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SKA Architect + Planner
249 Peruvian Avenue, Suite F-2
Palm Beach, Florida 33480
(561) 655-1116 office
(561) 832-7828 facsimile
www.skaarchitect.com

WHITE BIRCH FARM, INC
1820 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA 33480
CABANA ADDITION

LANDMARKS
COA-22-017
APRIL 20, 2022

TOWN COUNCIL
ZON-22-060
MAY 11, 2022

SKA ARCHITECT + PLANNER
PATRICK W. SEGRAVES, A.I.A.
DANIEL A. CLAVIJO, ASSOCIATE A.I.A.

JOSEPH DIRAND ARCHITECTURE
MADISON COX ASSOCIATES - LANDSCAPE

MODIFICATION TO A REAR BALCONY ON AN EXISTING GUESTHOUSE; THE GROUND LEVEL IS A SCREENED LOGGIA WHICH WILL BE MODIFIED TO A CANTILEVERED BALCONY SIMILAR TO OTHER ARCHITECTURAL FEATURES OF THE PROPERTY. A NEW 250 SQ.FT. BEACH CABANA IS ALSO PROPOSED.

A. SECTION 134-840; SECTION 134-1472 : REQUEST A SPECIAL EXCEPTION WITH SITE PLAN REVIEW TO ALLOW CONSTRUCTION OF A 250 SQUARE FOOT BEACH CABANA IN THE R-A/B-A ZONING DISTRICT

B. VARIANCE 1: SECTION 134-1474: TO ALLOW THE BEACH CABANA TO HAVE A WEST SETBACK OF 6 FEET FROM THE PROPERTY LINE IN LIEU OF THE 10 FOOT MINIMUM REQUIRED.

C. VARIANCE 2: SECTION 134-1702: TO ALLOW BEACH CABANA TO HAVE A SETBACK OF 33.17 FEET FROM THE DESIGNATED OCEAN BULKHEAD LINE ESTABLISHED IN CHAPTER 62 IN LIEU OF THE 150 FOOT MINIMUM REQUIRED.

RECEIVED
By elyn at 8:59 am, Mar 22, 2022

FINAL SUBMITTAL
2-28-22



CONSULTANT:

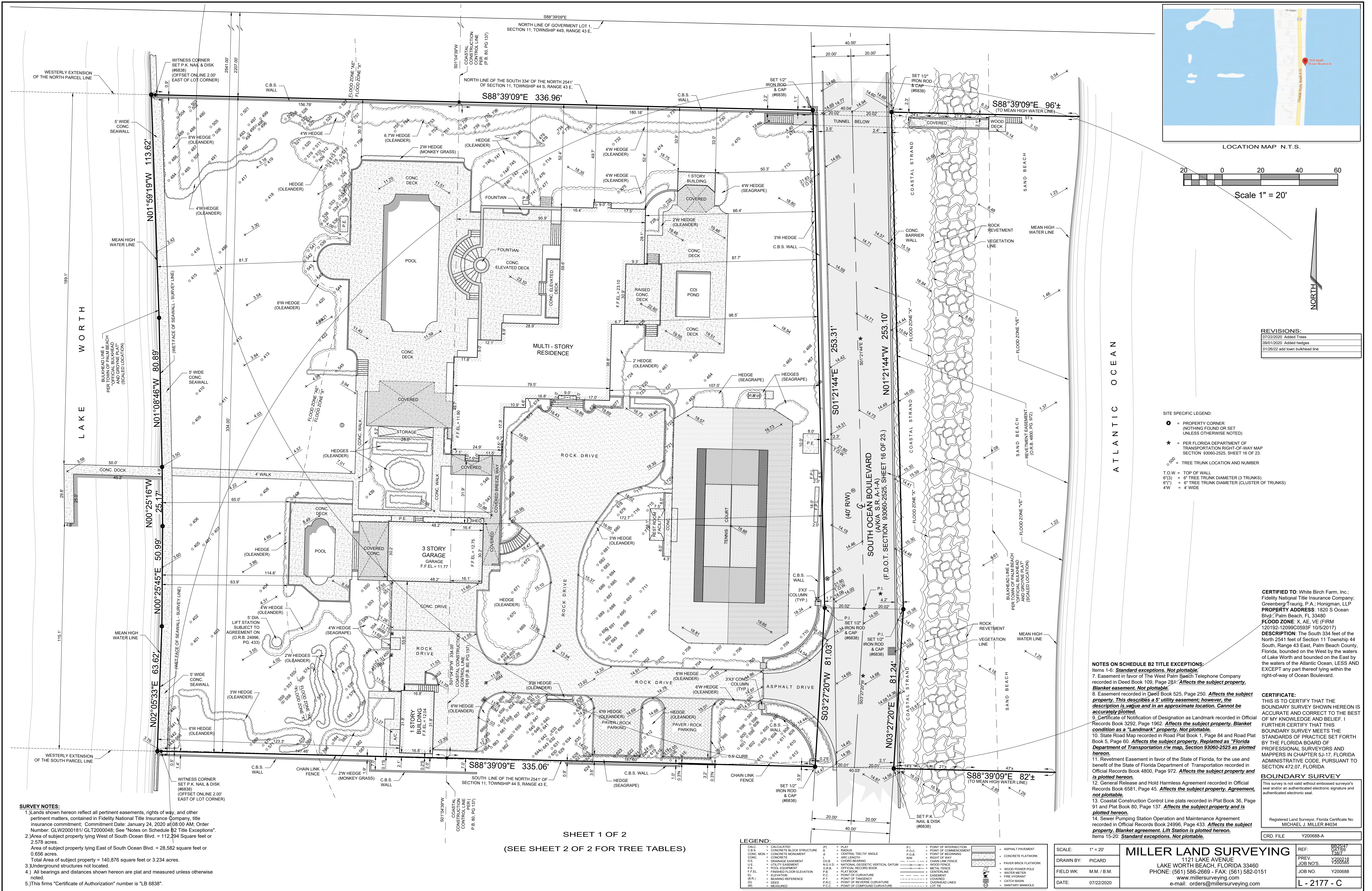
PROPOSED RENOVATION FOR:
WHITE BIRCH FARM, INC
1820 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA 33480

A.A. #001345
A.R. #10,181

REVISIONS:

SHEET NUMBER:
1

ISSUE DATE: 02-28-22
JOB # COA-22-017 ZON-22-060



SURVEY NOTES:

1. Lands shown hereon reflect all pertinent easements, rights of way, and other pertinent matters, contained in Fidelity National Title Insurance Company, title insurance commitment; Commitment Date: January 24, 2020 at 08:00 AM; Order Number: GLW2000181/ GLT2000048; See "Notes on Schedule B2 Title Exceptions".
2. Area of subject property lying West of South Ocean Blvd. = 112,294 Square feet or 2.578 acres.
3. Area of subject property lying East of South Ocean Blvd. = 28,582 square feet or 0.656 acres.
4. All bearings and distances shown hereon are plat and measured unless otherwise noted.
5. This firm's "Certificate of Authorization" number is "LB 6838".

SHEET 1 OF 2
(SEE SHEET 2 OF 2 FOR TREE TABLES)

CLC	CONCRETE BLOCK STRUCTURE	PL	POINT OF INTERSECTION	ASPHALT PAVEMENT
C.B.S.	CONCRETE BLOCK STRUCTURE	R	RADIUS	CONCRETE PAVEMENT
CONC.	CONCRETE	P.O.B.	POINT OF BEGINNING	PAVER BRICK PAVEMENT
CH.B.	CHAIN LINK FENCE	R.W.	RIGHT OF WAY	WOOD POWER POLE
D.E.	DRAINAGE EASEMENT	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	WATER METER
U.E.	UTILITY EASEMENT	O.B.	OFFICIAL BOUNDARY	FIRE HYDRANT
P.F.	PAVED FLOOR ELEVATION	P.C.	POINT OF CURVATURE	CATCH BASIN
EL	ELEVATION	P.R.C.	POINT OF REVERSE CURVATURE	SANITARY MANHOLE
(D)	DEED	P.C.C.	POINT OF COMPOUND CURVATURE	
M	MEASURED			

SCALE: 1" = 20'
DRAWN BY: PICARD
FIELD WK: M.M. / B.M.
DATE: 07/22/2020

MILLER LAND SURVEYING
1121 LAKE AVENUE
LAKE WORTH BEACH, FLORIDA 33460
PHONE: (561) 586-2669 - FAX: (561) 582-0151
www.millersurveying.com
e-mail: orders@millersurveying.com

REF: B92547
JOB NO. Y200218
JOB NO. Y200688
L - 2177 - C

07/22/2020	Added Trees
09/01/2020	Added hedges
01/26/22	add town bulkhead line

REVISIONS:

SITE SPECIFIC LEGEND:

- = PROPERTY CORNER (NOTHING FOUND OR SET UNLESS OTHERWISE NOTED)
- ★ = PER FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP SECTION 93060-2525, SHEET 16 OF 23.
- 000 = TREE TRUNK LOCATION AND NUMBER
- T.O.W. = TOP OF WALL
- 6"(3) = 6" TREE TRUNK DIAMETER (3 TRUNKS)
- 6"(1) = 6" TREE TRUNK DIAMETER (CLUSTER OF TRUNKS)
- 4"W = 4" WIDE

NOTES ON SCHEDULE B2 TITLE EXCEPTIONS:

Items 1-6: **Standard exceptions. Not plottable.**

7. Easement in favor of The West Palm Beach Telephone Company recorded in Deed Book 109, Page 281. **Affects the subject property. Blanket easement. Not plottable.**

8. Easement recorded in Deed Book 525, Page 250. **Affects the subject property. This describes a 5' utility easement; however, the description is vague and in an approximate location. Cannot be accurately plotted.**

9. Certificate of Notification of Designation as Landmark recorded in Official Records Book 3292, Page 1962. **Affects the subject property. Blanket condition as a "Landmark" property. Not plottable.**

10. State Road Map recorded in Road Plat Book 1, Page 84 and Road Plat Book 5, Page 60. **Affects the subject property. Replotted as "Florida Department of Transportation r/w map, Section 93060-2525 as plotted hereon.**

11. Revestment Easement in favor of the State of Florida, for the use and benefit of the State of Florida Department of Transportation recorded in Official Records Book 4800, Page 972. **Affects the subject property and is plotted hereon.**

12. General Release and Hold Harmless Agreement recorded in Official Records Book 6581, Page 45. **Affects the subject property. Agreement, not plottable.**

13. Coastal Construction Control Line plats recorded in Plat Book 36, Page 91 and Plat Book 80, Page 137. **Affects the subject property and is plotted hereon.**

14. Sewer Pumping Station Operation and Maintenance Agreement recorded in Official Records Book 24996, Page 433. **Affects the subject property. Blanket agreement. Lift Station is plotted hereon.**

Items 15-20: **Standard exceptions. Not plottable.**

CERTIFIED TO: White Birch Farm, Inc.; Fidelity National Title Insurance Company; GreenbergTraurig, P.A.; Honigman, LLP
PROPERTY ADDRESS: 1820 S Ocean Blvd.; Palm Beach, FL 33480
FLOOD ZONE: X, AE, VE (FIRM 120192-120990559F 10/5/2017)
DESCRIPTION: The South 334 feet of the North 2541 feet of Section 11 Township 44 South, Range 43 East, Palm Beach County, Florida, bounded on the West by the waters of Lake Worth and bounded on the East by the waters of the Atlantic Ocean, LESS AND EXCEPT any part thereof lying within the right-of-way of Ocean Boulevard.

CERTIFICATE:
THIS IS TO CERTIFY THAT THE BOUNDARY SURVEY SHOWN HEREON IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.07, FLORIDA

BOUNDARY SURVEY
This survey is not valid without embossed surveyor's seal and/or an authorized electronic signature and authenticated electronic seal.
Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034
CRD. FILE Y200688-A



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:			
2	Zoning District:			
3	Structure Type:			
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)			
6	Lot Depth			
7	Lot Width			
8	Lot Coverage (Sq Ft and %)			
9	*Front Yard Setback (Ft.)			
10	* Side Yard Setback (1st Story) (Ft.)			
11	* Side Yard Setback (2nd Story) (Ft.)			
12	*Rear Yard Setback (Ft.)			
13	Angle of Vision (Deg.)			
14	Building Height (Ft.)			
15	Overall Building Height (Ft.)			
16	Crown of Road (COR) (NAVD)			
17	Max. Amount of Fill Added to Site (Ft.)			
18	Finished Floor Elev. (FFE)(NAVD)			
19	Zero Datum for point of meas. (NAVD)			
20	FEMA Flood Zone Designation			
21	Base Flood Elevation (BFE)(NAVD)			
22	Landscape Open Space (LOS) (Sq Ft and %)			
23	Perimeter LOS (Sq Ft and %)			
24	Front Yard LOS (Sq Ft and %)			
25	**Native Plant Species %			

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

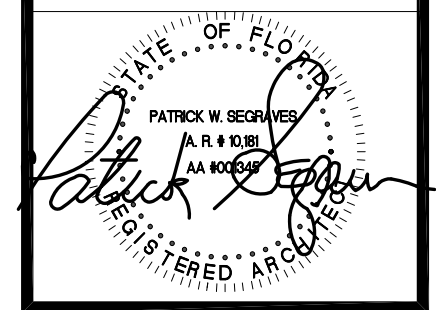


1820 S Ocean Blvd,
Palm Beach, FL 33480

CONSULTANT:

PROPOSED RENOVATION FOR:
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PALM BEACH, FLORIDA 33480

A.A. #001345
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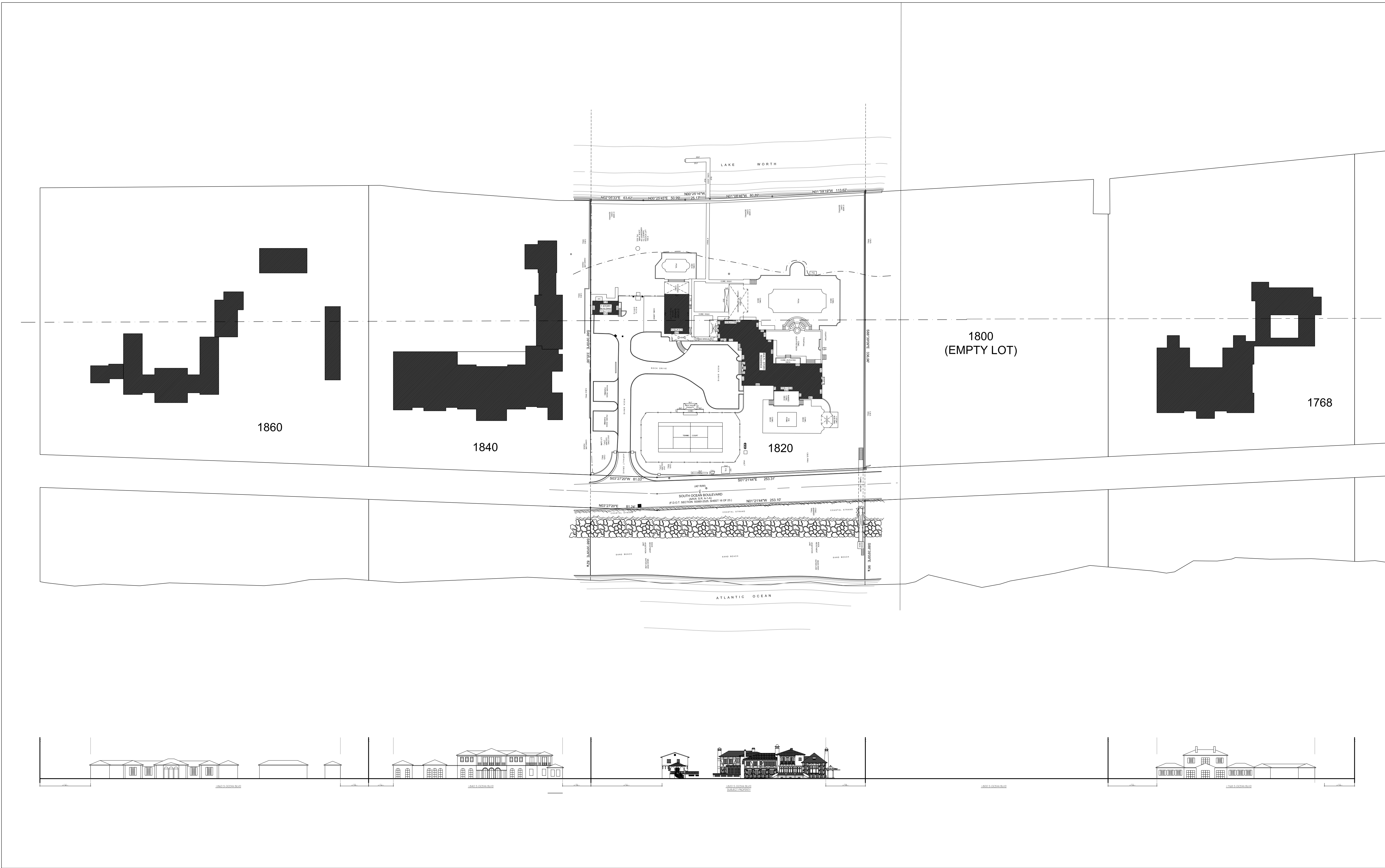
REVISIONS:



SHEET NUMBER:

5

ISSUE DATE: 02-28-22
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ZON-22-060







HISTORIC IMAGES



VIEWS ALONG S. OCEAN BLVD



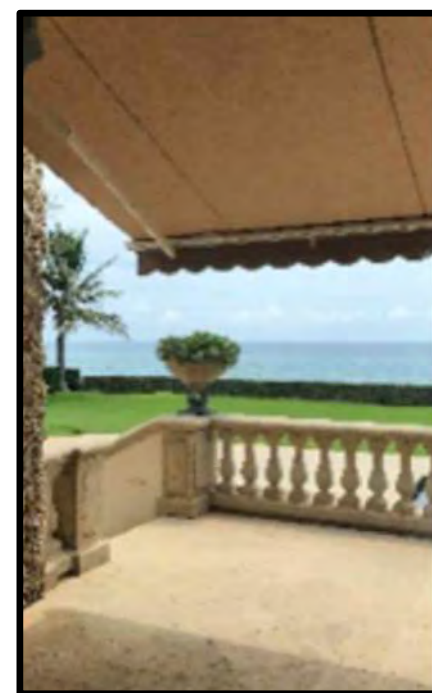
ENTRY SERVICE & DRIVE



ENTRY COURT



EAST TERRACE



VIEWS OF EAST TERRACE



1820 S. Ocean Blvd
Palm Beach, FL
LPC: COA-037-2021

GARDEN 26
134 West 26th Street - # 1110
NEW YORK, NEW YORK 10001
212-240-4631 FAX 212 807-8081

DRAWING TITLE
EXISTING CONDITION IMAGES

DATE
02/08/21
SCALE
NTS
REVISION
06/17/21
DRAWING NO.
L0.00



WEST TERRACE



POOL TERRACE



ROSE GARDEN



GUEST HOUSE TERRACE



WEST VIEWS



1820 S. Ocean Blvd
Palm Beach, FL
LPC: COA-037-2021

GARDEN 26

134 West 26th Street - # 1110 -
NEW YORK, NEW YORK 10001
212-242-4631 FAX 212 807-8081

DRAWING TITLE

EXISTING CONDITION IMAGES

DATE

02/08/21

REVISION

06/17/21

SCALE

NTS

DRAWING NO.

L0.01

COLLADO HUECO

1820 SOUTH OCEAN BOULEVARD, PALM BEACH



JOSEPHDIRANDARCHITECTURE

51, RUE SAINT GEORGES – 75009 PARIS - PHONE : +33 1 44 69 04 80 - FAX : +33 1 45 74 13 21 - WWW.JOSEPHDIRAND.COM

