

RECEIVED

By elyn at 8:02 am, Mar 17, 2022

# 223 SUNSET HOLDINGS, LLC 2ND FLOOR INTERIOR RENOVATION

223 SUNSET AVE.  
PALM BEACH, FLORIDA 33480

TOWN OF PALM BEACH  
DEVELOPMENT REVIEW COMMITTEE MEETING  
FINAL SUBMITTAL  
DATE OF TOWN COUNCIL MEETING: MAY 11, 2022  
ZON-22-051

## GENERAL NOTES

### SCOPE SUMMARY:

CONSTRUCTION WORK RELATED TO RENOVATIONS AS OUTLINED HEREIN AND IN THE FOLLOWING DRAWING SET, INCLUDING BUT NOT LIMITED TO:

- RENOVATIONS TO NON-STRUCTURAL INTERIOR WALLS AS REQUIRED TO COMBINE FOUR (4) EXISTING OFFICE SPACES INTO ONE (1) OFFICE SPACE ON THE SECOND FLOOR OF AN EXISTING OFFICE / COMMERCIAL BUILDING.
- INTERIOR CABINETRY & MILLWORK MODIFICATIONS.
- REPLACEMENT OF FLOORING.
- REPLACEMENT / RELOCATION OF INTERIOR RECESSED LIGHT FIXTURES AND ASSOCIATED ELECTRICAL WORK
- REPLACEMENT / RELOCATION OF EXISTING PLUMBING FIXTURES AND ASSOCIATED PLUMBING WORK.
- REPLACEMENT / RELOCATION OF EXISTING HVAC SYSTEMS AND DUCTWORK AS REQUIRED TO ACCOMMODATE THE RENOVATION.

THERE IS NO PROPOSED CHANGE TO THE EXISTING BUILDING FOOTPRINT, TOTAL BUILDING AREA, SETBACKS, OR BUILDING HEIGHT AS A PART OF THIS APPLICATION.

THERE ARE NO PROPOSED MODIFICATIONS TO THE LOWER LEVEL, GROUND FLOOR OR EXTERIOR AS A PART OF THIS APPLICATION.

### GENERAL NOTES:

- IT IS THE INTENT THAT THE WORK INCLUDED UNDER EACH SECTION OF THE NOTES SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY, INSTALLATION AND/OR ERECTION, WITH ALL INCIDENTALS THERETO; AS SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN, AND/OR AS REQUIRED BY JOB CONDITIONS.
- ALL WORK SHALL CONFORM TO THE MUNICIPALITY'S APPLICABLE BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS AND FIELD CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK AS INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF WORK, SHALL APPLY FOR CERTIFICATE OF OCCUPANCY, AND SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN A CERTIFICATE OF OCCUPANCY.

- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF EACH WORKDAY.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITION THAT IS IN CONFLICT WITH MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS, OR THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- NO SUBSTITUTIONS FOR MATERIALS SPECIFIED HEREIN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS, ONLY USE COMPUTED NUMERICAL DIMENSIONS SHOWN ON THE DRAWINGS.

### DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- ALL EXISTING FLOORING TO BE REMOVED.
- EXISTING RECESSED LIGHT FIXTURES TO BE REMOVED.
- SELECT INTERIOR DOORS SHALL BE REMOVED.
- ROOM SPECIFIC DEMOLITION NOTES LISTED IN PLAN.
- NO CHANGES TO EXISTING WALLS UNLESS OTHERWISE NOTED IN PLAN.
- A LICENSED ELECTRICIAN SHALL DE-ENERGIZE, LOCK OUT AND DISCONNECT ANY ELECTRICAL SOURCES FOR SYSTEMS NEAR ANY INTERIOR NON-STRUCTURAL DEMOLITION.
- ALL PLUMBING FIXTURES SCHEDULED FOR REMOVAL SHALL BE REMOVED BY A LICENSED PLUMBER. ALL CONNECTIONS SHALL BE PROPERLY CAPPED OR TERMINATED.
- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.

- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

### SMOKE AND CARBON MONOXIDE DETECTION NOTES:

- CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM ANY WALL.
- WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" TO A MAXIMUM OF 12" FROM THE CEILING.


### ELECTRICAL NOTES:

- ALL RECESSED LIGHTING TO BE REPLACED
- ALL SURFACE MOUNTED CEILING AND WALL FIXTURES TO BE EXAMINED AND REPLACED IF REQUIRED.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY.
- ELECTRICIAN SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

### PLUMBING AND DRAINAGE NOTES:

- ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY.
- PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- ALL VALVES TO BE REPLACED TO ENSURE PROPER FUNCTIONAL OPERATION
- DISHWASHER WILL HAVE A LOOP RISING ABOVE FLOOD LEVEL RIM OF SINK OR APPROVED BACKFLOW PREVENTION DEVICE.

## ZONING DATA

|   |  |  |                      |
|---|--|--|----------------------|
| <div><div></div><div><b>Town of Palm Beach</b><br/>Planning Zoning and Building<br/>360 S County Rd<br/>Palm Beach, FL 33480<br/>www.townofpalmbeach.com</div></div> |  |  |                      |
| <b>Zoning Legend</b>  |  |  |                      |
| 1   | Property Address:  | 223 Sunset Avenue, Palm Beach, Florida 33480 |                      |
| 2   | Zoning District:   | C-TS TOWN-SERVING COMMERCIAL                 |                      |
| 3   | Structure Type:  |  |                      |
| 4   |  | Required/Allowed                             | Existing             |
| 5   | Lot Size (sq ft)   | 4,000 SF MIN.                                | 26,100 SF            |
| 6   | Lot Depth  | 90.0' MIN.                                   | 174.0'               |
| 7   | Lot Width  | 30.0' MIN.                                   | 150.0'               |
| 8   | Lot Coverage (Sq Ft and %)   | 70% (18,270 SF) MAX.                         | 47.25% (12,332 SF)   |
| 9   | Enclosed Square Footage (Basement, 1st Fl., 2nd Fl., Accessory Structures, etc.) | 15,000 SF MAX.                               | 21,339 SF (APPROX.)  |
| 10  | Cubic Content Ratio (CCR) (R-B ONLY)   | N/A  | N/A                  |
| 11  | *Front Yard Setback (Ft.)  | 5.0' MAX.                                    | 27.6' (S)            |
| 12  | * Side Yard Setback (1st Story) (Ft.)  | N/A  | N/A                  |
| 13  | * Side Yard Setback (2nd Story) (Ft.)  | 5.0' MAX (SEE ZONING)                        | 24.2' (E), 10.3' (W) |
| 14  | *Rear Yard Setback (Ft.)   | 10.0' MAX. (SEE ZONING)                      | 15.0' (N)            |
| 15  | Angle of Vision (Deg.)   | N/A  | N/A                  |
| 16  | Building Height (Ft.)  | 25.0'  |                      |
| 17  | Overall Building Height (Ft.)  | 30.0'  | 37.3'                |
| 18  | Crown of Road (COR) (NAVD)   | N/A  | N/A                  |
| 19  | Max. Amount of Fill Added to Site (Ft.)  | N/A  | N/A                  |
| 20  | Finished Floor Elev. (FFE)(NAVD)   | 6.0'   | 6.2'                 |
| 21  | Zero Datum for point of meas. (NAVD)   | N/A  | N/A                  |
| 22  | FEMA Flood Zone Designation  | ZONE AE                                      | ZONE AE              |
| 23  | Base Flood Elevation (BFE)(NAVD)   | 6.0'   | 6.2'                 |
| 24  | Landscape Open Space (LOS) (Sq Ft and %)   | N/A  | N/A                  |
| 25  | Perimeter LOS (Sq Ft and %)  | N/A  | N/A                  |
| 26  | Front Yard LOS (Sq Ft and %)   | N/A  | N/A                  |
| 27  | **Native Plant Species %   | N/A  | N/A                  |

\* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

\*\* Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

NOTE: THE ZONING DATA LISTED ABOVE WAS PREPARED USING INFORMATION RECEIVED FROM WALLACE SURVEYING.


## DRAWING LIST - ARCHITECTURAL

|         |   |
|---------|---|
| A-0.01  | COVER SHEET, GENERAL NOTES DRAWING LIST & ZONING DATA |
| A-0.02  | VICINITY LOCATION MAP WITH RADIUS                     |
| A-0.03  | CONTEXTUAL SITE PLAN & STREETSCAPE IMAGES             |
| A-0.04  | EXISTING BUILDING IMAGES                              |
| A-0.05  | TRUCK LOGISTICS PLAN                                  |
| EX-0.00 | EXISTING SITE PLAN                                    |
| EX-1.00 | PARKING GARAGE EXISTING CONDITIONS PLAN               |
| EX-1.01 | FIRST FLOOR PLAN EXISTING CONDITIONS PLAN             |
| EX-1.02 | SECOND FLOOR PLAN EXISTING CONDITIONS & DEMO          |
| A-1.02  | PROPOSED SECOND FLOOR PLAN                            |
| A-2.00  | EXISTING EXTERIOR ELEVATIONS                          |
| A-2.01  | EXISTING EXTERIOR ELEVATIONS                          |
| A-3.00  | GROSS LEASABLE AREA DIAGRAMS                          |
| A-3.01  | OCCUPANT LOAD DIAGRAMS                                |
| S-0.00  | SURVEY DRAWING  |

|     |                             |            |
|-----|-----------------------------|------------|
|     |                             |            |
|     |                             |            |
|     |                             |            |
|     |                             |            |
|     |                             |            |
|     |                             |            |
| 3   | DRC FINAL SUBMITTAL         | 02/28/2022 |
| 2   | TOP8 DRC FIRST SUBMITTAL    | 02/07/2022 |
| 1   | TOP8 DRC PRE-APP SUBMISSION | 01/24/2022 |
| NO. | ISSUE DESCRIPTION           | DATE       |

|          |   |
|----------|---|
| PROJECT: | 223 SUNSET HOLDINGS, LLC<br>2ND FLOOR<br>223 SUNSET AVENUE<br>PALM BEACH, FLORIDA 33480 |
|----------|---|

|              |  |
|--------------|--|
| SHEET TITLE: | COVER SHEET<br>GENERAL NOTES<br>ZONING INFORMATION |
|--------------|--|

|  |   |
|--|---|
| SEAL & SIGNATURE:<br> | PROJECT No.: 2230<br>SCALE:<br>CHK BY:<br>DWG NO.:<br><b>A-0.01</b><br>CAD FILE: PAGE NO: |
|--|---|



MADISON WORTH  
ARCHITECTURE, DPC

485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.355.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242



PROJECT SITE

1 PALM BEACH - LOCATION MAP  
NTS

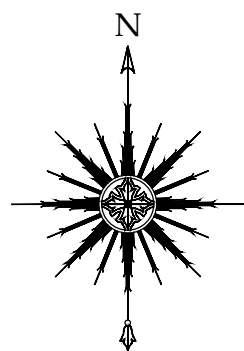
LAKE WORTH LAGOON



PROJECT SITE

1,000' RADIUS

2 VICINITY MAP  
SCALE: 1"=5000'



|     |                             |            |
|-----|-----------------------------|------------|
| 3   | DRC FINAL SUBMITTAL         | 02/28/2022 |
| 2   | TOP8 DRC FIRST SUBMITTAL    | 02/07/2022 |
| 1   | TOP8 DRC PRE-APP SUBMISSION | 01/24/2022 |
| NO. | ISSUE DESCRIPTION           | DATE       |

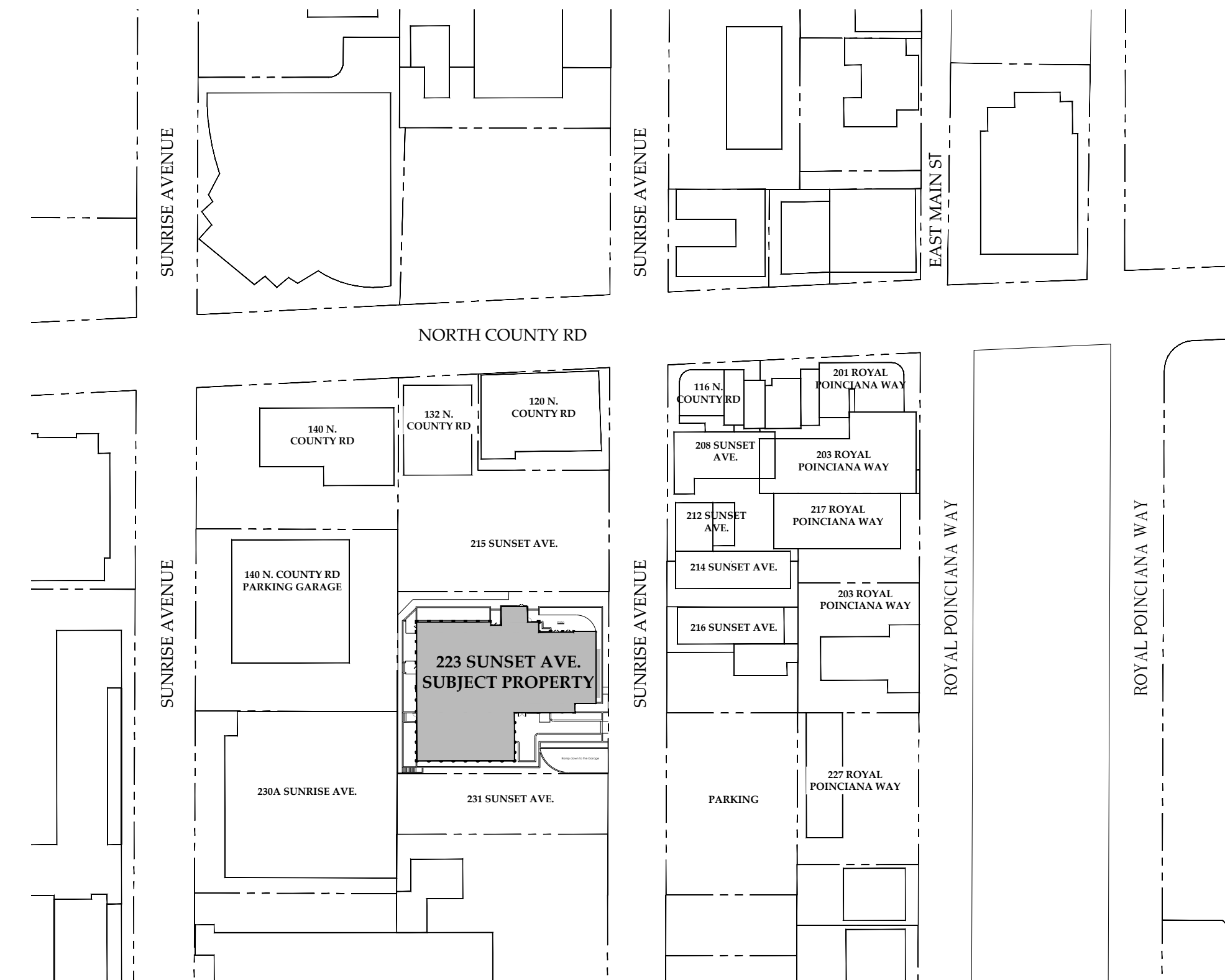
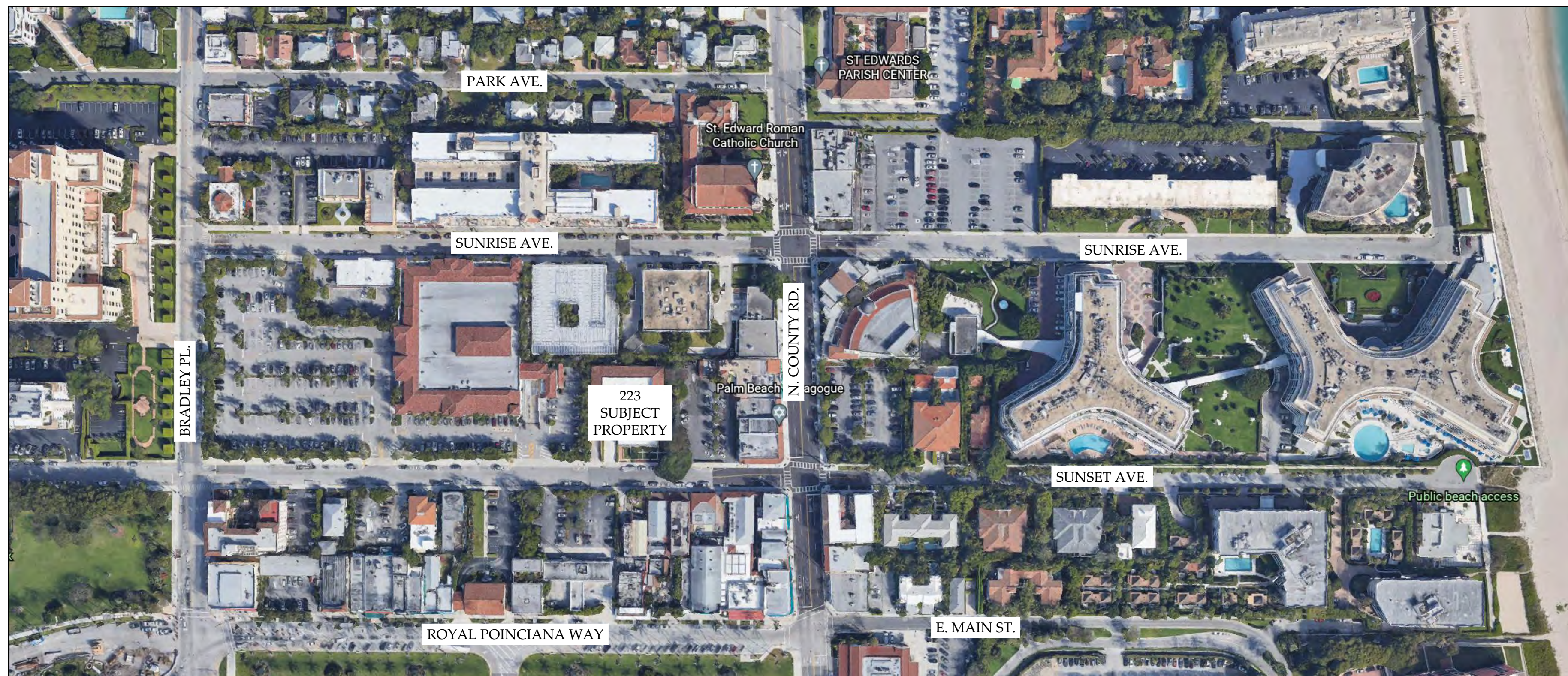
PROJECT:  
223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

SHEET TITLE:  
VICINITY LOCATION MAPS

SEAL & SIGNATURE:

PROJECT No.: 2230  
SCALE:  
CHK BY:  
DWG No.:  
A-0.02  
CAD FILE: PAGE No:





MADISON WORTH  
ARCHITECTURE, DPC


485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.355.3261  
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

|     |                             |            |
|-----|-----------------------------|------------|
|     |                             |            |
|     |                             |            |
|     |                             |            |
|     |                             |            |
| 3   | DRC FINAL SUBMITTAL         | 02/28/2022 |
| 2   | TOPB DRC FIRST SUBMITTAL    | 02/07/2022 |
| 1   | TOPB DRC PRE-APP SUBMISSION | 01/24/2022 |
| NO. | ISSUE DESCRIPTION           | DATE       |

PROJECT: 223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

SHEET TITLE:

CONTEXTUAL SITE PLAN & IMAGES

|   |                   |
|---|-------------------|
| SEAL & SIGNATURE:   | PROJECT No.: 2230 |
|  | SCALE:            |
|   | CHK. BY:          |
|   | DWG. No.:         |
|   | <div>A-0.03</div> |
| CAD FILE:   | PAGE No.:         |