

441 SEAVIEW AVENUE
PALM BEACH, FLORIDA

LANDMARKS & TOWN COUNCIL COMBO SUBMITTAL

DRC FINAL SUBMITTAL SET

AUGUST 1, 2022

LPC MEETING DATE: SEPT. 21, 2022

TC MEETING DATE: OCT. 12, 2022



1 RENDERING
N.T.S.

RECEIVED

By yfigueroa at 2:26 pm, Aug 15, 2022

SCOPE OF WORK:

- Partial demolition, a new connection addition between main house & cottage, and renovation of an existing historically significant one-story residence. The current square footage of the house is 2,367 sq. ft. (48.54% lot coverage), and the proposed square footage of the house 2,266 sq. ft. (48.52% lot coverage). The lot coverage is reduced slightly by eliminating the portion of the footprint of the existing cottage, and adding a new connection between the main house & cottage that is 1 sq.ft. smaller than the portion to be removed. Current cubic content of the exiting house is 21,295 cu. ft. (4.37 ratio) and the proposed cubic content of the house is 23,220 cu. ft. (4.76 ratio). The scope of work also includes raising the finish floor of the existing cottage from 3.34' N.A.V.D. to 4.89' N.A.V.D. to align with the existing finish floor of the main house.
- Hardscape and landscape improvements, including new garden walls, site walls, retaining walls, treillage, fountains and elevating the grade of the lot on the north side of the house.
- Corresponding zoning review & variance(s) request - to be represented by attorney, Mauna Ziska:

- SITE PLAN REVIEW: Section 134-446. Site plan review for development on non-conforming platted lot in the R-B zoning district. Lot width of 35.04' in lieu of the 100' required.
- Variance #1: Section 134-893(b)(7)(a) - East side yard setback of 2.7' in lieu of the 12'-6" required.
- Variance #2: Section 134-893(b)(7)(a) - West side yard setback of 1.3' in lieu of the 12'-6" required.
- Variance #3: Section 134-893(b)(9)(a) - Rear yard setback of 3.5' in lieu of the 10'-0" required.
- Variance #4: Section 134-893(b)(5) - Front yard setback of 19.8' in lieu of the 25' required.
- Variance #5: Section 134-893(b)(13) - Cubic Content Ratio of 4.76 c.f. in lieu of the 4.0 c.f. required.
- Variance #6: Section 134-893(b)(12)(b) - Front yard landscape open space of 317 SF (28.4%) in lieu of the 447 SF (40%) required.
- Variance #7: Section 134-893(b)(12)(a) - Overall landscape open space of 1,010 SF (20.7%) in lieu of the 2,193 (45%) required.
- Variance #8: Section 134-893(b)(12)(a) - Perimeter landscape open space of 794 SF (31.4%) in lieu of the 1,265 (50%) required.
- Variance #9: Section 134-893(b)(11)(a) - Lot Coverage of 48.52% (2,366 sq.ft.) in lieu of the 40% (1,950 sq. ft.) maximum required.
- Variance #10: Section 50-114 - Exception from flood resistant construction requirements of the Florida Building Code, Existing Buildings, Chapter 12 Historic Buildings, as the proposed improvements will not preclude the building's continued designation as a Historic building to maintain a ground floor with a finish floor of 4.89' N.A.V.D. in lieu of the 7' N.A.V.D. minimum required.

CODES AND STANDARDS:

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE.

LEGAL DESCRIPTION:

Lots 610 and 612, PONCIANA PARK THIRD ADDITION, according to the Plat thereof, as recorded in Plat Book 8, Page 72, of the Public Records of Palm Beach County, Florida

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
TITLE SHEET & INDEX

DATE
AUGUST 1, 2022

SCALE
N.T.S.

BY
KC

SHEET NO

A-000



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-8891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

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DOCUMENT ISSUE	DATE	ISSUED TO	BY	SCALE	DATE	ISSUED TO	BY	SCALE
06/27/22	DRC PRE-APP SUBMITTAL	TOWN OF PALM BEACH	KC	N.T.S.	07/12/22	DRC FIRST SUBMITTAL	KC	N.T.S.
07/12/22	DRC FIRST SUBMITTAL	TOWN OF PALM BEACH	KC	N.T.S.	08/01/22	DRC FINAL SUBMITTAL	KC	N.T.S.
08/01/22	DRC FINAL SUBMITTAL	TOWN OF PALM BEACH	KC	N.T.S.				

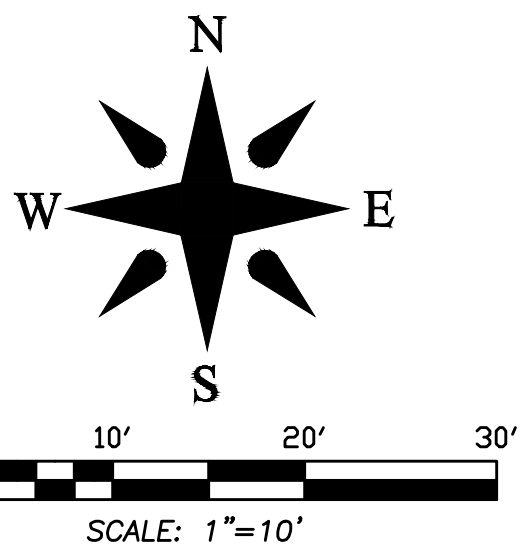
2 INDEX
N.T.S.

CIVIL ENGINEER
GRUBER CONSULTING ENGINEERS, INC.
2475 MERCER AVENUE, SUITE 305
WEST PALM BEACH, FL 33401
561-312-2041

ARCHITECT
FAIRFAX & SAMMONS ARCHITECTS
214 BRAZILIAN AVENUE, SUITE 100
PALM BEACH, FL 33480
561-805-8591

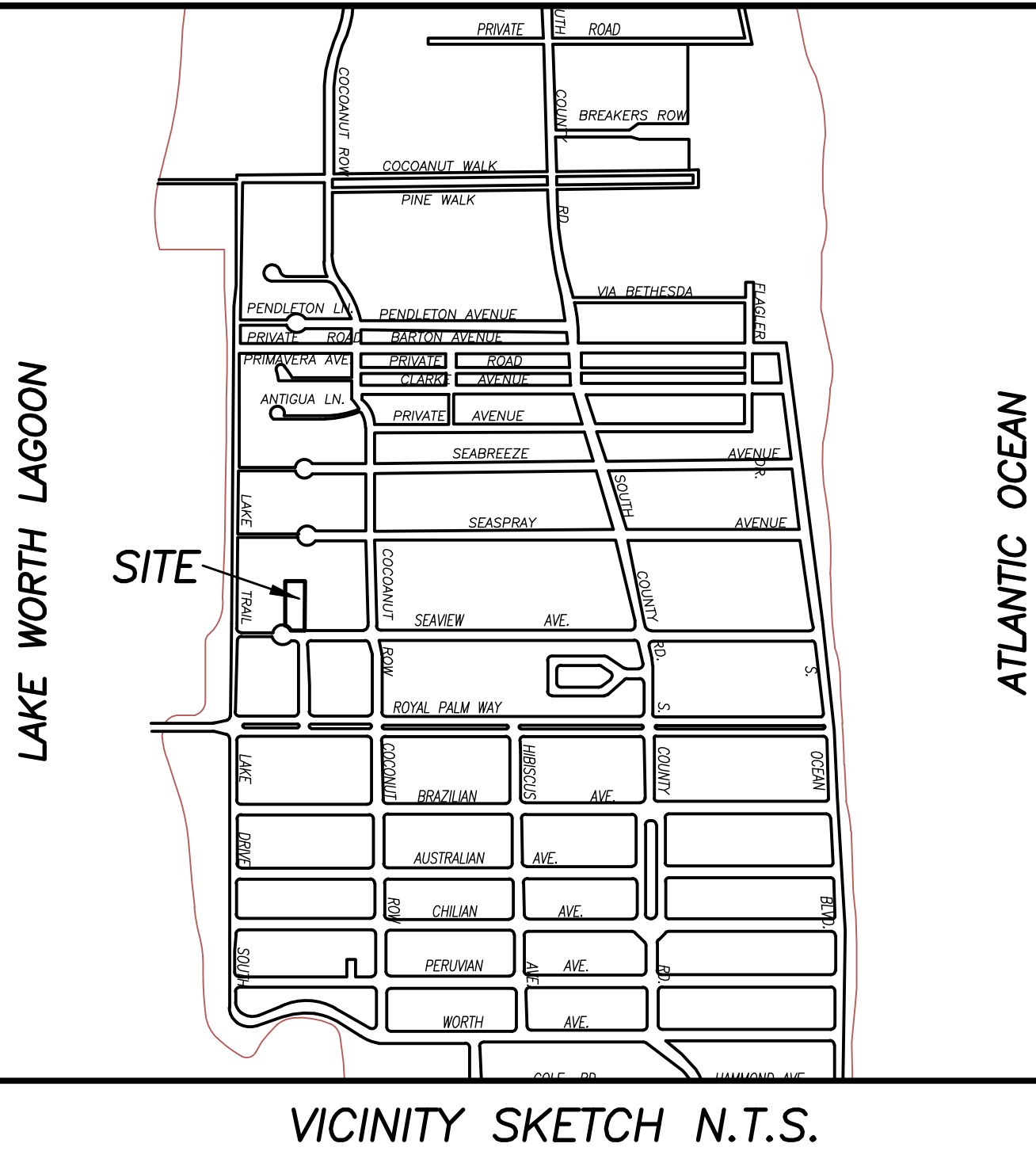
LANDSCAPE ARCHITECT
NIEVERA WILLIAMS DESIGN
625 N. FLAGLER DRIVE, STE 502
WEST PALM BEACH, FL 33401
561-659-2820

	= ARC LENGTH
A/C	= AIR CONDITIONING
A.E.	= ACCESS EASEMENT
A.K.A.	= ALSO KNOWN AS
ASPH.	= ASPHALT
BLDG.	= BUILDING
B.M.	= BENCHMARK
B.O.C.	= BACK OF CURB
B.O.W.	= BACK OF WALK
(C)	= CALCULATED
CATV	= CABLE ANTENNA TELEVISION
C.B.	= CHORD BEARING
C.B.S.	= CONCRETE BLOCK STRUCTURE
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE
CH	= CHORD
C.L.F.	= CHAIN LINK FENCE
CL.R.	= CLEAR
C.M.P.	= CORRUGATED METAL PIPE
CONC.	= CONCRETE
(D)	= DESCRIPTION DATUM
D.B.	= DEED BOOK
D.E.	= DRAINAGE EASEMENT
D.H.	= DRILL HOLE
D/W	= DRIVEWAY
EL.	= ELEVATION
ENC.	= ENCROACHMENT
E.O.P.	= EDGE OF PAVEMENT
E.O.W.	= EDGE OF WATER
ESMT	= EASEMENT
F.F.	= FINISH FLOOR
FND.	= FOUND
F.O.C.	= FACE OF CURB
G.M.	= GAS METER
INV.	= INVERT
I.T.W.C.D.	= INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E.	= LIMITED ACCESS EASEMENT
L.B.	= LICENSE BOARD
L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT
(M)	= FIELD MEASUREMENT
M.H.	= MANHOLE
M.H.W.L.	= MEAN HIGH WATER LINE
M.L.W.L.	= MEAN LOW WATER LINE
N.A.V.D.	= NORTH AMERICAN VERTICAL DATUM
N.G.V.D.	= NATIONAL GEODEIC VERTICAL DATUM
N.P.B.C.I.D.	= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S.	= NOT TO SCALE
O.A.	= OVERALL
O.D.	= OUTSIDE DIAMETER
O/H	= OVERHEAD UTILITY LINE
O.R.B.	= OFFICIAL RECORD BOOK
P	= PLANTER
(P)	= PLAT BOOK 8, PAGE 72
P.B.	= PLAT BOOK
P.B.C.	= PALM BEACH COUNTY
P.C.	= POINT OF CURVATURE
P.C.C.	= POINT OF COMPOUND CURVATURE
P.C.P.	= PERMANENT CONTROL POINT
PG.	= PAGE
P.I.	= POINT OF INTERSECTION
P/O	= PART OF
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
P.R.C.	= POINT OF REVERSE CURVATURE
P.R.M.	= PERMANENT REFERENCE MONUMENT
PROP.	= PROPOSED
P.T.	= POINT OF TANGENCY
PVMT	= PAVEMENT
(R)	= RADIAL
R.	= RADIUS
RGE.	= RANGE
R.P.B.	= ROAD PLAT BOOK
R/W	= RIGHT OF WAY
(S)	= SURVEY DATUM
S.B.	= SETBACK
SEC.	= SECTION
SD	= SUBDIVISION
S.F.	= SQUARE FEET
S.F.W.M.D.	= SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D.	= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R.	= STATE ROAD
STA.	= STATION
STY.	= STORY
SW	= SIDEWALK
T.O.B.	= TOP OF BANK
T.O.C.	= TOP OF CURB
TWP.	= TOWNSHIP
TYP.	= TYPICAL
U/C	= UNDER CONSTRUCTION
U.E.	= UTILITY EASEMENT
U.R.	= UNRECORDED
W.C.	= WITNESS CORNER
W.M.E.	= WATER MANAGEMENT EASEMENT
W.M.M.E.	= WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T.	= WATER MANAGEMENT TRACT
℄	= BASELINE
℄	= CENTERLINE
Δ	= CENTRAL ANGLE/DELTA
□	= CONCRETE MONUMENT FOUND (AS NOTED)
■	= CONCRETE MONUMENT SET (LB #4569)
○	= ROD & CAP FOUND (AS NOTED)
○	= 5/8" ROD & CAP SET (LB #4569)
○	= IRON PIPE FOUND (AS NOTED)
●	= IRON ROD FOUND (AS NOTED)
●	= NAIL FOUND
●	= NAIL & DISK FOUND (AS NOTED)
●	= MAG NAIL & DISK SET (LB #4569)
℄	= PROPERTY LINE
℄	= UTILITY POLE
℄	= FIRE HYDRANT
℄	= WATER METER
℄	= WATER VALVE
℄	= LIGHT POLE



<h1>TREE LEGEND</h1> <p>(TREE DESIGNATION SHOWN THUS: ● 2008)</p>		
TREE NUMBER	SPECIES	CALIPER (DBH)
2008	BUTTONWOOD (PLATANUS OCCIDENTALIS)	18"
2009	BUTTONWOOD (PLATANUS OCCIDENTALIS)	22"
2014	SEA GRAPE (COCCOLOBA UVIFERA)	20"
2015	SEA GRAPE (COCOLOBA UVIFERA)	24"
2024	QUEEN PALM (SYAGRUS ROMANZOFFIANA)	6"
2025	QUEEN PALM (SYAGRUS ROMANZOFFIANA)	24"
2026	MACARTHUR PALM (PYCOSPHERIA MACARTHURI) DOUBLE	5"
2027	MACARTHUR PALM (PYCOSPHERIA MACARTHURI) DOUBLE	5"
2028	FISHTAIL PALM (CARYOTA) QUINTUPLE	4"
2042	ARECA PALM (DYPSPIS LUTESCENS) CLUSTER	30"
2051	ARECA PALM (DYPSPIS LUTESCENS) CLUSTER	24"
2052	ARECA PALM (DYPSPIS LUTESCENS) CLUSTER	24"
2054	ARECA PALM (DYPSPIS LUTESCENS) CLUSTER	24"
2055	ARECA PALM (DYPSPIS LUTESCENS) CLUSTER	24"

FREE LOCATION NOTES: This firm has identified the various types of trees located on this site based on common knowledge of tree species. For positive identification of tree species, a qualified landscape architect or botanist should be consulted. Trees 4' (41") caliper inches or larger, when measured at breast height, are shown on the survey drawing. Invasive trees such as Melaleuca, Brazilian Pepper and Australian Pine are not shown on the survey drawing. Clusters of trees are shown grouped with an approximation of the total number of trees located within the group. The canopy diameter and spread are not shown herein, unless indicated otherwise.



This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

**441 Seaview LLC, a Florida limited liability company
First American Title Insurance Company
Alley, Maass, Rogers & Lindsay P.A.**

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
441 Seaview Ave
Palm Beach, FL 33480

LEGAL DESCRIPTION:
 Lots 610 and 612, **POINCIANA PARK THIRD ADDITION**, according to the Plat thereof, as recorded in Plat Book 8, Page 72, of the Public Records of Palm Beach County, Florida.

TITLE COMMITMENT REVIEW						
CLIENT: 441 Seaview LLC, a Florida limited liability company		COMMITMENT NO. : 1062-5903859	DATE: 01/28/22			
REVIEWED BY: Craig Wallace		JOB NO. : 22-1066.1				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-8	N/A	Standard Exceptions.				•
9	PB 8, PG 72	Dedications, conditions, reservations, easements and other matters shown on the Plat of POINCIANA PARK THIRD ADDITION.	•			

FLOOD ZONE:
This property is located in Flood Zone AE (EL 6) according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0583F, dated 10/05/2017.

NOTES:

1. All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1062-5903859, issued by First American Title Insurance Company, dated February 28, 2022. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
3. Description furnished by client or client's agent.
4. Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
6. Except as shown, underground and overhead improvements are not located. Underground foundations not located.
7. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
9. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
10. All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
12. It is a violation of Rule 54-1.17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

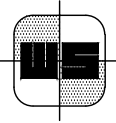
DATE OF LAST FIELD SURVEY: 3/5/2022

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS:

04/15/22 SPOT ELEVATIONS AND TREE LOCATIONS C.E./M.B. 22-1066.2 PB321/6

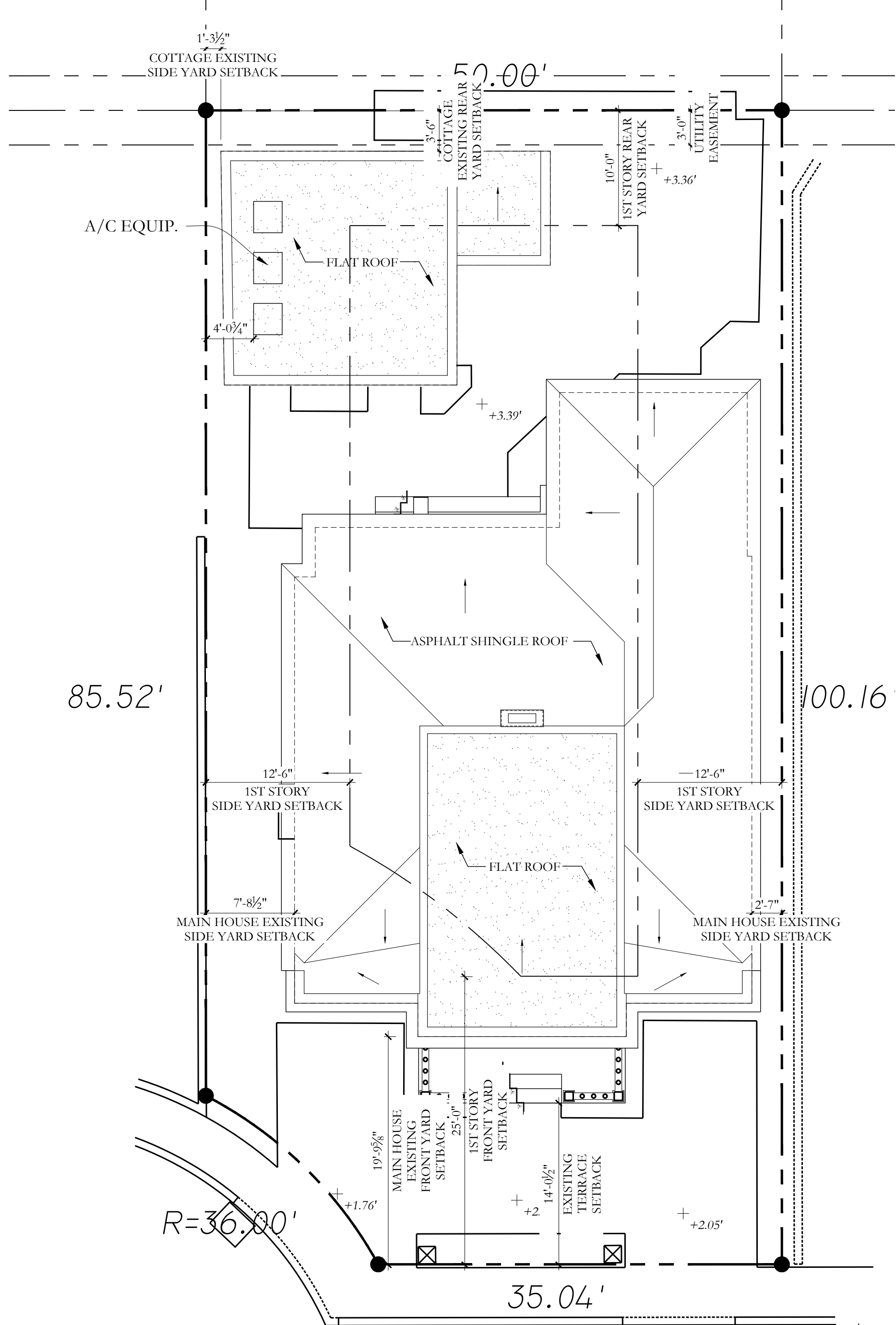
BOUNDARY SURVEY FOR:
441 SEAVIEW LLC,
A FLORIDA LIMITED LIABILITY COMPANY



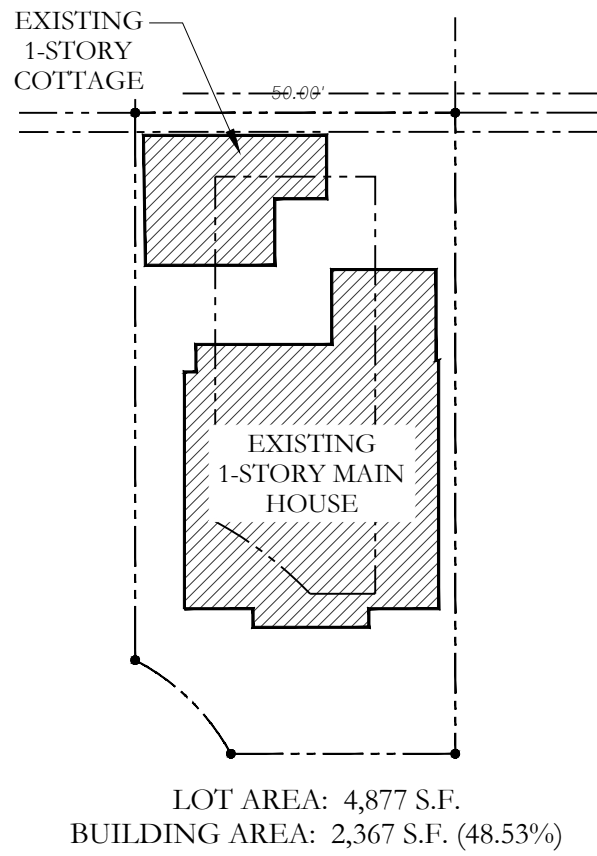
WALLACE
5553 VILLAGE BOULEVARD, WEST PALM BEACH

SURVEYING
CORP. LICENSED BUSINESS # 456
FLORIDA 33407 * (561) 640-455

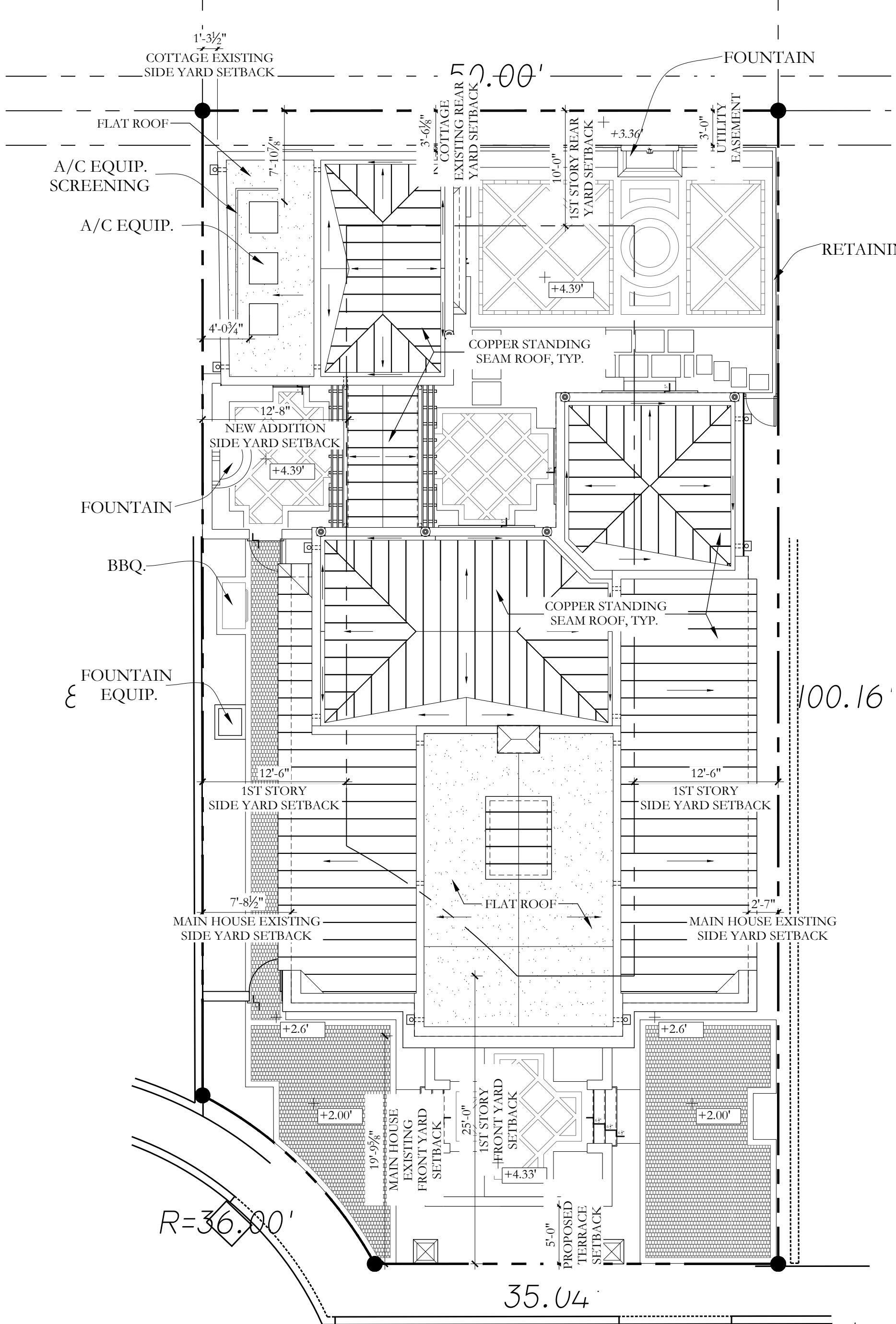
FIELD: B.M.	JOB NO.: 22-1066.1	F.B. PB328 PG. 20
OFFICE: M.B.	DATE: 3/5/22	DWG. NO. 22-1066
C/K'D: C.W.	REF: 22-1066.DWG	SHEET 1 OF 1



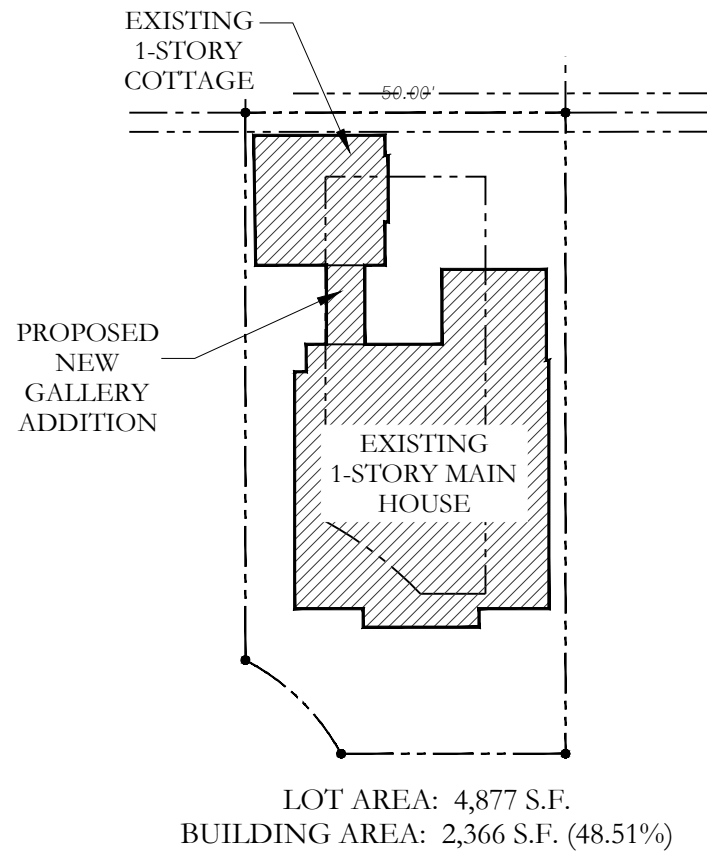
1 EXISTING SITE PLAN WITH ROOF PLAN
1/8"= 1'-0"



2 EXISTING LOT COVERAGE DIAGRAM
1"= 30'-0"



3 PROPOSED SITE PLAN WITH ROOF PLAN
1/8"= 1'-0"



4 PROPOSED LOT COVERAGE DIAGRAM
1"= 30'-0"

	Town of Palm Beach				
	Planning Zoning and Building				
	360 S County Rd				
	Palm Beach, FL 33480				
	www.townofpalmbeach.com				
	Zoning Legend				
1	Property Address:	441 Seaview Avenue, Palm Beach, FL 33480			
1	Zoning District:	R-B Low Density Residential			
3	Structure Type:	Wood Frame			
4		Required/Allowed	Existing	Proposed	Variance Request
5	Lot Size (sq ft)	10,000 s.f. min.	4,876 s.f.	N/C	
6	Lot Depth	100' min.	85.52'-100.16'	N/C	
7	Lot Width	100' min.	50'	N/C	
8	Lot Coverage (Sq Ft and %)	1,950 s.f. (40%) max.	2,367 s.f. (48.54%)	2,366 s.f. (48.52%)	X
9	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc.)	N/A	2,367 s.f.	2,366 s.f.	
10	Cubic Content Ratio (CCR) (R-B ONLY)	4.0 (19,508 c.f.) max.	4.37 (21,295 c.f.)	4.76 (23,220 c.f.)	X
11	*Front Yard (South) Setback (Ft.)	25.0' min.	19.8'	N/C	X
12	*Side Yard (East) Setback (1st Story) (Ft.)	12.5' min.	2.6'	N/C	X
13	*Side Yard (East) Setback (2nd Story) (Ft.)	15.0' min.	N/A	N/A	
14	*Side Yard (West) Setback (1st Story) (Ft.)	12.5' min.	1.3'	N/C	X
15	*Side Yard (West) Setback (2nd Story) (Ft.)	15.0' min.	N/A	N/A	
16	*Rear Yard (South) Setback (1st Story) (Ft.)	10.0' min.	3.5'	N/C	X
17	*Rear Yard (South) Setback (2nd Story) (Ft.)	15.0' min.	N/A	N/A	
15	Angle of Vision (Deg.)	N/A			
21	Building Height (1-story) (Ft.)	14' max.	10'-0 1/2"	12'-0 1/2"	
22	Building Height (2-story) (Ft.)	22' max.	N/A	N/A	
23	Overall Building Height (1-story) (Ft.)	22' max. (pitched roof) 17' max. (flat)	13'-7 5/8" (flat roof)	14'-8 7/8"	
24	Overall Building Height (2-story) (Ft.)	30' max. (pitched roof)	N/A	N/A	
18	Crown of Road (COR) (NAVD)			+1.28' NAVD	
19	Max. Amount of Fill Added to Site (Ft.)	1.81'		1.66'	
20	Finished Floor Elev. (FFE)(NAVD)		Cottage:+3.34', Main House: +4.89'	+4.89'	X
21	Zero Datum for point of meas. (NAVD)			+4.77' NAVD	
22	FEMA Flood Zone Designation	Flood Zone AE (EL 6)		Flood Zone AE (EL 6)	
23	Base Flood Elevation (BFE)(NAVD)	+7.00' NAVD			
24	Landscape Open Space (LOS) (Sq Ft and %)	2,193 s.f. (45%) min.	858 s.f. (18%)	1,010 s.f. (20.7%)	X
25	Perimeter LOS (Sq Ft and %)	1,265 s.f. (50%) min.	793 s.f.	794 s.f.	X
26	Front Yard LOS (Sq Ft and %)	447 s.f. (40%) min.	315 s.f. (28.1%)	317 s.f. (28.4%)	X
27	**Native Plant Species %	Please refer to separate landscape legend.			
	* Indicate each yard area with cardinal direction (N,S,E,W)	If value is not applicable, enter N/A			
	** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table	If value is not changing, enter N/C			

5 PROPOSED T.P.B. ZONING LEGEND
N.T.S.

LEGAL DESCRIPTION:
Lots 610 and 612, POINCIANA PARK THIRD ADDITION, according to the Plat thereof, as recorded in Plat Book 8, Page 72, of the Public Records of Palm Beach County, Florida.

PROPOSED AREA CALCULATIONS:

	CONDITIONED	UNCONDITIONED
FIRST FLOOR INTERIOR AREA (HOUSE)	2,366 FT ²	
SUBTOTAL	2,366 FT ²	

TOTAL AREA: 2,366 FT²

NOTES:

STYLE: 20th CENTURY NEO-CLASSICAL

WALL COLOR (STUCCO): CREAM
TRIM COLOR: PINK
ROOF COLOR: COPPER
DOOR & WINDOW COLOR: BLACK
SHUTTERS COLOR: N/A

NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:

+5.50' EXISTING SPOT ELEVATION
+5'-6" PROPOSED SPOT ELEVATION

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE

EXISTING & PROPOSED
SITE PLANS & ZONING CALCS.

DATE
AUGUST 1, 2022

SHEET NO

SCALE
N.T.S.

A-001

BY
KC

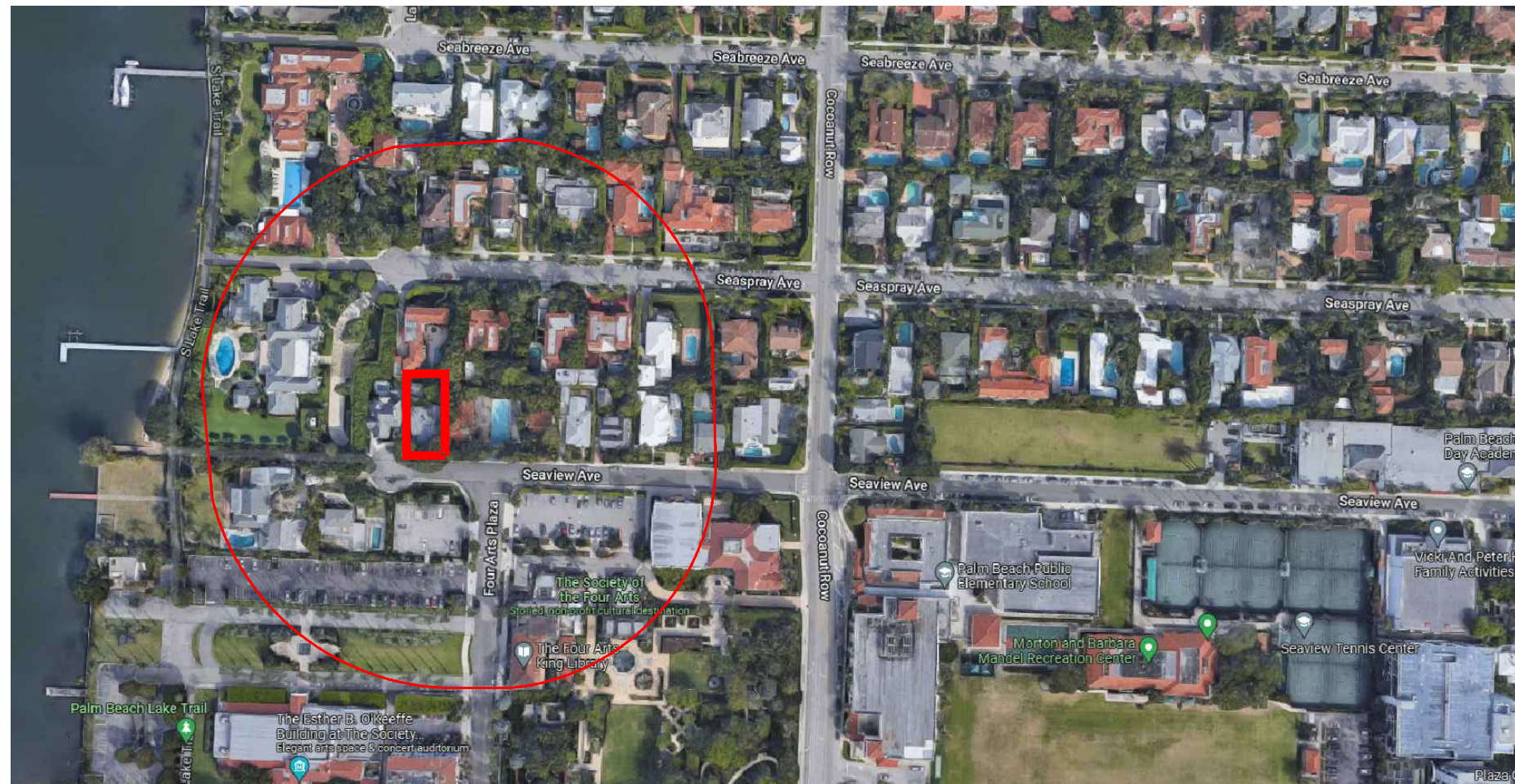


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

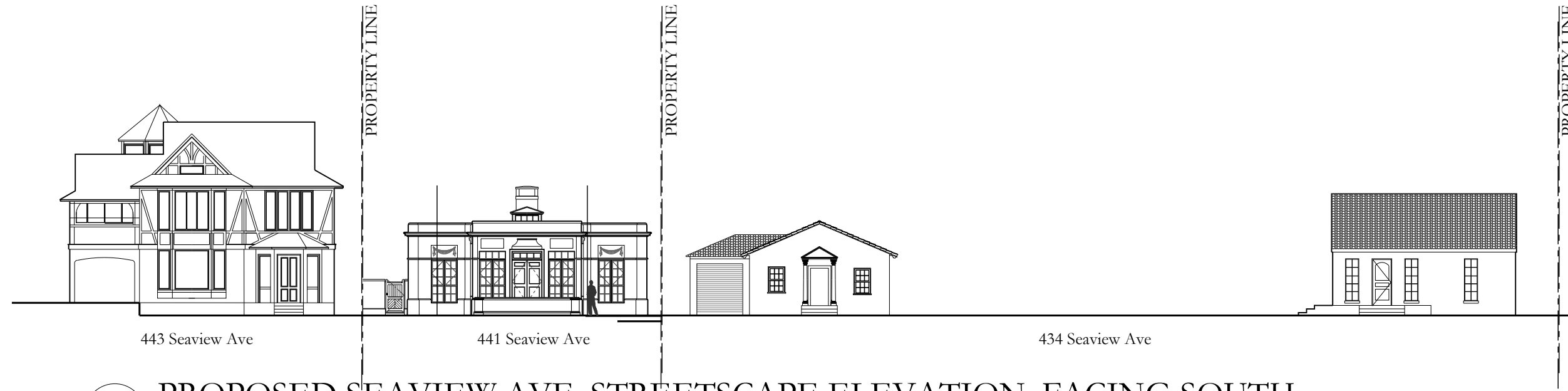
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

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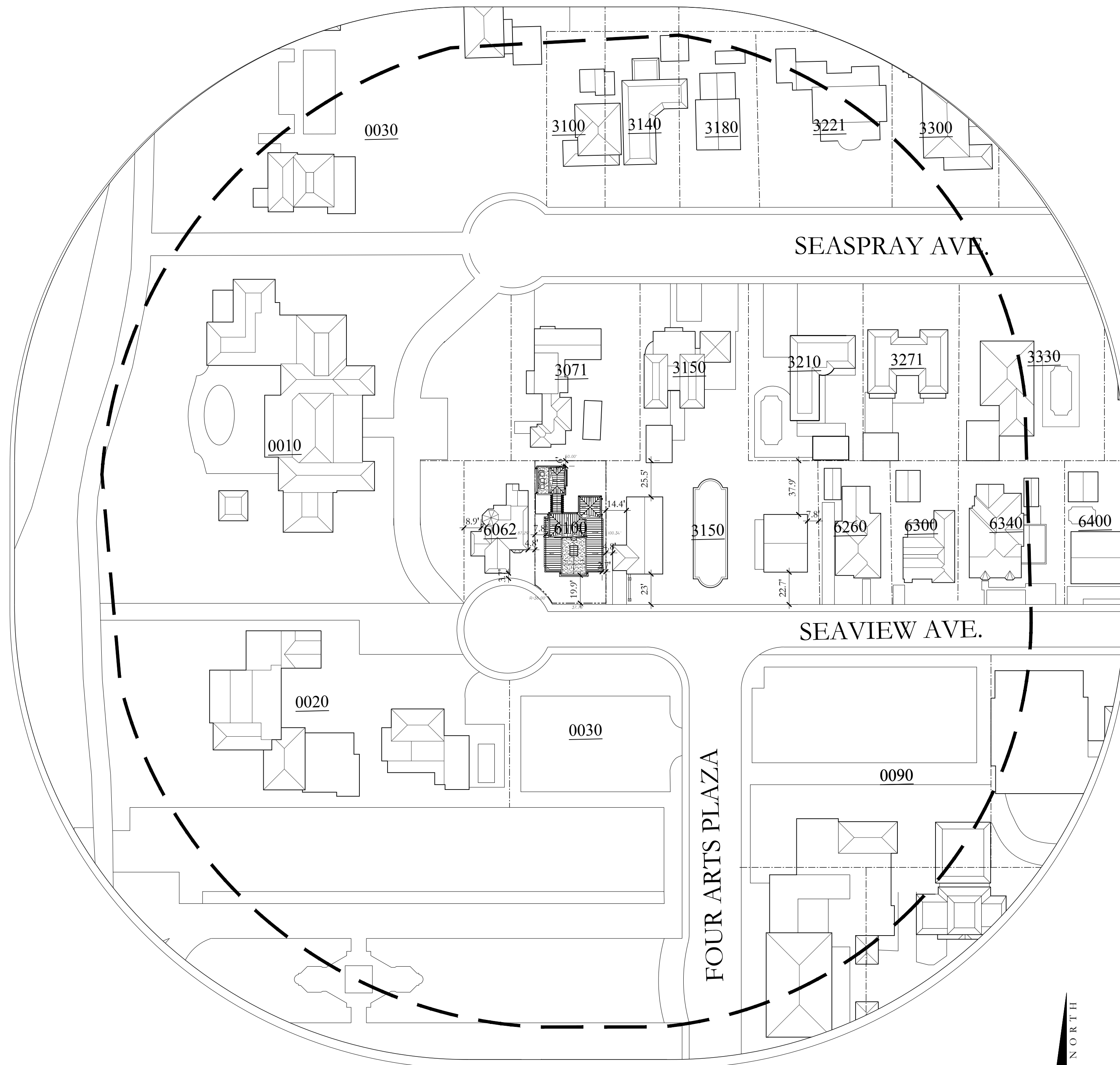
2 AERIAL MAP
1"=200'-0"



1 PROPOSED SEAVIEW AVE. STREETSCAPE ELEVATION, FACING SOUTH
1"=20'-0"



3 LOCATION/VICINITY MAP
1"=100'-0"



4 LOCATION SITE PLAN
1"=50'-0"

D.R.C. FINAL SUBMITTAL SET 08/01/2022
D.R.C. FIRST SUBMITTAL SET 07/12/2022
D.R.C. PRE-APP MEETING SET 06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
STREETSCAPE ELEVATION &
LOCATION/VICINITY MAPS

DATE AUGUST 1, 2022 SHEET NO
SCALE VARIES A-002
BY SPB



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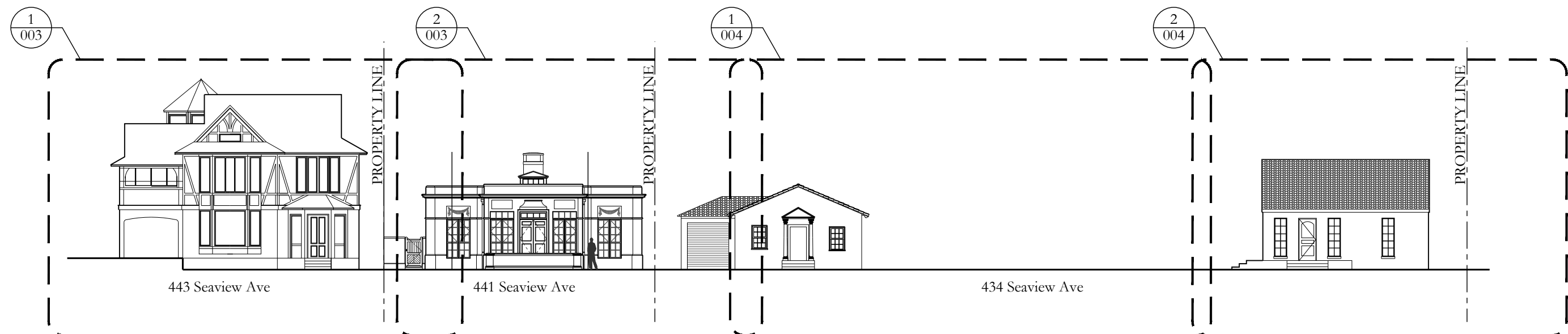
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1 443 SEAVIEW AVE. : STREETSCAPE PHOTOS FROM WEST TO EAST, LOOKING NORTH



2 441 SEAVIEW AVE. : STREETSCAPE PHOTOS FROM WEST TO EAST, LOOKING NORTH



3 KEY ELEVATION: PROPOSED SEAVIEW AVENUE STREETSCAPE, FACING SOUTH
1"=20'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 1, 2022	SHEET NO A-003
SCALE N.T.S.	
BY KC, SPB	


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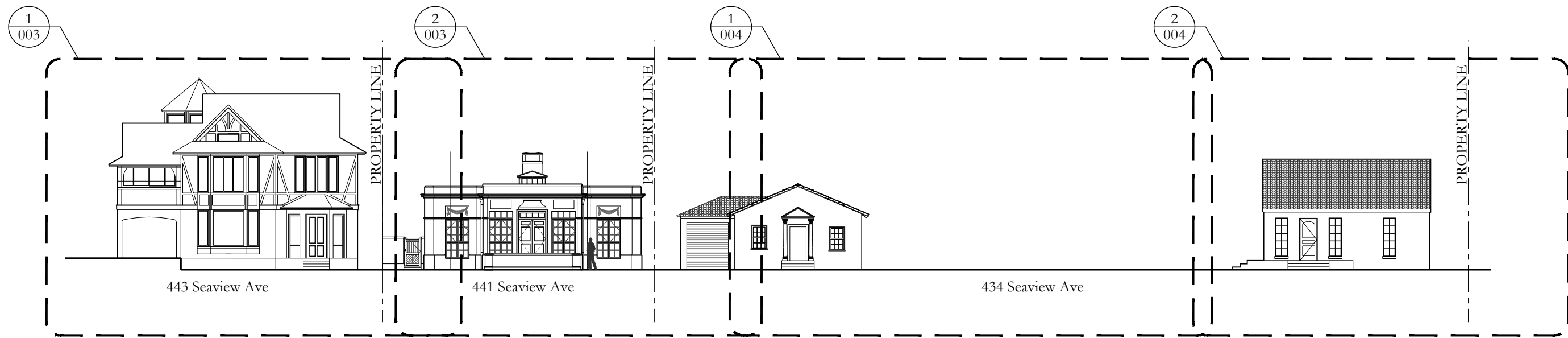
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1 434 SEAVIEW AVE. : STREETSCAPE PHOTOS FROM WEST TO EAST, LOOKING NORTH



2 434 SEAVIEW AVE. : STREETSCAPE PHOTOS FROM WEST TO EAST, LOOKING NORTH



3 KEY ELEVATION: PROPOSED SEAVIEW AVENUE STREETSCAPE, FACING SOUTH
1"=20'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
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D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

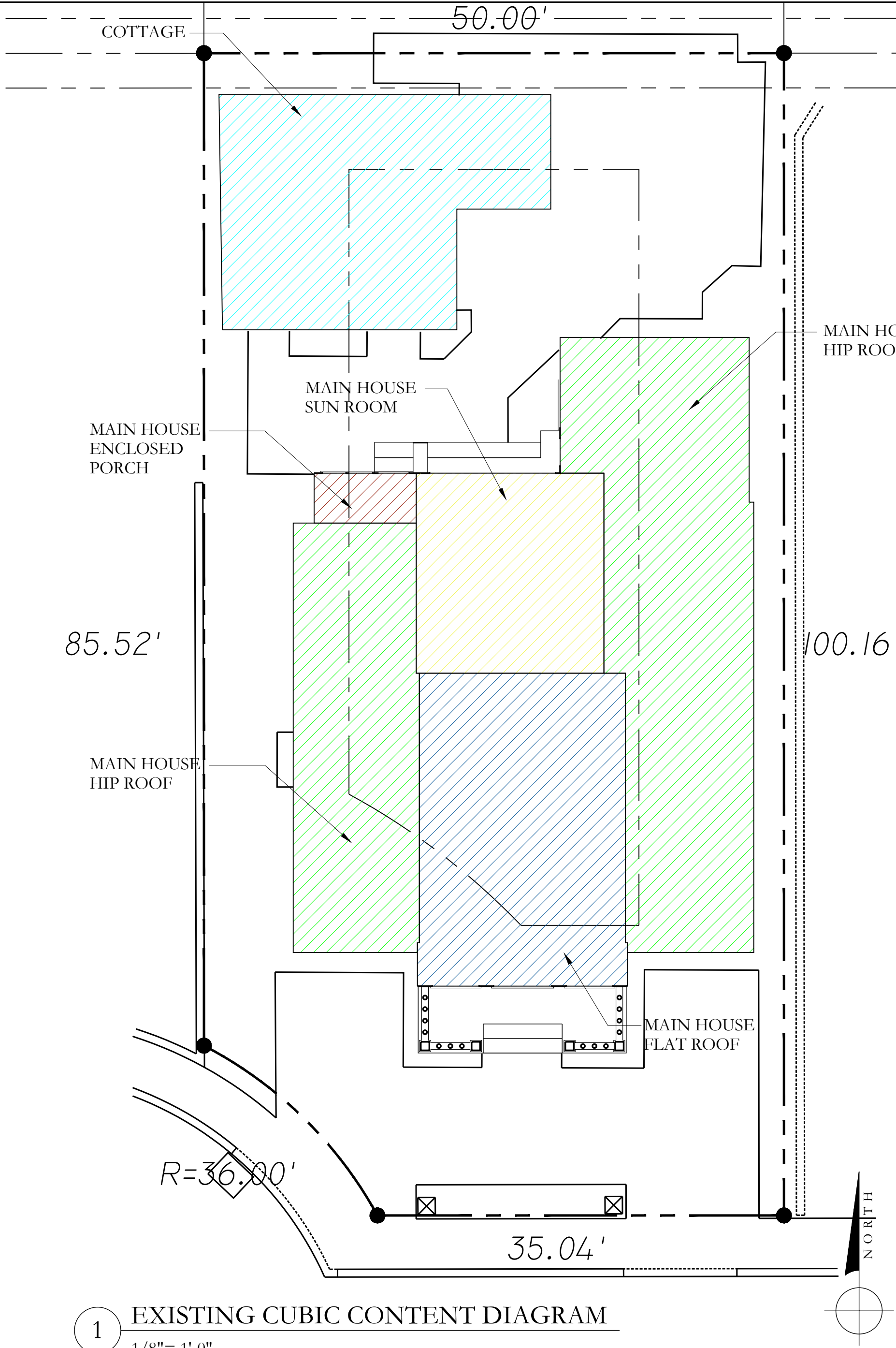
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 1, 2022	SHEET NO A-003
SCALE N.T.S.	
BY KC, SPB	


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1 EXISTING CUBIC CONTENT DIAGRAM
1/8"= 1'-0"

LEGEND

2'-7"

MAIN HOUSE EXISTING SIDE YARD SETBACK

1'-3 1/2"

COTTAGE EXISTING SIDE YARD SETBACK

3'-6"

COTTAGE EXISTING REAR YARD SETBACK

19'-9 7/8"

MAIN HOUSE EXISTING FRONT YARD SETBACK

CCR: 4.76

VARIANCE 1: Sec. 134-893(b)(7)(a): East side yard setback of 2'-7" in lieu of the 12'-6" required

VARIANCE 2: Sec. 134-893(b)(7)(a): West side yard setback of 1.3' in lieu of the 12'-6" required

VARIANCE 3: Sec. 134-893(b)(9)(a): Rear yard setback of 3.5' in lieu of the 10'-0" required

VARIANCE 4: Sec. 134-893(b)(5): Front yard setback of 19.8' in lieu of the 25' required

VARIANCE 5: Sec. 134-893(b)(13): A Cubic Content Ratio (CCR) to be 4.76 in lieu of the 4.37 existing and 4.0 maximum allowed.

VARIANCE 6: Sec. 134-893(b)(12)(b): Front yard landscape open space of 317 SF (28.4%) in lieu of the 447 SF (40%) required

VARIANCE 7: Sec. 134-893(b)(12)(a): Overall landscape open space of 1,010 SF (20.7%) in lieu of the 2,193 SF (45%) required

VARIANCE 8: Sec. 134-893(b)(11)(a): Perimeter landscape open space 794 SK (31.4%) in lieu of the 1,265 SF (50%) required

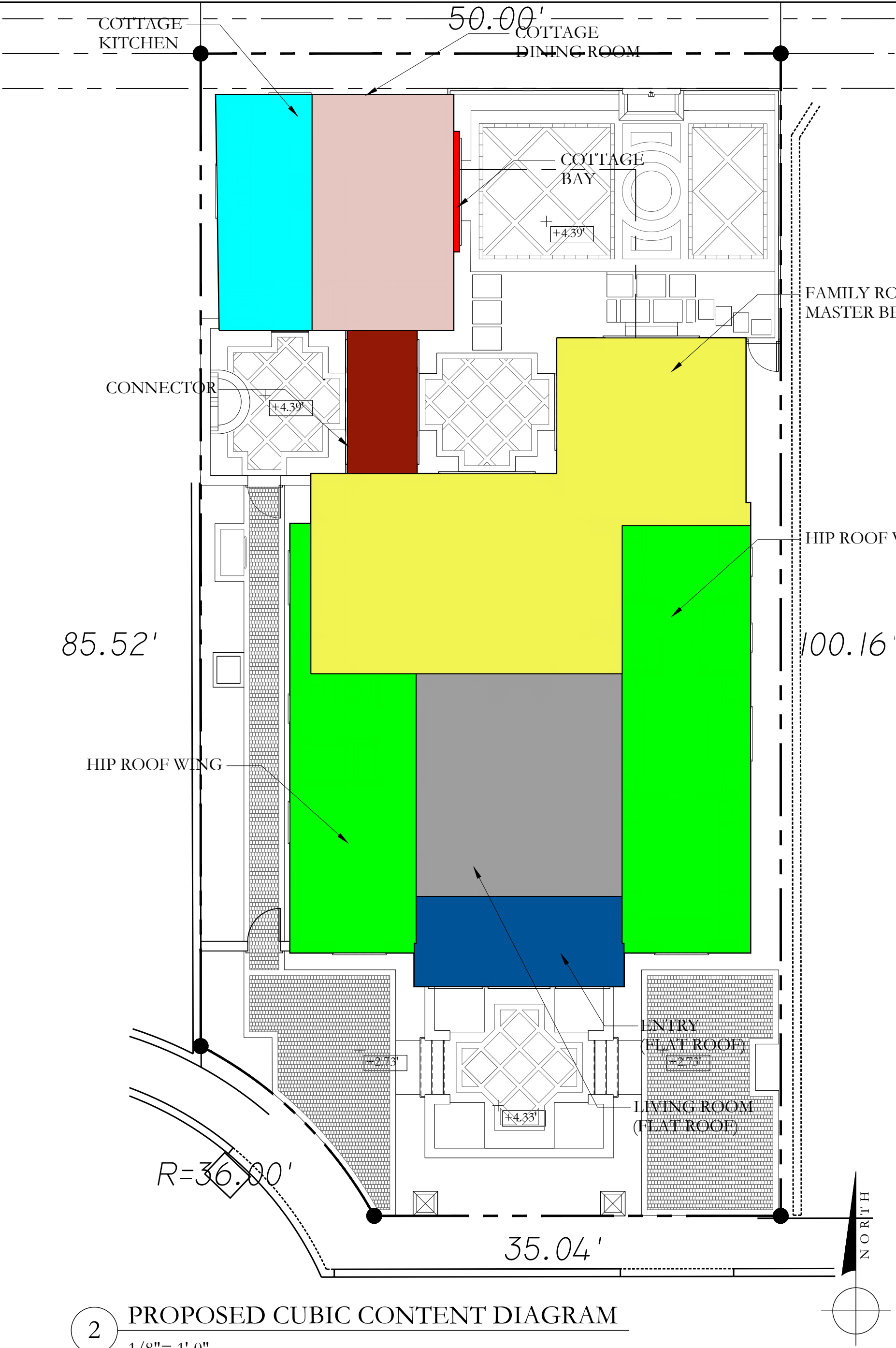
VARIANCE 9: Sec. 134-893(b)(11): Lot Coverage to be 48.52% (2,367 sq.ft.) in lieu of the existing 48.54% (2,367 sq.ft.), and the required 40% (1950 sq.ft.)

VARIANCE 10: Sec. 50-114: Exception from flood resistant construction requirements of the Florida Building Code, Existing Buildings, Chapter 12 Historic Buildings, as the proposed improvements will not preclude the building's continued designation as a Historic building to maintain a ground floor with a finish floor of 4.89' N.A.V.D. in lieu of the 7' N.A.V.D. minimum required.

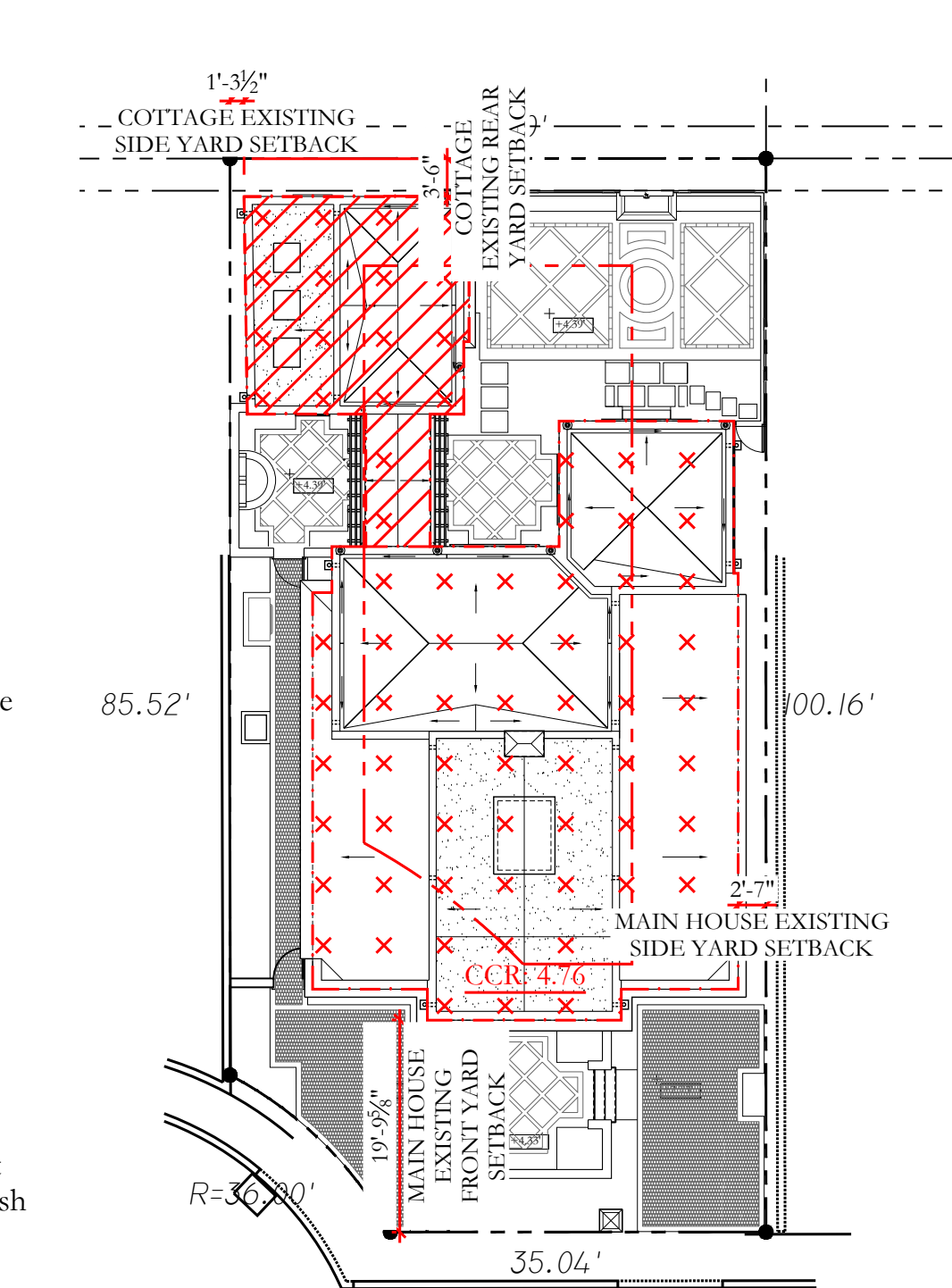
3

VARIANCE DIAGRAM

1/16"= 1'-0"



2 PROPOSED CUBIC CONTENT DIAGRAM
1/8"= 1'-0"



EXISTING CUBIC CONTENT TABULATIONS:				
BUILDING MASS:	SQUARE FOOTAGE:	HEIGHT:	VOLUME: (IN CUBIC FEET)	50 % DEDUCT: (IN CUBIC FEET) *
MAIN HOUSE FLAT ROOF	480 FT²	10'-0 1/2"	4,820 FT³	
MAIN HOUSE HIP ROOF	1,077 FT²	9'-1 1/2"	9,828 FT³	
MAIN HOUSE SUN ROOM	279 FT²	8'-4 3/4"	2,342 FT³	
MAIN HOUSE ENCLOSED PORCH	38 FT²	7'-10 1/2"	299 FT³	
COTTAGE (FLAT ROOF)	493 FT²	8'-1 1/2"	4,006 FT³	
SUM			21,295 FT³	
TOTAL =			21,295 FT³	

PROPOSED CUBIC CONTENT TABULATIONS:				
BUILDING MASS:	SQUARE FOOTAGE:	HEIGHT:	VOLUME: (IN CUBIC FEET)	50 % DEDUCT: (IN CUBIC FEET) *
ENTRY (FLAT ROOF)	139 FT²	10'-0 1/2"	1,396 FT³	
LIVING ROOM (FLAT ROOF)	341 FT²	12'-0 1/2"	4,106 FT³	
HIP ROOF WINGS	692 FT²	9'-1 1/2"	6,315 FT³	
FAMILY ROOM & MASTER BEDROOM	702 FT²	10'-0 1/2"	7,049 FT³	
CONNECTOR	74 FT²	8'-5 1/4"	624 FT³	
COTTAGE DINING ROOM & VESTIBULE	248 FT²	9'-4 1/2"	2,325 FT³	
COTTAGE BAY	5 FT²	8'-10 1/2"	44 FT³	
COTTAGE KITCHEN	165 FT²	8'-3"	1,361 FT³	
SUM			23,220 FT³	
TOTAL =			23,220 FT³	

* PURSUANT TO TOWN OF PALM BEACH ORDINANCES, SEC. 134-893(b)(13)(5): UNENCLOSED LOGGIAS, PERGOLAS, PORCHES, TERRACES AND COVERED PATIOS LOCATED ON THE FIRST FLOOR SHALL BE EXCLUDED FROM THE CALCULATION OF TOTAL CUBIC CONTENT UP TO 5% OF ALLOWABLE CUBIC CONTENT. PORTIONS OF UNENCLOSED STRUCTURES IN EXCESS OF THE 5% MAXIMUM, AS WELL AS THOSE LOCATED ABOVE THE FIRST FLOOR, SHALL BE INCLUDED IN THE CALCULATION OF TOTAL CUBIC CONTENT.

SUMMARY OF PROPOSED CUBIC CONTENT RATIO	
* PURSUANT TO TOWN OF PALM BEACH ORDINANCES, SEC. 134-893(b)(13)(a)(4): FOR LOTS OF 20,000 SQUARE FEET OR GREATER WHICH ARE ADJACENT TO THE WATERS OF LAKE WORTH FROM DUNBAR ROAD TO REEF ROAD, THE MAXIMUM ALLOWABLE CCR SHALL BE 4.50.	
LOT AREA: 4,877 FT²	
MAXIMUM ALLOWABLE CUBIC CONTENT = (4,877 FT² x 4.0) =	19,508 FT³
PROPOSED CUBIC CONTENT (SEE TABULATIONS ABOVE) =	23,220 FT³
AMOUNT OVER MAX. ALLOWABLE =	3,712 FT³

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D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE	
CUBIC CONTENT & AREA CALCULATIONS	
DATE	SHEET NO
AUGUST 1, 2022	A-005
SCALE	
AS NOTED	
BY	
KC	

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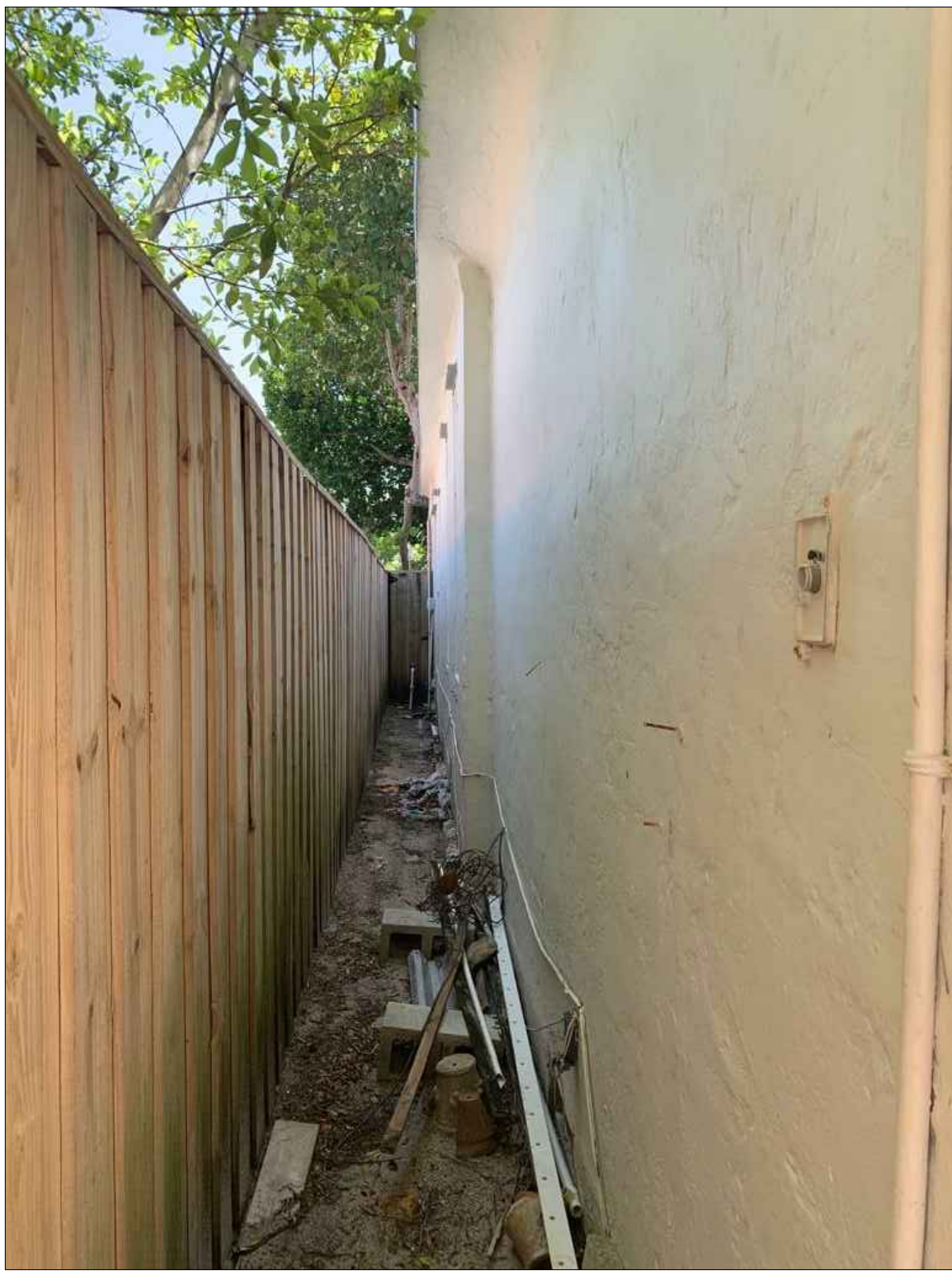
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1 VIEW OF HOUSE AT INTERSECTION OF 4 ARTS PLAZA & SEAVIEW AVENUE
MAIN HOUSE



2 VIEW OF SOUTH FACADE
MAIN HOUSE



3 EAST FACADE LOOKING SOUTH
MAIN HOUSE



4 VIEW OF NORTH FACADE @ FAMILY ROOM
MAIN HOUSE



5 VIEW OF NORTH FACADE
MAIN HOUSE



6 VIEW OF WEST SIDE OF HOUSE FROM NORTH
MAIN HOUSE

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
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LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
EXISTING MAIN HOUSE PHOTOS

DATE AUGUST 1, 2022	SHEET NO A-006
SCALE N.T.S.	
BY KC, SPB	


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1 VIEW OF COTTAGE FROM COURTYARD
COTTAGE



2 VIEW OF COTTAGE FROM COURTYARD
COTTAGE



3 VIEW OF EAST & NORTH SIDES OF COTTAGE
COTTAGE



4 VIEW OF COTTAGE NORTH ELEVATION
COTTAGE



5 VIEW OF COTTAGE FROM THE SOUTH
COTTAGE

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

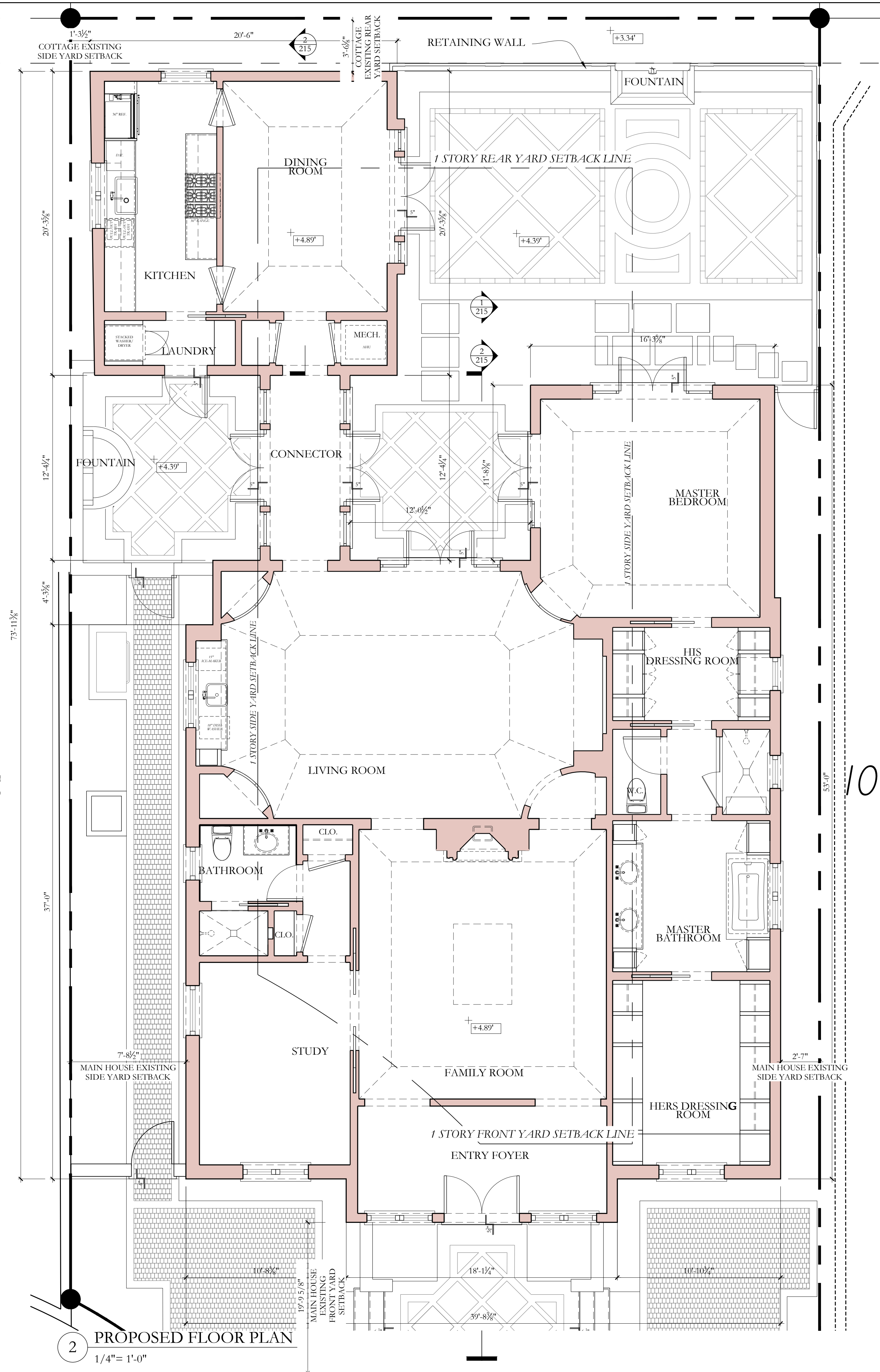
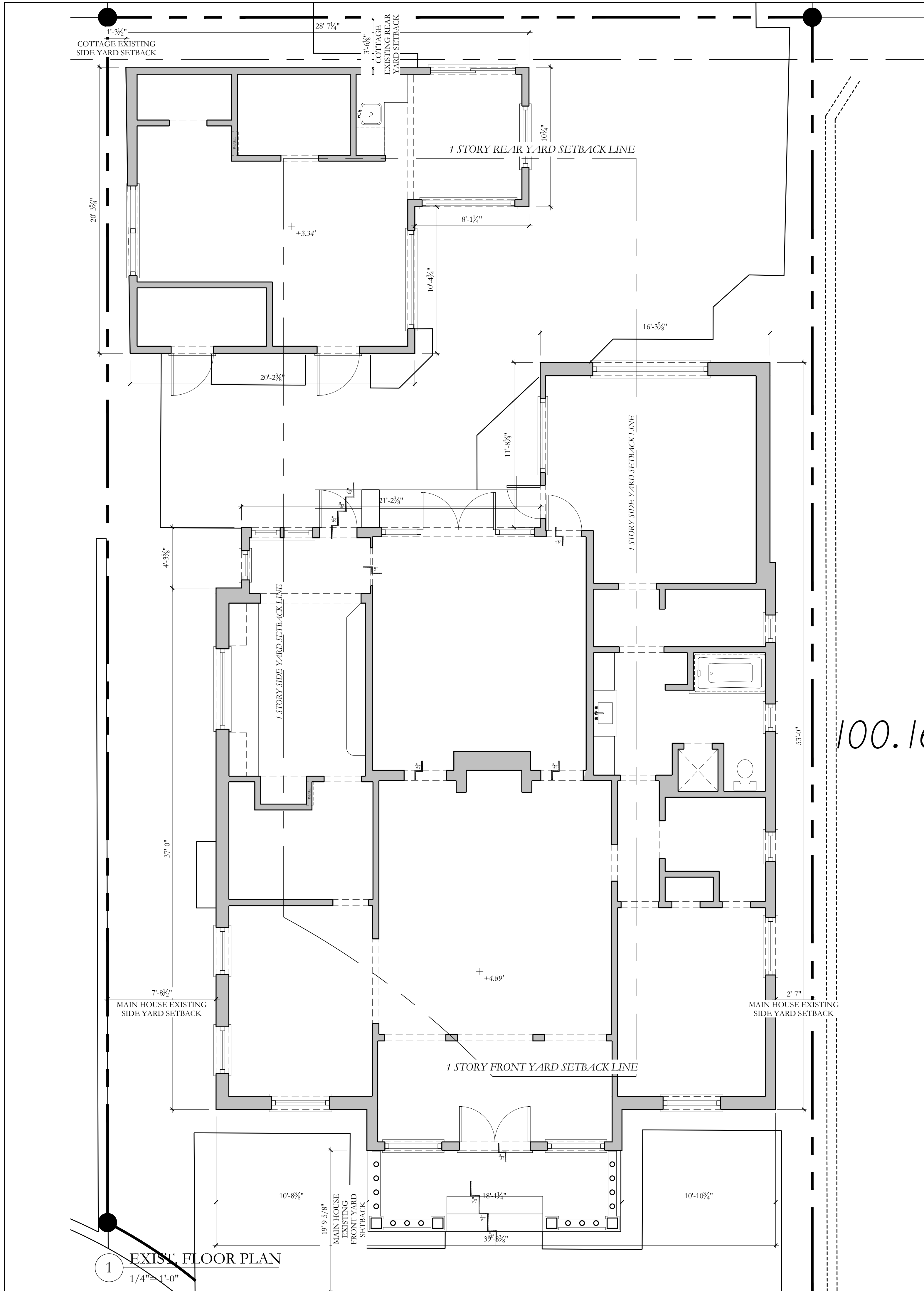
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
EXISTING COTTAGE PHOTOS

DATE AUGUST 1, 2022	SHEET NO A-007
SCALE N.T.S.	
BY KC, SPB	


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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:
+5.50' EXISTING SPOT ELEVATION
+5'-6" PROPOSED SPOT ELEVATION

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LANDMARKS
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441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

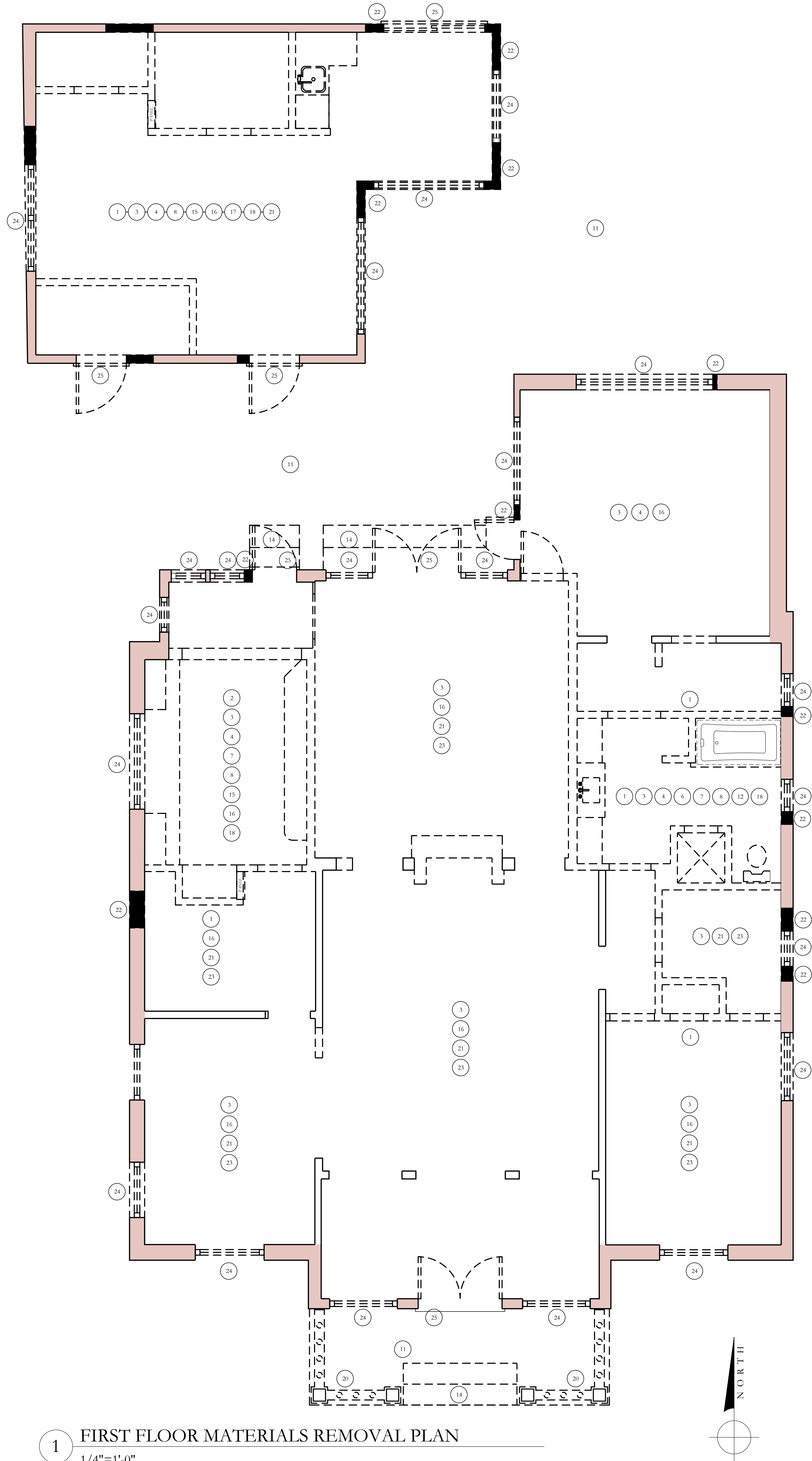
SHEET TITLE
EXISTING & PROPOSED
FLOOR PLANS

DATE
AUGUST 1, 2022
SCALE
1/4"=1'-0"
BY
KC

SHEET NO
A-100

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DEMOLITION GENERAL NOTES:

- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND SHALL BECOME FAMILIAR WITH THE SCOPE OF THE PROJECT.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR AND/OR OWNER SHALL PERFORM SURVEY(S) AND, IF NECESSARY, REMEDIATION OF EXISTING MATERIALS PER APPLICABLE CODES AND REGULATIONS.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL DISCONNECT ALL ELECTRICAL, WATER, GAS, OR ANY OTHER UTILITY SERVICES AS REQUIRED.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND TAG ALL ITEMS TO BE SAVED.** THESE ITEMS SHALL BE REMOVED AND STORED PER OWNER'S INDICATION.
- THE CONTRACTOR SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE ARCHITECT **BEFORE** PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL SECURE THE NECESSARY DEMOLITION, REMEDIATION, AND/OR OTHER PERMITS AS REQUIRED BY CITY, COUNTY, AND STATE GOVERNMENT AGENCIES TO PERFORM DEMOLITION AND/ OR REMEDIATION WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION THAT IS TO REMAIN; INCLUDING BUT NOT LIMITED TO FINISHES, EQUIPMENT, AND UTILITY LINES (ELECTRICAL, WATER, GAS, ETC), AND REPAIR AND REPLACE WHEN NECESSARY THESE ITEMS WHEN DAMAGED BY HIM OR HIS SUB-CONTRACTORS, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. HE SHALL MITIGATE THE AMOUNT OF DUST, DEBRIS, AND NOISE RESULTING FROM DEMOLITION OPERATIONS AND SUBSEQUENT WORK, AND SHALL LEAVE THE JOBSITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION NOT REQUIRED FOR REUSE OR REINSTALLATION, INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, FLOORS, CEILINGS, ELECTRICAL, MECHANICAL, PLUMBING, GAS, AND RELATED EQUIPMENT.
- THE CONTRACTOR SHALL REMOVE MASONRY IN SMALL SECTIONS, AND SHALL UTILIZE BRACING AND SHORING WHERE NECESSARY TO AVOID DAMAGE TO THE STRUCTURE.
- THE CONTRACTOR SHALL SALVAGE EXISTING DOOR & WINDOW HARDWARE AND EXISTING LIGHTING FIXTURES FOR RE-USE.
- ALL BUILDING FOUNDATIONS (FOOTINGS AND STEM WALLS), FLOOR SLABS, AND HEADER/TIE SHALL BE RETAINED IN PLACE, WITH THE ONLY EXCEPTIONS AT THOSE EXTERIOR WALLS THAT ARE TO BE REMOVED IN THEIR ENTIRETY.

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ZONING

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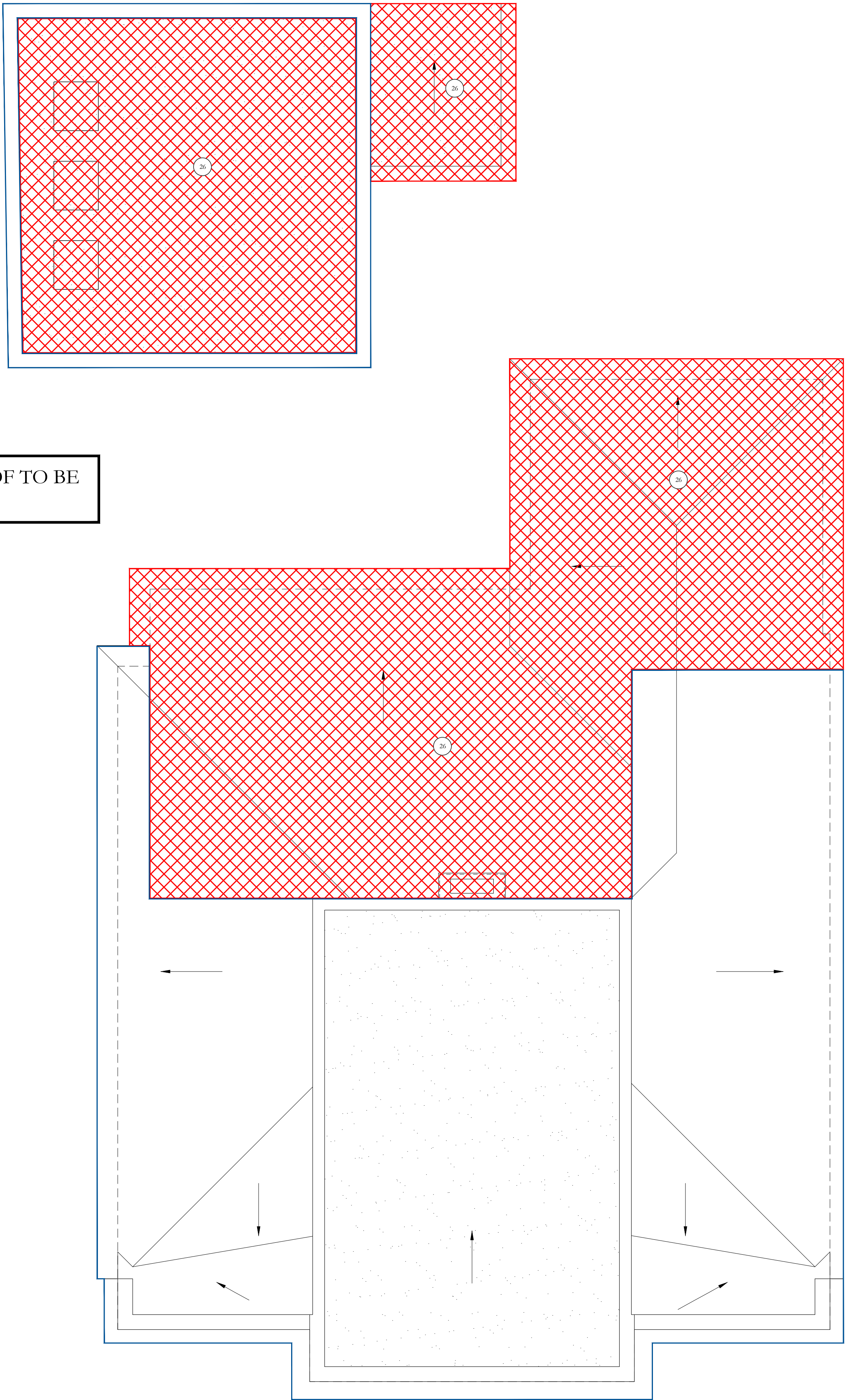
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE		
FIRST FLOOR MATERIALS REMOVAL PLAN		
DATE	SHEET NO	D-100
AUGUST 1, 2022		
SCALE	1/4"=1'-0"	
BY	JT-C, KC	

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PERCENTAGE OF ROOF TO BE REMOVED ~ 47.3%

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3. PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL DISCONNECT ALL ELECTRICAL, WATER, GAS, OR ANY OTHER UTILITY SERVICES AS REQUIRED.
4. **PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND TAG ALL ITEMS TO BE SAVED.** THESE ITEMS SHALL BE REMOVED AND STORED PER OWNER'S INDICATION.
5. THE CONTRACTOR SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE ARCHITECT **BEFORE** PROCEEDING WITH THE WORK.
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9. THE CONTRACTOR SHALL PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. HE SHALL MITIGATE THE AMOUNT OF DUST, DEBRIS, AND NOISE RESULTING FROM DEMOLITION OPERATIONS AND SUBSEQUENT WORK, AND SHALL LEAVE THE JOBSITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
10. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION NOT REQUIRED FOR REUSE OR REINSTALLATION, INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, FLOORS, CEILINGS, ELECTRICAL, MECHANICAL, PLUMBING, GAS, AND RELATED EQUIPMENT.
11. THE CONTRACTOR SHALL REMOVE MASONRY IN SMALL SECTIONS, AND SHALL UTILIZE BRACING AND SHORING WHERE NECESSARY TO AVOID DAMAGE TO THE STRUCTURE.
12. THE CONTRACTOR SHALL SALVAGE EXISTING DOOR & WINDOW HARDWARE AND EXISTING LIGHTING FIXTURES FOR RE-USE.

ROOF DEMOLITION KEY:

EXISTING ROOF TO REMAIN	
EXISTING ROOF TO BE REMOVED	

ROOF AREA CALCULATIONS:

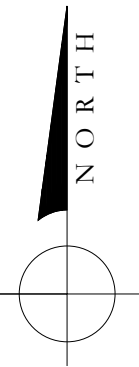
TOTAL ROOF AREA TO REMAIN:	1,350 SQ. FT.
TOTAL ROOF AREA TO BE DEMOLISHED:	1,211 SQ. FT.
TOTAL ROOF AREA:	2,561 SQ. FT.
PERCENTAGE OF EXISTING ROOF AREA TO BE DEMOLISHED:	47.3 %

INTERIOR DEMOLITION KEY:

- 1 REMOVE DASHED PORTION OF INTERIOR PARTITION WALL.
- 2 REMOVE AND SALVAGE APPLIANCES
- 3 REMOVE ALL INTERIOR FINISH MATERIALS FROM ROOM (FLOOR, WALLS, CEILING, TRIM, ETC). SALVAGE NOTED MATERIALS
- 4 REMOVE INTERIOR DOOR AND JAMB. SALVAGE DOOR/S & HARDWARE..
- 5 REMOVE INTERIOR STEPS
- 6 REMOVE VANITY, COUNTERTOP & BACKSPASH
- 7 REMOVE AND SALVAGE PLUMBING FIXTURES AND FITTINGS. CAP ALL PLUMBING FIXTURES (TYP.)
- 8 REMOVE FLOOR FINISH MATERIALS
- 9 REMOVE CARPET FROM FLOOR. VERIFY CONDITION OF FLOOR UNDERNEATH
- 10 REMOVE CLOSET ROD, BRACKETS, AND/OR SHELVES
- 11 REMOVE STONE/TILE HARDSCAPE
- 12 REMOVE TUB/SHOWER ENCLOSURE, AND ANY ASSOCIATED CURBS, DECKS, SEATS, AND FRAMED OR BUILT-UP AREAS
- 13 CLEAN, RE-FINISH, & RE-GROUT TILE AND BASE
- 14 REMOVE EXTERIOR STEPS
- 15 REMOVE CABINETRY AND SHELVING
- 16 REMOVE CROWN, BASE, CASING, AND OTHER TRIM THROUGHOUT ROOM
- 17 REMOVE AND SALVAGE (IF DESIRED) INTERIOR DOOR
- 18 REMOVE COUNTER TOPS
- 19 REMOVE MEDICINE CABINET
- 20 REMOVE STONE BALUSTUERS & HAND RAIL
- 21 REMOVE FINISHED CEILING AND LIGHTING
- 22 REMOVE BLACK HATCH PORTION OF EXTERIOR WALL (SEE PROPOSED FLOOR PLAN FOR DIMENSIONS). SHORE UP AS NEEDED & COVER OPENING (COORD. W/STRUC. ENGINEER).
- 23 REMOVE BEAM CEILING
- 24 REMOVE WINDOW, SHORE UP AS NEEDED & COVER OPENING (COORD. W/ STRUC. ENGINEER).
- 25 REMOVE EXTERIOR DOOR, SHORE UP AS NEEDED & COVER OPENING (COORD. W/ STRUC. ENGINEER).
- 26 REMOVE ALL ROOF STRUCTURE, ROOF SHINGLES, AND SOFFIT/EAVES BELOW (SEE PROPOSED FLOOR PLAN FOR DIMENSIONS).

NOTE: MATERIALS REPLACING THOSE REMOVED ARE SHOWN ON THE PROPOSED FLOOR PLANS.

1 FIRST FLOOR MATERIALS REMOVAL PLAN
1/4"=1'-0"



D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
FIRST FLOOR MATERIALS
REMOVAL PLAN

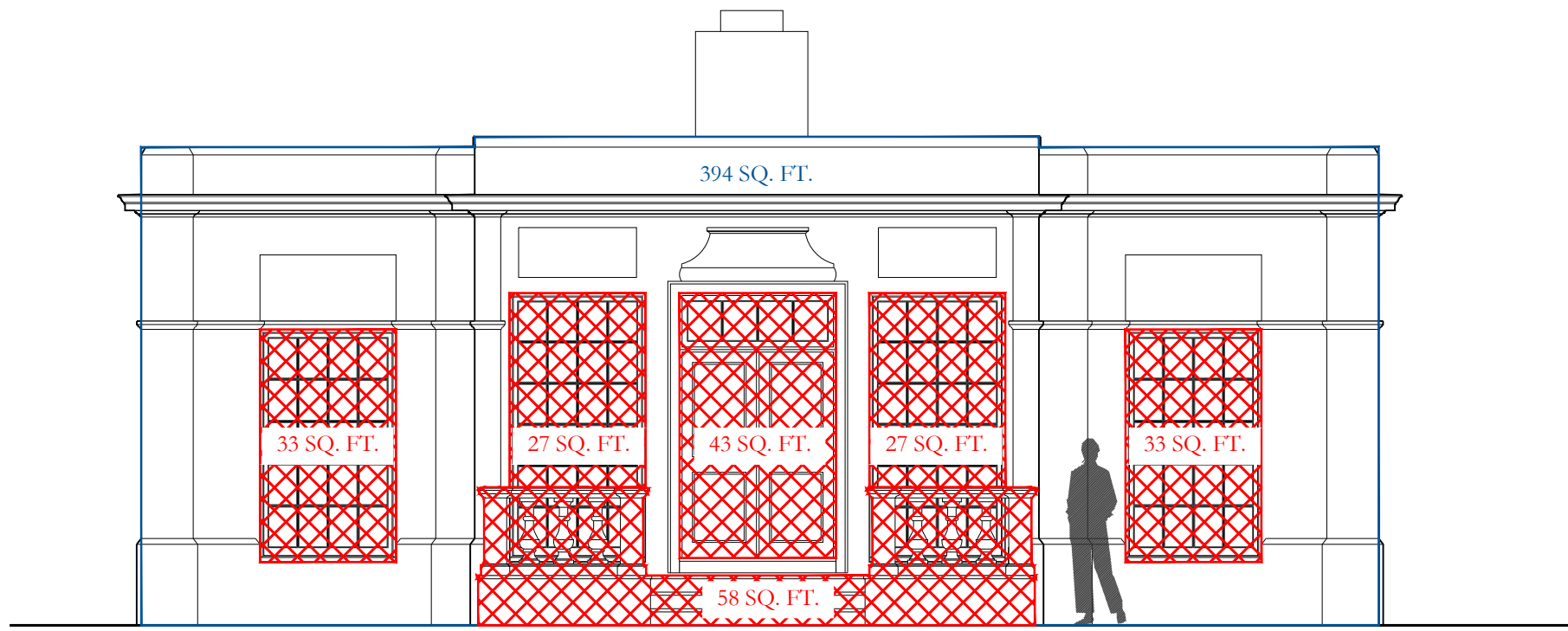
DATE AUGUST 1, 2022
SCALE 1/4"=1'-0"
BY JT-C, KC

SHEET NO
D-100



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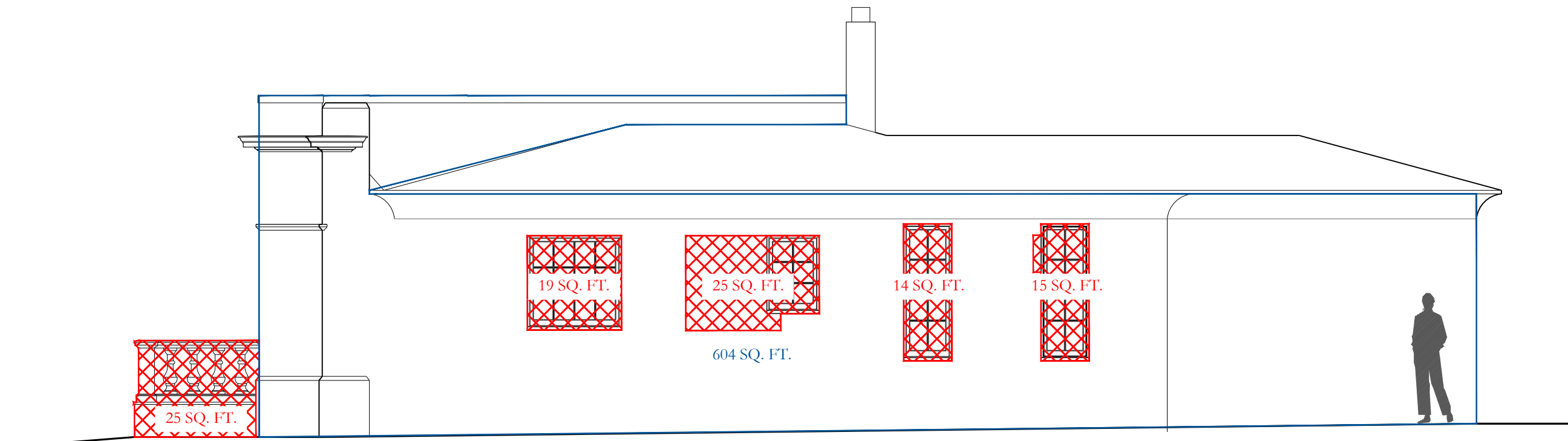
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1 PROPOSED DEMOLITION OF EXISTING MAIN HOUSE SOUTH ELEVATION
3/16"=1'-0"

MAIN HOUSE SOUTH ELEVATION DEMOLITION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	394 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	221 SQ. FT.
TOTAL EXISTING WALL AREA:	615 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	35.93 %



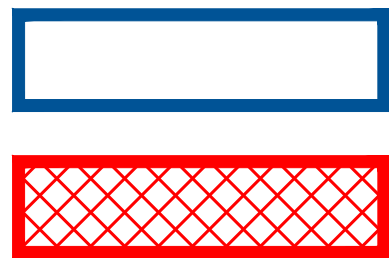
2 PROPOSED DEMOLITION OF EXISTING MAIN HOUSE EAST ELEVATION
3/16"=1'-0"

MAIN HOUSE & COTTAGE EAST ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	604 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	98 SQ. FT.
TOTAL EXISTING WALL AREA:	702 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	13.96 %

DEMOLITION KEY:

EXISTING EXTERIOR WALL TO REMAIN
EXISTING EXTERIOR WALL, WINDOWS &/OR DOORS TO BE REMOVED

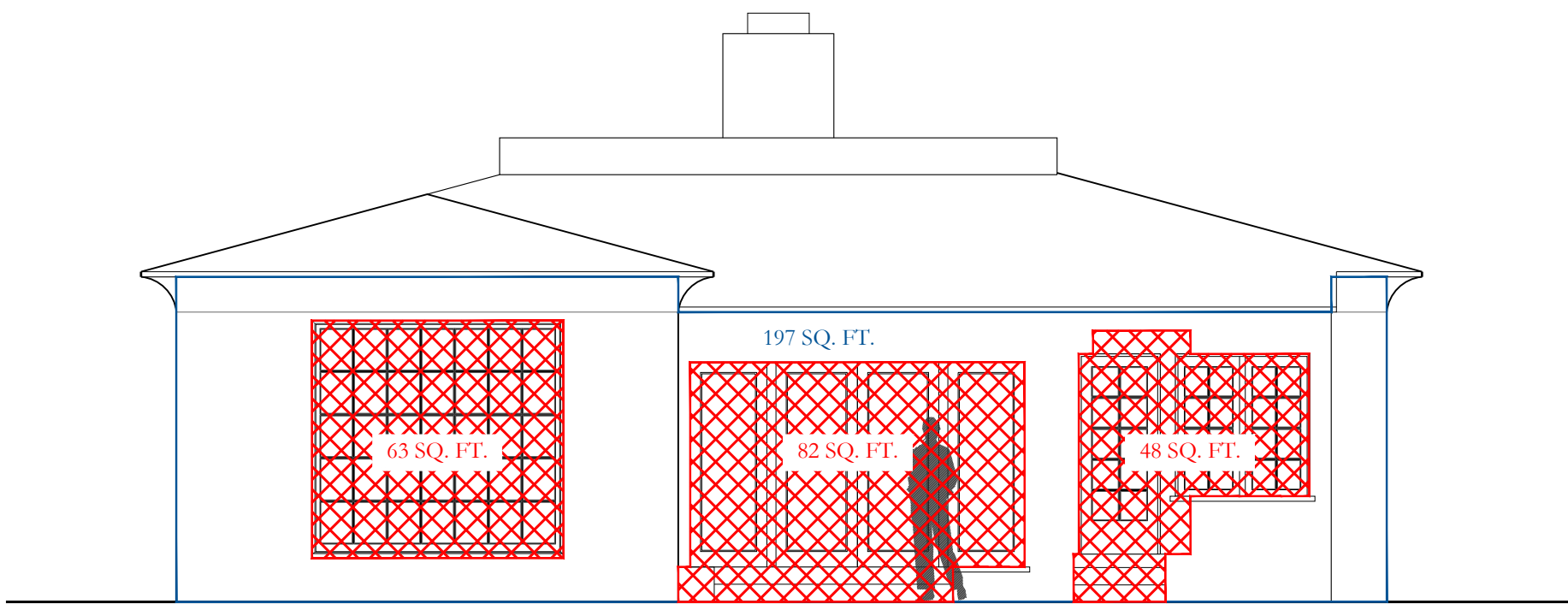


GENERAL NOTES:

-SEE ROOF DEMOLITION PLAN (SHEET D-101) FOR PROPOSED ROOF AREAS TO BE DEMOLISHED
-ALL AREAS ARE APPROXIMATE

DEMOLITION KEY:

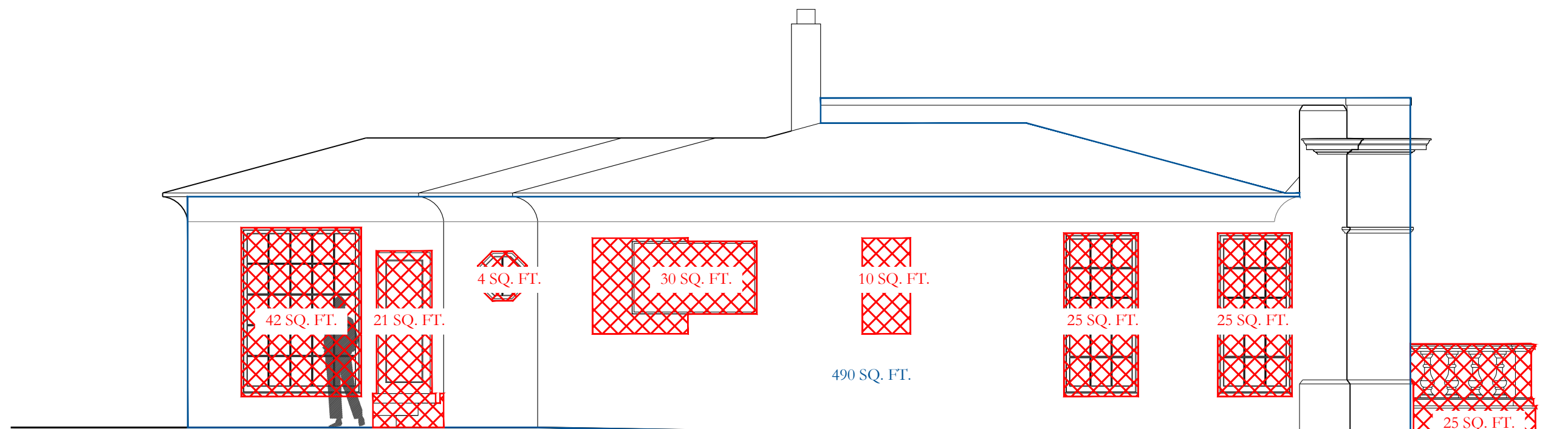
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- 3 REMOVE ALL INTERIOR FINISH MATERIALS FROM ROOM (FLOOR, WALLS, CEILING, TRIM, ETC.). SALVAGE NOTED MATERIALS
- 4 REMOVE INTERIOR DOOR AND JAMB. SALVAGE DOOR/S & HARDWARE.
- 5 REMOVE INTERIOR STEPS
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- 26 REMOVE ALL ROOF STRUCTURE, ROOF SHINGLES, AND SOFFIT/EAVES BELOW (SEE PROPOSED FLOOR PLAN FOR DIMENSIONS).



1 PROPOSED DEMOLITION OF EXISTING MAIN HOUSE NORTH ELEVATION
3/16"=1'-0"

MAIN HOUSE SOUTH ELEVATION CALCULATIONS:

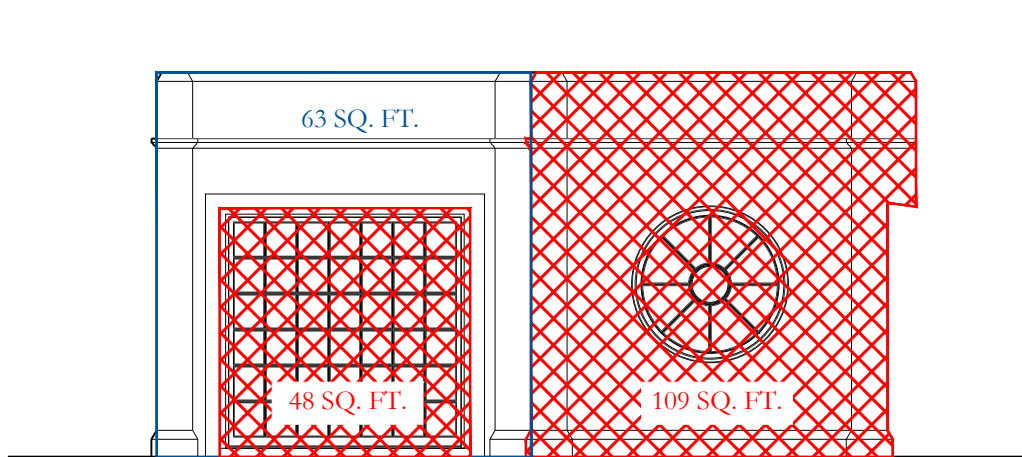
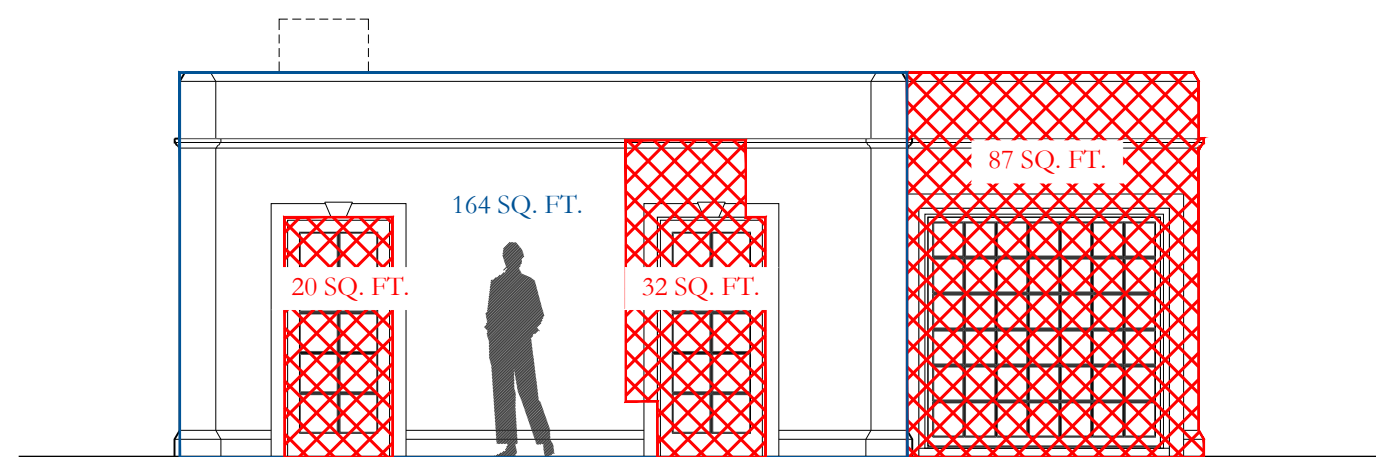
TOTAL EXTERIOR WALL AREA TO REMAIN:	197 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	193 SQ. FT.
TOTAL EXISTING WALL AREA:	390 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	49.48 %



4 PROPOSED DEMOLITION OF EXISTING MAIN HOUSE WEST ELEVATION
3/16"=1'-0"

MAIN HOUSE & COTTAGE WEST ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	490 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	182 SQ. FT.
TOTAL EXISTING WALL AREA:	672 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	27.08 %



5 PROPOSED DEMO. OF COTTAGE SOUTH ELEV.
3/16"=1'-0"

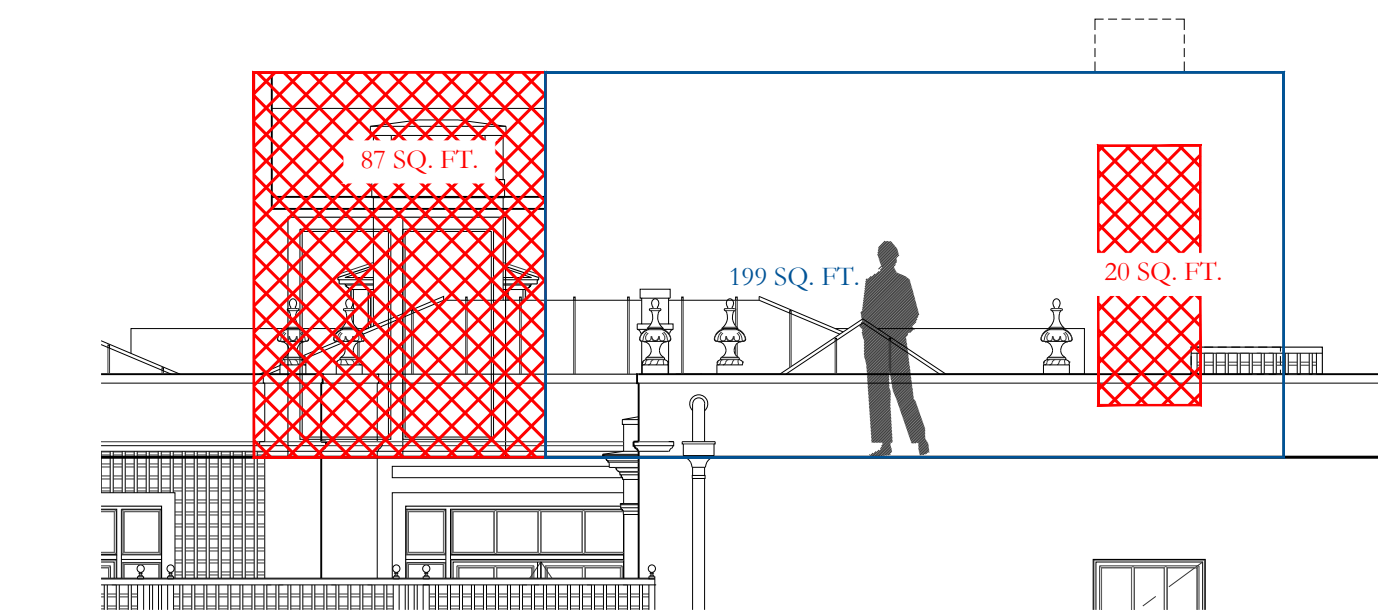
COTTAGE SOUTH ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	164 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	139 SQ. FT.
TOTAL EXISTING WALL AREA:	303 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	45.87 %

6 PROPOSED DEMO. OF COTTAGE EAST ELEV.
3/16"=1'-0"

COTTAGE EAST ELEVATION CALCULATIONS:

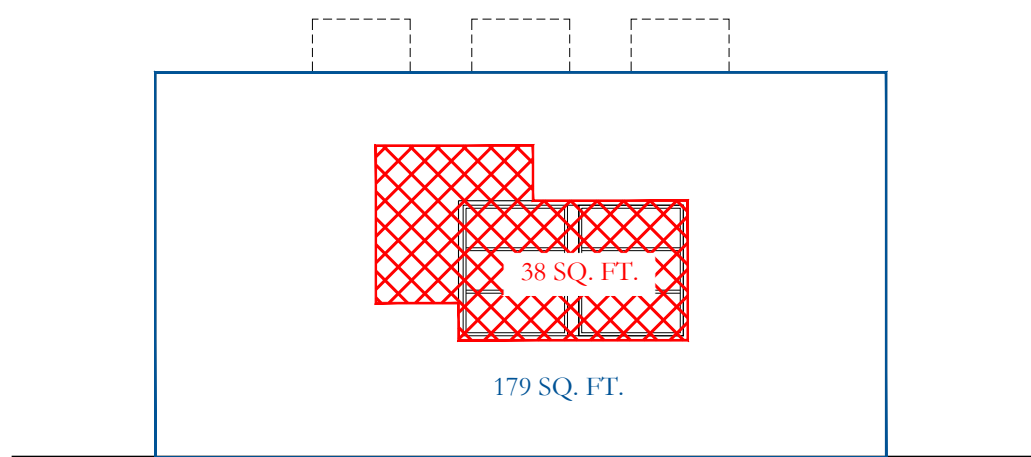
TOTAL EXTERIOR WALL AREA TO REMAIN:	63 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	157 SQ. FT.
TOTAL EXISTING WALL AREA:	220 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	71.36 %



7 PROPOSED DEMO. OF COTTAGE NORTH ELEV.
3/16"=1'-0"

COTTAGE NORTH ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	199 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	107 SQ. FT.
TOTAL EXISTING WALL AREA:	306 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	34.97 %



8 PROPOSED DEMO. OF COTTAGE WEST ELEV.
3/16"=1'-0"

COTTAGE WEST ELEVATION CALCULATIONS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	179 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	38 SQ. FT.
TOTAL EXISTING WALL AREA:	217 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	17.51 %

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE

DEMOLITION/MATERIALS
REMOVAL - ELEVATIONS

DATE

AUGUST 1, 2022

SCALE

3/16"=1'-0"

BY

JT-C, KC

SHEET NO

D-102



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NEW YORK - PALM BEACH

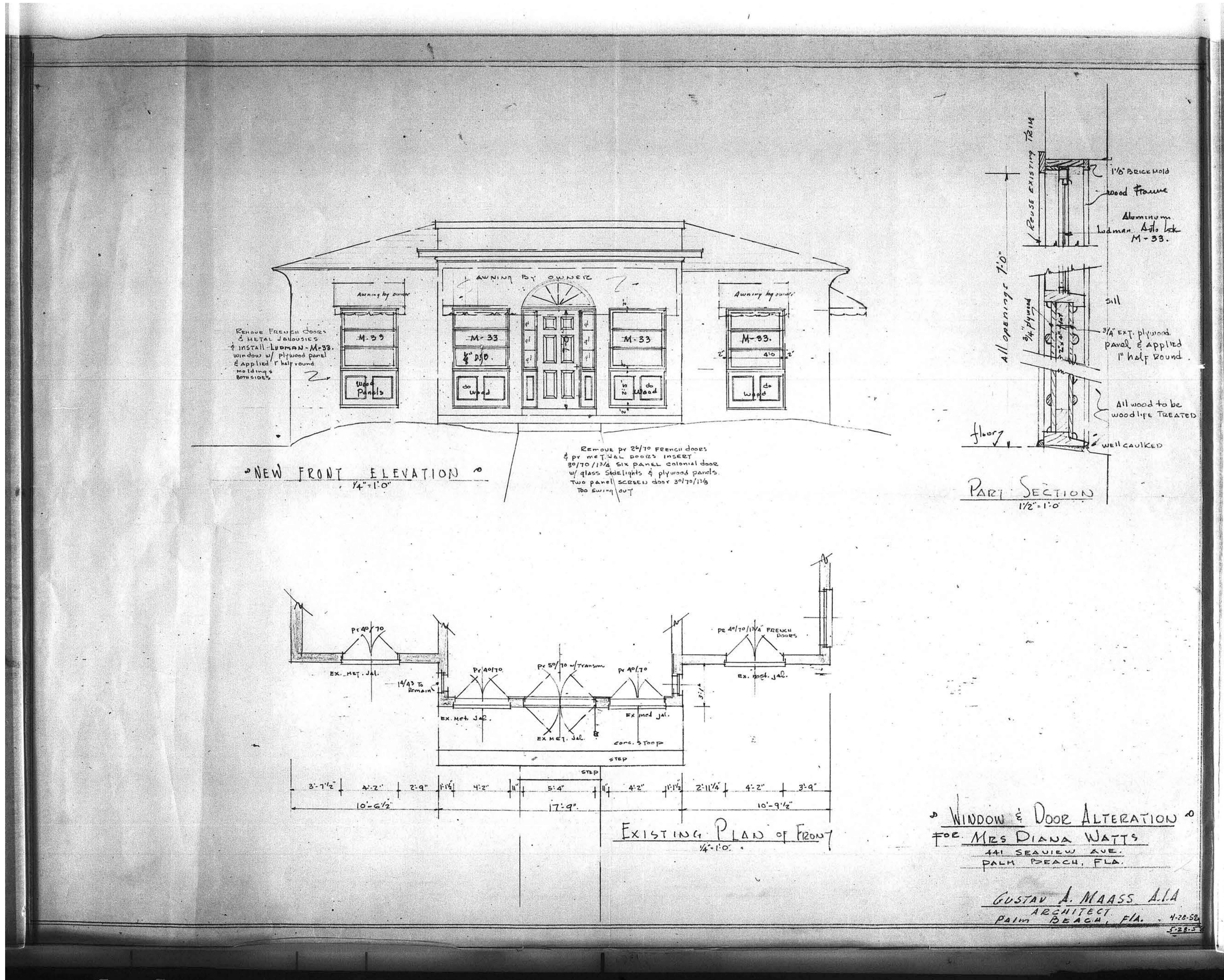
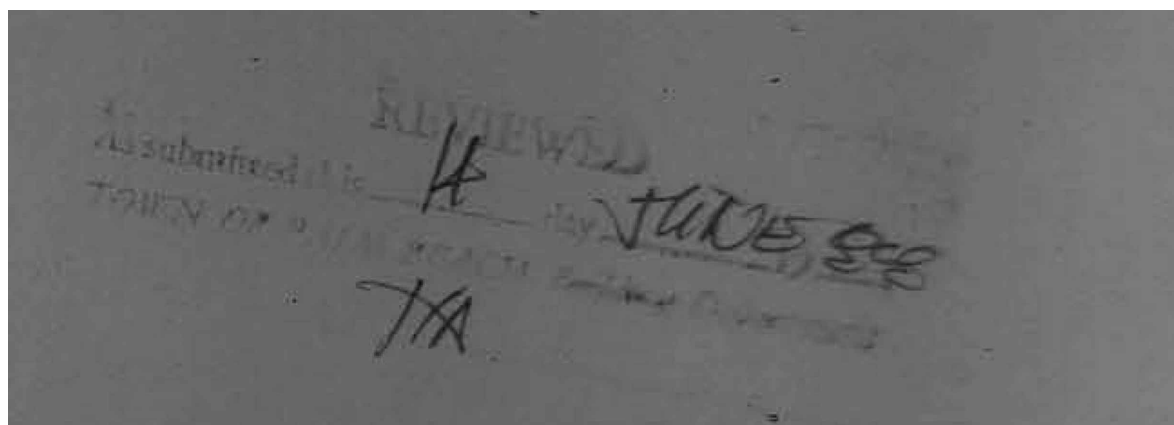
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2 1988 PIER DRAWING
N.T.S.



1 1958 GUSTAV MAAS DRAWINGS
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

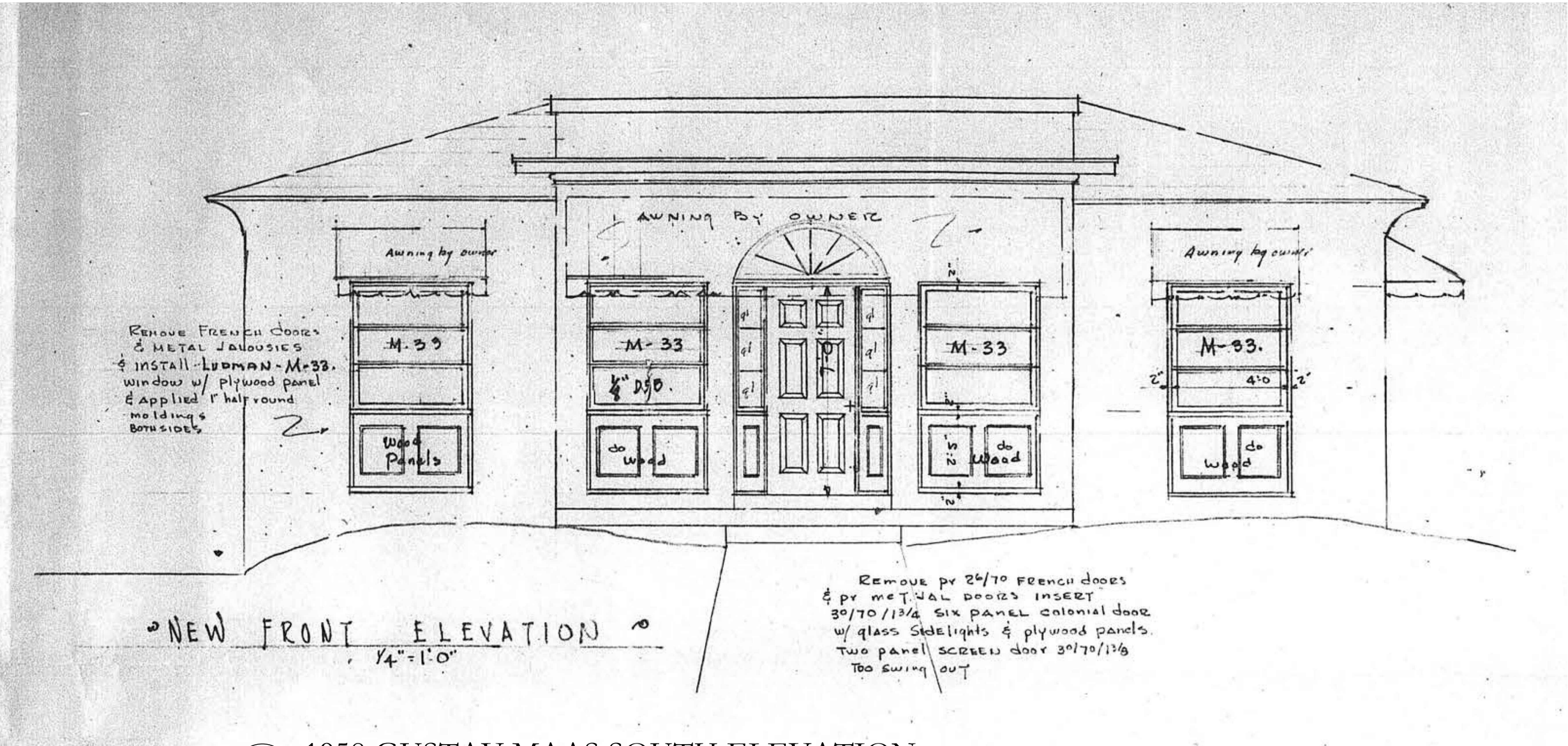
SHEET TITLE
DRAWINGS OF HOUSE
PRIOR TO 1990

DATE AUGUST 1, 2022	SHEET NO A-108
SCALE 1/4" = 1'-0"	
BY KC	



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3 1958 GUSTAV MAAS SOUTH ELEVATION
1/4" = 1'-0"



2 MAIN HOUSE: EXISTING SOUTH ELEVATION
1/4" = 1'-0"



3 MAIN HOUSE: PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

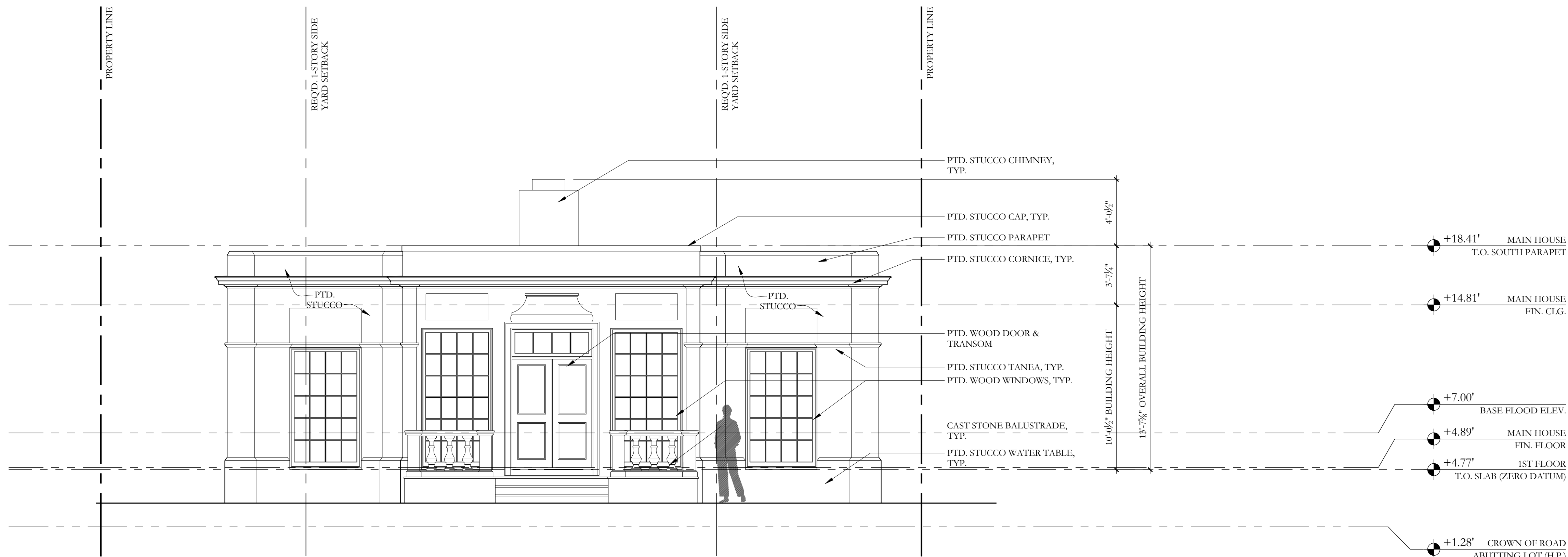
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
SOUTH ELEVATIONS:
1958, EXISTING & PROPOSED

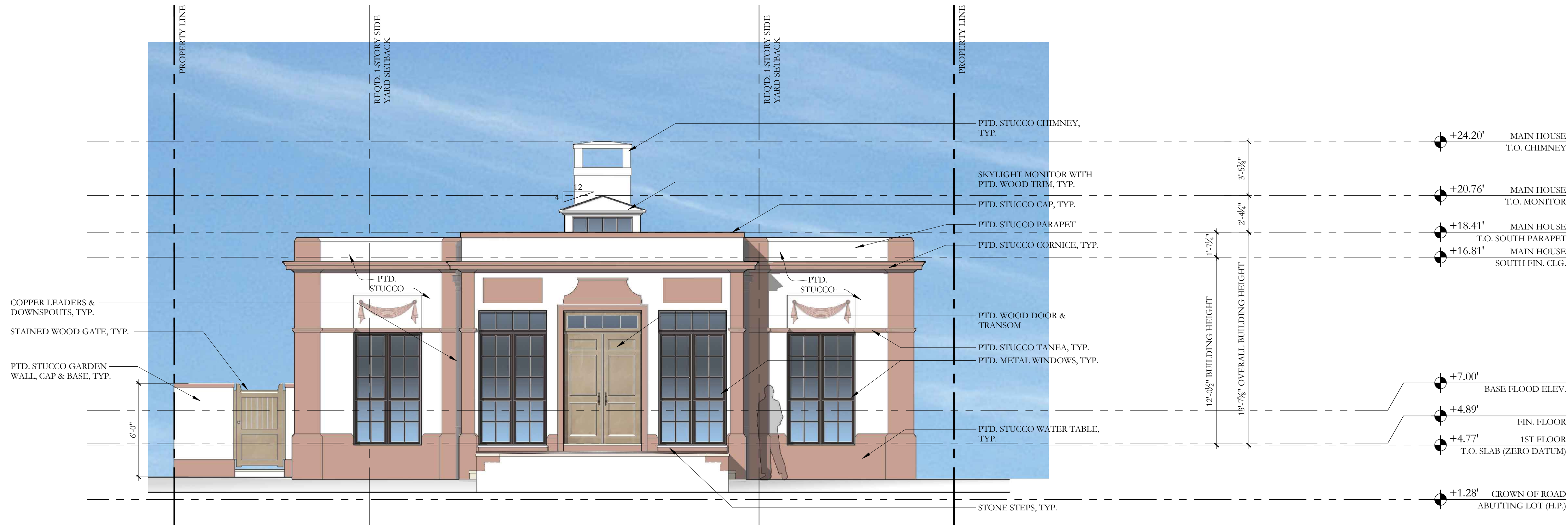
DATE AUGUST 1, 2022	SHEET NO A-109
SCALE 1/4" = 1'-0"	
BY KC	


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1 MAIN HOUSE: EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 MAIN HOUSE: PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
MAIN HOUSE: EXISTING &
PROPOSED SOUTH ELEVATIONS

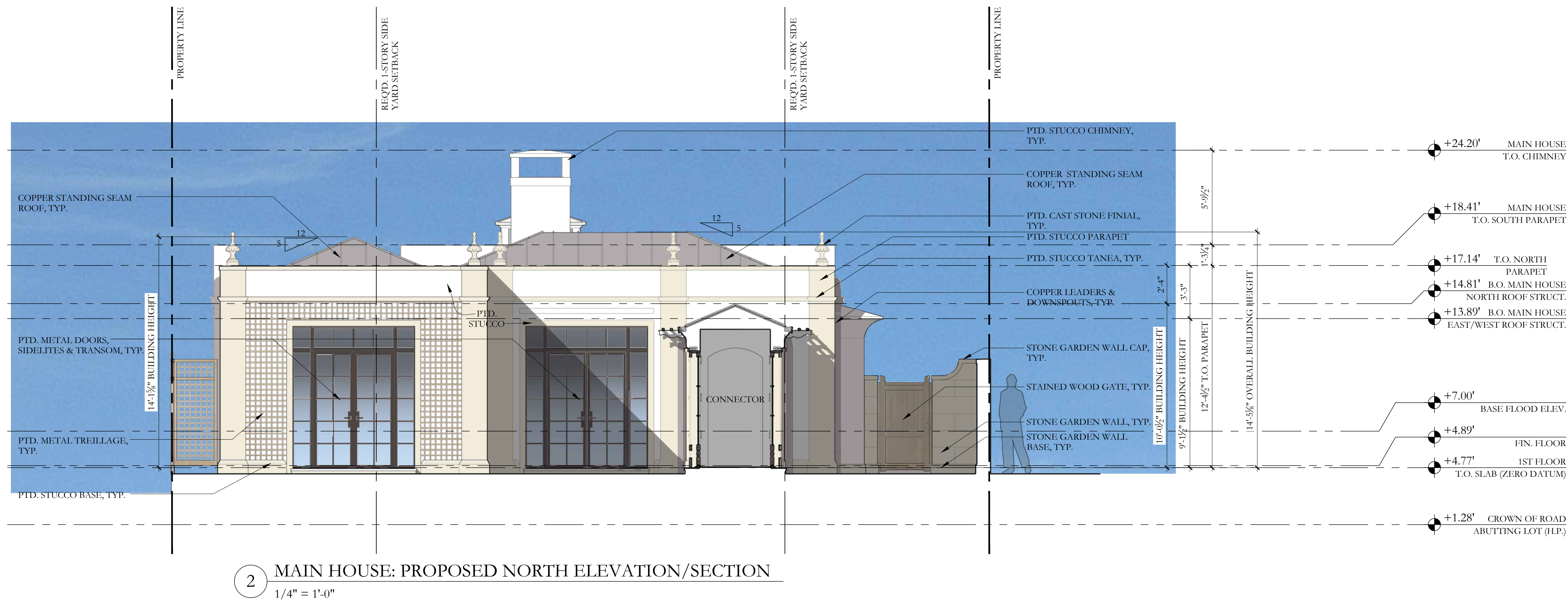
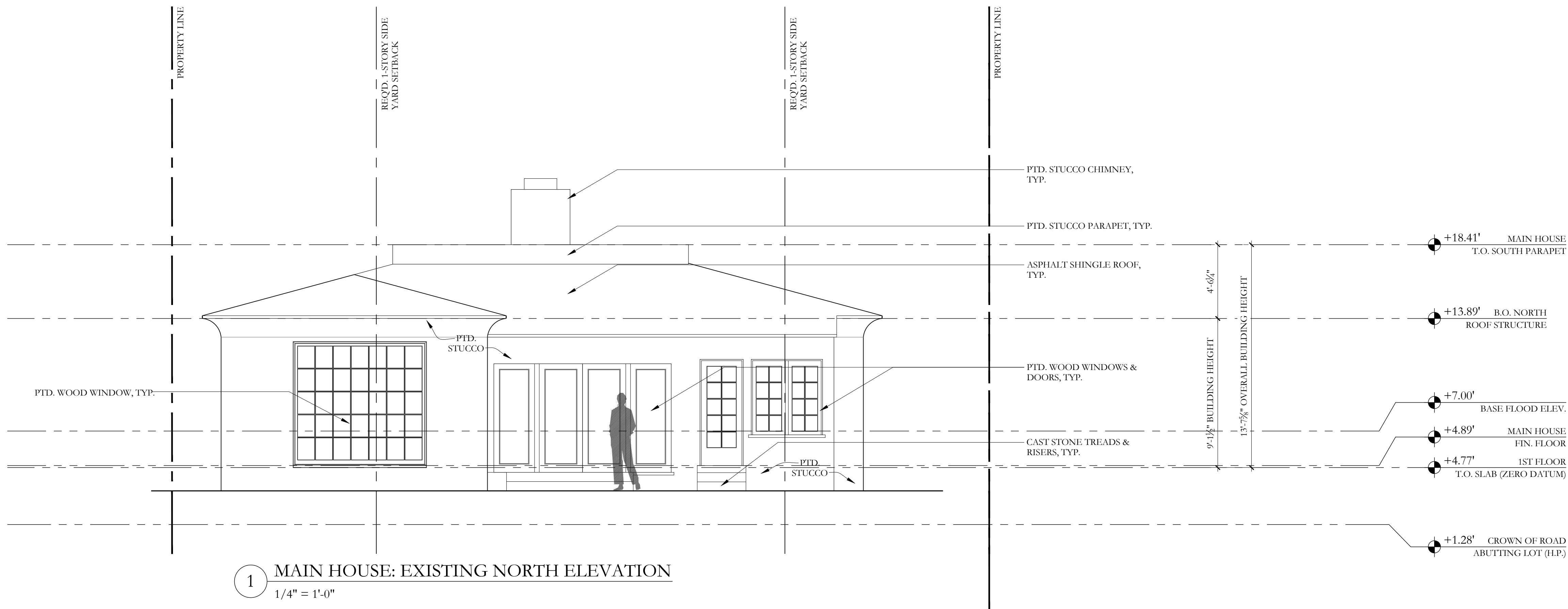
DATE
AUGUST 1, 2022
SCALE
1/4" = 1'-0"
BY
KC

SHEET NO
A-110



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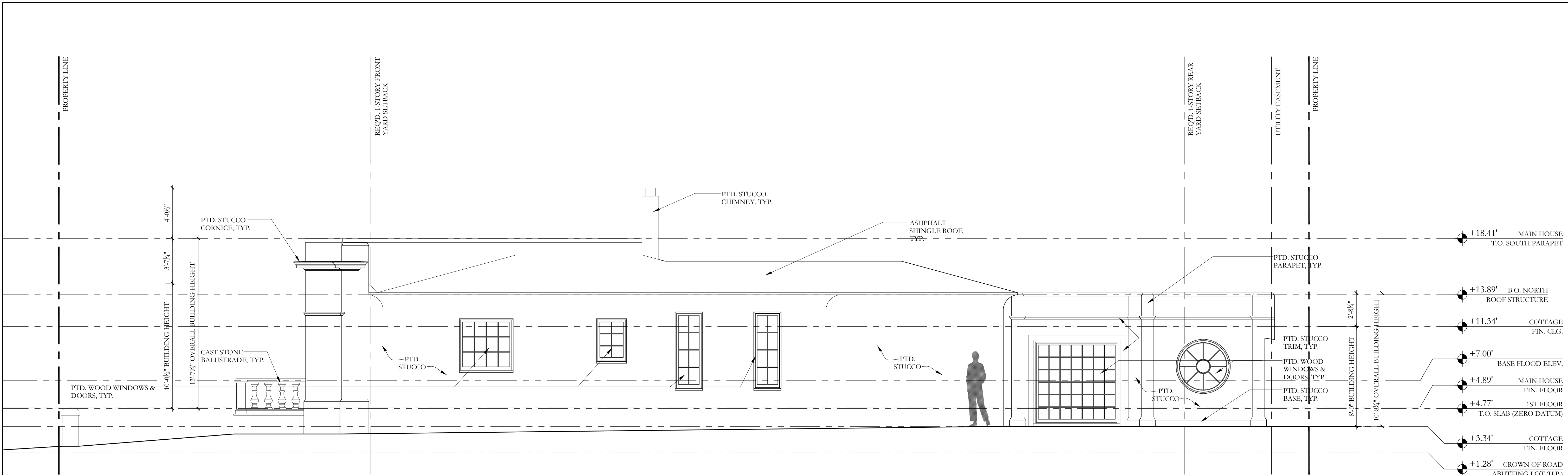
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
MAIN HOUSE: EXISTING &
PROPOSED NORTH ELEVATIONS

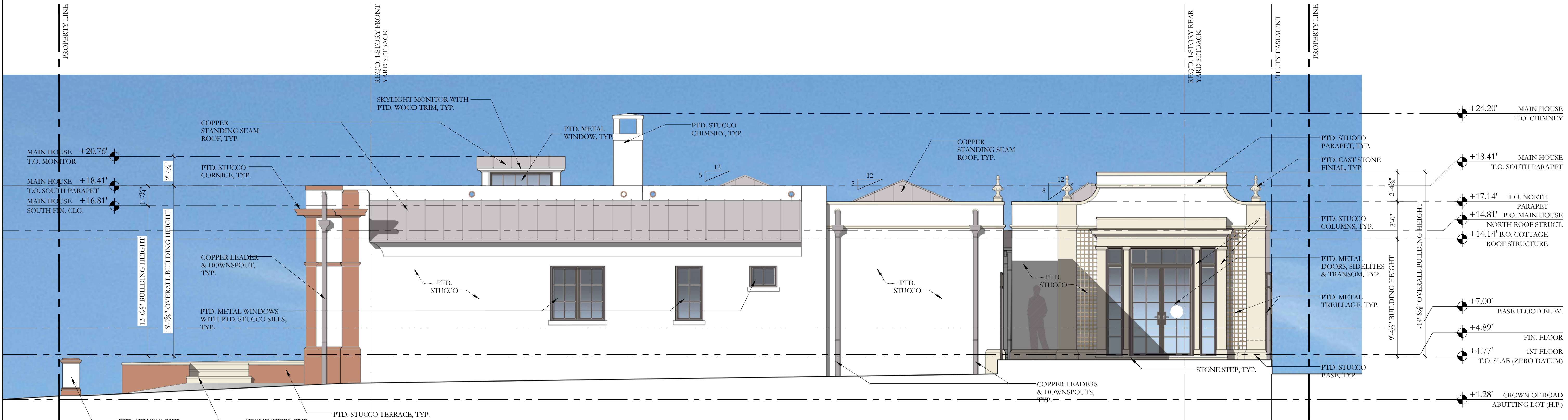
DATE AUGUST 1, 2022	SHEET NO A-111
SCALE N.T.S.	
BY KC	


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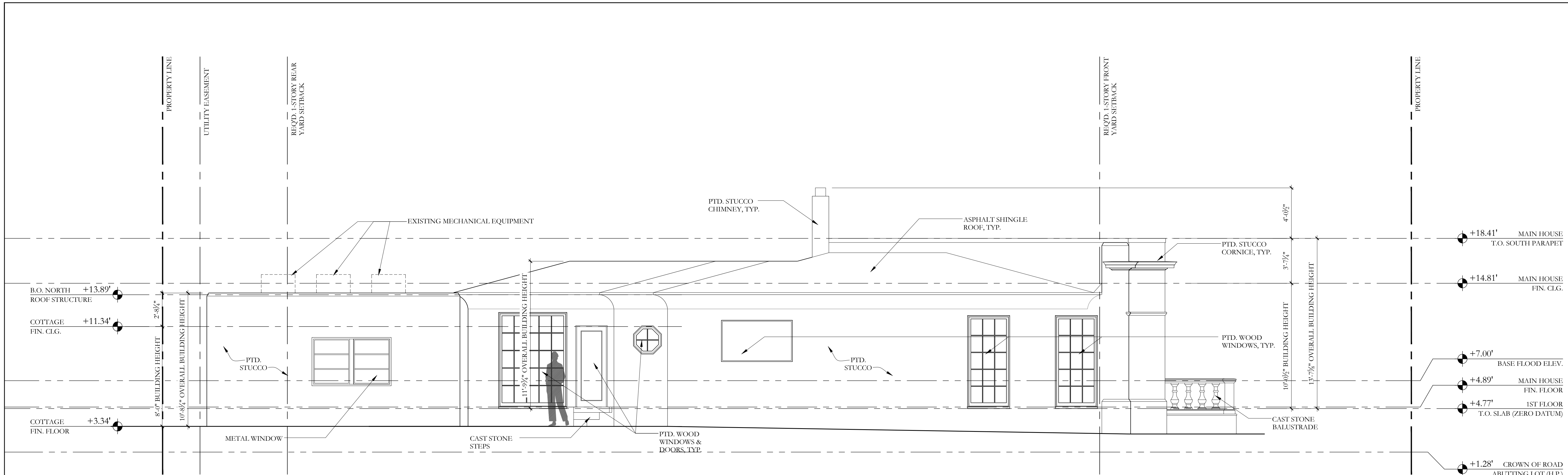


1 MAIN HOUSE & COTTAGE: EXISTING EAST ELEVATION
1/4" = 1'-0"

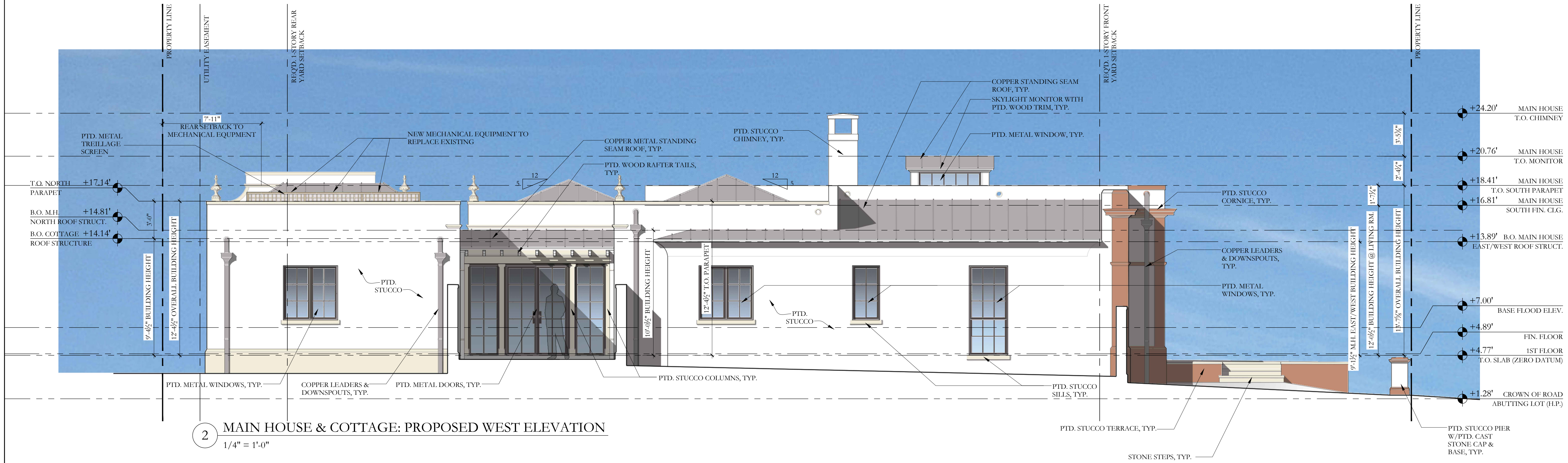


2 MAIN HOUSE & COTTAGE: PROPOSED EAST ELEVATION
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET		08/01/2022
D.R.C. FIRST SUBMITTAL SET		07/12/2022
D.R.C. PRE-APP MEETING SET		06/27/2022
LANDMARKS FILE #: HSB-22-014		
ZONING FILE #: ZON-22-137		
441 SEAVIEW AVENUE PALM BEACH, FLORIDA		
SHEET TITLE MAIN HOUSE & COTTAGE: EXIST. & PROP. ELEVS & SECTNS		
DATE AUGUST 1, 2022	SHEET NO A-112	
SCALE N.T.S.		
BY KC		
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1 MAIN HOUSE & COTTAGE: EXISTING WEST ELEVATION
1/4" = 1'-0"



2 MAIN HOUSE & COTTAGE: PROPOSED WEST ELEVATION
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
D.R.C. FIRST SUBMITTAL SET	07/12/2022
D.R.C. PRE-APP MEETING SET	06/27/2022

LANDMARKS
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FILE #:
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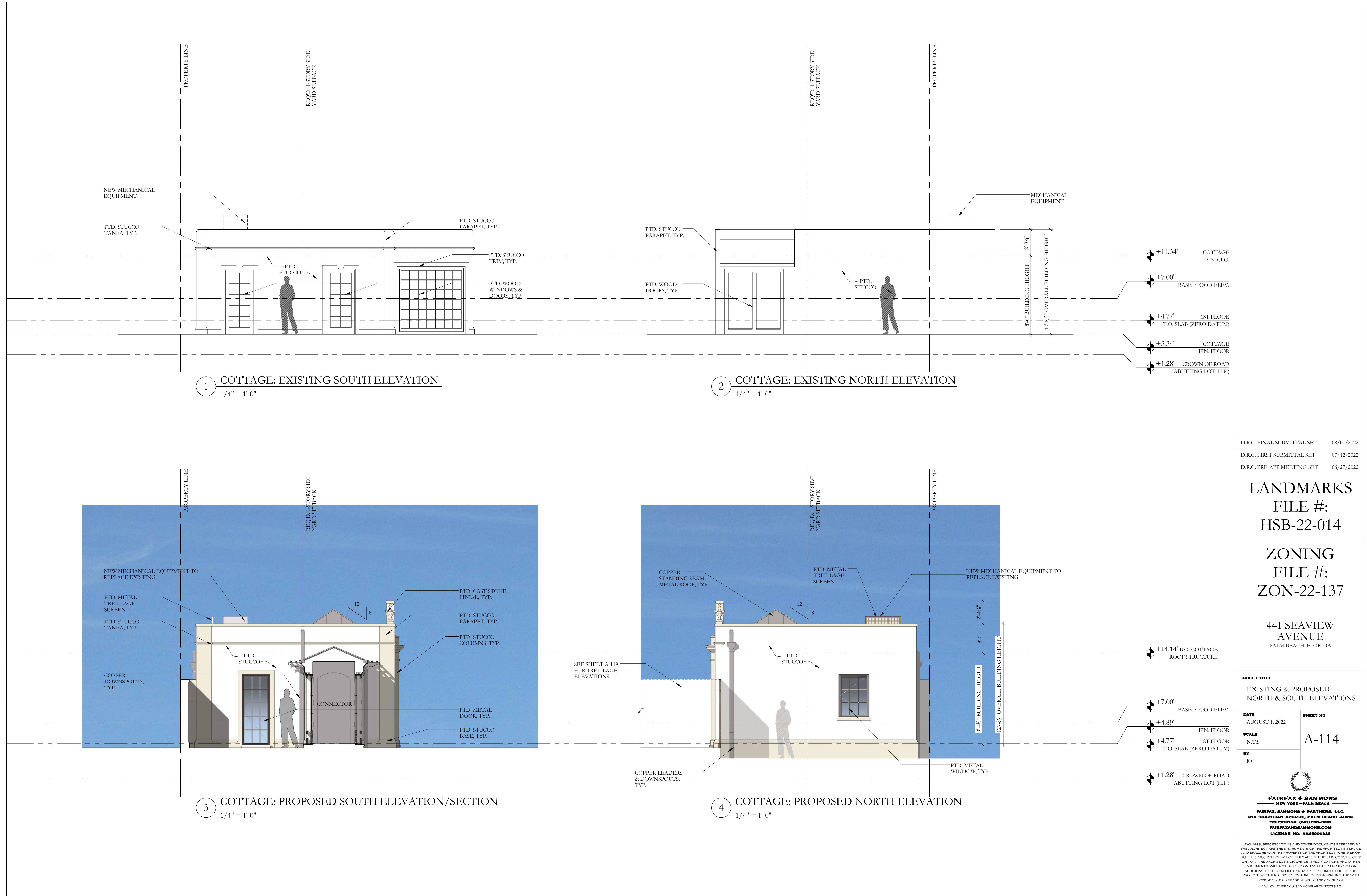
441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

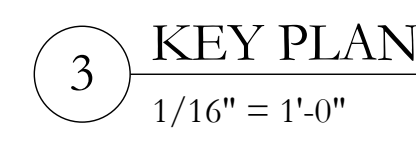
SHEET TITLE
EXISTING & PROPOSED WEST
ELEVATIONS & SECTIONS

DATE AUGUST 1, 2022	SHEET NO A-113
SCALE N.T.S.	
BY KC	


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D.R.C. PRE-APP MEETING SET	06/27/2022

ZONING
FILE #:
ZON-22-137

SHEET TITLE

MAIN HOUSE & COTTAGE:
SECTION & YARD DIAGRAMS

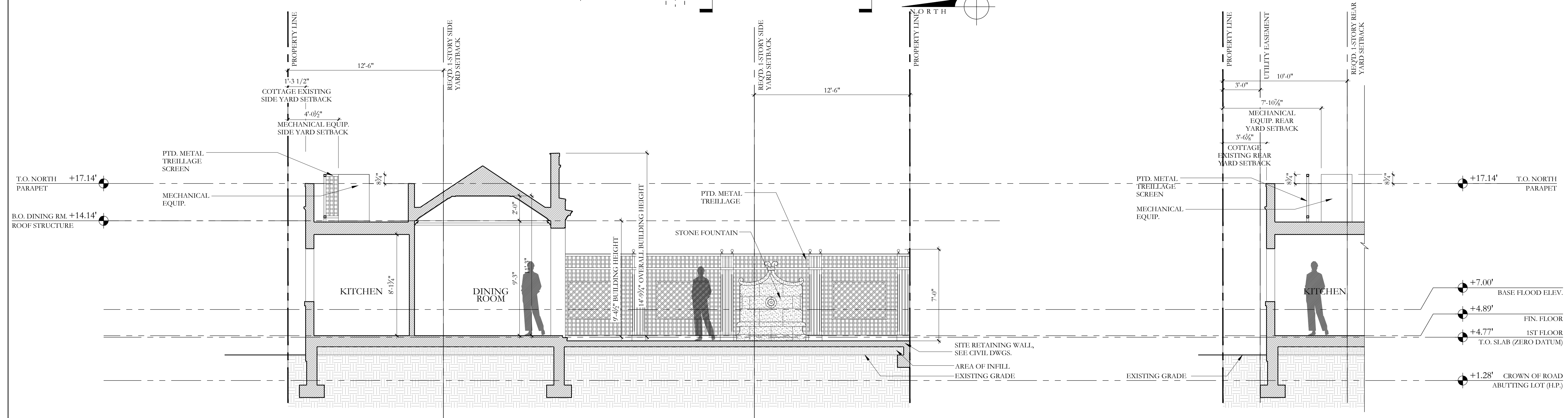
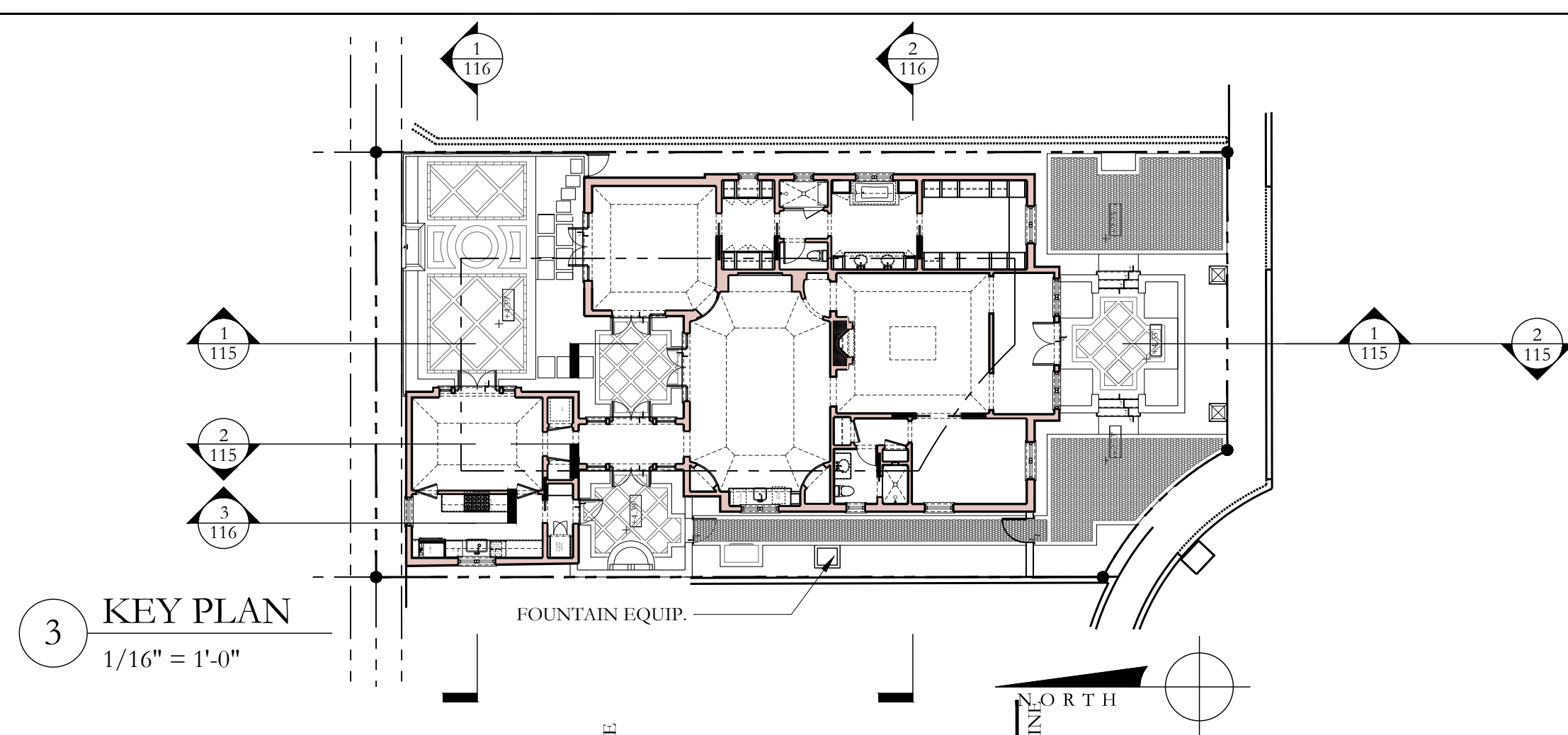
SCALE
N.T.S.

BY
KC

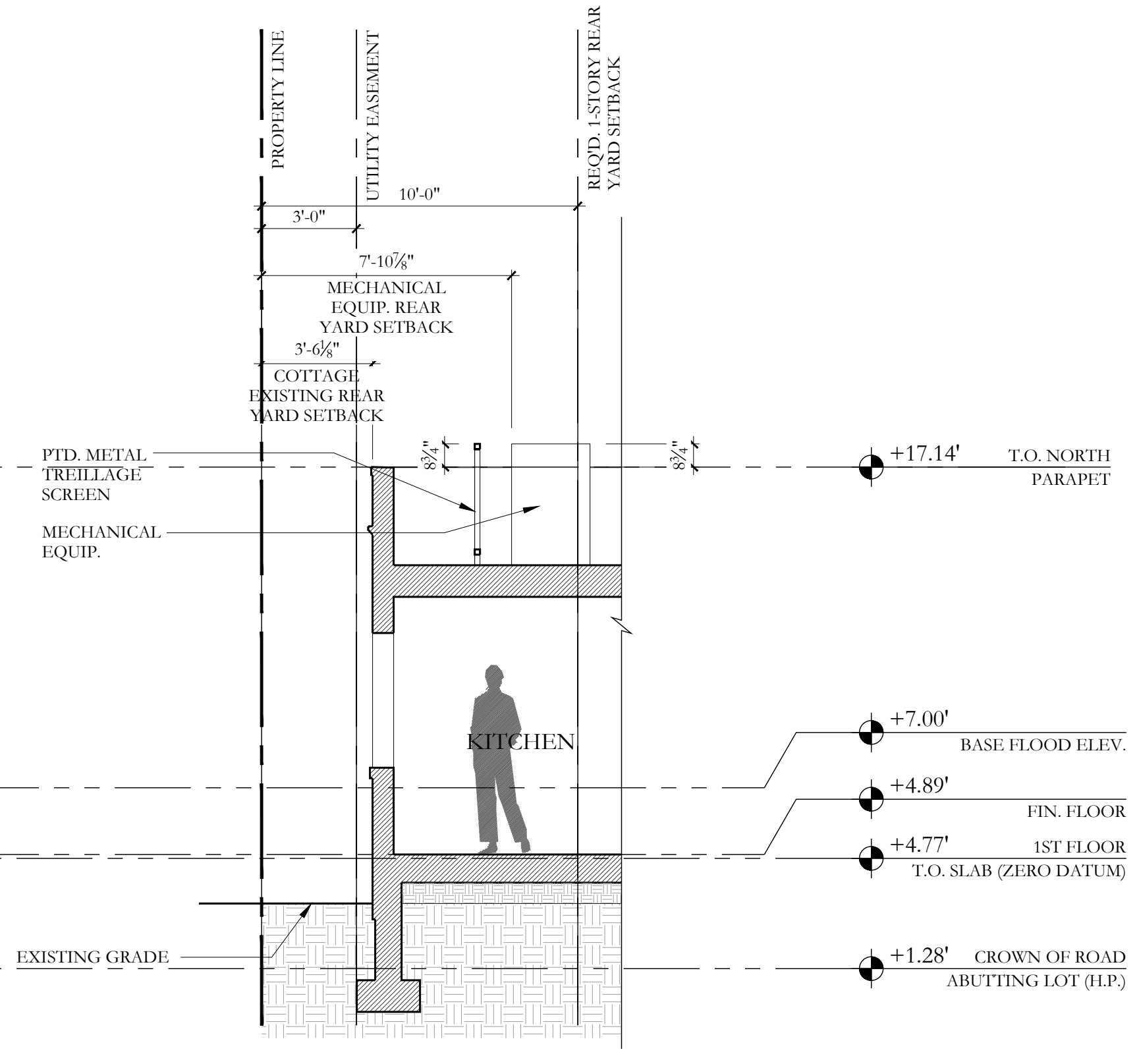


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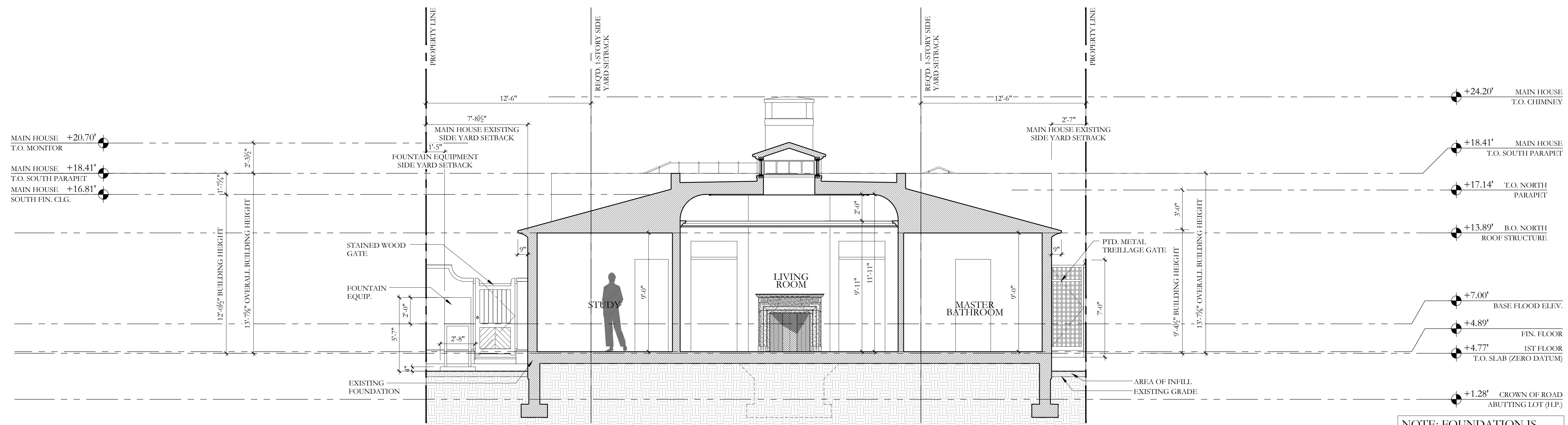
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1 COTTAGE: SITE SECTION LOOKING NORTH
1/4" = 1'-0"



3 COTTAGE: SITE SECTION LOOKING EAST
1/4" = 1'-0"



2 MAIN HOUSE: SITE SECTION LOOKING NORTH
1/4" = 1'-0"

NOTE: FOUNDATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

LANDMARKS
FILE #:
HSB-22-014

ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

D.R.C. FINAL SUBMITTAL SET		08/01/2022
D.R.C. FIRST SUBMITTAL SET		07/12/2022
D.R.C. PRE-APP MEETING SET		06/27/2022

SHEET TITLE

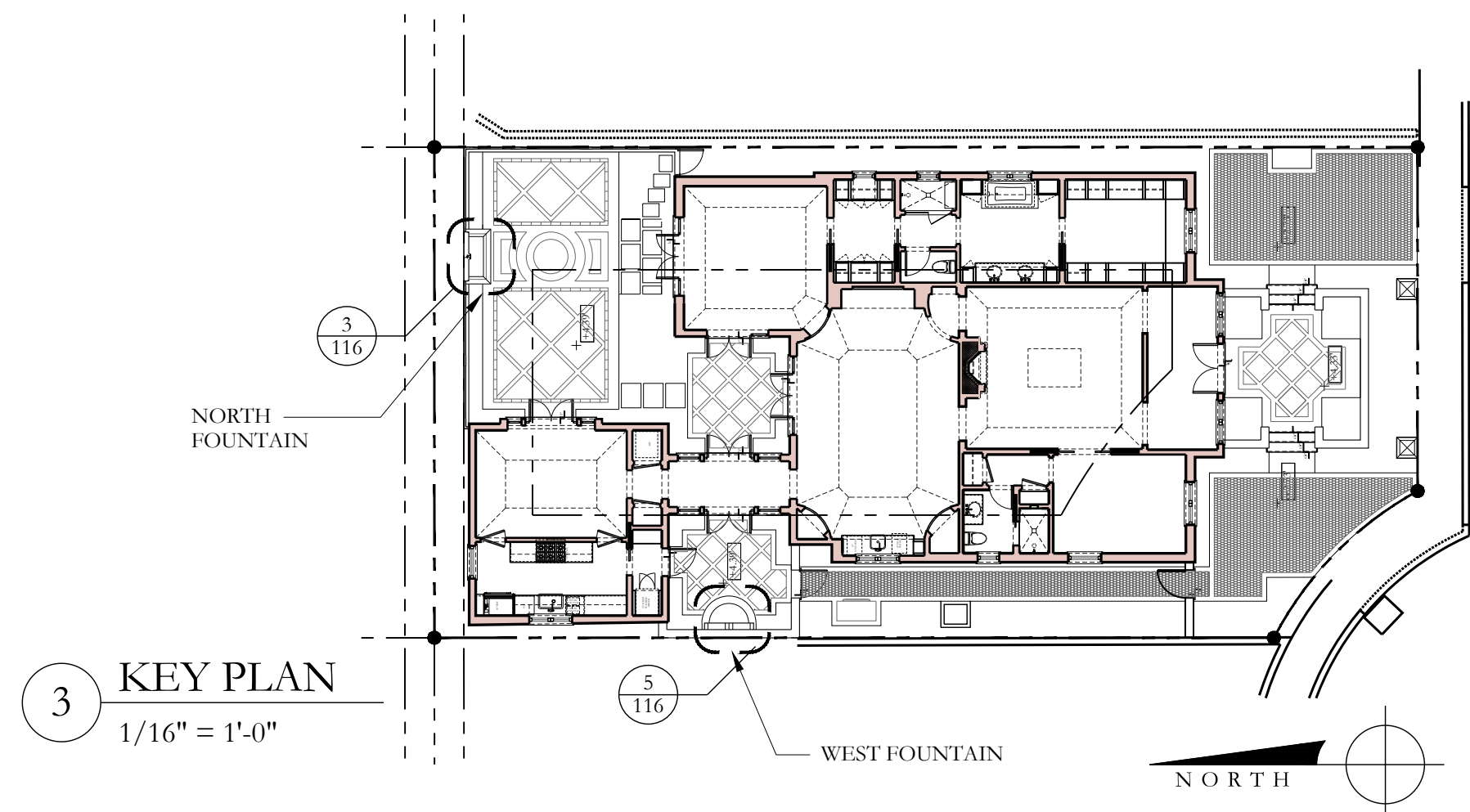
MAIN HOUSE & COTTAGE:
SECTION & YARD DIAGRAMS

DATE	AUGUST 1, 2022	SHEET NO
SCALE	N.T.S.	A-116
BY	KC	

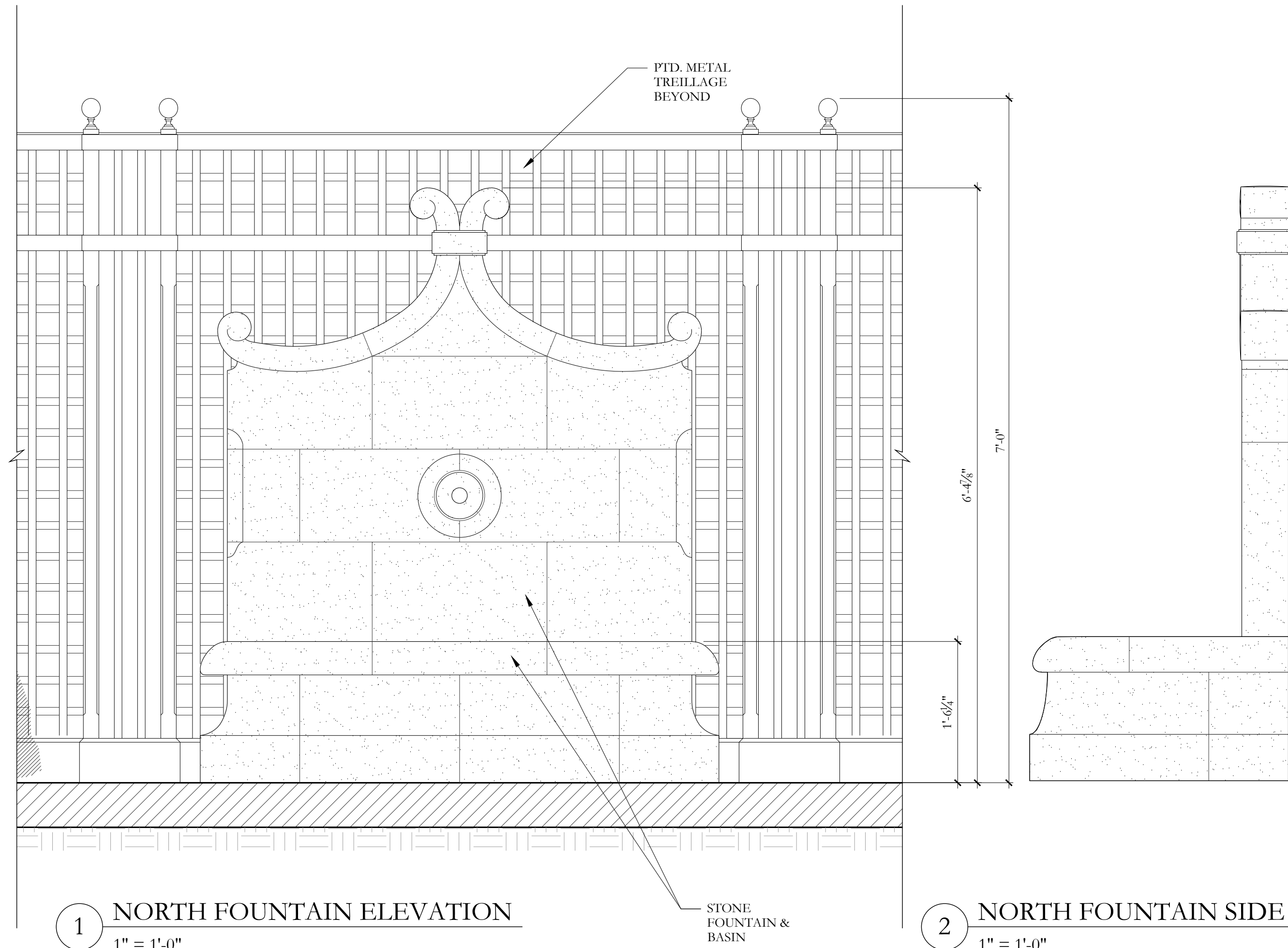
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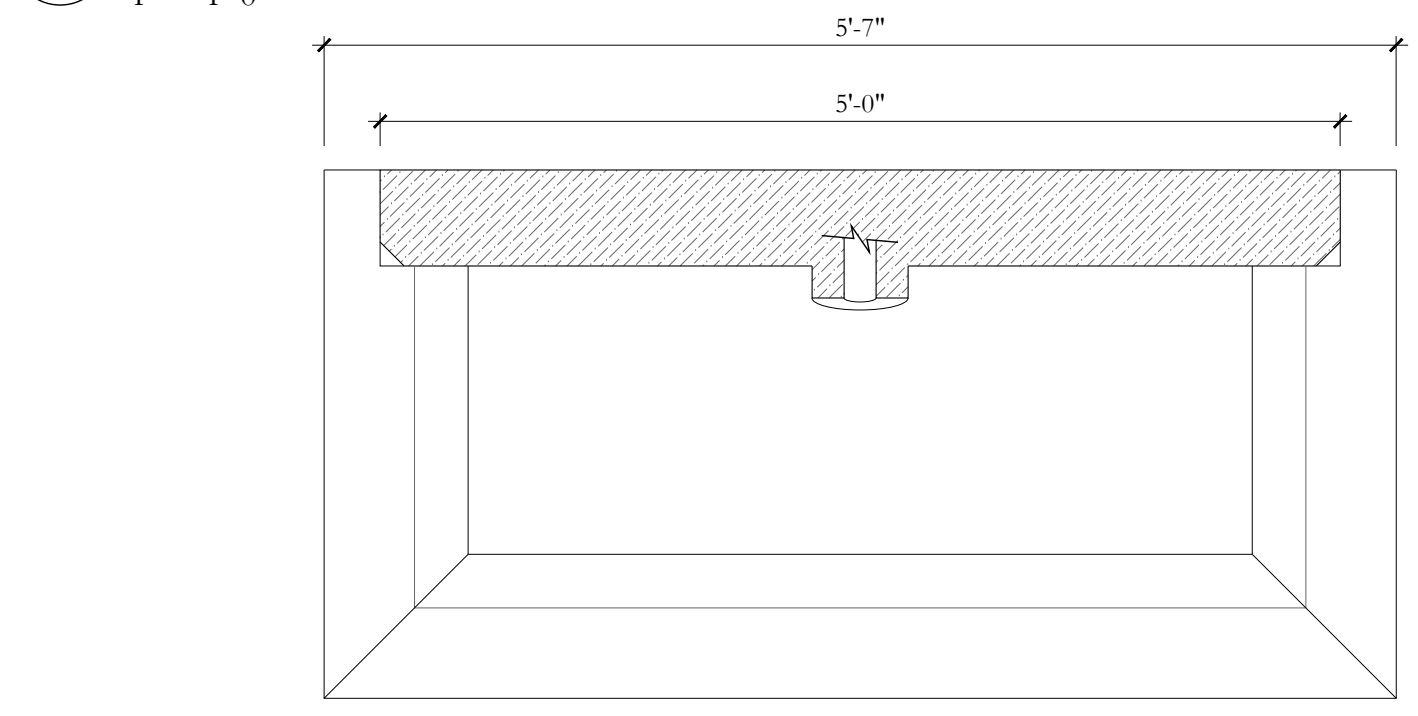


3 KEY PLAN
1/16" = 1'-0"

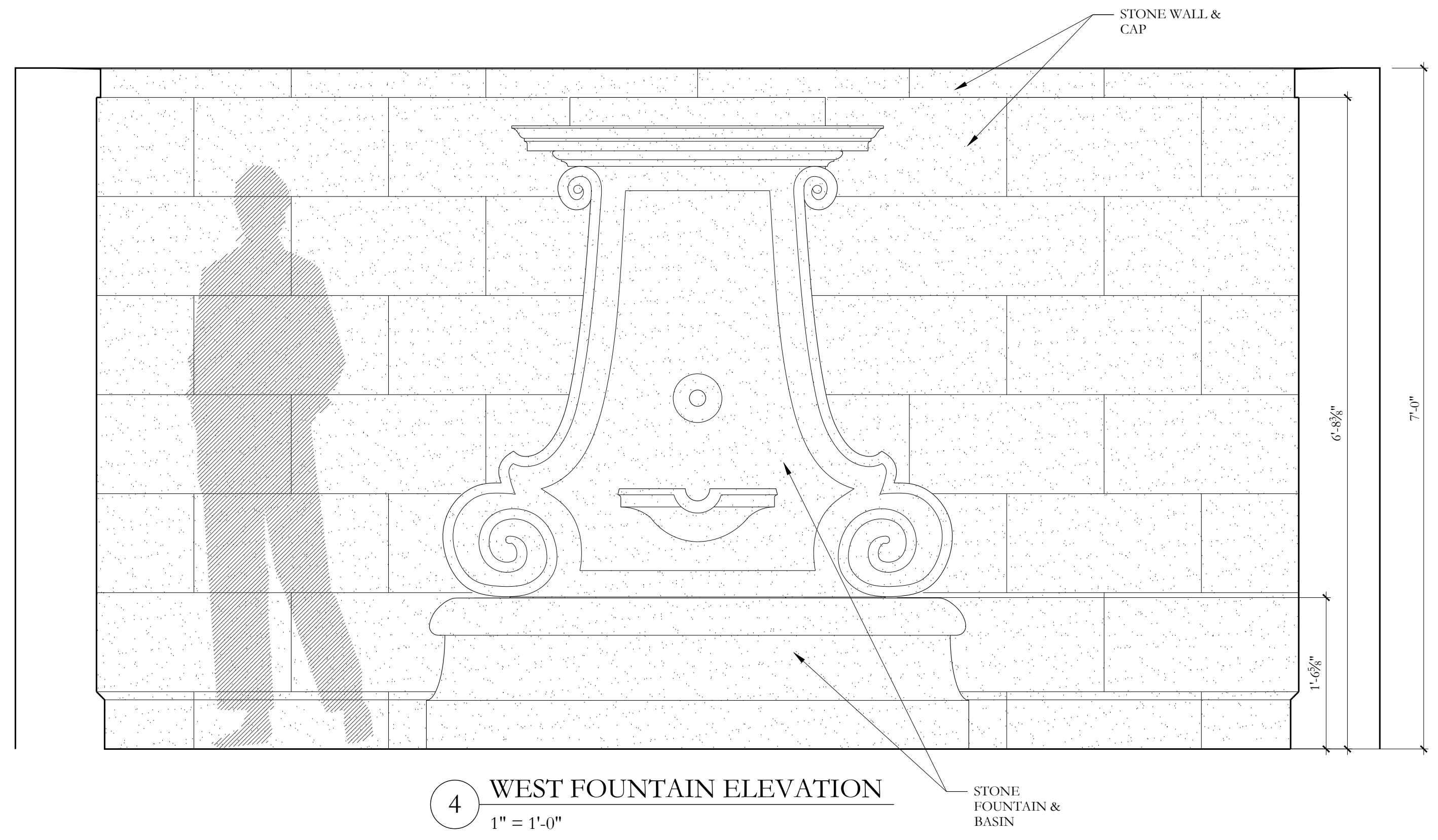


1 NORTH FOUNTAIN ELEVATION
1" = 1'-0"

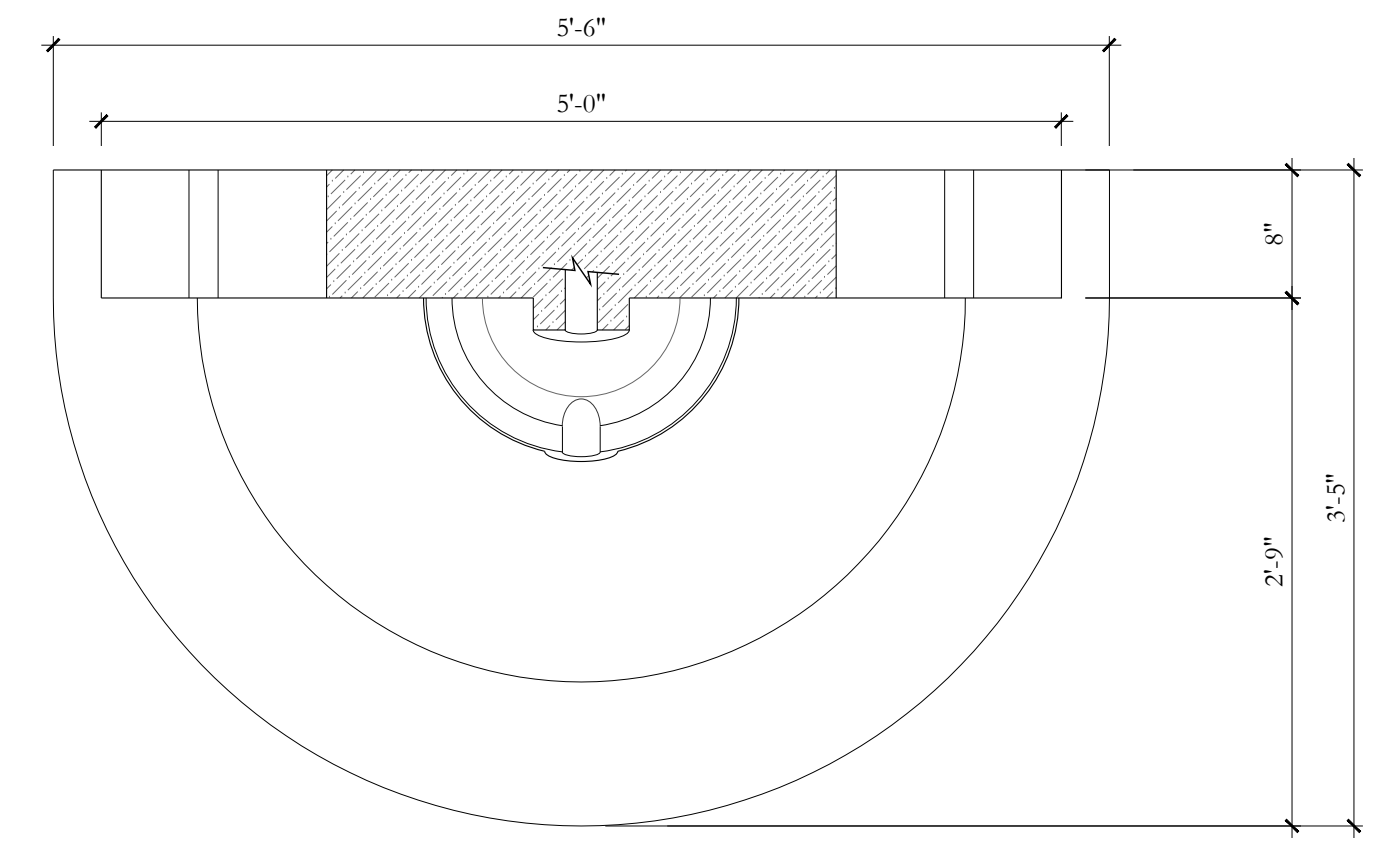
2 NORTH FOUNTAIN SIDE ELEVATION
1" = 1'-0"



3 NORTH FOUNTAIN PLAN/SECTION
1" = 1'-0"



4 WEST FOUNTAIN ELEVATION
1" = 1'-0"



5 WEST FOUNTAIN PLAN/SECTION
1" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/01/2022
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LANDMARKS
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ZONING
FILE #:
ZON-22-137

441 SEAVIEW
AVENUE
PALM BEACH, FLORIDA

SHEET TITLE
FOUNTAINS DETAILS

DATE AUGUST 1, 2022	SHEET NO A-117
SCALE AS NOTED	
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