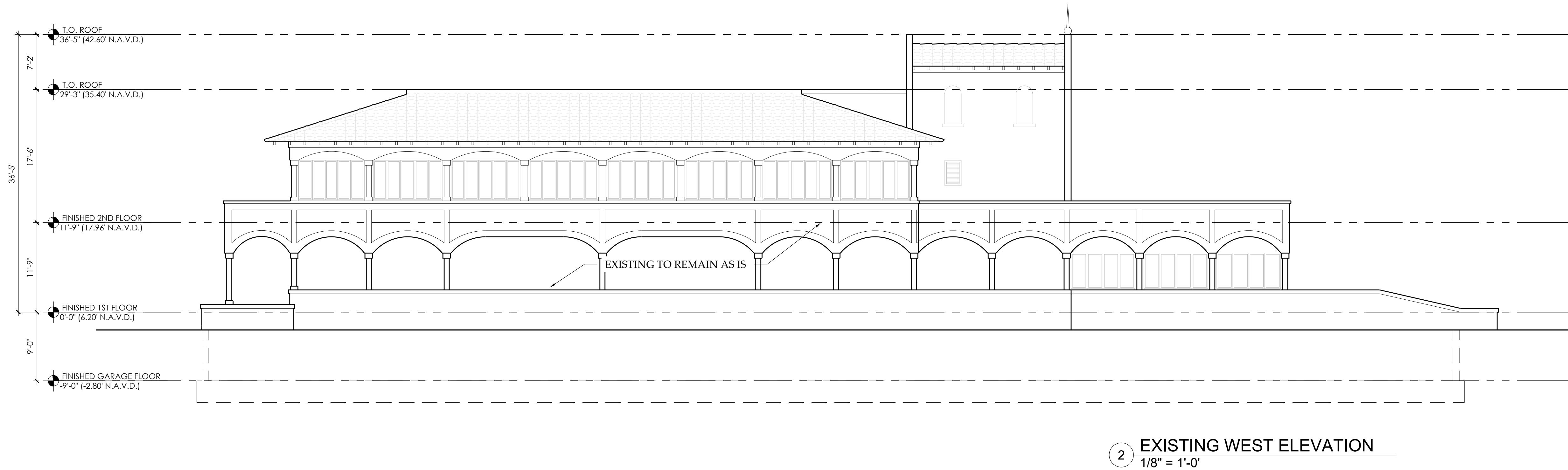



GENERAL NOTE:  
NO CHANGES TO EXTERIOR ELEVATIONS AS A PART OF THIS APPLICATION.  
EXISTING EXTERIOR ELEVATION DRAWINGS, DIMENSIONS, AND FINISHED FLOOR ELEVATIONS INFORMATION IS BASED ON DRAWINGS  
PREPARED BY THE STEEL PARTNERSHIP ARCHITECTS + PLANNER  
DATED: AUGUST 15TH, 1982  
AS PROVIDED BY THE TOWN OF PALM BEACH, FL.

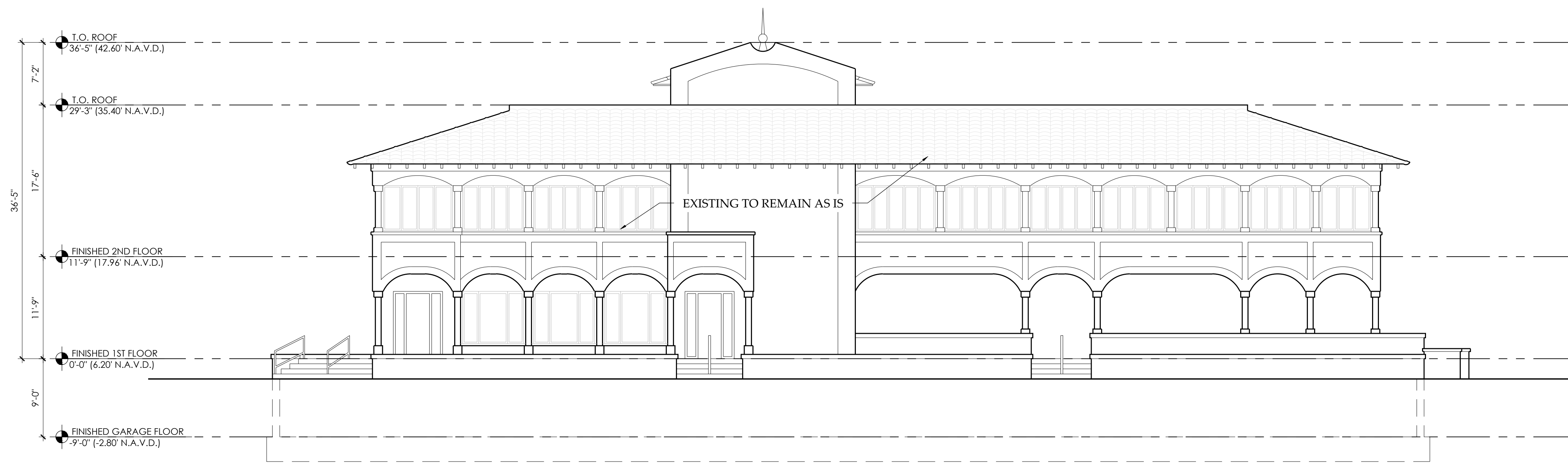


3	DRC FINAL SUBMITTAL	02/28/2022
2	TOP8 DRC FIRST SUBMITTAL	02/07/2022
1	TOP8 DRC PRE-APP SUBMISSION	01/24/2022
NO.	ISSUE DESCRIPTION	DATE

PROJECT: 223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

SHEET TITLE:  
EXISTING ELEVATIONS

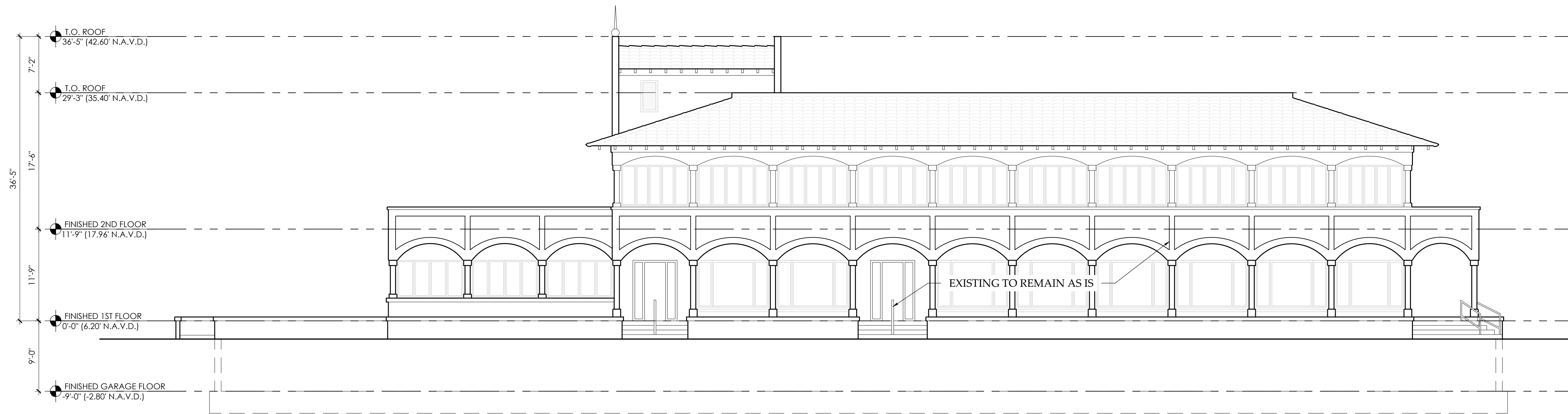
SEAL & SIGNATURE 	PROJECT No.: 2230 SCALE: CHK BY: DWG No.: A-2.00 CAD FILE: PAGE No:
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1 EXISTING NORTH ELEVATION  
1/8" = 1'-0"

GENERAL NOTE:

NO CHANGES TO EXTERIOR ELEVATIONS AS A PART OF THIS APPLICATION.  
EXISTING EXTERIOR ELEVATION DRAWINGS, DIMENSIONS, AND FINISHED FLOOR ELEVATIONS INFORMATION IS BASED ON DRAWINGS  
PREPARED BY THE STEEL PARTNERSHIP ARCHITECTS + PLANNER  
DATED: AUGUST 15TH, 1982  
AS PROVIDED BY THE TOWN OF PALM BEACH, FL.

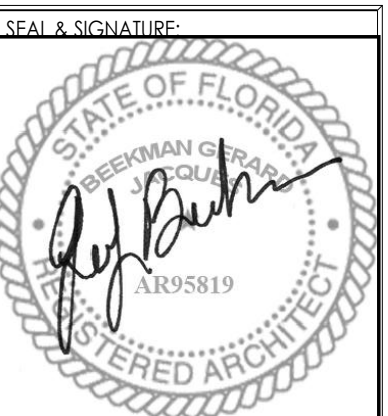


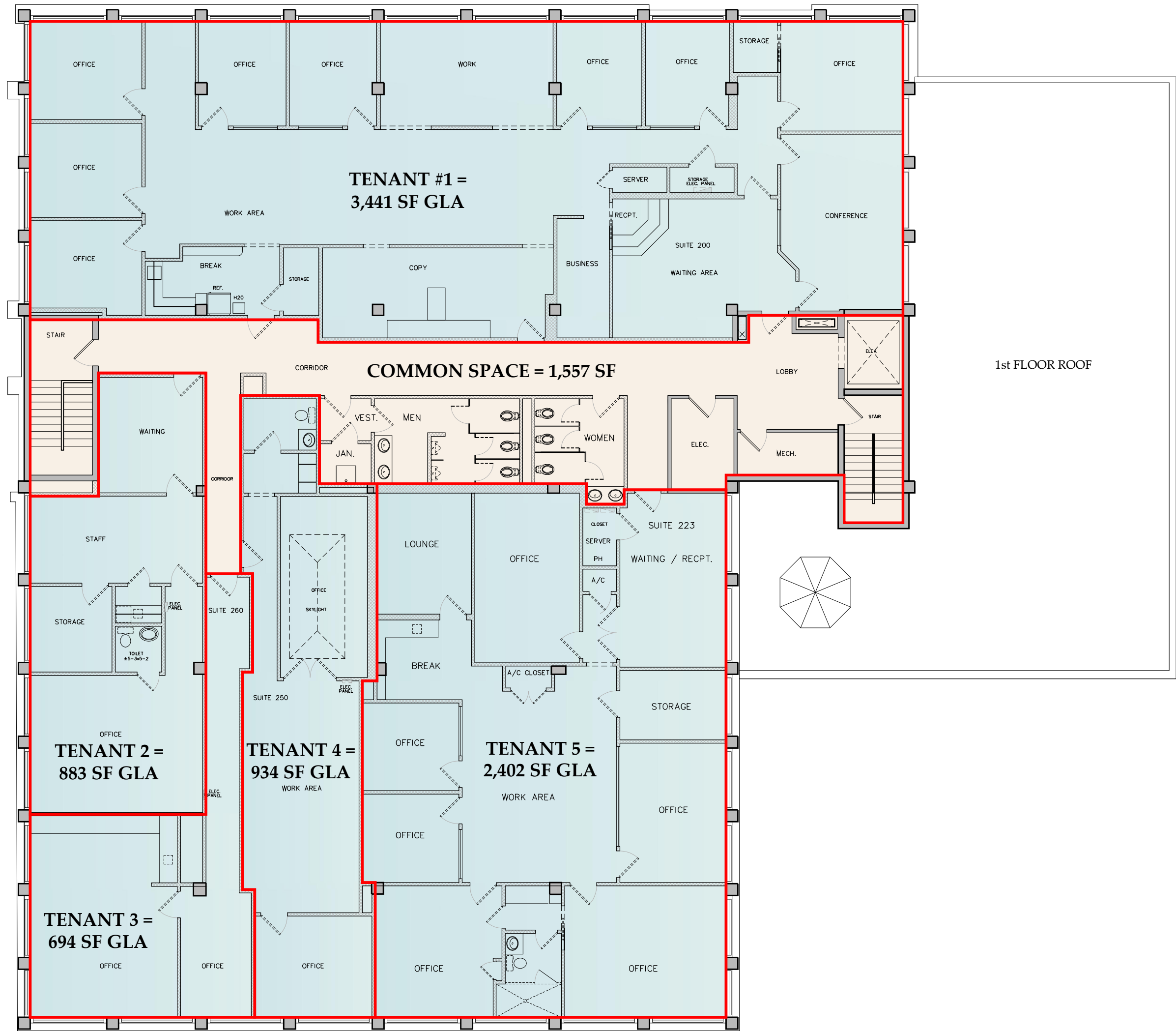
2 EXISTING EAST ELEVATION  
1/8" = 1'-0"

3	DRC FINAL SUBMITTAL	02/28/2022
2	TOP8 DRC FIRST SUBMITTAL	02/07/2022
1	TOP8 DRC PRE-APP SUBMISSION	01/24/2022
NO.	ISSUE DESCRIPTION	DATE

PROJECT: 223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

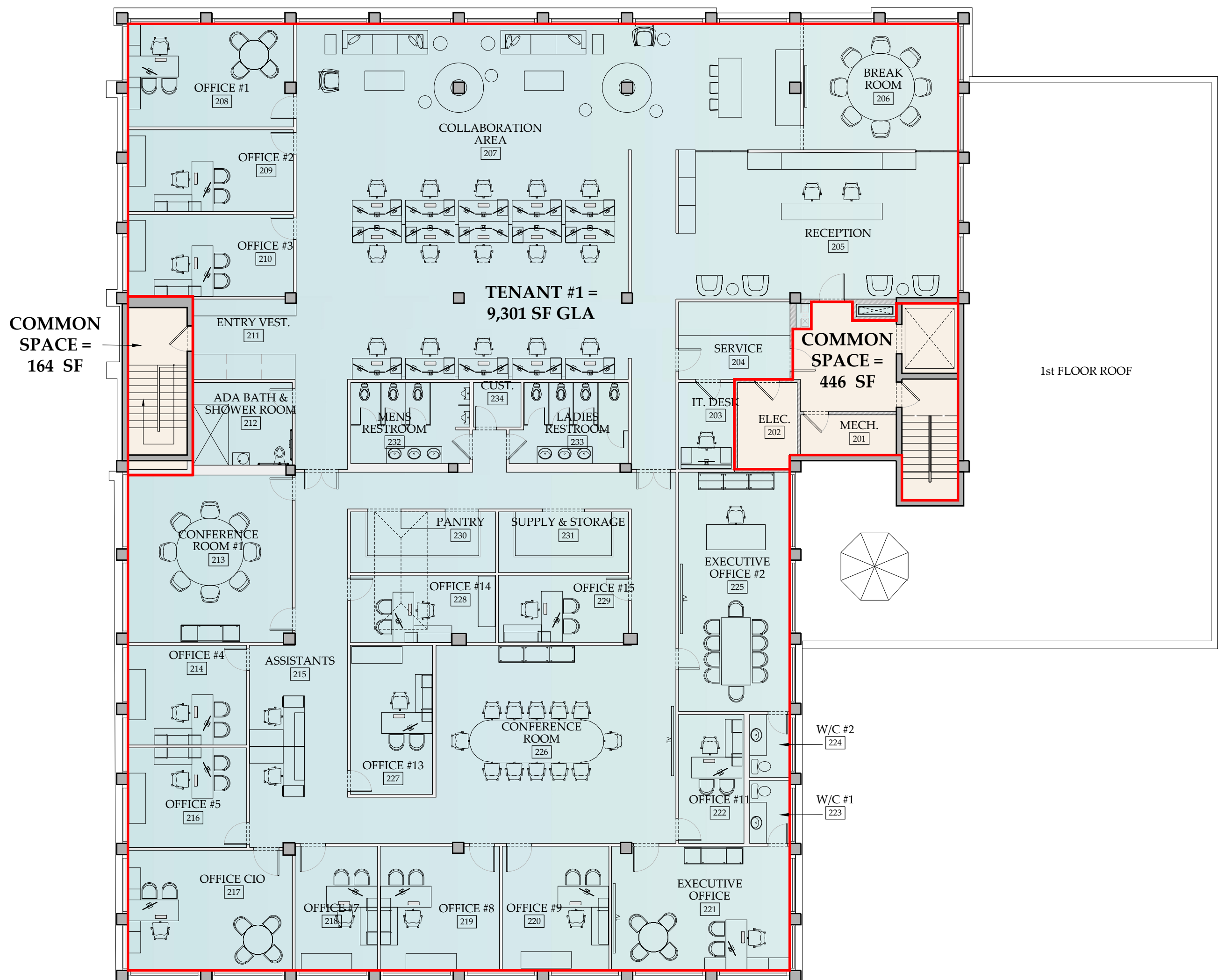
SHEET TITLE:  
EXISTING ELEVATIONS

SEAL & SIGNATURE 	PROJECT No.: 2230 SCALE: CHK BY: DWG No.: A-2.01 CAD FILE: PAGE No:
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1 EXISTING PLAN - GLA CALCULATION  
SCALE: 3/32" = 1'-0"

EXISTING 2 <sup>nd</sup> FLOOR GROSS LEASABLE AREA ("GLA")		
EXISTING COMMON SPACE:		1,557 SF
EXISTING GLA:		8,354 SF
TOTAL SF OF SPACE:		9,911 SF



2 PROPOSED PLAN - GLA CALCULATION  
SCALE: 3/32" = 1'-0"

PROPOSED 2 <sup>nd</sup> FLOOR GROSS LEASABLE AREA ("GLA")		
PROPOSED COMMON SPACE:		610 SF
PROPOSED GLA:		9,301 SF
TOTAL SF OF SPACE:		9,911 SF
DIFFERENCE IN GLA FROM EXISTING LAYOUT		+ 947 SF OF GLA

3	DRC FINAL SUBMITTAL	02/28/2022
2	TOP8 DRC FIRST SUBMITTAL	02/07/2022
1	TOP8 DRC PRE-APP SUBMISSION	01/24/2022
NO.	ISSUE DESCRIPTION	DATE

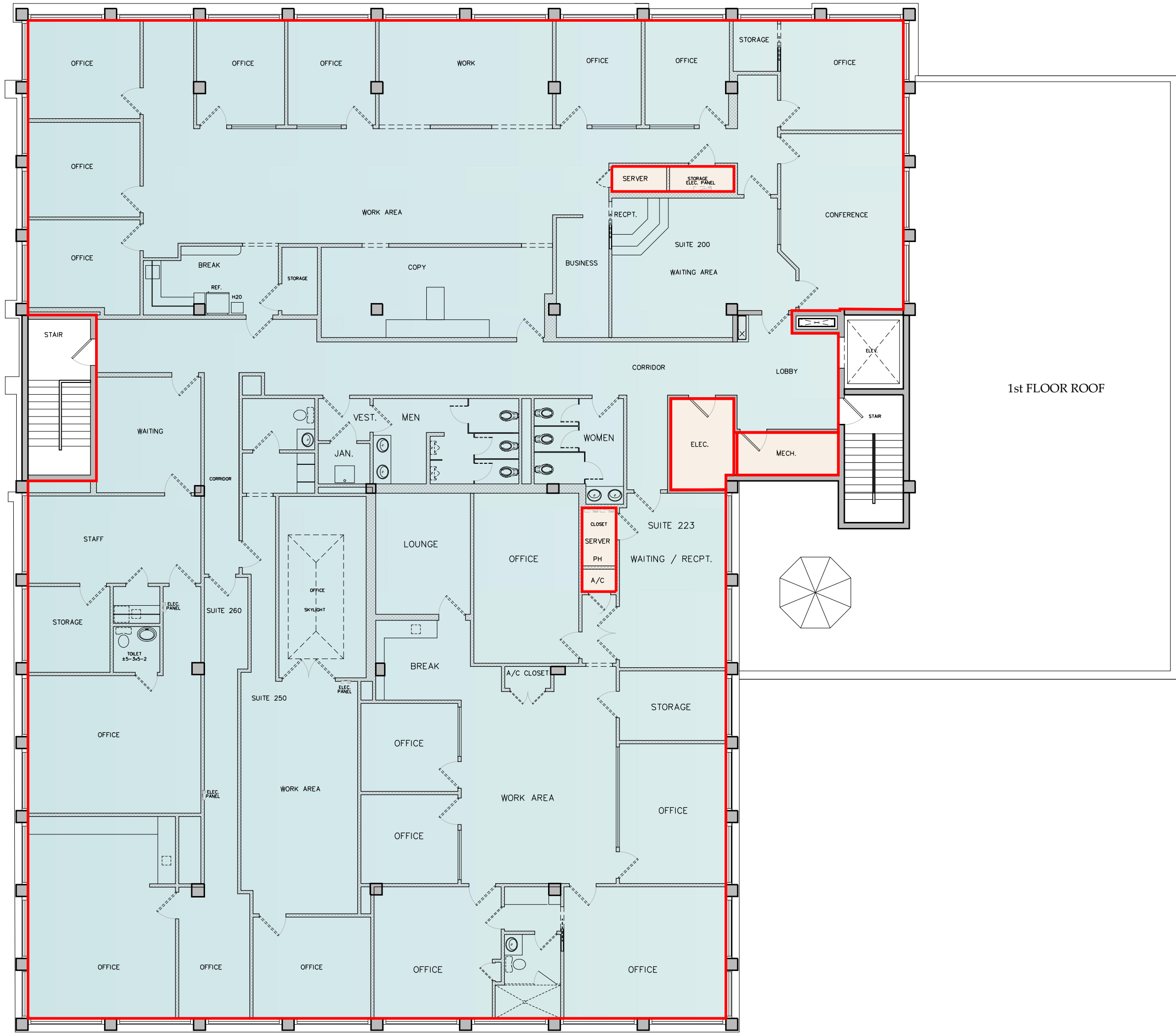
PROJECT: 223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

SHEET TITLE:  
GROSS LEASABLE AREA  
DIAGRAMS

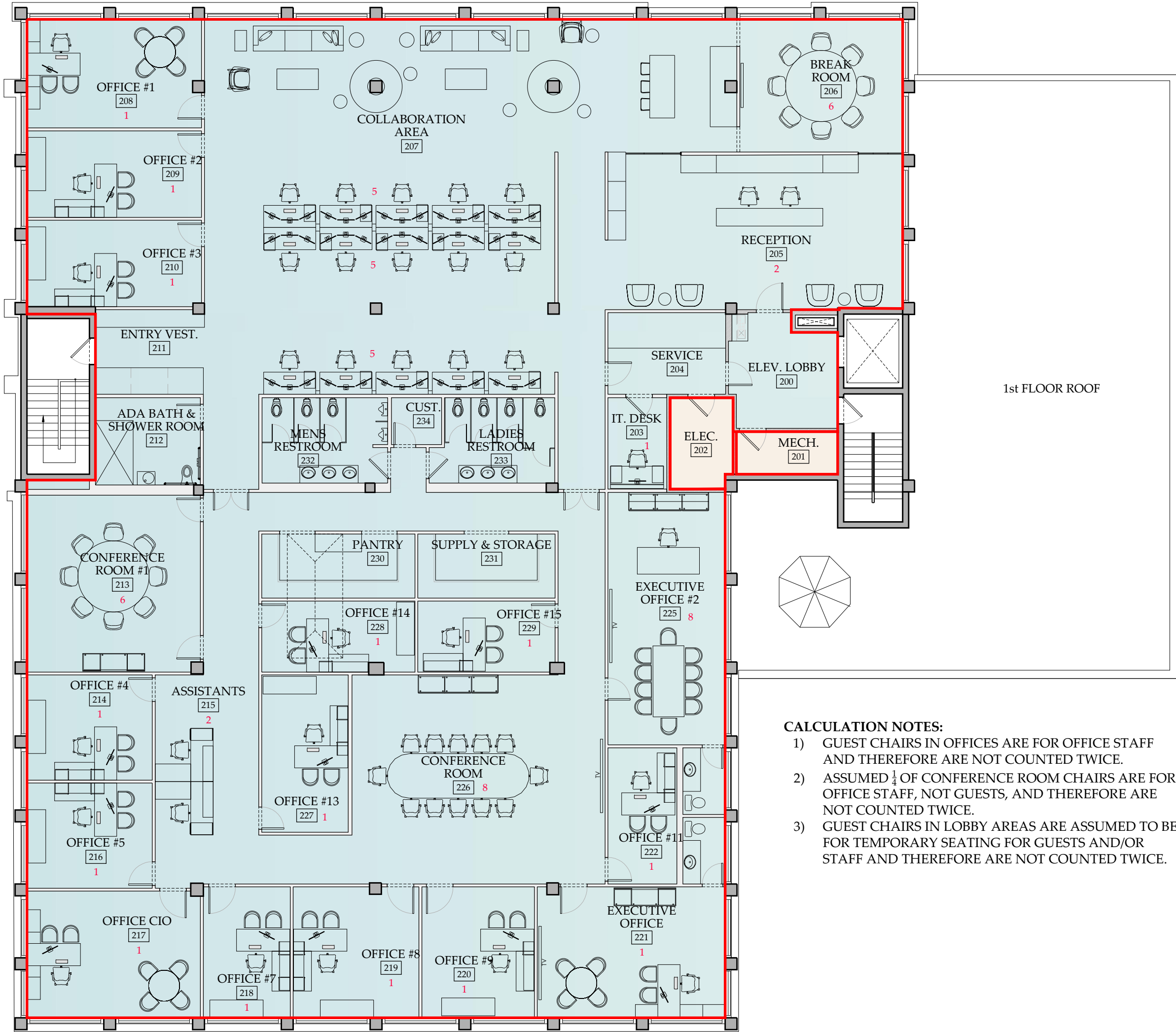
SEAL & SIGNATURE:  
STATE OF FLORIDA  
REGISTERED ARCHITECT  
MADISON WORTH ARCHITECTURE, DPC  
195819

PROJECT No.: 2230  
SCALE:  
CHK BY:  
DWG No.:  
A-3.00  
CAD FILE: PAGE No.:





1 EXISTING PLAN - OCCUPANCY CALCULATION  
SCALE: 3/32" = 1'-0"



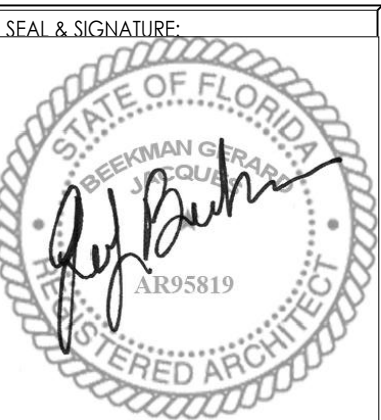
2 PROPOSED PLAN - OCCUPANCY CALCULATION  
SCALE: 3/32" = 1'-0"

- CALCULATION NOTES:
- 1) GUEST CHAIRS IN OFFICES ARE FOR OFFICE STAFF AND THEREFORE ARE NOT COUNTED TWICE.
  - 2) ASSUMED 1/2 OF CONFERENCE ROOM CHAIRS ARE FOR OFFICE STAFF, NOT GUESTS, AND THEREFORE ARE NOT COUNTED TWICE.
  - 3) GUEST CHAIRS IN LOBBY AREAS ARE ASSUMED TO BE FOR TEMPORARY SEATING FOR GUESTS AND/OR STAFF AND THEREFORE ARE NOT COUNTED TWICE.

3	DRC FINAL SUBMITTAL	02/28/2022
2	TOP8 DRC FIRST SUBMITTAL	02/07/2022
1	TOP8 DRC PRE-APP SUBMISSION	01/24/2022
NO.	ISSUE DESCRIPTION	DATE

PROJECT: 223 SUNSET HOLDINGS, LLC  
2ND FLOOR  
223 SUNSET AVENUE  
PALM BEACH, FLORIDA 33480

SHEET TITLE:  
OCCUPANT LOAD DIAGRAMS



PROJECT No.: 2230  
SCALE:  
CHK BY:  
DWG No.:  
A-3.01  
CAD FILE: PAGE No:



TITLE COMMITMENT REVIEW					
CLIENT: 223 Sunset Holdings, LLC, a Delaware limited liability company		COMMITMENT NO. : NCS-1075525-BOS1		DATE: June 7, 2021	
REVIEWED BY: Craig Wallace		JOB NO. : 18-1616.8			
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT MATTER
1-9	N/A	Standard Exceptions			•
10	PB 2, PG 6	Matters shown on the Plat of Map of Floral Park.	•		
11	D.B. 22, PG 118	Easement, granted from John R. Bradley and Kate L. Bradley, to The West Palm Beach Telephone Company.	•		
12	N/A	Standard Exceptions.			•

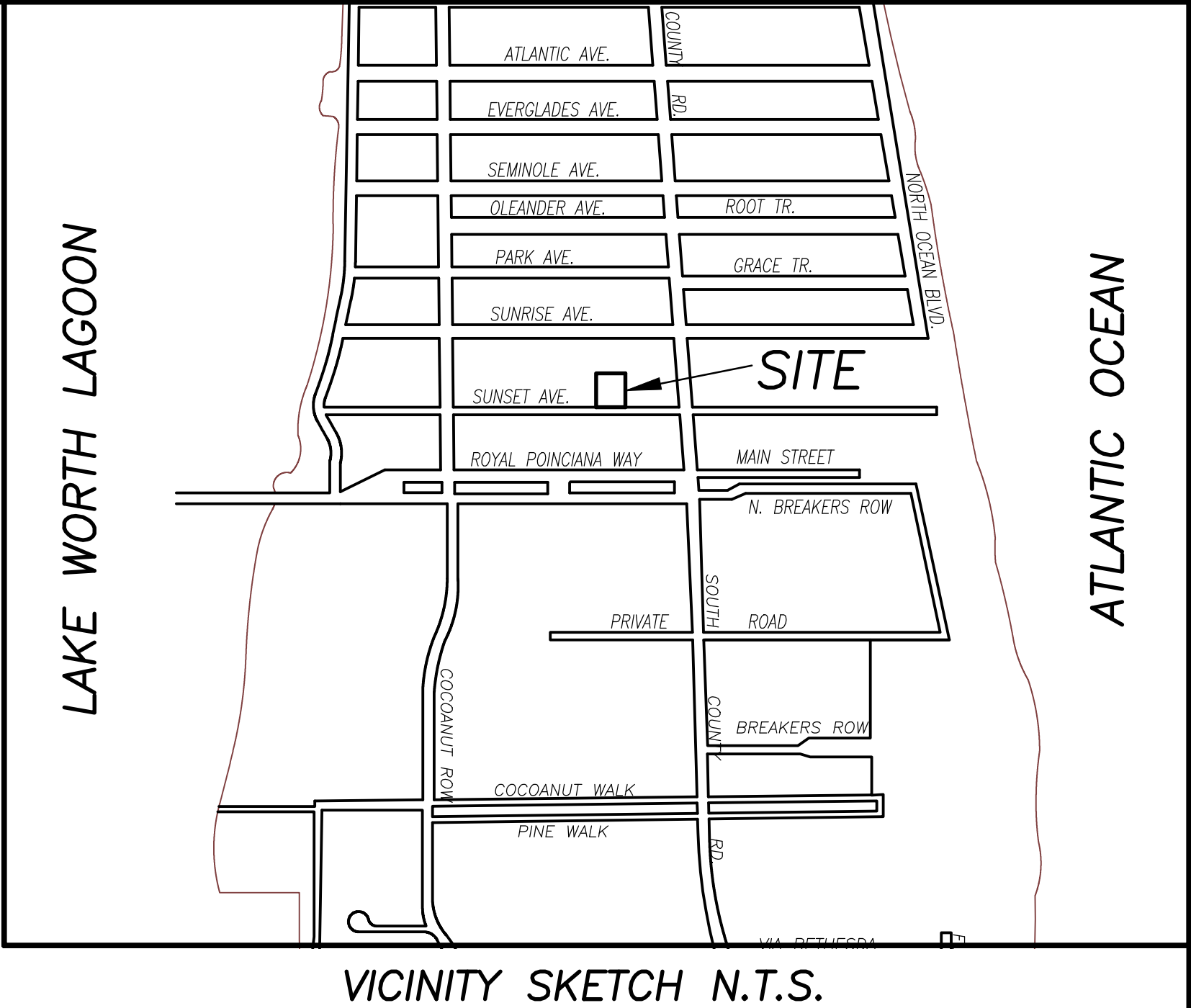
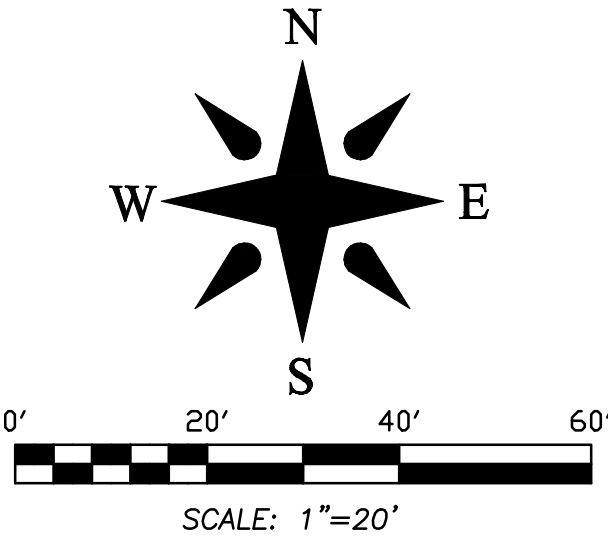
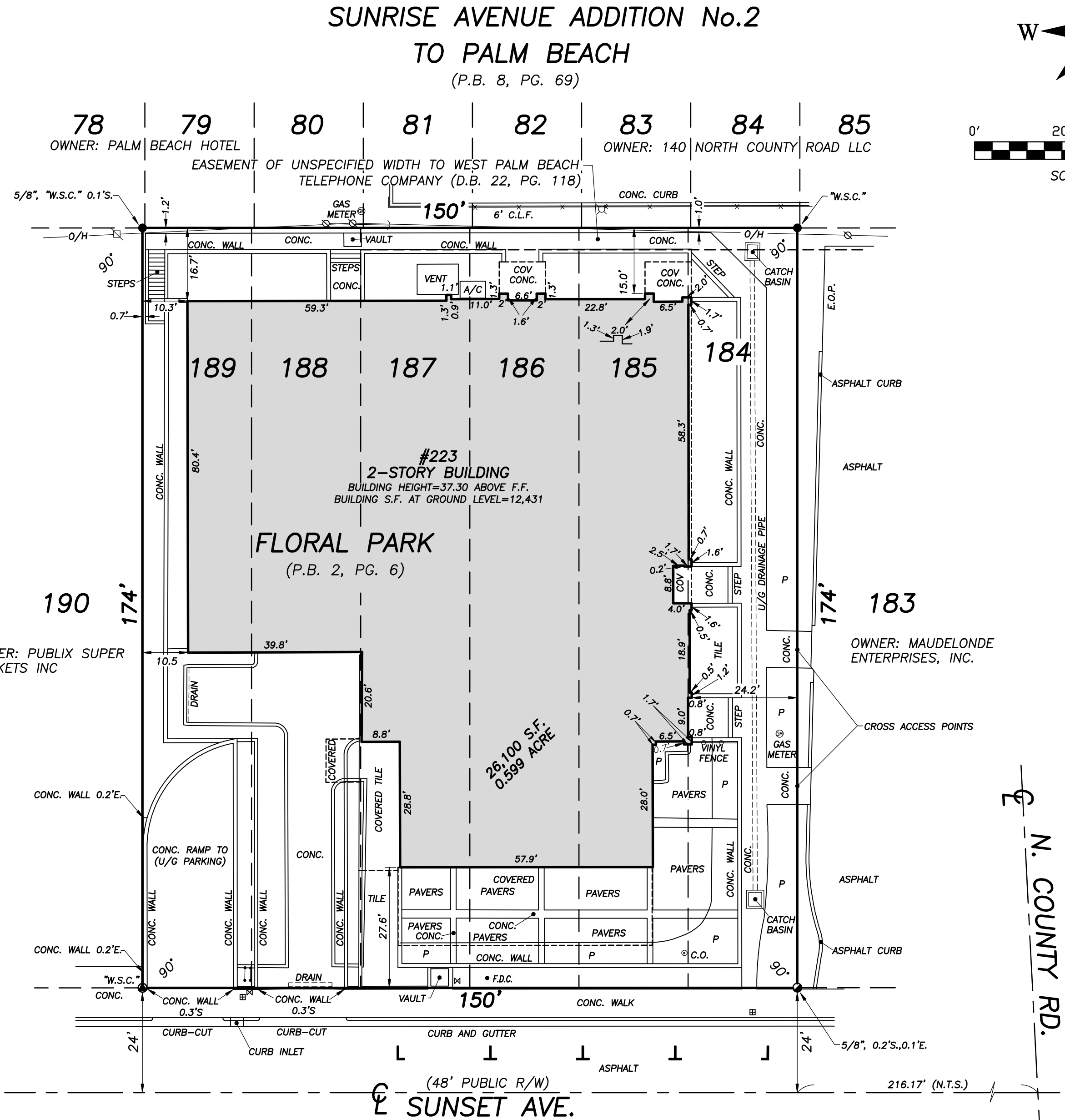
ZONING INFORMATION: 223 SUNSET AVENUE, PALM BEACH, FLORIDA		
District: "C-TS" Commercial Town Serving		
Job Number: 141838-1	Source of Information:	The Planning & Zoning resource company
Permitted Use:	Professional Office & Restaurant	Address: 1300 South Meridian Avenue, Suite 400 Oklahoma City, Oklahoma 73108
Current Land Use	In conformance	Person Contacted: Joshua Stout
Conformance Status: Legal Conforming	Email Address:	Gary.Bottino@pcr.com
	Date Finalized:	11/23/2020
	Phone Numbers:	405-344-2944
Building Setback		
Front:	Required: 5 feet	Existing: Sunset Avenue: 27.6 Feet (Per Survey)
Side:	Required: 5 feet	East Lot Line: 24.2 Feet (Per Survey)
		West Lot Line: 10.3 Feet (Per Survey)
Rear:	Required: 10 feet	North Lot Line: 15 Feet (Per Survey)
Building Size		
a. Maximum Building Height or Stories	2 Stories or 25 Feet	
b. Existing Building Height or Stories	2 Stories or 37.30 Feet (Per Survey)	
Building Site Area Requirements		
c. Building Site Area	Minimum Lot Area: 4,000 Square Feet Existing: 26,100 Square Feet (Per Survey)	
	Minimum Lot Width: 30 Feet Existing: 150 Feet (Per Survey)	
	Minimum Lot Depth: 90 Feet Existing: 174 Feet (Per Survey)	
	Minimum Landscape Open Space: 25% Existing: Does not exceed 25% (Per Review of Survey & Aerial Imagery)	
Density		
a. Building Density Formula:	Maximum Building Coverage: 70% (12,332/26,100) = 0.47 or 47% Maximum Building Length: 150 Feet Existing: 115.9 Feet (Per Survey) Maximum Floor Area Ratio: 15,000 Square Feet Existing: 21,339 Square Feet (Per Rent Roll)	
b. Approximate Building Footprint:	12,332 Square Feet (Per Survey)	
c. Approximate Gross Floor Area:	21,339 Square Feet (Per Rent Roll)	
Parking		
a. Parking Space Formula	Office: 1 Space per 250 Square Feet of Gross Leasable Area. Restaurant: 1 Space per 3 proposed fixed seats (103 Fixed seats per Z-19-001840) (103/3) = 34	
b. Parking Spaces Required	47 Total Parking Spaces	
c. Existing Parking Spaces	47 Total Parking Spaces (Per Survey)	
See Section IV (1), (2), (3) & (4) of Zoning Report.		

#### LEGEND

A	= ARC LENGTH
A/C	= AIR CONDITIONING
A/E	= ACCESS EASEMENT
A.K.A.	= ALSO KNOWN AS
ASPH	= ASPHALT
BLDG	= BUILDING
B.M.	= BENCHMARK
B.O.C.	= BACK OF CURB
B.O.W.	= BACK OF WALK
(C)	= CALCULATED
CATV	= CABLE ANTENNA TELEVISION
C.B.	= CHORD BEARING
C.B.S.	= CONCRETE BLOCK STRUCTURE
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE
CH	= CHORD
C.L.F.	= CHAIN LINK FENCE
CLR	= CLEAR
C.M.P.	= CORRUGATED METAL PIPE
CONC.	= CONCRETE
(D)	= DESCRIPTION DATUM
D.B.	= DEED BOOK
D.E.	= DRAINAGE EASEMENT
D.H.	= DRILL HOLE
D.W.	= DRIVEWAY
EL.	= ELEVATION
ENC.	= ENCROACHMENT
E.O.P.	= EDGE OF PAVEMENT
E.O.W.	= EDGE OF WATER
E.D.C.	= FIRE DEPARTMENT CONNECTION
F.F.	= FINISH FLOOR
FND.	= FOUND
F.O.C.	= FACE OF CURB
I.D.	= INSIDE DIAMETER
INV.	= INVERT
I.T.W.C.D.	= INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E.	= LIMITED ACCESS EASEMENT
L.B.	= LICENSE BOARD
L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT
(M)	= FIELD MEASUREMENT
M.H.	= MANHOLE
M.H.W.L.	= MEAN HIGH WATER LINE
M.L.W.L.	= MEAN LOW WATER LINE
N.A.V.D.	= NORTH AMERICAN VERTICAL DATUM
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
N.P.S.C.I.D.	= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S.	= NOT TO SCALE
O.A.	= OVERALL
O.D.	= OUTSIDE DIAMETER
O.H.	= OVERHEAD UTILITY LINE
O.R.B.	= OFFICIAL RECORD BOOK
P	= PLANTER
(P)	= PLAT DATUM
P.B.	= PALM BEACH COUNTY
P.B.C.	= PALM BEACH COUNTY
P.C.	= POINT OF CURVATURE
P.C.C.	= POINT OF COMPOUND CURVATURE
P.C.P.	= PERMANENT CONTROL POINT
P.G.	= PAGE
P.I.	= POINT OF INTERSECTION
P.O.	= PART OF
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
P.R.C.	= POINT OF REVERSE CURVATURE
P.R.M.	= PERMANENT REFERENCE MONUMENT
PROP.	= PROPOSED
P.T.	= POINT OF TANGENCY
P.V.M.T.	= PAVEMENT
(R)	= RADIAL
R.	= RADIUS
R.G.E.	= RANGE
R.P.B.	= ROAD PLAT BOOK
R.W.	= RIGHT OF WAY
(S)	= SURVEY DATUM
S.B.	= SETBACK
SEC.	= SECTION
S.D.	= SUBDIVISION
S.F.	= SQUARE FEET
S.F.W.M.D.	= SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D.	= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R.	= STATE ROAD
STA.	= STATION
STY.	= STORY
SW	= SIDEWALK
T.O.B.	= TOP OF BANK
T.O.C.	= TOP OF CURB
TWP.	= TOWNSHIP
TYP.	= TYPICAL
UC	= UNDER CONSTRUCTION
U.E.	= UTILITY EASEMENT
UG	= UNDERGROUND
W.C.	= WITNESS CORNER
W.M.E.	= WATER MANAGEMENT EASEMENT
W.M.M.E.	= WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T.	= WATER MANAGEMENT TRACT
W	= BASELINE
W	= CENTERLINE
W	= CENTRAL ANGLE/DELTA
W	= CONCRETE MONUMENT FOUND (AS NOTED)
W	= CONCRETE MONUMENT SET (LB #4569)
W	= ROD & CAP FOUND (AS NOTED)
W	= 5/8" ROD & CAP SET (LB #4569)
W	= IRON PIPE FOUND (AS NOTED)
W	= IRON ROD FOUND (AS NOTED)
W	= NAIL FOUND
W	= NAIL & DISK FOUND (AS NOTED)
W	= MAG NAIL & DISK SET (LB #4569)
W	= PROPERTY LINE
W	= UTILITY POLE
W	= FIRE HYDRANT
W	= WATER METER
W	= WATER VALVE
W	= LIGHT POLE

#### NOTES:

- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number NCS-1075525-BOS1, issued by First American Title Insurance Company, dated June 7, 2021. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.
- Per Florida Statutes, Chapter 472.025, a Land Surveyor shall not affix his seal or name to any plan or drawing which depicts work which he/she is not licensed to perform or which is beyond his/her profession or specialty therein. Therefore, we are unable to certify as to municipal zoning compliance, interpretation of zoning codes or the determination of violations thereof.
- At the time of the ALTA survey there were no observable evidence of earth moving work, building construction or building additions within recent months.
- At the time of the ALTA survey there were no changes in street right-of-way lines either completed or proposed; and available from the controlling jurisdiction or observable evidence of recent street or sidewalk construction repairs.
- At the time of the ALTA survey there was no observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- The surveyor was not provided any documentation, was not made aware and did not observe any ground markings on the subject property with regards to wetlands on the subject property.
- The location of the utilities shown hereon are from observed evidence of above ground appurtenances only. The surveyor was not provided with current underground plans or surface ground markings to determine the location of any subterranean uses.



### ALTA/NSPS LAND TITLE SURVEY FOR: 223 SUNSET HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

**223 Sunset Holdings, LLC, a Delaware limited liability company**  
**Bank of America, N.A., a national banking association, its successors and/or assigns**  
**First American Title Insurance Company**  
**Greenberg Traurig, P.A.**

No responsibility or liability is assumed by the undersigned surveyor for any other purpose or to any other party other than stated above.

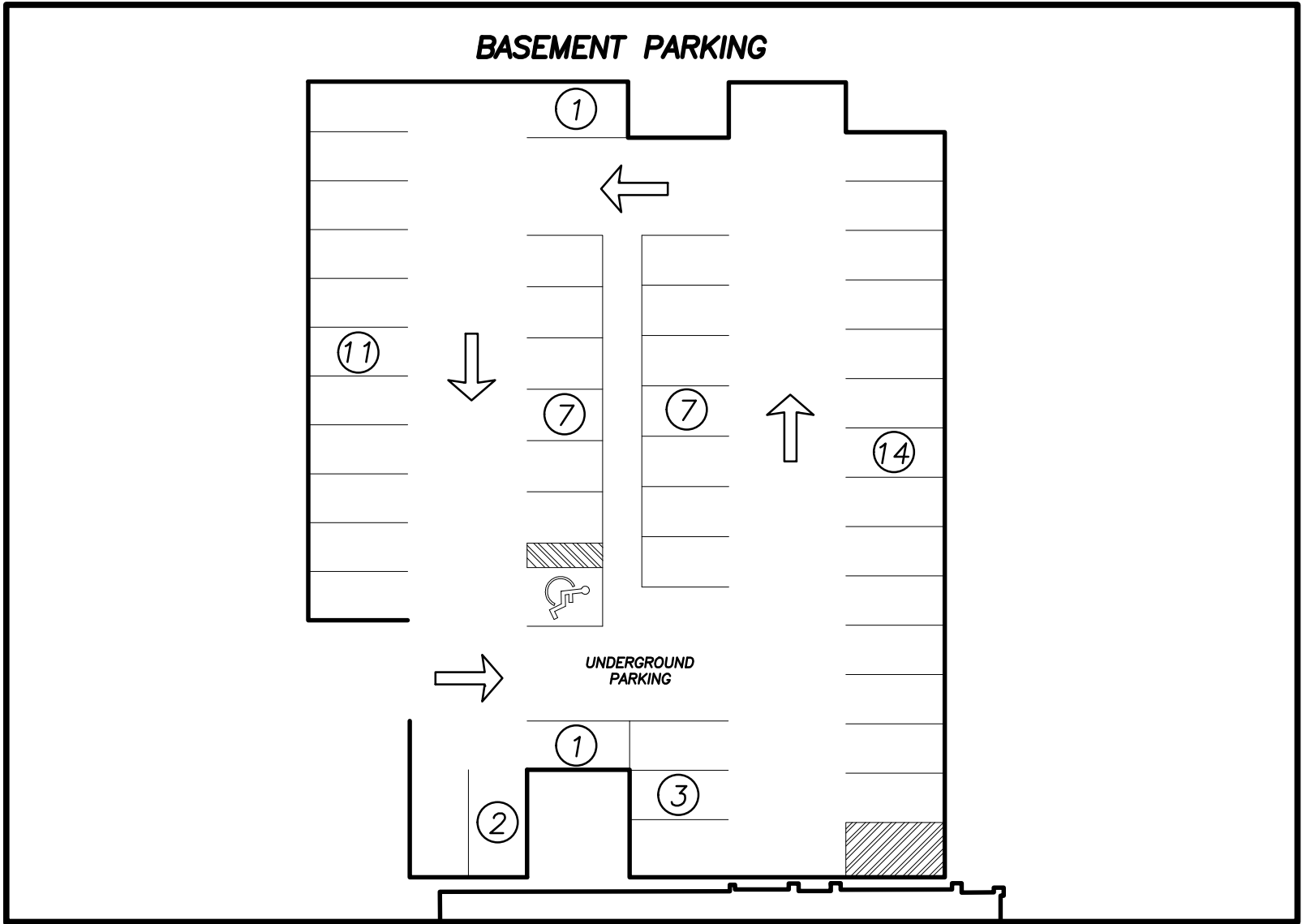
#### PROPERTY ADDRESS:

223 Sunset Ave  
Palm Beach, FL 33480

#### LEGAL DESCRIPTION:

Lots 184 through 189 inclusive of **FLORAL PARK**, according to the Plat thereof as recorded in Plat Book 2, Page(s) 6, of the Public Records of Palm Beach County, Florida.

**FLOOD ZONE:** This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0581F, dated 10/05/2017.



#### CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

To: **223 Sunset Holdings, LLC, a Delaware limited liability company**  
**Bank of America, N.A., a national banking association, its successors and/or assigns**  
**First American Title Insurance Company**  
**Greenberg Traurig, P.A.**

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items Table A 1, 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14, 16, 17, 18, 19 and 20 thereof. The field work was completed on July 26, 2021.

DATE OF LAST FIELD SURVEY: 07/26/2021

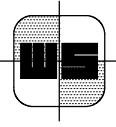
Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357  
cwallace@wallacesurveying.com  
www.wallacesurveying.com

#### REVISIONS:

09/02/21 REVISE CERTIFIED PARTIES. J.P.  
07/26/21 ALTA SURVEY & TIE-IN UPDATE J.P./J.P., 18-1616.8 PB316/39  
11/25/20 ALTA SURVEY & TIE-IN UPDATE J.C./S.W., 18-1616.5 PB303/38  
RECEIPTIFY S.W., 18-1616.3  
01/29/19 TREE TIE-IN J.P./S.W., 18-1616.2 PB269/64  
01/08/19 TIE-IN PARKING SPACES E.G./S.W., 18-1616.1 PB270/46

### ALTA/NSPS LAND TITLE SURVEY FOR:

### 223 SUNSET HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY



**WALLACE SURVEYING**  
CORP., LICENSED BUSINESS # 4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4551

FIELD: B.M.	JOB NO.: 18-1616	F.B.: PB269 PG. 34
OFFICE: M.B.	DATE: 11/29/18	DWG. NO.: 18-1616
C.K'D: C.W.	REF: 18-1616.DWG	SHEET 1 OF 1