

TWO FAMILY RESIDENCE AT:  
220 BRAZILIAN AVENUE

PALM BEACH, FL 33480  
TOWN OF PALM BEACH, FLORIDA

RECEIVED  
By DSR at 1:17 pm, Apr 07, 2022

ARC: 22-058      ZON:22-038

"FINAL SUBMITTAL"

FIRST SUBMITTAL DATE: 01-03-2022  
FINAL SUBMITTAL DATE: 01-24-2022  
ARCOM MEETING DATE: 03-23-2022 (DEFERRAL)  
FINAL SUBMITTAL DATE: 3-31-2022  
ARCOM MEETING DATE: 04-27-2022  
TOWN COUNCIL MEETING DATE: 05-11-2022

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CIVIL ENGINEER:	GEOTECHNICAL ENGINEER:	LANDSCAPE ARCHITECT:	SURVEYOR:
GRUBER CONSULTING ENGINEERS, INC. 2475 MERCER AVE, SUITE 305 WEST PALM BEACH, FL 33401 561-312-2041	NUTTING ENGINEERS OF FLORIDA INC. 1310 NEPTUNE DRIVE BOYNTON BEACH, FL 33426 561-736-4900	ENVIRONMENT DESIGN GROUP 139 NORTH COUNTY ROAD, SUITE 20-B PALM BEACH, FL 33480 561-832-4600	WALLACE SURVEYING CORP. 5553 VILLAGE BOULEVARD WEST PALM BEACH, FL 33407 561-640-4551

PERMIT #: B20-84023



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TWO-FAMILY RESIDENCE FOR:  
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Project #: 19-020
Drawn by: PRO
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24 JAN. 2022 - FINAL SUBMITTAL
31 MAR. 2022 - FINAL SUBMITTAL REVISION 1

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1 AERIAL VIEW LOOKING NORTHWEST



2 AERIAL VIEW LOOKING SOUTHWEST



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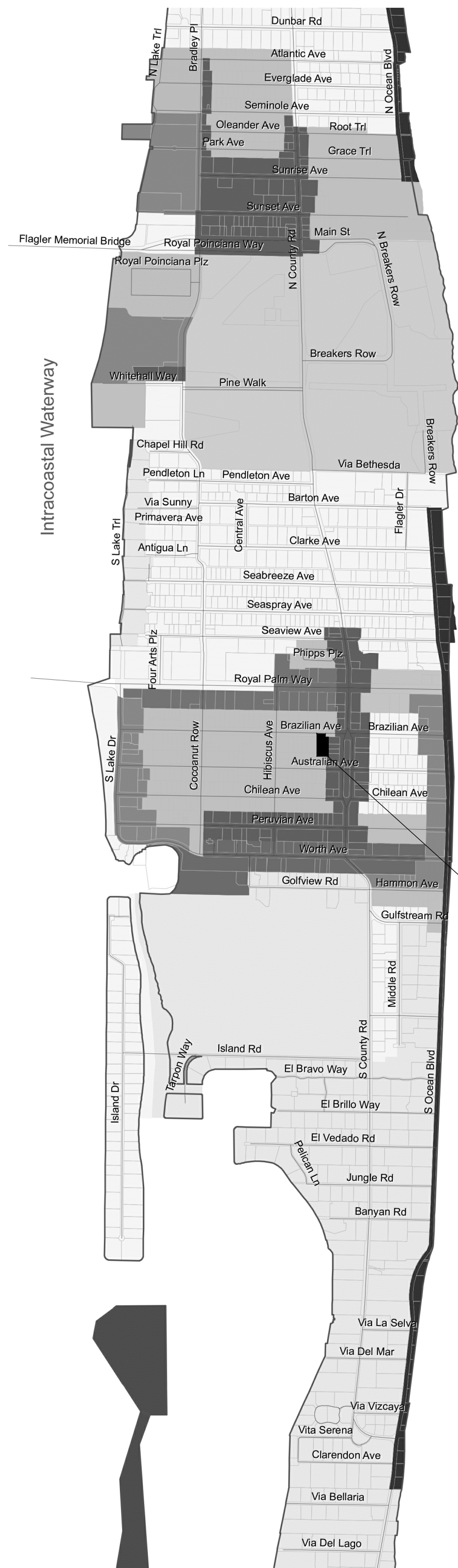
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2 LOCATION MAP  
N.T.S.



3 SITE VICINITY PLAN  
N.T.S.

4 SITE VICINITY DATA

PROPERTY ADDRESS	LOT SIZE	LOT COVERAGE	
220 BRAZILIAN (SUBJECT PROPERTY)	17,120 SF	5,060 SF	(29.5%)
215/219 BRAZILIAN	33,300 SF	11,637 SF	(35%)
226 BRAZILIAN	17,120 SF	7,280 SF	(42.5%)
228/230 BRAZILIAN	16,469.4 SF	5,670 SF	(34.4%)
232/234 BRAZILIAN	16,469.4 SF	5,785 SF	(35%)
237 BRAZILIAN	18,000 SF	6,251 SF	(34.7%)
243/245 BRAZILIAN	18,000 SF	5,452	(30%)
249 BRAZILIAN	8,000 SF	2,564	(32%)



206/208 BRAZILIAN



220 BRAZILIAN  
(SUBJECT PROPERTY)



226 BRAZILIAN



228/230 BRAZILIAN

1 BRAZILIAN AVE. LOOKING SOUTH  
SCALE: 1/16" = 1'-0"

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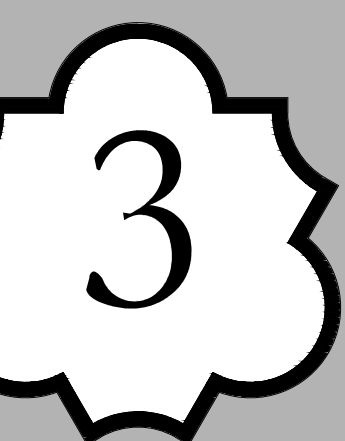
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234 BRAZILIAN AVENUE



230 BRAZILIAN AVENUE



228 BRAZILIAN AVENUE



226 BRAZILIAN AVENUE

PHOTOGRAPHS OF NEIGHBORING RESIDENCES

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220 BRAZILIAN AVENUE  
(SUBJECT PROPERTY)



214 BRAZILIAN AVENUE



326 SOUTH COUNTY ROAD



316 SOUTH COUNTY ROAD

PHOTOGRAPHS OF NEIGHBORING RESIDENCES



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215 BRAZILIAN AVENUE



217 BRAZILIAN AVENUE



219 BRAZILIAN AVENUE



221 BRAZILIAN AVENUE

PHOTOGRAPHS OF NEIGHBORING RESIDENCES



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227 BRAZILIAN AVENUE



237 BRAZILIAN AVENUE



245 BRAZILIAN AVENUE



249 BRAZILIAN AVENUE

PHOTOGRAPHS OF NEIGHBORING RESIDENCES





LOOKING SOUTH



LOOKING NORTH-NORTHEAST



LOOKING NORTH



LOOKING NORTH

PHOTOGRAPHS OF EXISTING EAST EQUIPMENT YARD (SUBJECT PROPERTY)



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LOOKING SOUTH-SOUTHWEST



LOOKING SOUTH  
PHOTOGRAPHS OF EXISTING WEST EQUIPMENT YARD (SUBJECT PROPERTY)



LOOKING NORTH-NORTHEAST



LOOKING NORTH-NORTHWEST

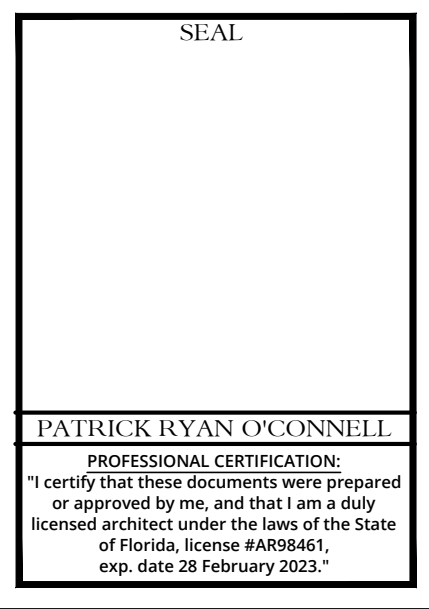


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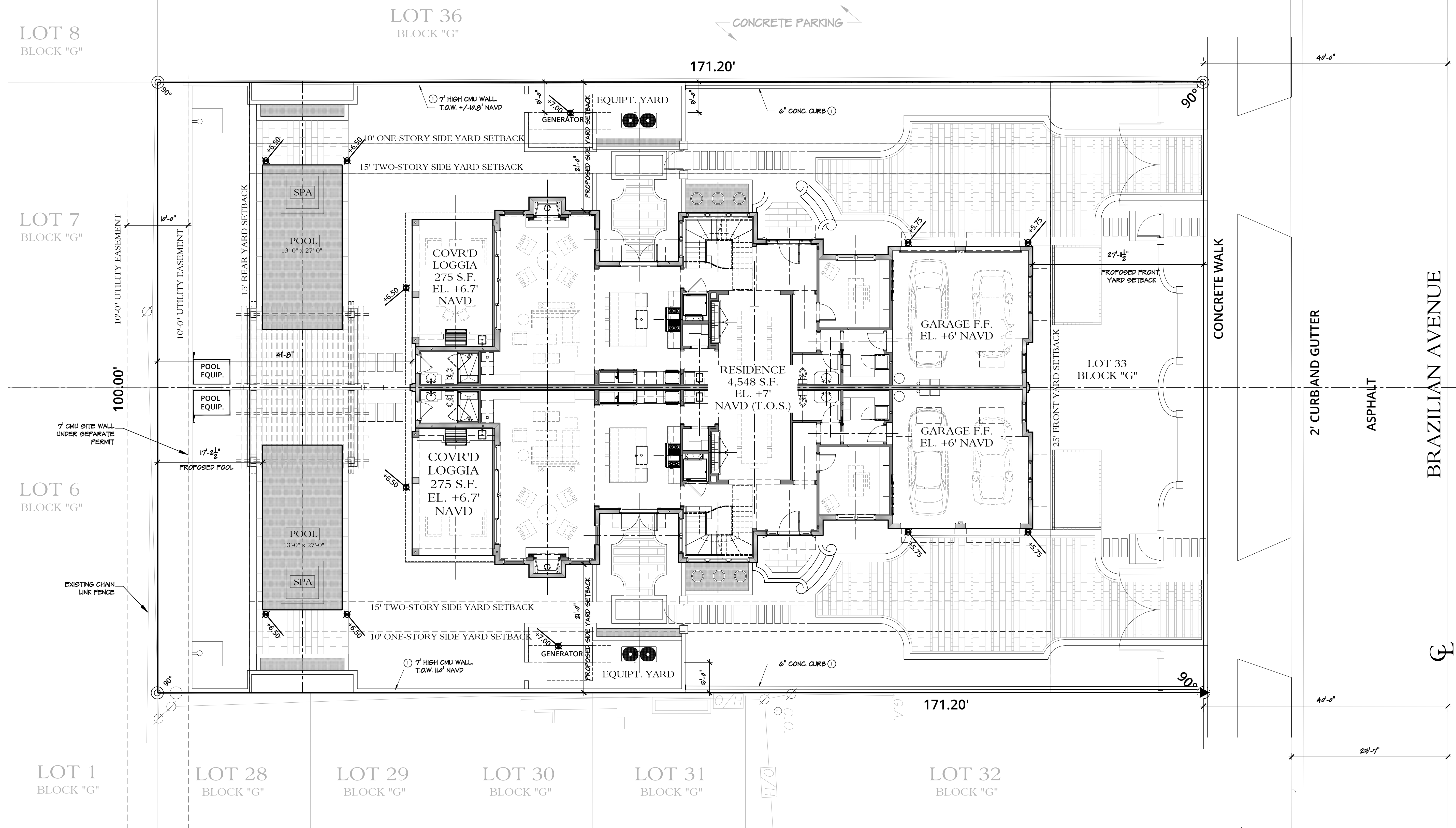
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ZONING ITEM	REQUIRED/ALLOWED	PROPOSED
ZONING DISTRICT	R-C	R-C
LOT AREA	13,333 SF MIN. (TWO FAMILY)	17,159 SF
LOT WIDTH	75' MIN.	100.00'
LOT DEPTH	100' MIN.	171.20'
LOT COVERAGE (FOOTPRINT)	30% (5,136 SF. MAX)	23.0% (5,130 SF.)
LOT COVERAGE (PERGOLA)	3% PERGOLA (313 SF. MAX)	2.47% (424 SF.)
FRONT YARD SETBACK	25'-0"	27'-0"
SIDE YARD SETBACK	10'-0" AT ONE STORY 15'-0" AT TWO STORY	21'-0" FROM EAST & 21'-0" FROM WEST &
REAR YARD SETBACK	15'-0"	40'-0" AT MAIN HOUSE 18'-2 1/2" AT PERGOLA
MAXIMUM BUILDING HEIGHT	23'-6" TWO STORIES	23'-0"
MAXIMUM OVERALL HEIGHT	26'-6" - FLAT ROOF 31'-6" - NON-FLAT ROOF	30'-0"
LANDSCAPED OPEN SPACE	40% (6,048 SF.)	SEE LANDSCAPE
FRONT YARD LANDSCAPED OPEN SPACE	40% (1,000 SF.)	SEE LANDSCAPE
NATIVE COVERAGE	25% (1,712 SF.)	SEE LANDSCAPE

STYLE:	ISLAND
GROUND FLOOR A/C	4,842 SF
LOGGIA (NON-A/C)	800 SF
SECOND FLOOR A/C	4,936 SF
SECOND FLOOR NON-A/C	104 SF
PERGOLA	410 SF
TOTAL A/C	9,478 SF
TOTAL NON-A/C	702 SF
PERGOLA	410 SF
TOTAL A/C, NON A/C & PERGOLA	10,670 SF

INTRACOASTAL WATERWAY

ROYAL PALM WAY

S. COUNTY

HIBISCUS AVE.

AVE.

AVE.

AVE.

AVE.

AVE.

WORTH

PERUVIAN

CHILEAN

AUSTRALIAN

BRAZILIAN

TINCONI

LONG

SHORT

SUBJECT PROPERTY

ATLANTIC OCEAN

301

N.T.S.

**1 NOTE:  
SITEWALL AND FOUNDATION  
UNDER SEPARATE PERMITS**

PERMIT #: B20-84023