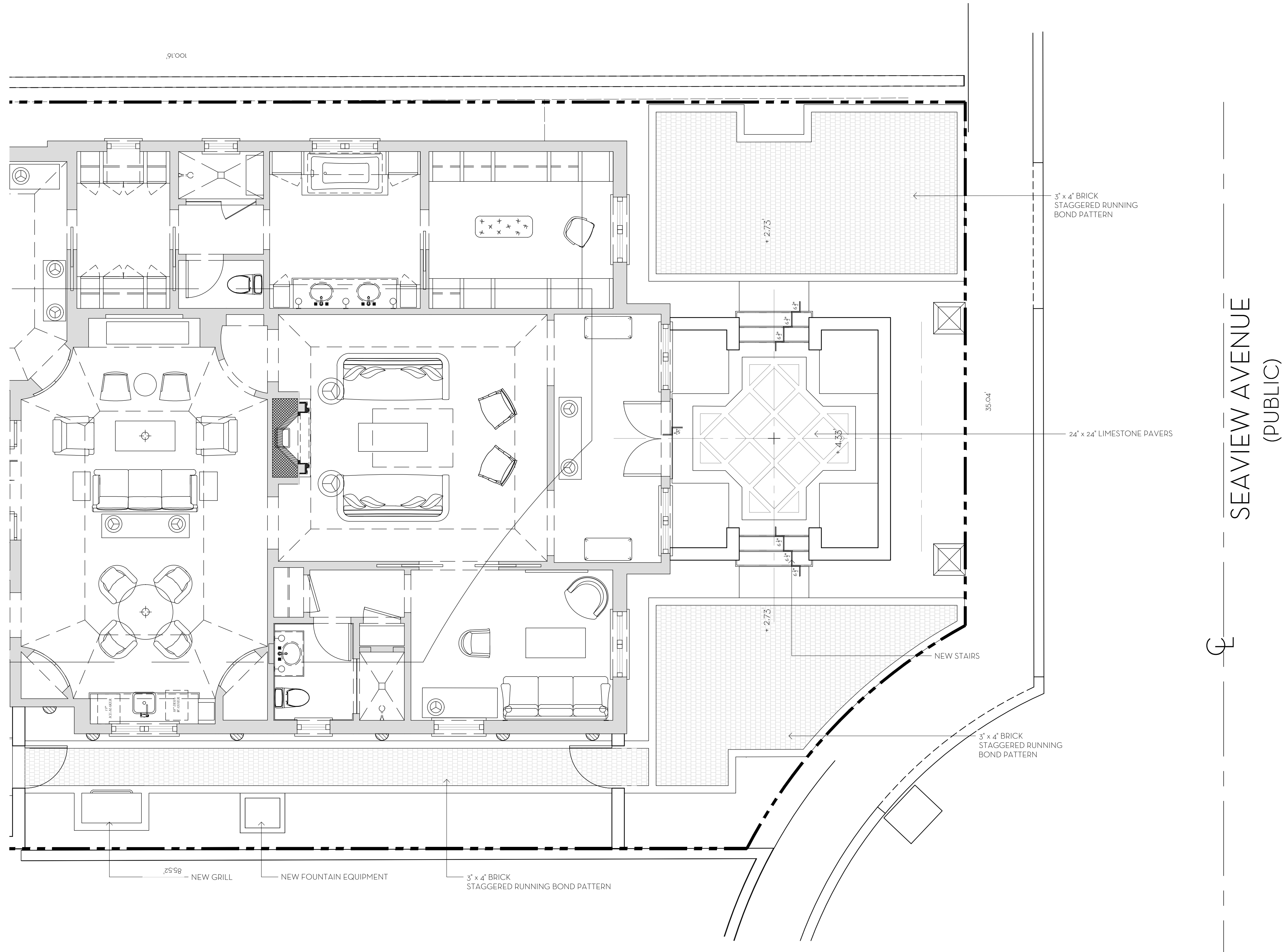


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L1



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	4,876	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	2,193	SQ FT	45%
EXISTING =	858	SQ FT	18%
PROPOSED =	1,010	SQ FT	20.7%

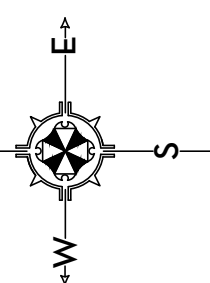
FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	1,118	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	447	SQ FT	40%
EXISTING =	315	SQ FT	28.1%
PROPOSED =	317	SQ FT	28.4%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	2,530	SQ FT	
MINIMUM LANDSCAPE:			
(50% OF 2,530 SF) = 1,265			
REQUIRED =	793	SQ FT	
EXISTING =	793	SQ FT	
PROPOSED =	794	SQ FT	

0 1 2 4 8 FEET
SCALE: 1/4" = 1'-0"



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
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HARDSCAPE PLAN
RESIDENCE
441 SEAVIEW AVENUE, PALM BEACH, FL.

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SCALE: 1/4" = 1'-0"

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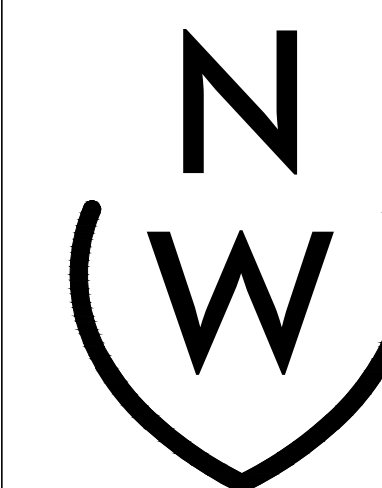
SCALE: 1/8" = 1'-0"

CONSTRUCTION SCREENING PLAN

RESIDENCE

441 SEAVIEW AVENUE, PALM BEACH, FL.

27 JUNE 2022

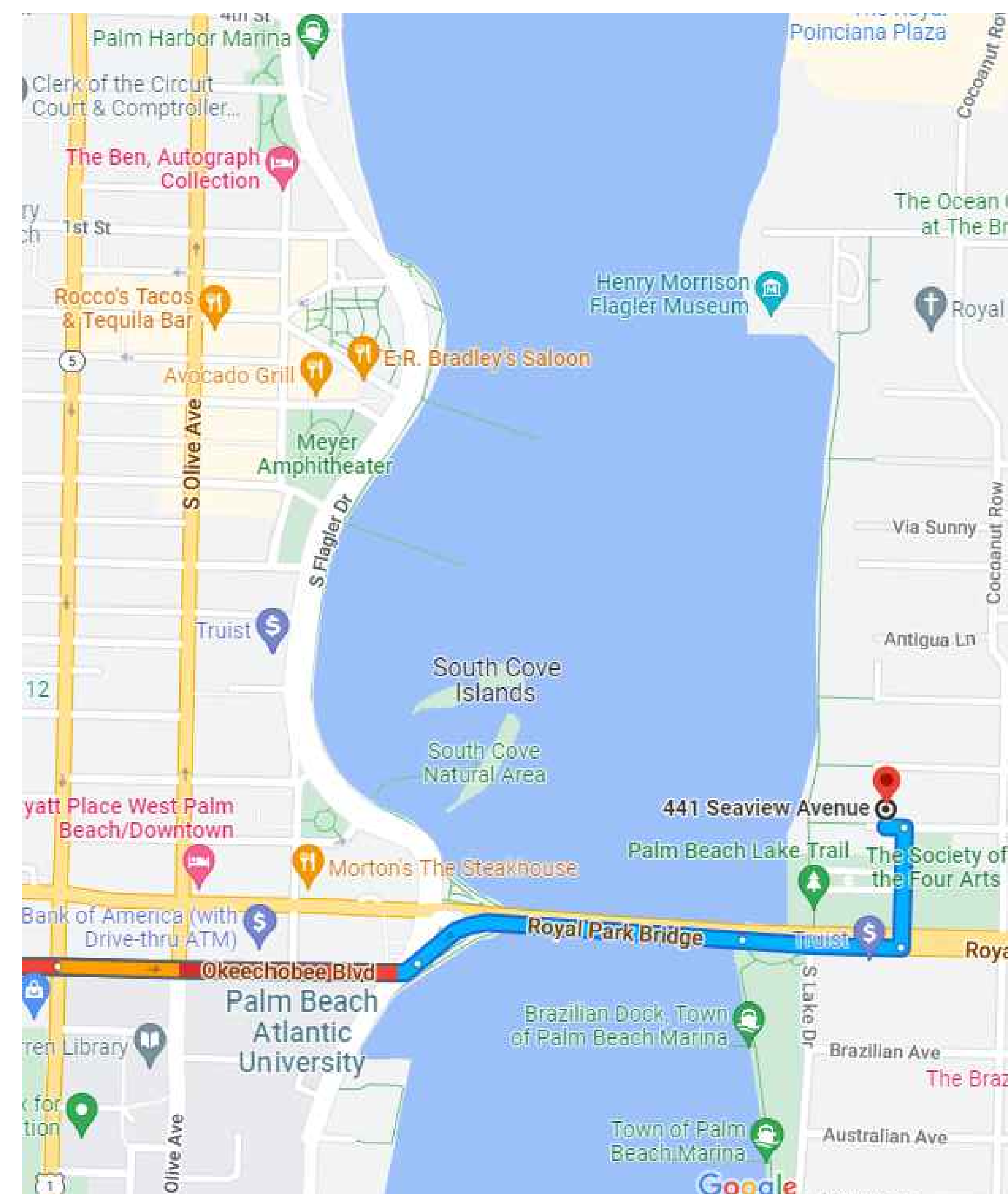
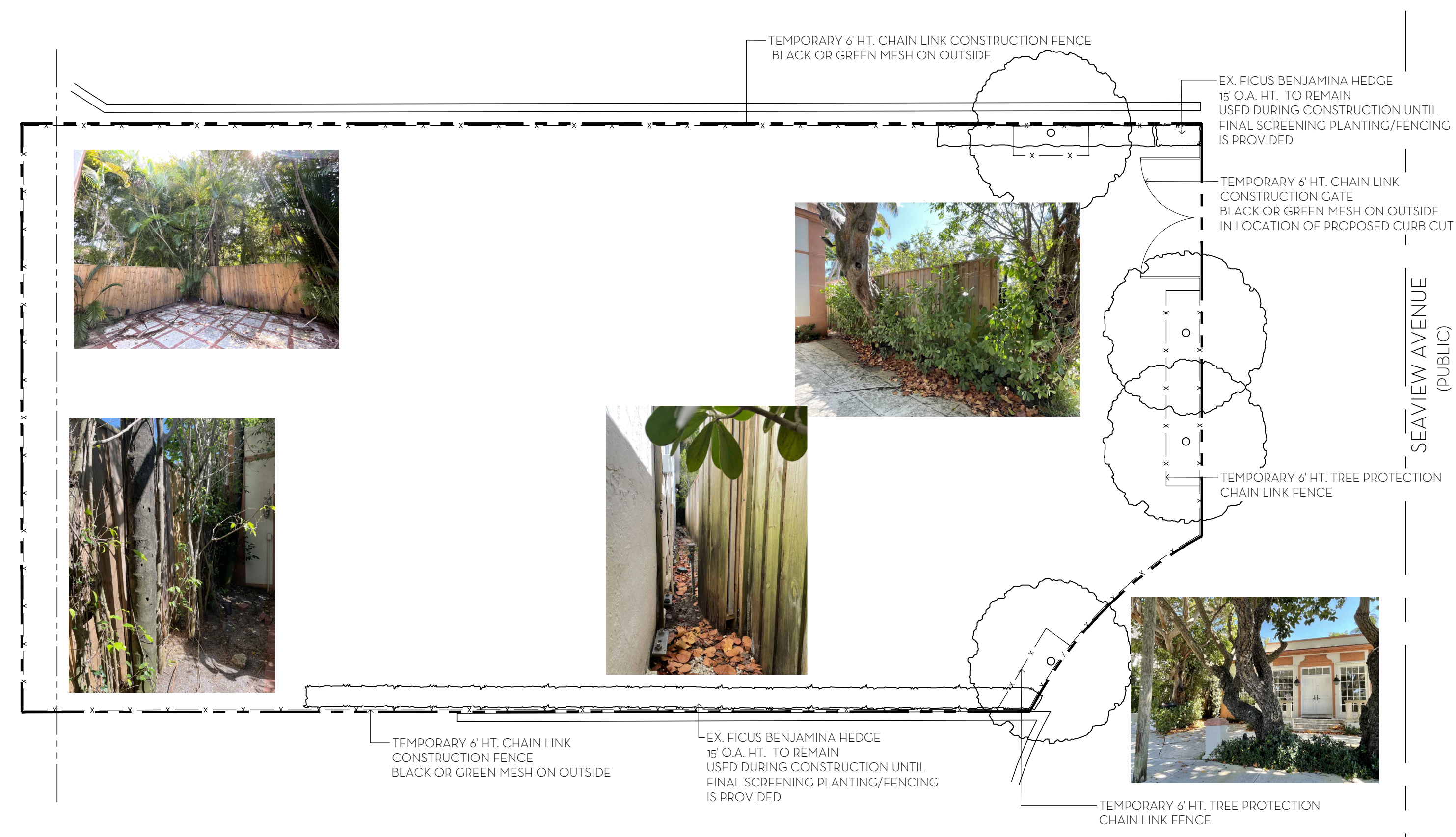


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CSP



TRUCK ROUTE



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 4,876 sq.ft.

Drainage Area Impervious Surface = 3,694 sq.ft.

Drainage Area Pervious Surface = 1,182 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2 \text{ in/hr} \times 3,694 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 616 \text{ cu.ft.}$

Pervious Runoff Volume:

$0.2 \times 2 \text{ in/hr} \times 1,182 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 39 \text{ cu.ft.}$

Total Volume to be Retained = 655 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1

$L =$ Total Length of Trench Provided = 18 ft

$W =$ Trench Width = 6 ft

$K =$ Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

$H2 =$ Depth to Water Table = 0.25 ft

$DU =$ Un-Saturated Trench Depth = 0.00 ft

$DS =$ Saturated Trench Depth = 1.00 ft

$V =$ Volume Treated = 1 cu.ft.

Exfiltration Trench #2

$L =$ Total Length of Trench Provided = 10 ft

$W =$ Trench Width = 6 ft

$K =$ Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

$H2 =$ Depth to Water Table = 0.25 ft

$DU =$ Un-Saturated Trench Depth = 0.00 ft

$DS =$ Saturated Trench Depth = 1.00 ft

$V =$ Volume Treated = 1 cu.ft.

Exfiltration Trench #3

$L =$ Total Length of Trench Provided = 23 ft

$W =$ Trench Width = 12 ft

$K =$ Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

$H2 =$ Depth to Water Table = 0.25 ft

$DU =$ Un-Saturated Trench Depth = 0.00 ft

$DS =$ Saturated Trench Depth = 1.00 ft

$V =$ Volume Treated = 2 cu.ft.

Exfiltration Trench #4

$L =$ Total Length of Trench Provided = 25 ft

$W =$ Trench Width = 3 ft

$K =$ Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

$H2 =$ Depth to Water Table = 0.25 ft

$DU =$ Un-Saturated Trench Depth = 0.00 ft

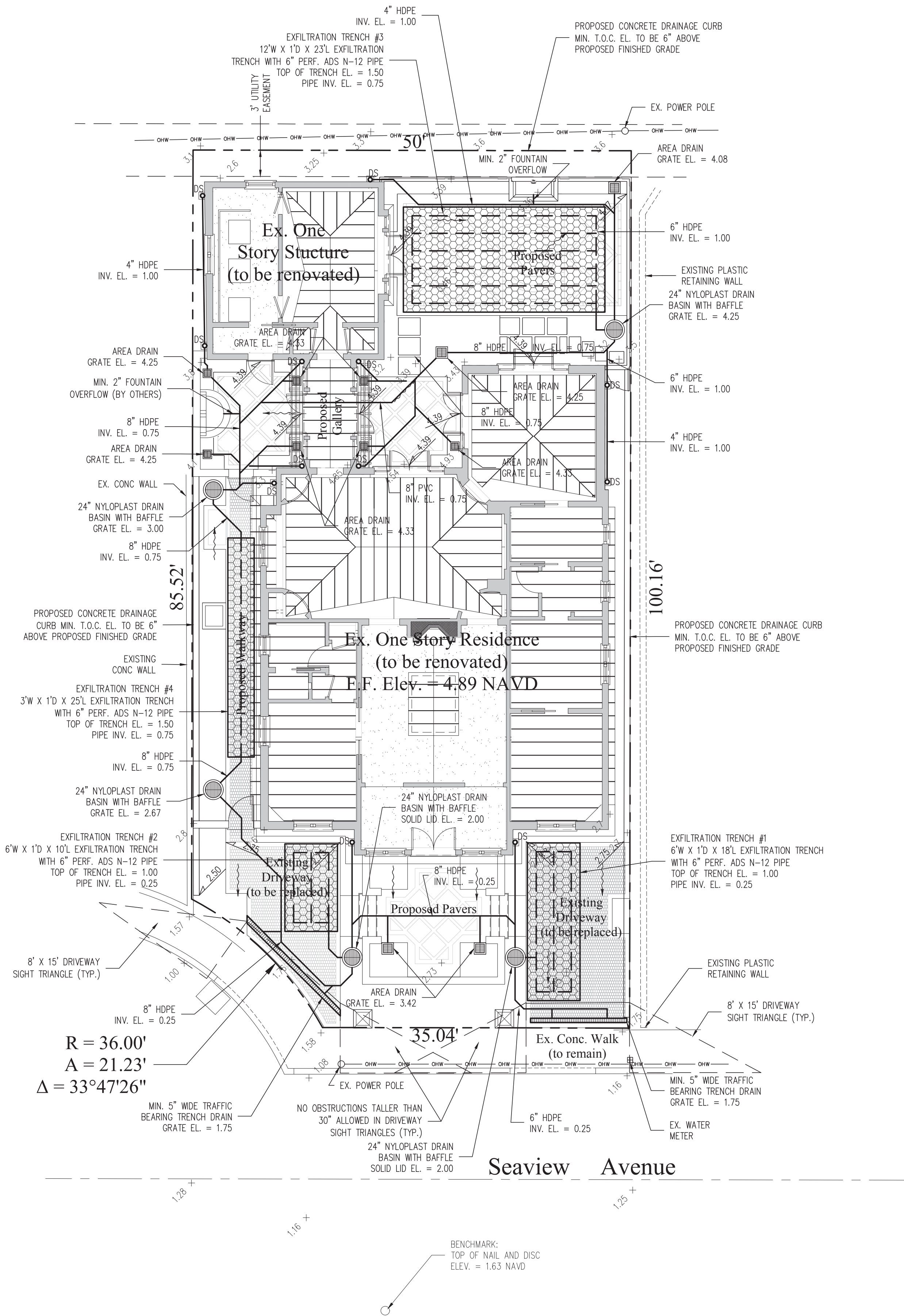
$DS =$ Saturated Trench Depth = 1.00 ft

$V =$ Volume Treated = 2 cu.ft.

Total Volume Treated in Exfiltration Trenches = 6 cu.ft.

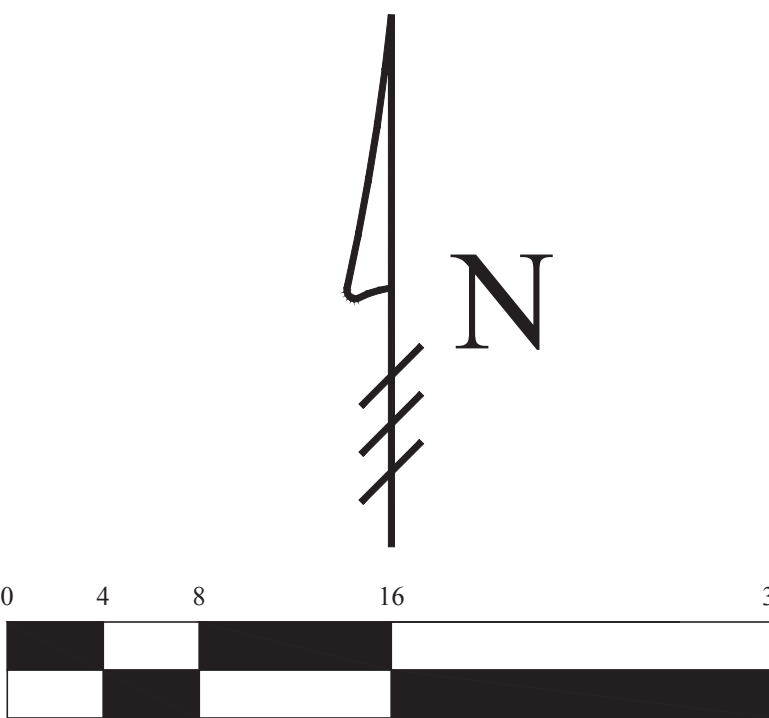
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
5474 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

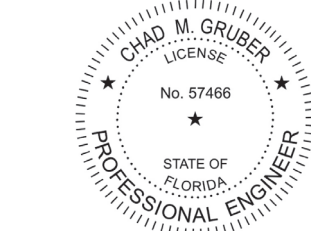
Project Information				
Project No.	2022-0072	Issue Date	06/27/2022	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
CG				

Conceptual Site Grading & Drainage Plan For:
Proposed Renovation
Palm Beach, Florida
441 Seaview Avenue

Revisions	
1	07/30/2022
2	
3	
4	
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Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1



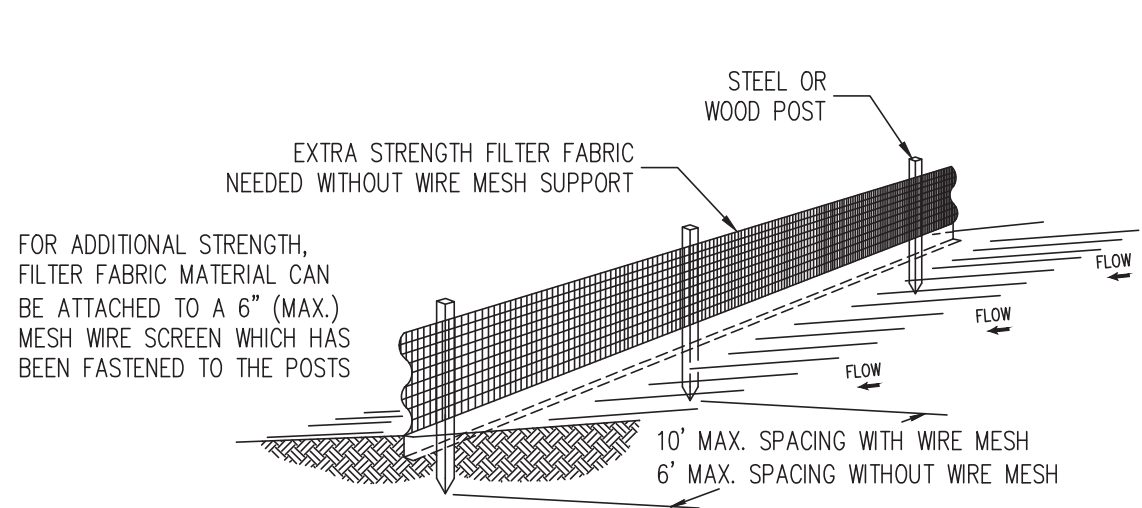
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by Chad M Gruber
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Plan Background from Site Plan by
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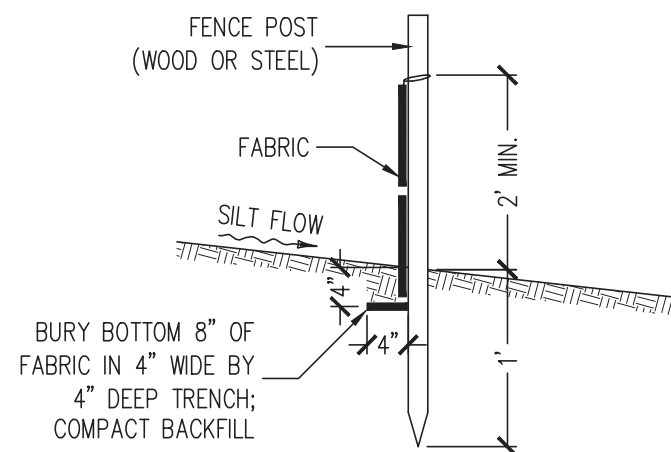
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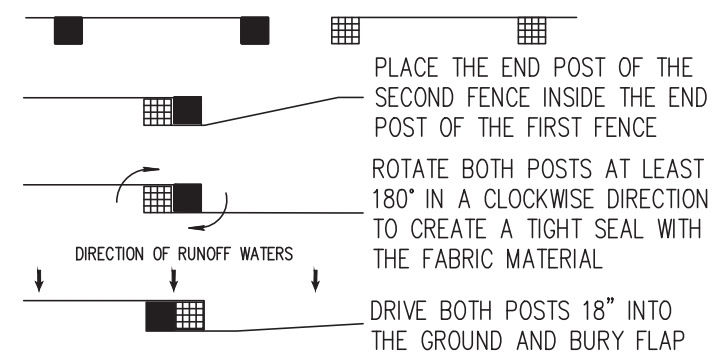
Notes:

- 1) The height of a silt fence shall not exceed 36".
- 2) Filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2" and shall not extend more than 36" above the original ground surface.
- 6) The standard strength filter fabric shall be stapled or wired to the fence, and 8" of the fabric shall be extended into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the filter fabric.

SILT FENCE DETAIL
N.T.S.



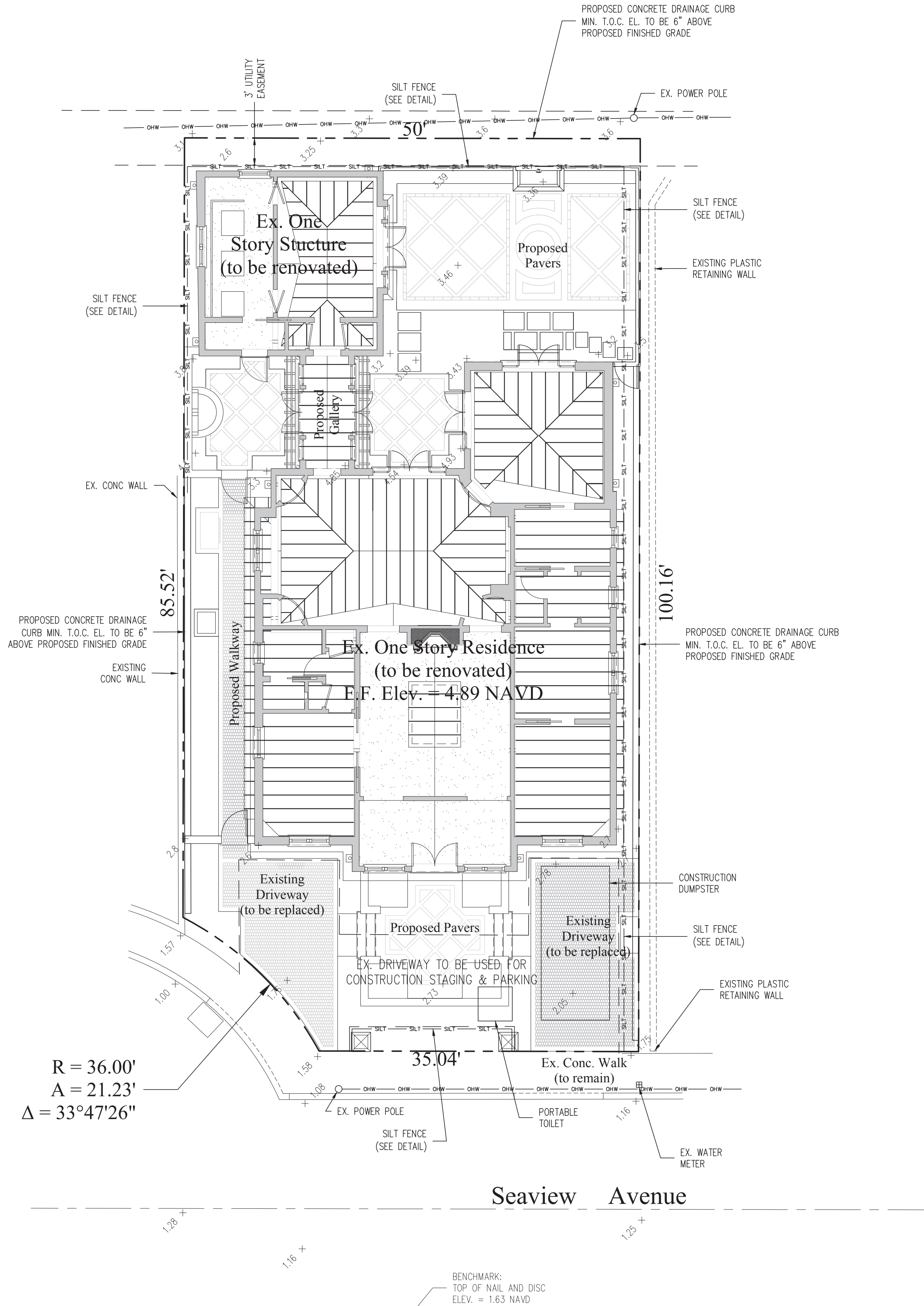
SILT FENCE SECTION
N.T.S.



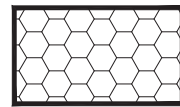
ATTACHING TWO SILT FENCES
N.T.S.

Notes:

- 1) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 2) Contractor to investigate condition of existing sewer service prior to building permit submittal. If existing service is cast iron, or in poor condition, service will be replaced to main per Town of Palm Beach standards.



Legend



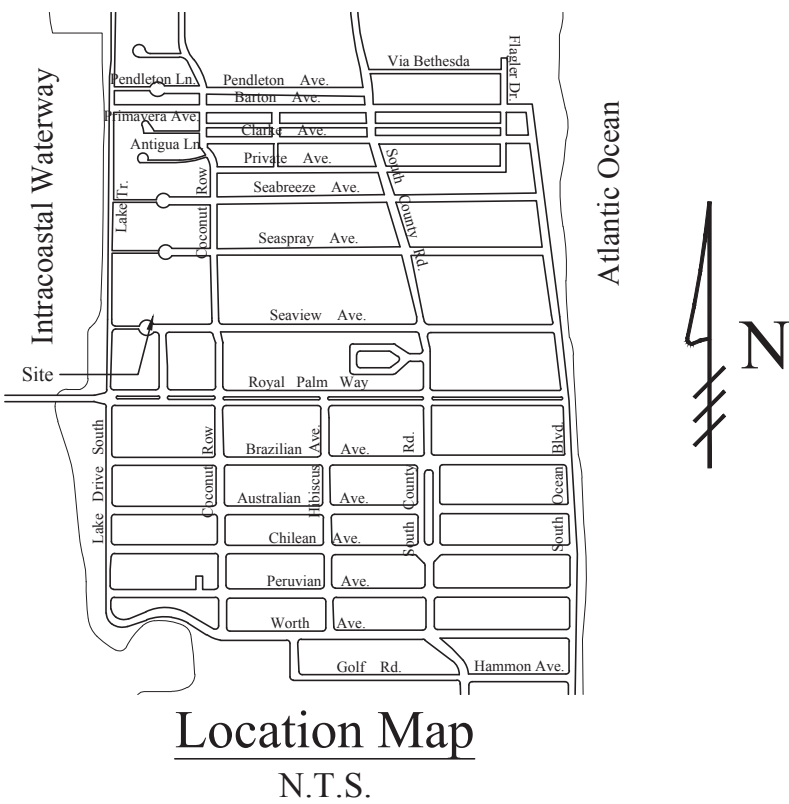
CONSTRUCTION STAGING AREA



SILT FENCE (SEE DETAIL)



Scale: 1/8" = 1'-0"



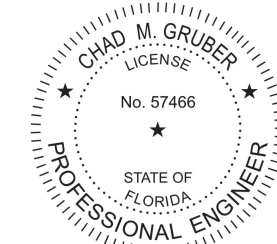
Gruber Consulting Engineers, Inc.
5754 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2841
office@gruberengineers.com

Project Information				
Project No.	2022-0072	Issue Date	06/27/2022	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
CG				

Conceptual Construction Staging & Parking and Erosion Control Plan For:
Proposed Renovation
441 Seaview Avenue
Palm Beach, Florida

Revisions	
1	
2	
3	
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Chad M. Gruber
FL P.E. No. 57466



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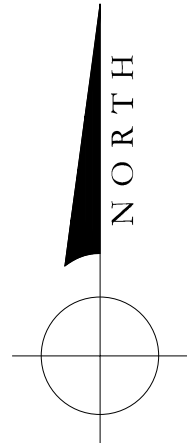
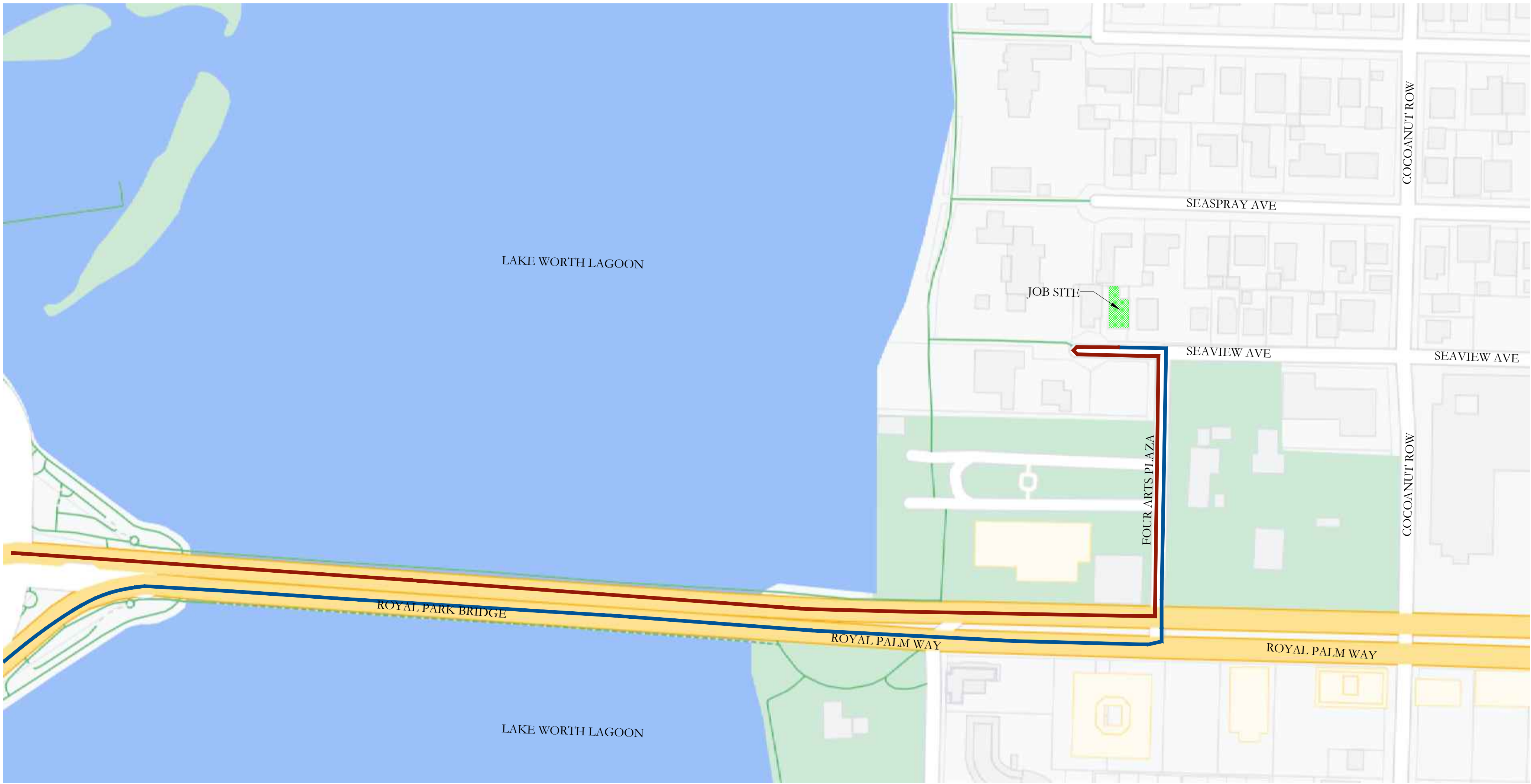
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Plan Background from Site Plan by
Fairfax & Sammons Received 7/29/22

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Sheet No.
EC-1



1 PROPOSED TRUCK INGRESS/EGRESS ROUTES MAP
N.T.S.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

MAXIMUM VEHICLE SIZE ABLE TO BE
ACCOMMODATED ON SITE:

30-FOOT TRUCKS

ESTIMATE OF NUMBER OF TRUCKS VISITING
JOBSITE OVER LIFE OF PROJECT:

5 WORKING DAYS/WEEK (AVG.)
x 50 WORK WEEKS/YEAR (AVG.)
x 1.5 YEAR (18-MO.) SCHEDULE (PROPOSED)
= 375 TOTAL WORK DAYS (PROPOSED)

6 TRUCKS/DAY (AVG.)
x 2 TRIPS/DAY (INGRESS & EGRESS)
= 12 TRUCK TRIPS/DAY (AVG.)

375 TOTAL WORK DAYS (PROP.)
x 12 TRUCK TRIPS/DAY (AVG.)
= 4,500 TOTAL TRUCK TRIPS OVER
LIFE OF PROJECT (EST.)

ROUGH SCHEDULE OF CONSTRUCTION
W/MAJOR CONSTRUCTION BENCHMARKS:

TASK:	DURATION (IN MONTHS):
SITE PREPARATION:	1
FOUNDATION:	1
FRAMING :	2
ROOF TRUSS DELIVERIES & TRUSS SETTING:	1
WINDOW/DOOR DELIVERIES & INSTALLATION:	0.5
DRY-IN:	0.5
INTERIOR FRAMING:	1
ROUGH-IN:	2
DRY WALL:	2
FINISHES:	4
LANDSCAPE/HARDSCAPE INSTALLATION:	2
FINAL INSPECTIONS:	1

TOTAL PROPOSED CONSTRUCTION TIME
(FOLLOWING ISSUANCE OF BUILDING PERMIT): 18 mos.

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
TRUCK LOGISTICS PLAN &
SCHEDULE OF CONSTRUCTION

DATE
AUGUST 1, 2022

SHEET NO

SCALE
N.T.S.

T-1

BY
KC, SPB



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NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, L.L.C.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-8891
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