

#223
2- STORY BUILDING

GENERAL NOTE:
NO CHANGES TO SITE PLAN AS A PART OF THIS APPLICATION.

1 SITE PLAN
SCALE: 1/8" = 1'-0"

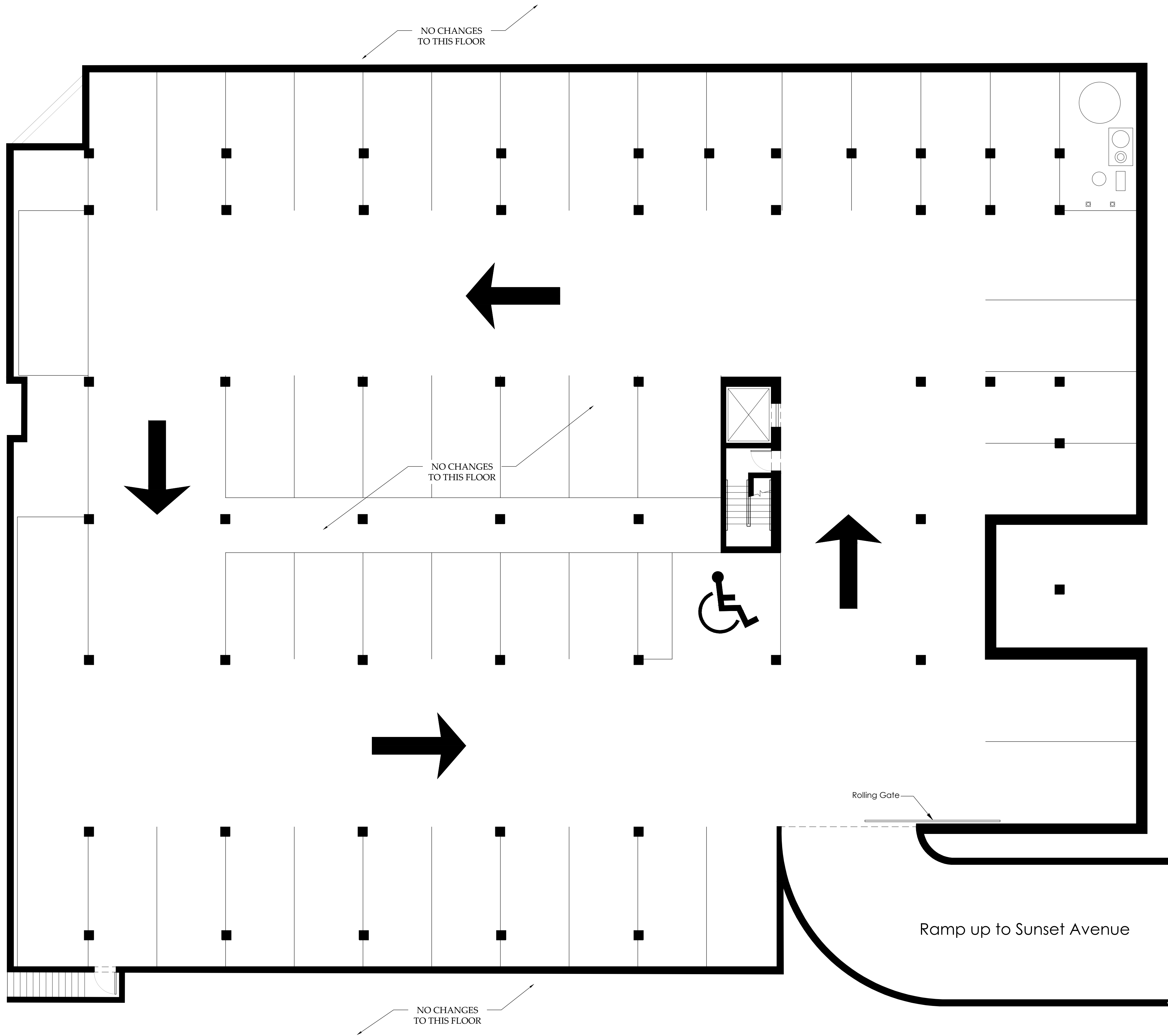
3	DRC FINAL SUBMITTAL	02/28/2022
2	TOP8 DRC FIRST SUBMITTAL	02/07/2022
1	TOP8 DRC PRE-APP SUBMISSION	01/24/2022
NO.	ISSUE DESCRIPTION	DATE

PROJECT: 223 SUNSET HOLDINGS, LLC
2ND FLOOR
223 SUNSET AVENUE
PALM BEACH, FLORIDA 33480

SHEET TITLE:
EXISTING
SITE PLAN

SEAL & SIGNATURE:

PROJECT No.: 2230
SCALE:
CHK BY:
DWG No.:
EX-0.00
CAD FILE: PAGE No:



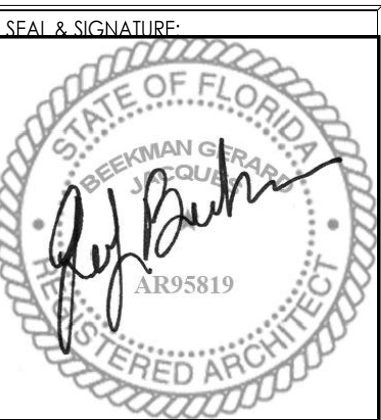
1 PARKING GARAGE FLOOR PLAN - EXISTING CONDITIONS
1/8" = 1'-0"

GENERAL NOTE:
NO CHANGES TO FIRST FLOOR PLAN AS A PART OF THIS APPLICATION.

3	DRC FINAL SUBMITTAL	02/28/2022
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PALM BEACH, FLORIDA 33480

SHEET TITLE:
PARKING GARAGE
EXISTING CONDITIONS
FLOOR PLAN



PROJECT No.: 2230
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EX-1.00
CAD FILE: PAGE No:





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PROJECT: 223 SUNSET HOLDINGS, LLC
2ND FLOOR
223 SUNSET AVENUE
PALM BEACH, FLORIDA 33480

SHEET TITLE:

FIRST FLOOR
EXISTING CONDITIONS
FLOOR PLAN

<p>SEAL & SIGNATURE:</p> 	<p>PROJECT No.: 2230</p> <p>SCALE:</p> <p>CHK. BY:</p> <p>DWG. NO.:</p> <p>EX-1.01</p> <p>CAD FILE: PAGE No:</p>
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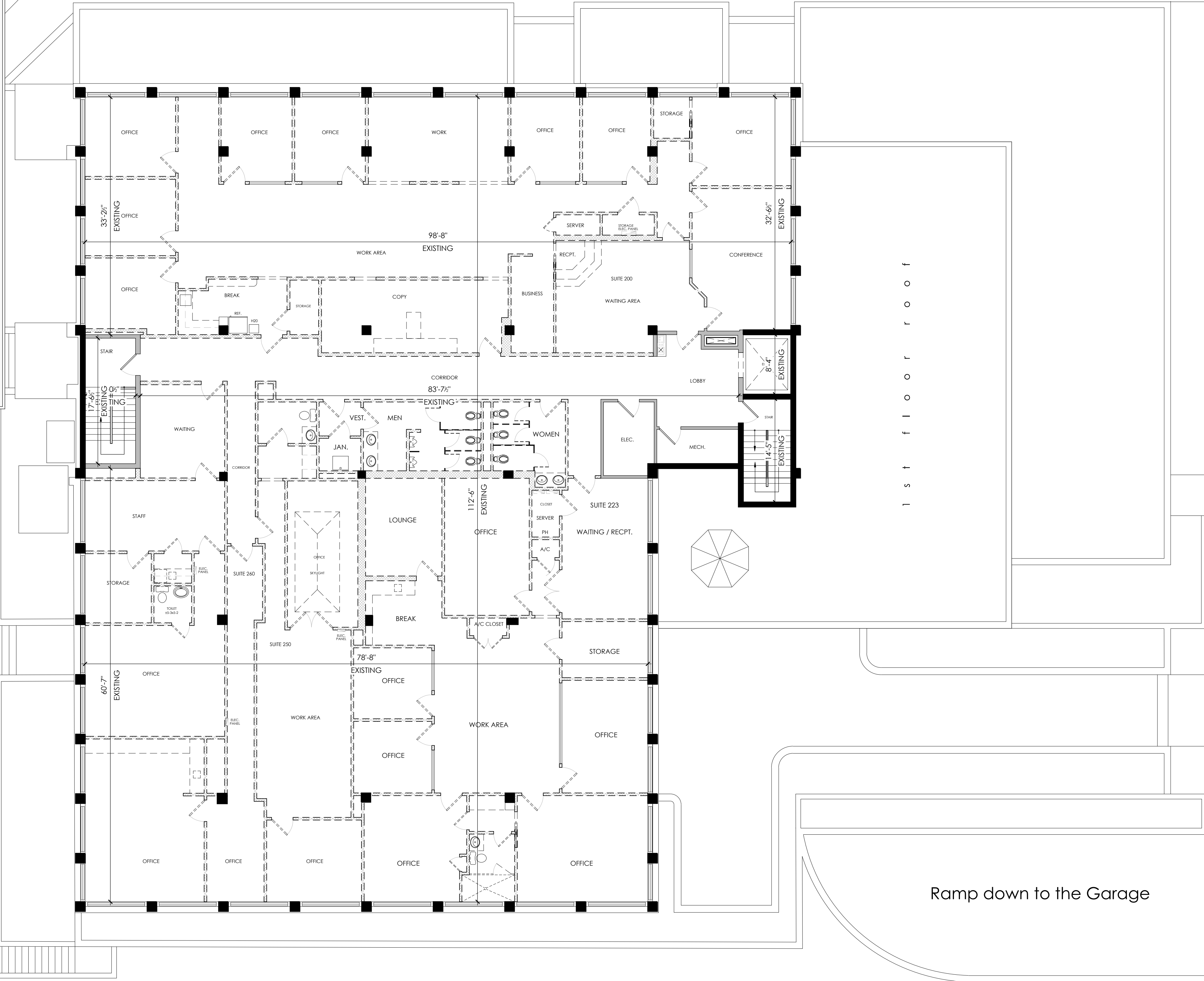
 **FIRST FLOOR PLAN - - EXISTING CONDITIONS**
1/8" = 1'-0"

GENERAL NOTE:
NO CHANGES TO FIRST FLOOR PLAN AS A PART OF THIS APPLICATION.

DEMOLITION NOTES

1. EXISTING NON LOAD BEARING INTERIOR WALLS TO BE REMOVED.
(SEE PROPOSED FLOOR PLAN FOR NEW LAYOUT)
2. EXISTING INTERIOR DOORS TO BE REMOVED.
3. EXISTING CABINETS TO BE REMOVED.
4. REMOVE ALL PLUMBING FIXTURES, PARTIAL WALLS, & FLOOR FINISH CAP OFF ALL EXISTING WATER LINES AND ELECTRICAL.
5. EXISTING CEILING DESIGN & ELECTRICAL TO BE RENOVATED.
6. EXISTING ELECTRICAL PANEL(S) TO BE RELOCATED.
7. EXISTING FLOORING TO BE REMOVED
8. REPAIR, PATCH & PAINT ADJACENT AREAS AFFECTED BY DEMOLITION/
CONSTRUCTION.
9. REPAIR, PATCH, OR REPLACE FLOORING MATERIAL AS DIRECTED BY OWNER/
I.D. DRAWINGS.
10. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY
PUBLIC, LIABILITY, & WORKER'S COMPENSATION INSURANCE AND MUST
PROVIDE ALL VALID CERTIFICATIONS OF ALL TO THE OWNER.
11. THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO ANY
DEMOLITION & NEW CONSTRUCTION.
12. THE GENERAL CONTRACTOR IS TO NOTIFY ENGINEER AND/ OR ARCHITECT OF
ANY DISCREPANCIES FOUND ON CONSTRUCTION DOCUMENTS OR IN THE
FIELD.
13. ALL AREAS TO BE PATCHED AND/OR REPAIRED IN PREPARATION FOR NEW
CONSTRUCTION AND/OR FINISHES AS INDICATED WITHIN THIS PERMIT SET, OR
AS REQUIRED BY OWNER SHALL MATCH ALL EXISTING OR AS INDICATED BY
OWNER.
14. DEMOLITION OF ANY MECHANICAL, PLUMBING OR ELECTRICAL SYSTEMS
SHALL INCLUDE REMOVAL OF ASSOCIATED DUCTWORK, PIPES, CONDUITS,
WIRING, AND OTHER RELATED COMPONENTS.
15. INTERRUPTION OF ANY UTILITY SERVICE SHALL BE COORDINATED WITH THAT
RESPECTIVE UTILITY PROVIDER, AND APPROVED BY THE OWNER PRIOR TO
INTERRUPTION.
16. UTILITY SERVICES TO BE ABANDONED SHALL BE CAPPED OFF AS DIRECTED
BY LOCAL OFFICIALS AND OWNER.
17. THE GENERAL CONTRACTOR IS TO PROVIDE A REFUSE DUMPSTER AT ALL
TIMES.
18. THE GENERAL CONTRACTOR IS TO ENSURE ADEQUATE PROTECTION AGAINST
WATER INTRUSION IS PROVIDED FOR ANY OPEN AREAS EXPOSED
DUE TO DEMOLITION AND CONSTRUCTION.
19. THE GENERAL CONTRACTOR IS TO ENSURE SIGNS ARE PROVIDED IN
CONSPICUOUS LOCATIONS & CONSTRUCTION BARRIERS IN PLACE FOR
PUBLIC SAFETY.

WALL LEGEND	
EXISTING EXTERIOR CMU WALL TO REMAIN	
EXISTING INTERIOR WALL TO REMAIN	
EXISTING EXTERIOR CMU WALL TO BE REMOVED	
EXISTING INTERIOR WALL TO BE REMOVED	



Ramp down to the Garage

1

SECOND FLOOR PLAN - EXISTING CONDITIONS & DEMO SCOPE
1/8" = 1'-0"

485 Madison Avenue, Suite 200, New York, NY 10022 - Tel. 212.355.3261
125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

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125 Worth Avenue, Suite 306, Palm Beach, FL 33480 - Tel. 561.833.3242

Sunset Avenue


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2ND FLOOR
223 SUNSET AVENUE
PALM BEACH, FLORIDA 33480

SHEET TITLE:

SECOND FLOOR PLAN
EXISTING CONDITIONS & DEMO

SEAL & SIGNATURE:



STATE OF FLORIDA
REGISTERED ARCHITECT
JEROME G. BAKER
AR95819

PROJECT No.: 2230
SCALE:
CHK BY:
DWG No.:

EX-1.02
CAD FILE: PAGE No:

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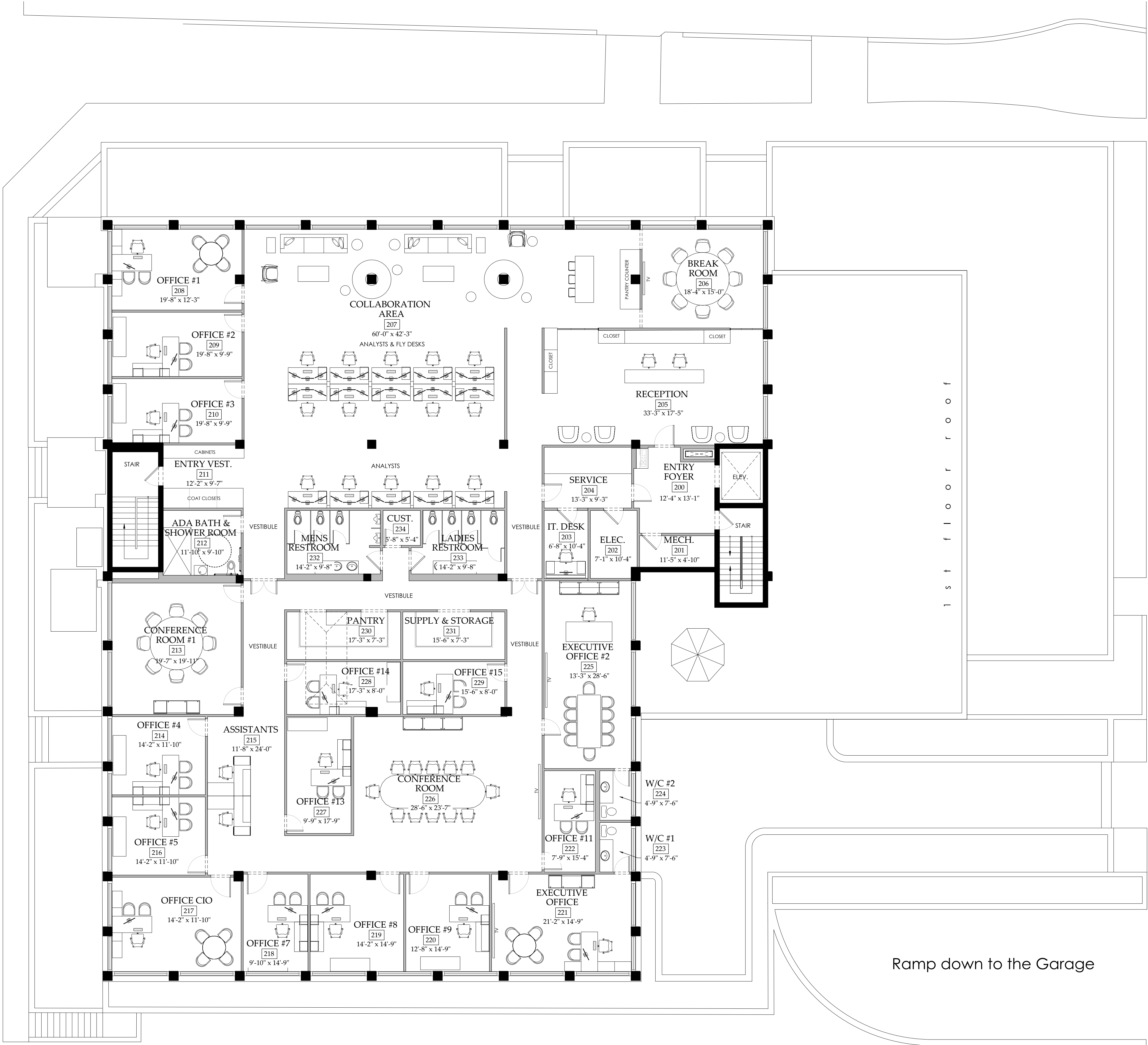
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NEW CONSTRUCTION LEGEND

EXISTING WALL OR MATERIAL REMAINING
EXISTING STUD WALL TO CEILING
NEW STUD WALL TO CEILING

223 SUNSET - 2nd FLOOR SQ. FOOTAGES:

2nd FLOOR - TOTAL SQ. FOOTAGE = 9,911 SF

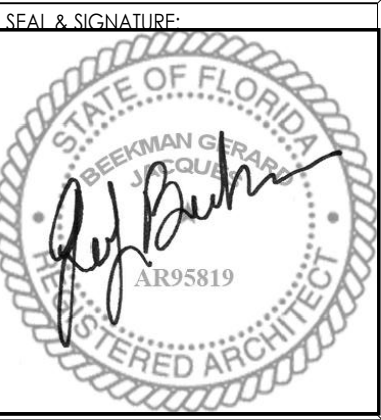


1 SECOND FLOOR NOTED PLAN - PROPOSED
1/8" = 1'-0"

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SECOND FLOOR PLAN



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