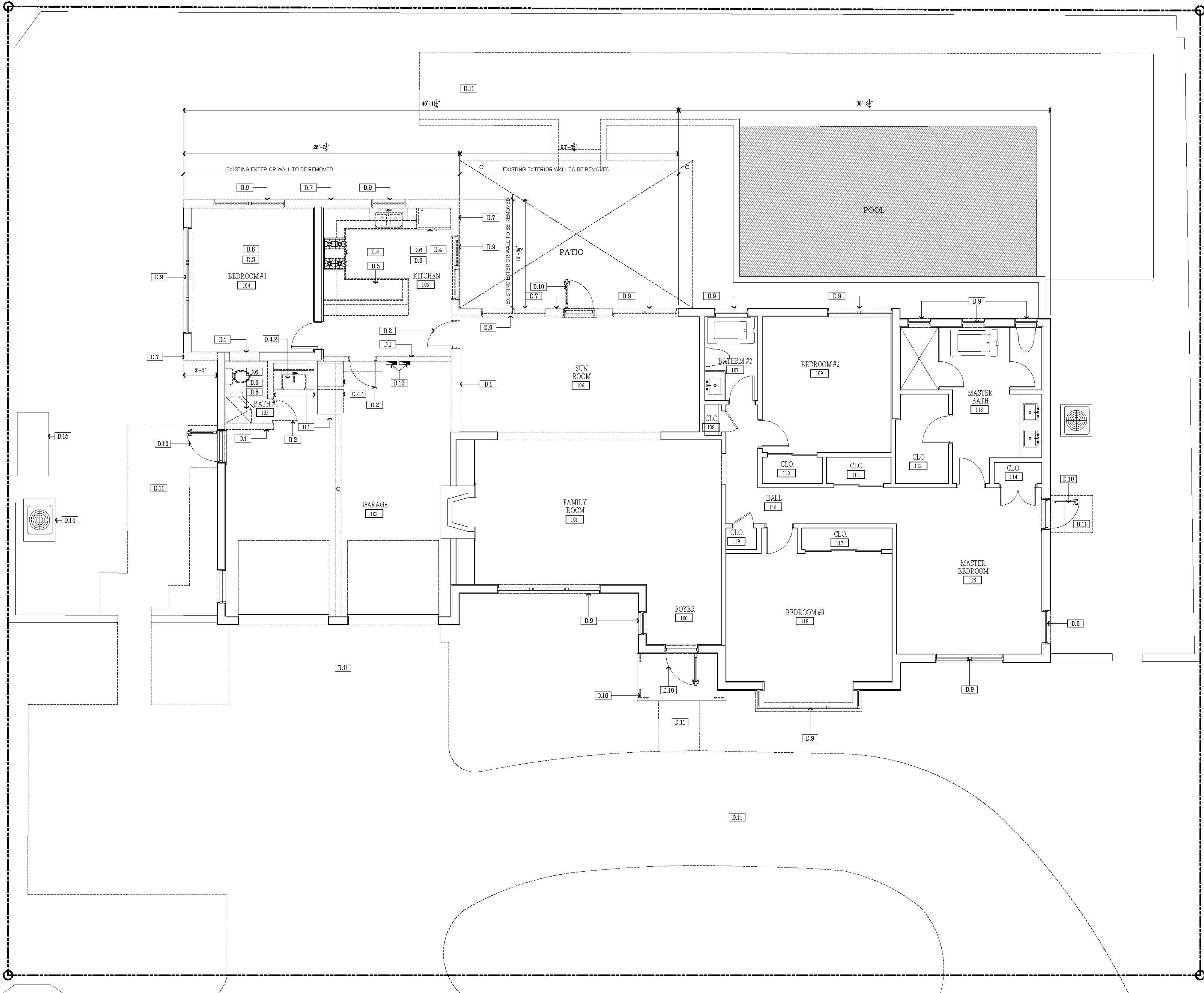


DEMOLITION NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF ALL ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY SERVICES PRIOR TO THE COMMENCEMENT OF WORK.
2. GENERAL CONTRACTOR SHALL HAVE ALL STRUCTURAL SHORING IN PLACE AND INSPECTED PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS. EXISTING FRAMING, INCLUDING FLOORS, WALLS, AND ROOF FRAMING SHALL BE SHORED PRIOR TO ANY DEMOLITION. MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS, AND SHORES SHALL BE USED WHERE NECESSARY TO AVOID DAMAGE TO THE STRUCTURE. SHORING AND BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER PROFESSIONAL ENGINEER.
3. THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER OR THE ARCHITECT AND TAG ALL ITEMS THAT WILL BE SALVAGED. ITEMS TO BE REMOVED AND SHALL BE STORED WHERE FOR REUSE OR DISTRIBUTION.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND BECOME FAMILIAR WITH THE SCOPE OF THE PROJECT AND VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS ARE AS INDICATED DO NOT SCALE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
5. THE GENERAL CONTRACTOR SHALL REMOVE ALL PLUMBING, ELECTRICAL, GAS, MECHANICAL DEVICES AND RELATED EQUIPMENT, ETC. NOT REQUIRED FOR RE-USE AND/ OR REINSTALLATION SHALL BE REMOVED TO INCLUDE WINDOWS AND DOORS AS INDICATED ON DEMOLITION PLANS.
6. THE GENERAL CONTRACTOR WILL PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS IN SUCH A MANNER TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. HE SHALL MITIGATE THE AMOUNT OF DUST RESULTING FROM DEMOLITION AND RESULTING WORK, LEAVING THE JOB SITE DAILY IN A CLEAN AND ACCEPTABLE MANNER.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS (THAT ARE TO REMAIN) SUCH AS EXISTING FINISHES, EQUIPMENT, TREES, UTILITY LINES, ETC. AND REPAIR OR REPLACE THESE DAMAGED ITEMS WHEN NECESSARY IF DAMAGED BY HIM OR HIS SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS INDICATED FOR THE REMOVAL WORK INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, CEILING SYSTEM, ELECTRICAL, PLUMBING, FLOOR MATERIAL, ETC.
9. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN WATER TIGHT CONDITION AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION.
10. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES, INCLUDING NFPA 241.

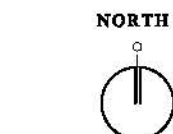
PARTITION LEGEND

- DENOTES EXISTING CONSTRUCTION TO BE DEMOLISHED OR REMOVED
- DENOTES EXISTING EXTERIOR WALL TO REMAIN. INTERIOR FINISH TO BE REMOVED. EXTERIOR FINISH TO REMAIN



DEMOLITION PLAN

SCALE:



3/16" = 1'-0"

ARC: 22-115
ZON: 22-125

- [D.1] DEMOLITION
- Remove partitions (as shown).
- [D.2] DOORS
- Remove existing interior doors and frames as shown.
- [D.3] CEILINGS
- Remove existing ceilings finish/ drywall to expose the roof trusses.
- [D.4] APPLIANCES
- Remove all kitchen appliances.
- [D.4.1] WASHER/DRYER APPLIANCES
- Washer & dryer to be removed.
- [D.4.2] SINK & SINK FAUCET
- Existing sinks & faucets to be removed.
- [D.5] MILLWORK & CABINETRY
- Remove existing millwork, cabinetry & countertops as shown.
- [D.6] FLOORING
- Remove existing floor covering to expose floor slab.
- [D.7] DEMOLITION
- Remove existing exterior walls (as shown). Shore existing roof trusses.
- [D.8] BATHROOM
- Existing showers and lavatories to be removed.
- [D.9] WINDOWS
- Existing windows to be removed as shown on plan.
- [D.10] DOORS
- Existing doors to be removed as shown on plans
- [D.11] HARDSCAPE
- Existing concrete hardscape to be removed
- [D.12] ROOF
- Existing roof to be removed.
- [D.13] EXISTING ELECTRIC SERVICE PANEL
- Existing electric service panel to be relocated.
- [D.14] EXISTING A/C CONDENSER
- Existing condenser to be relocated to new location.
- [D.15] EXISTING POOL EQUIPMENT PAD
- Existing pool equipment to be relocated to new location.
- [D.16] METAL COLUMNS
- Existing metal columns to be removed.

NOTE:
SHORE EXISTING CONSTRUCTION PRIOR TO THE REMOVAL OF ANY STRUCTURAL ELEMENTS

NOTE:
ALL NEW WORK IN EXISTING HOUSE SHALL BE FIELD VERIFIED.
CHANGES/MODIFICATIONS MAY BE REQUIRED IF ACTUAL FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN OR IF DAMAGED OR DEFICIENT FRAMING IS FOUND, TYPICAL OF ALL SHEETS.

GENERAL DEMOLITION NOTES

OWNER TO DIRECT WHETHER ALL SALVAGEABLE ITEMS TO BE REMOVED (ESPECIALLY PLUMBING FIXTURES & APPLIANCES) ARE TO BE SAVED OR DISPOSED OF (STORE ITEMS).

EXISTING HOUSE RENOVATION
233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

Rafael A. Rodriguez

LIC Number AR0016608

REVISIONS

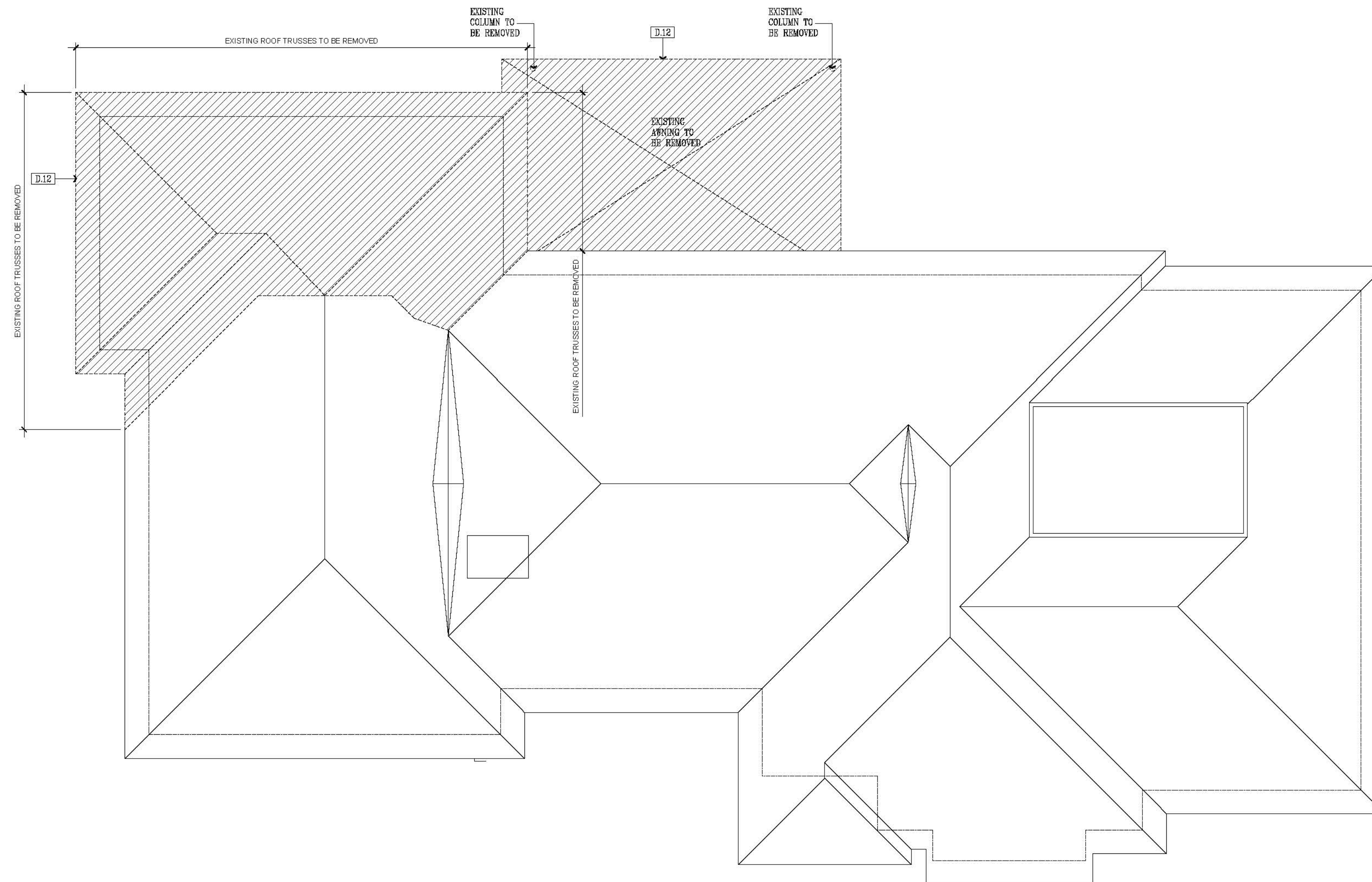
DATE:
05.31.2022

D1.01

StudioSR
Architecture+Design
License Number AA28003104
44 Coconut Row, Suite L-6 Palm Beach, FL 33480 561.659.3616


10. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES, INCLUDING NFPA 241.

DENOTES EXISTING EXTERIOR
 WALL TO REMAIN. INTERIOR
 FINISH TO BE REMOVED. EXTERIOR
 FINISH TO REMAIN



SCALE:

NORTH



$3/16" = 1'-0"$

- [D.2] DOORS
 - Remove existing interior doors and frames as shown.
- [D.3] CEILINGS
 - Remove existing ceilings finish/ drywall to expose the roof trusses.
- [D.4] APPLIANCES
 - Remove all kitchen appliances.
- [D.4.1] WASHER/DRYER APPLIANCES
 - Washer & dryer to be removed.
- [D.4.2] SINK & SINK FAUCET
 - Existing sinks & faucets to be removed.
- [D.5] MILLWORK & CABINETRY
 - Remove existing millwork, cabinetry & countertops as shown.
- [D.6] FLOORING
 - Remove existing floor covering to expose floor slab.
- [D.7] DEMOLITION
 - Remove existing exterior walls (as shown). Shore existing roof trusses.
- [D.8] BATHROOM
 - Existing showers and lavatories to be removed.
- [D.9] WINDOWS
 - Existing windows to be removed as shown on plan.
- [D.10] DOORS
 - Existing doors to be removed as shown on plans
- [D.11] HARDSCAPE
 - Existing concrete hardscape to be removed
- [D.12] ROOF
 - Existing roof to be removed.
- [D.13] EXISTING ELECTRIC SERVICE PANEL
 - Existing electric service panel to be relocated.
- [D.14] EXISTING A/C CONDENSER
 - Existing condenser to be relocated to new location.
- [D.15] EXISTING POOL EQUIPMENT PAD
 - Existing pool equipment to be relocated to new location.
- [D.16] METAL COLUMNS
 - Existing metal columns to be removed.

NOTE:
SHORE EXISTING CONSTRUCTION PRIOR TO THE
REMOVAL OF ANY STRUCTURAL ELEMENTS

NOTE:
ALL NEW WORK IN EXISTING HOUSE SHALL BE
FIELD VERIFIED.
CHANGES/MODIFICATIONS MAY BE REQUIRED IF
ACTUAL FIELD CONDITIONS ARE DIFFERENT THAN
WHAT IS SHOWN OR IF DAMAGED OR DEFICIENT
FRAMING IS FOUND, TYPICAL OF ALL SHEETS.

OWNER TO DIRECT WHETHER ALL SALVAGEABLE
ITEMS TO BE REMOVED (ESPECIALLY PLUMBING
FIXTURES & APPLIANCES) ARE TO BE SAVED OR
DISPOSED OF (STORE ITEMS).

EXISTING HOUSE RENOVATION
2233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

Rafael A. Rodriguez

Case Number AR0016608

DATE:
05.31.2022

D 1.02

StudioSR
Architecture+Design
License Number AA26003104
14 Coconut Bow, Suite, T & Balm Beach, FL 32410
561.650.3616

StudioSR
Architecture+Design
License Number AA26003104
44 Coconut Row, Suite T-6 Palm Beach, FL 33480 561.659.3616

Rafael A. Rodriguez

IC Number AR0016608

<p>REVISIONS</p> <hr/> <hr/> <hr/> <hr/> <hr/>
<p>DATE: 05.31.2022</p> <hr/>
<p>A1.01</p>



StudioSR
Architecture+Design
License Number AA26003104
44 Coconut Row, Suite T-6 Palm Beach, FL 33480 561.659.3616

Rafael A. Rodriguez

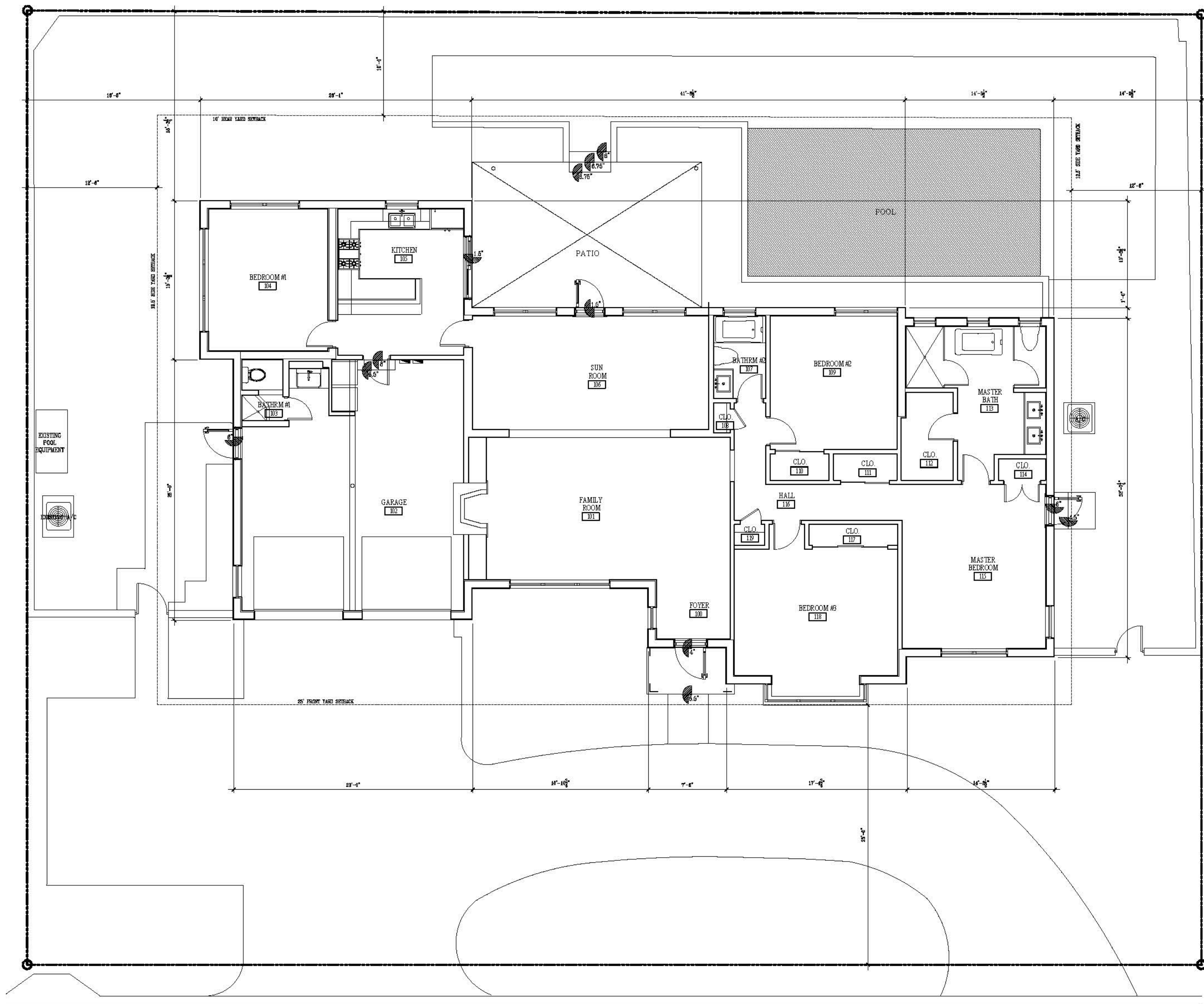
IC Number AR0016608

DATE:
05.31.2022

This architectural floor plan illustrates a residential property layout. The main house (101) features a Living Room, Dining Room, Kitchen, Family Room, and two Bathrooms. A large Pool (116) is situated to the right of the house. A Garage (102) is located at the bottom left, containing a car (102a) and a proposed generator. The plan also shows a Study (114), Master Bedroom (112), Master Bath (111), and several other rooms including a Powder Room (115) and a Foyer (100). Dimensions for rooms and setbacks (10' rear, 25' front, 12.5' side) are provided. The plan includes various annotations such as 'RELOCATED POOL EQUIPMENT', 'PROPOSED GENERATOR', and 'RELOCATED' with circled numbers. The layout is bounded by a 12'-6" side yard setback on the right and a 10' rear yard setback at the top. The overall dimensions of the property are 16'-7" by 14'-1".

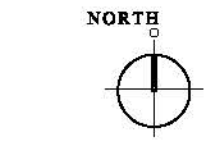
SCALE: 1/4" = 1'-0"

ARC: 22-115
ZON: 22-125

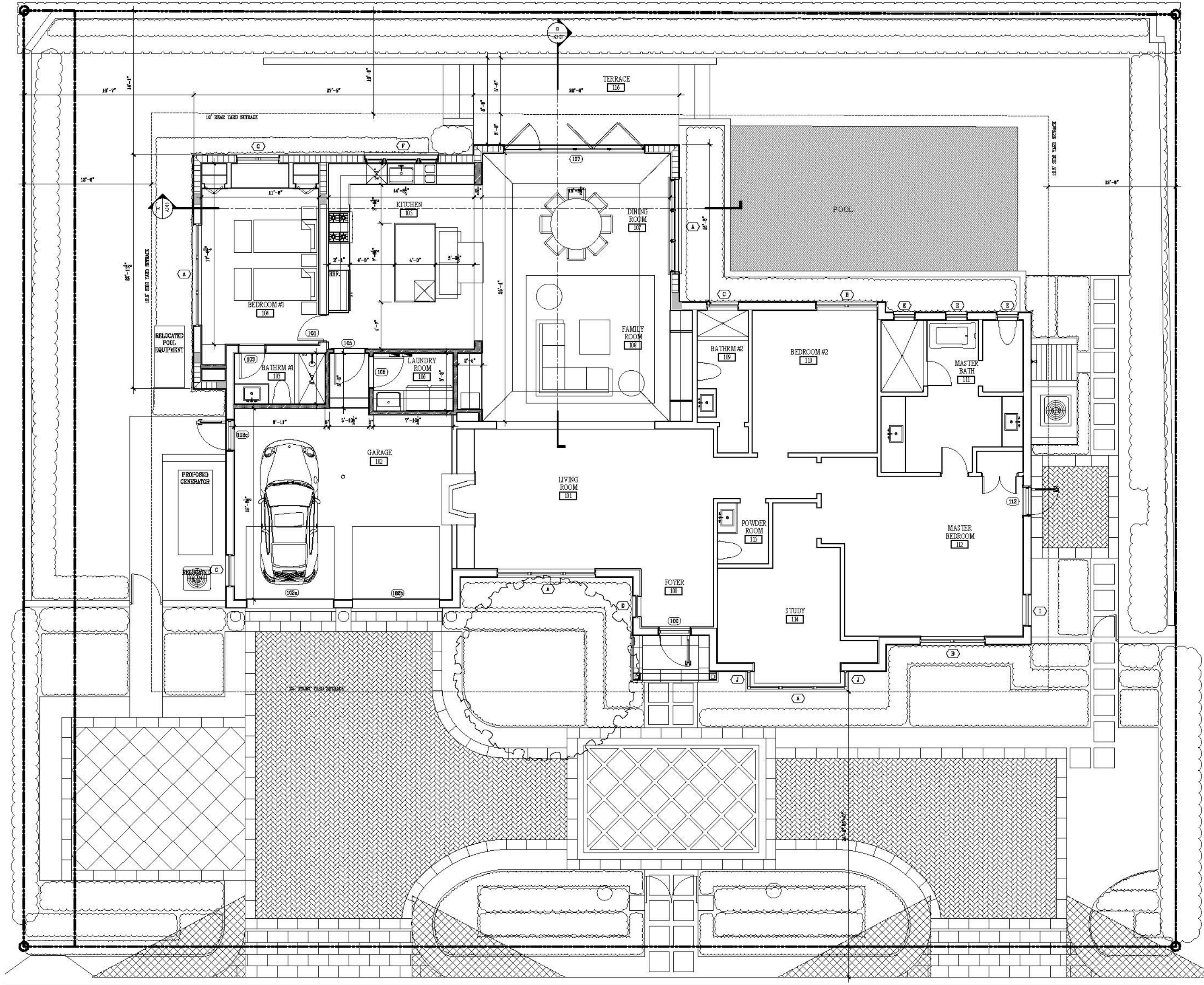


EXISTING 1ST FLOOR PLAN

SCALE:

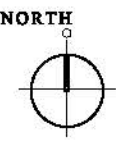


1/8" = 1'-0"



PROPOSED 1st FLOOR PLAN

SCALE:



1/8" = 1'-0"

EXISTING HOUSE RENOVATION
233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

Rafael A. Rodriguez

LIC Number AR0016608

REVISIONS

DATE:
05.31.2022

A1.03

StudioSR
Architecture + Design

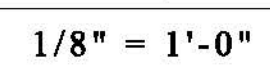
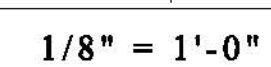
License Number AA26003104
44 Coconut Row, Suite T-6 Palm Beach, FL 33480
561.659.3616

StudioSR
Architecture+Design

EXISTING HOUSE RENOVATION
233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

LIC Number AR0016608

A1.04



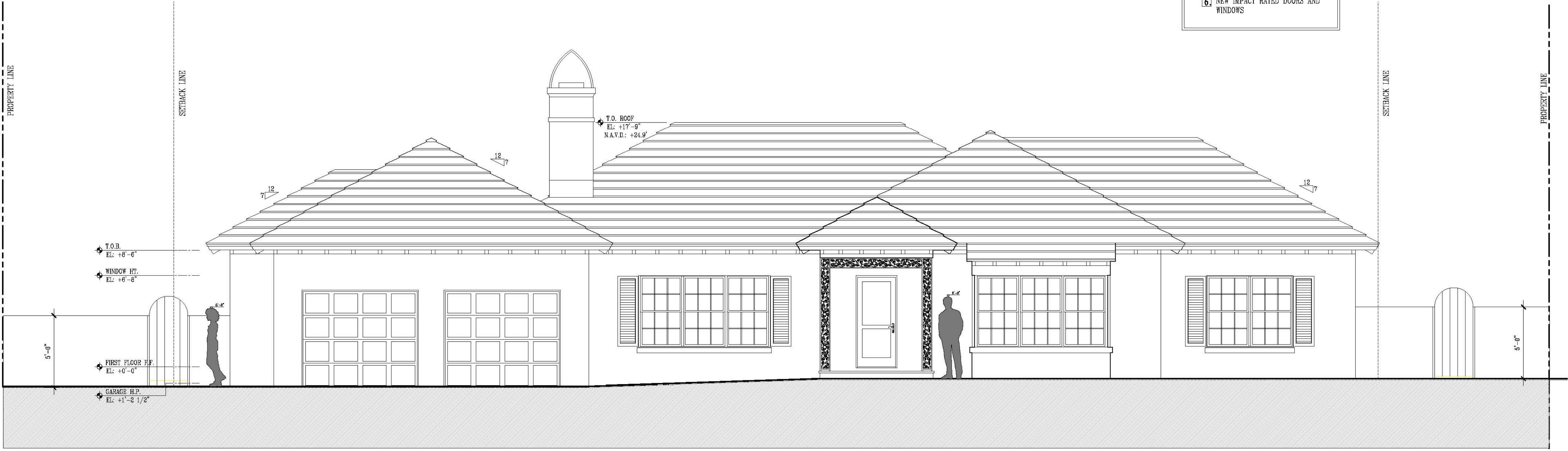
StudioSR
Architecture+Design
License Number AA26003104

233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

A2.00



MATERIAL LEGEND	
1	SMOOTH STUCCO FIN.
2	FLAT CONCRETE TILE ROOF W/ MITER JOINTS
3	DECORATIVE ALUM. SHUTTER
4	CAST STONE SILL
5	NEW WOOD LOUVERED GARAGE DOOR
6	NEW IMPACT RATED DOORS AND WINDOWS



A
A2.01
EXISTING SOUTH ELEVATION
SCALE:

1/4" = 1'-0"



B
A2.01
PROPOSED SOUTH ELEVATION
SCALE:

1/4" = 1'-0"

ARC: 22-115
ZON: 22-125

StudioSR

Architecture+Design

License Number AA26003104
44 Coconut Row, Suite T-6 Palm Beach, FL 33480 561.659.3616

EXISTING HOUSE RENOVATION

233 BAHAMA LANE, PALM BEACH
FLORIDA, 33480

Rafael A. Rodriguez

LIC Number AR0016608

REVISIONS

DATE:
05.31.2022

A2.02



A
A2.00
EXISTING NORTH ELEVATION
SCALE:

1/4" = 1'-0"

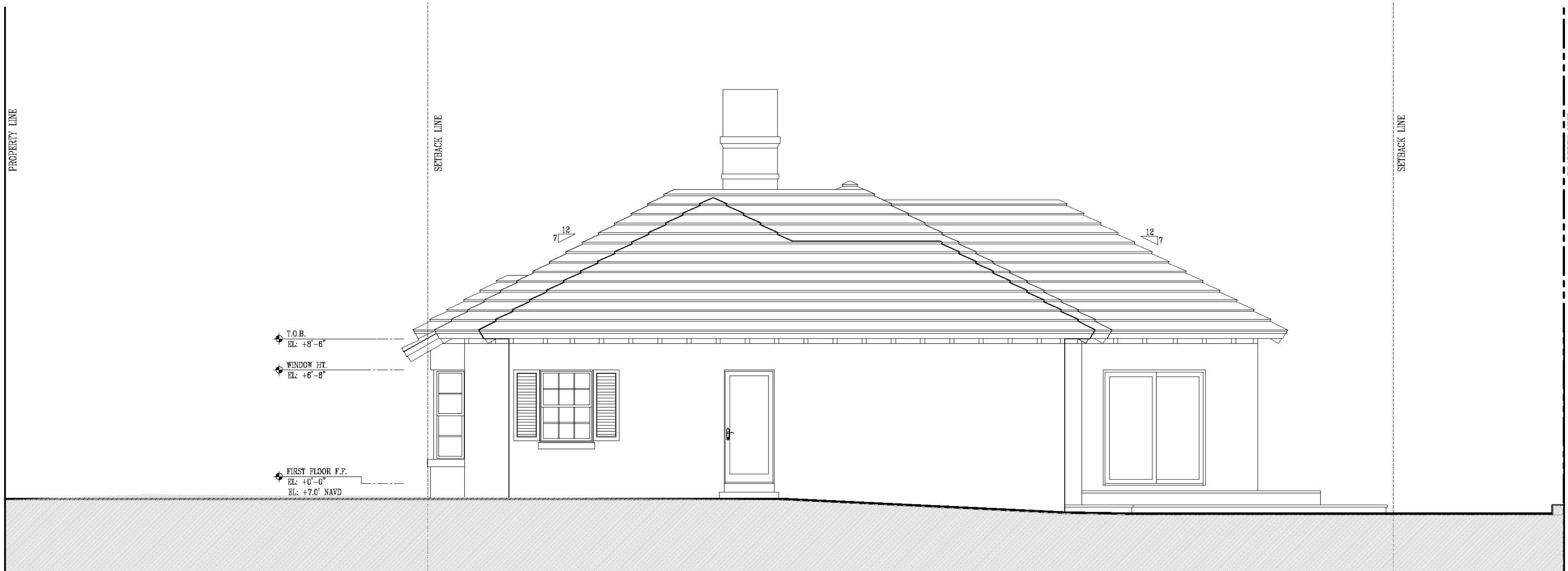
MATERIAL LEGEND	
1	SMOOTH STUCCO FIN.
2	FLAT CONCRETE TILE ROOF W/ MITER JOINTS
3	DECORATIVE ALUM. SHUTTER
4	CAST STONE SILL
5	NEW WOOD LOUVERED GARAGE DOOR
6	NEW IMPACT RATED DOORS AND WINDOWS



B
A2.00
PROPOSED NORTH ELEVATION
SCALE:

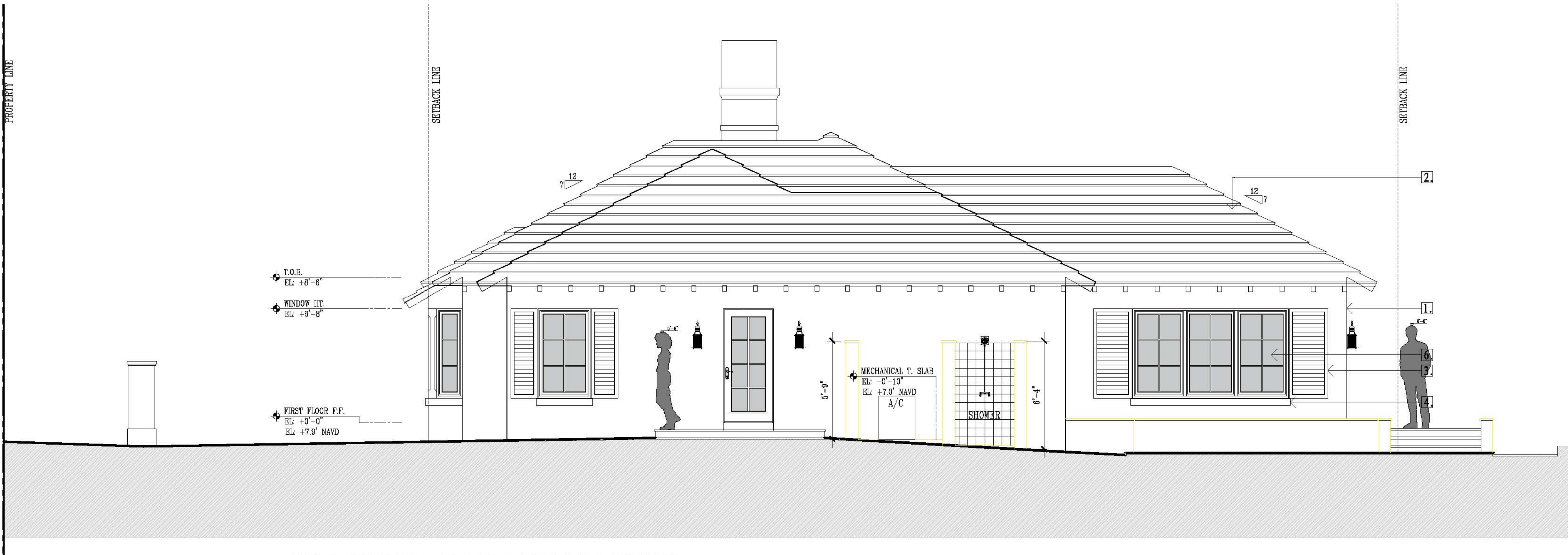
1/4" = 1'-0"

ARC: 22-115
ZON: 22-125



EXISTING EAST ELEVATION
SCALE:

1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE:

1/4" = 1'-0"

MATERIAL LEGEND	
1.	SMOOTH STUCCO FIN.
2.	FLAT CONCRETE TILE ROOF W/ MITER JOINTS
3.	DECORATIVE ALUM. SHUTTER
4.	CAST STONE SILL
5.	NEW WOOD LOUVERED GARAGE DOOR
6.	NEW IMPACT RATED DOORS AND WINDOWS