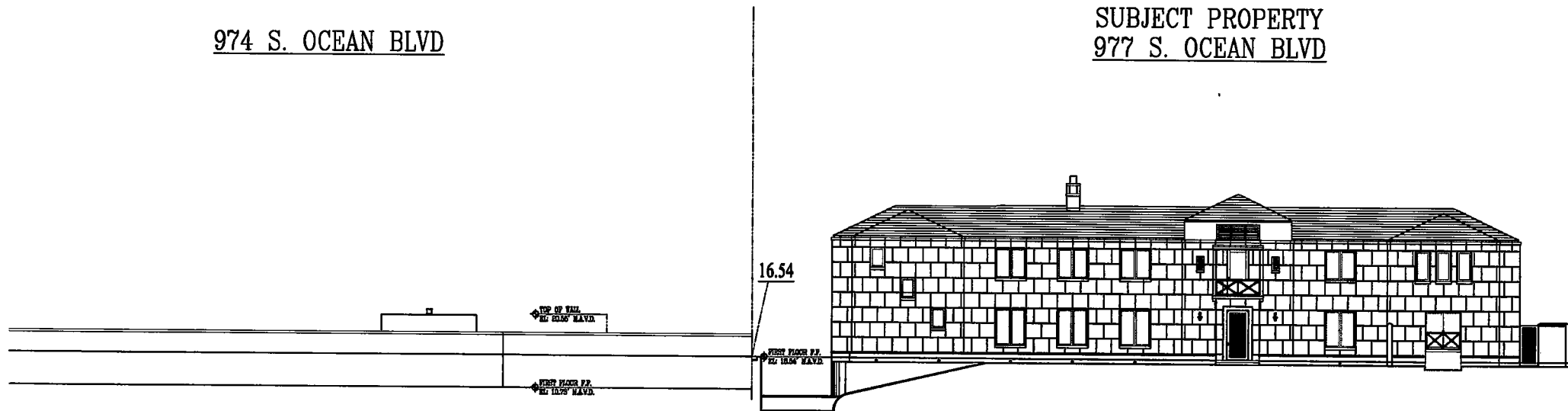


974 S. OCEAN BLVD

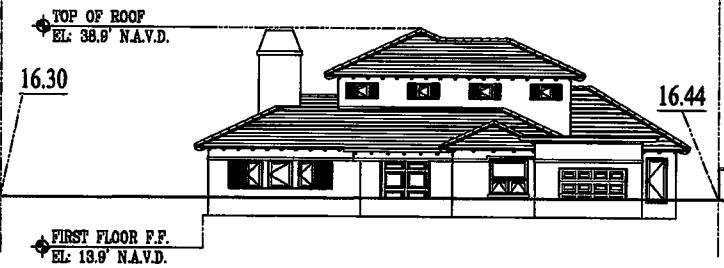
SUBJECT PROPERTY
977 S. OCEAN BLVD

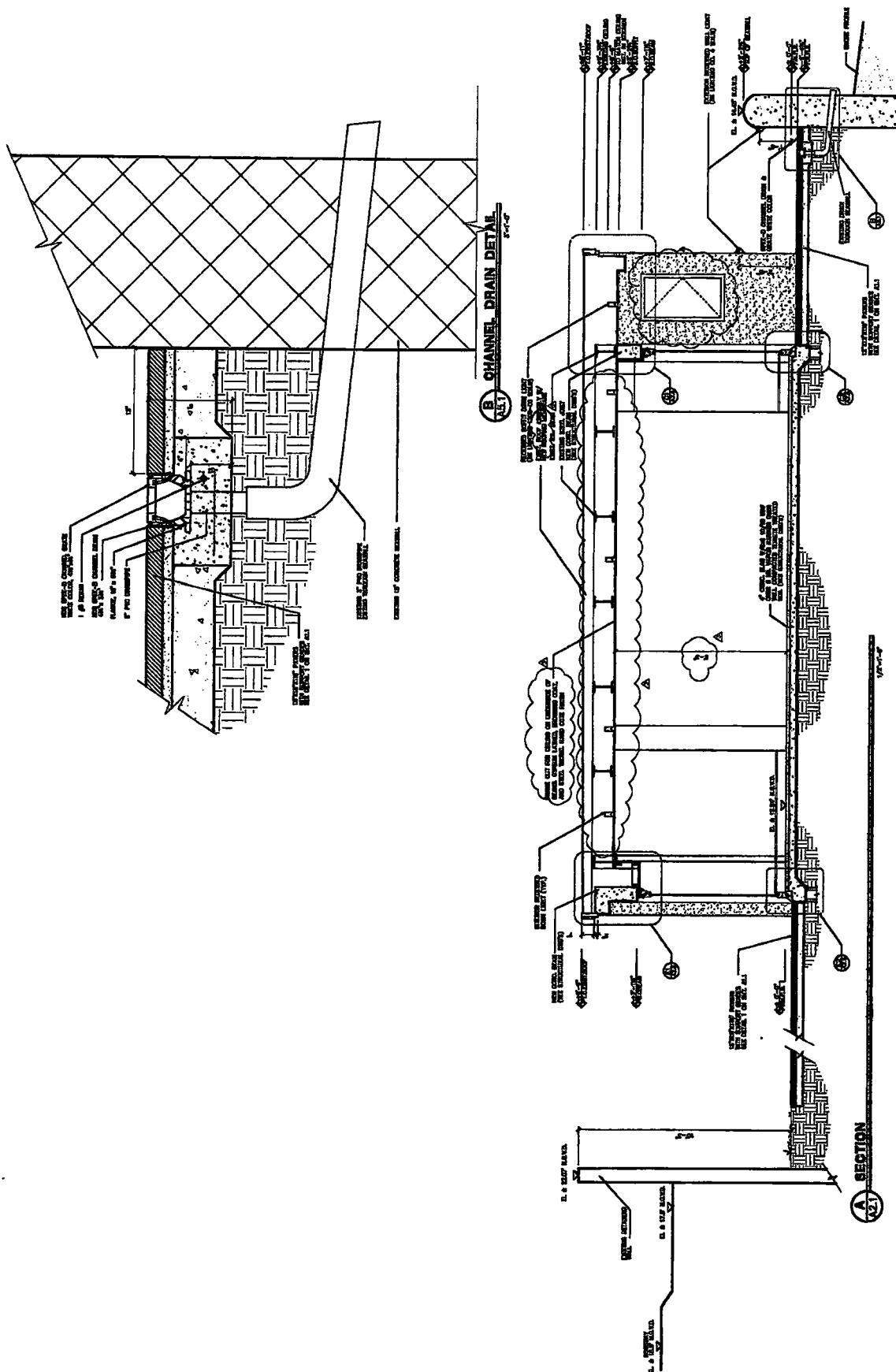


SUBJECT PROPERTY
977 S. OCEAN BLVD

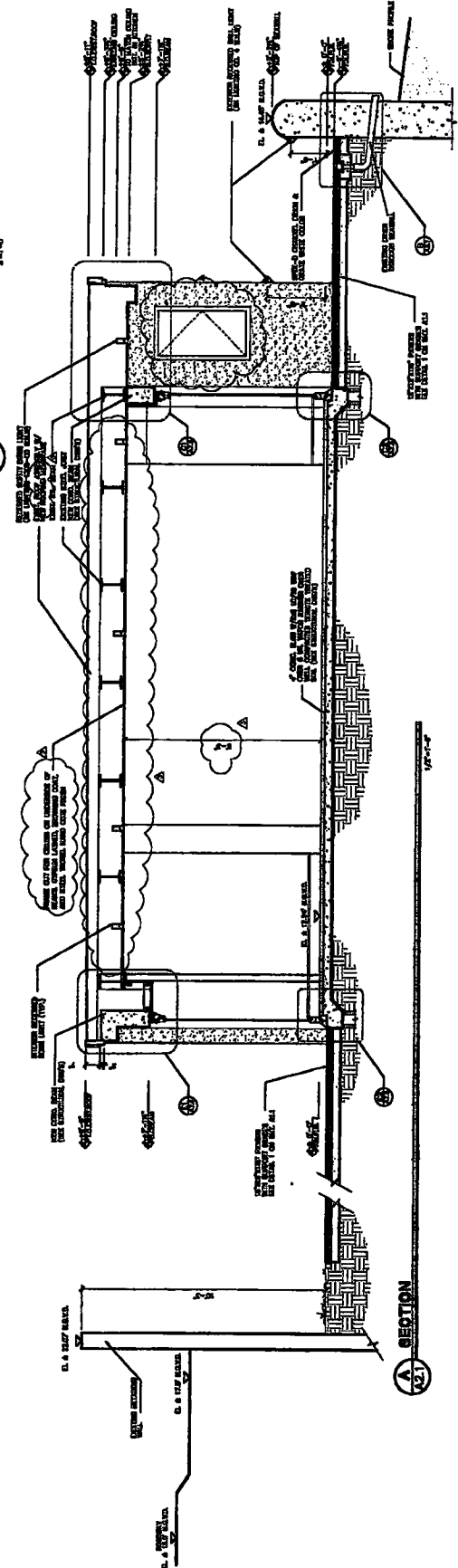
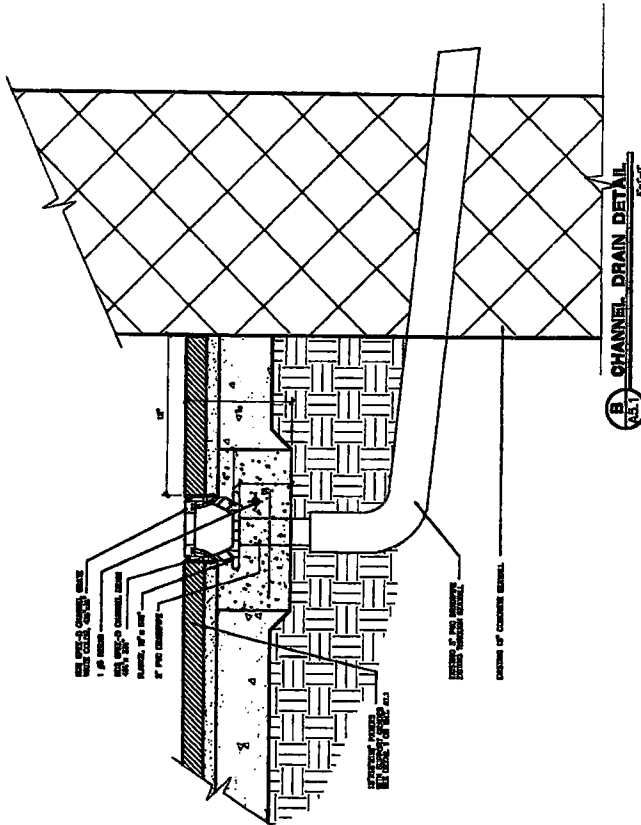


995 S. OCEAN BLVD

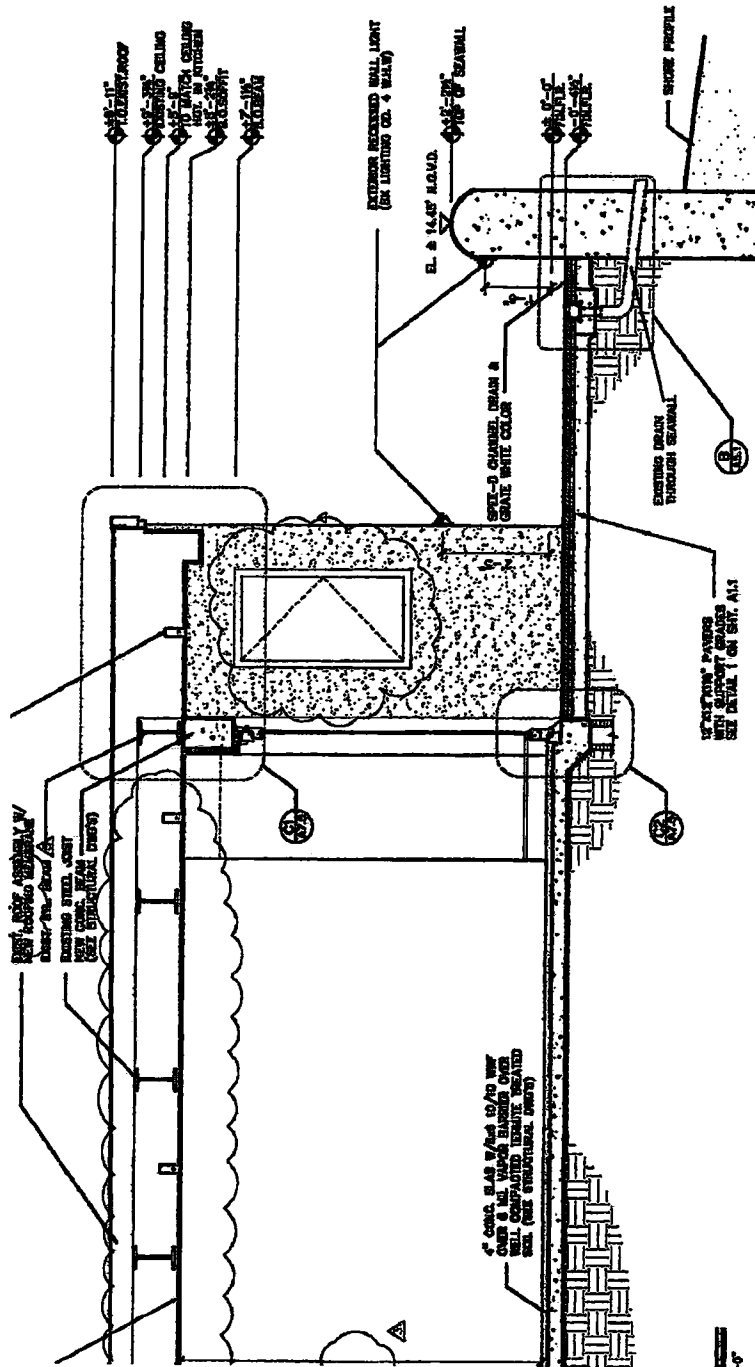


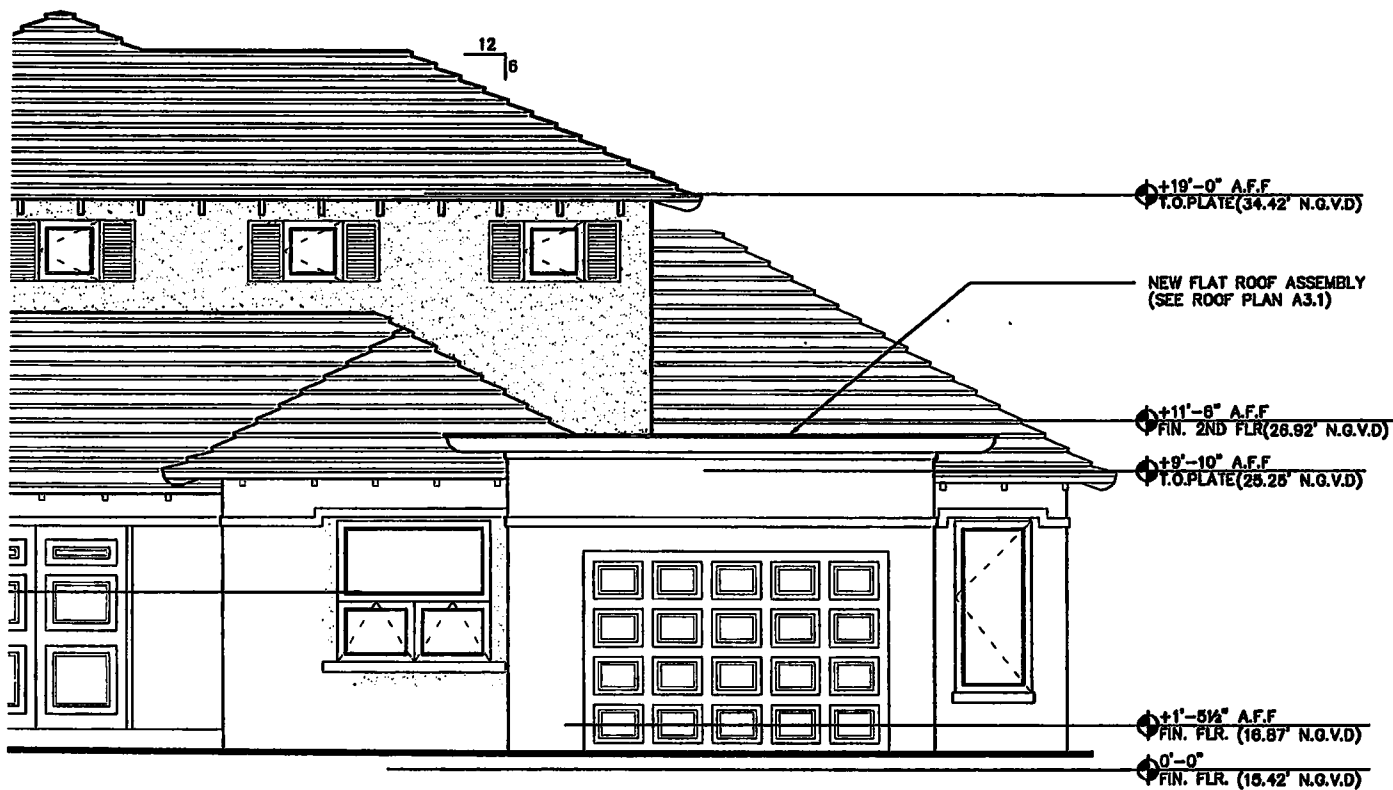


[illegible]



97012	NOTED: 1. SEE SHEET 97011 FOR GENERAL NOTES AND SPECIFICATIONS. 2. SEE SHEET 97013 FOR DETAILS OF ROOF AND FLOOR. 3. SEE SHEET 97014 FOR DETAILS OF WALL AND CEILING. 4. SEE SHEET 97015 FOR DETAILS OF DOOR AND WINDOW.	9/11/97 12/23/97 31/20/98 4/3/99/98	52 53	1/8"=1'-0"	A 1 3
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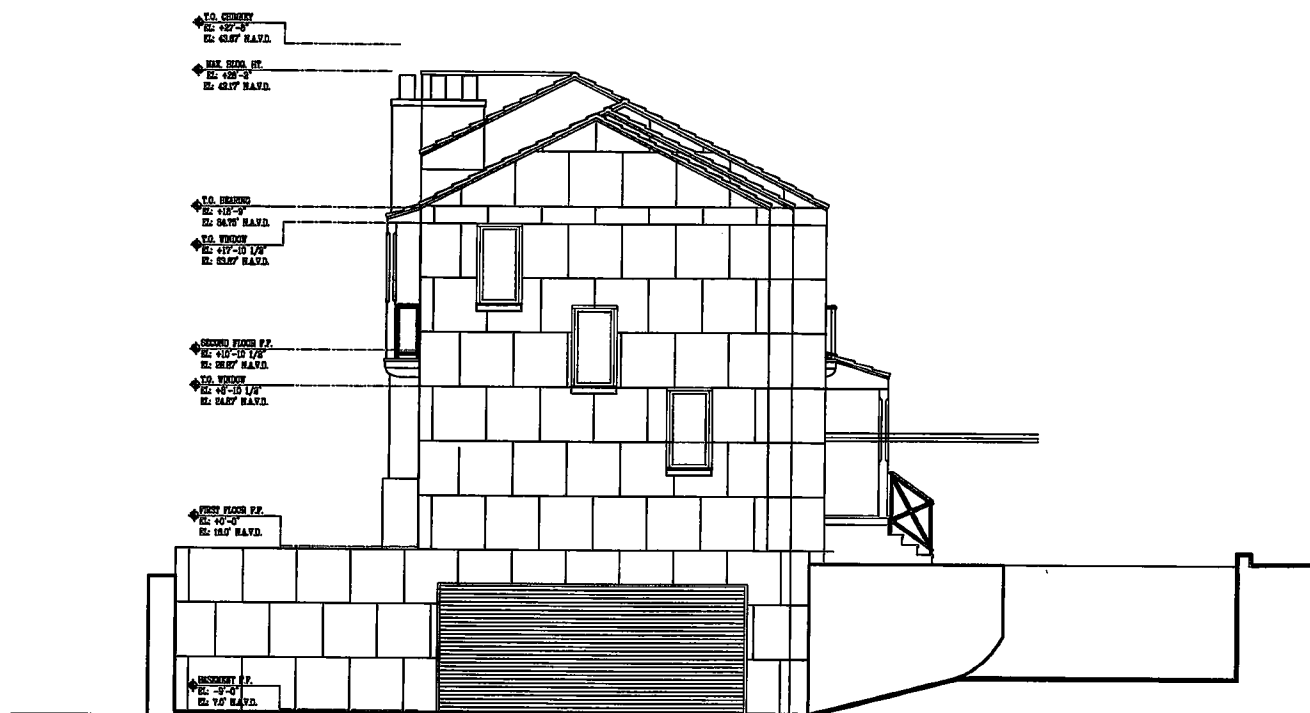
**BRIDGES, MARSH, &
ASSOCIATES, INC.**
CHARTERED ARCHITECTS
Eighteen Via Mizner
Palm Beach, Florida 33480
Phone: (561) 832 1533
Fax: (561) 832 1520

CONSULTANT

CONSULTANT

[Signature]
9/6/04
SEAL

MAXIMUM BUILDING HEIGHT CALCULATION FOR 977 SOUTH OCEAN BLVD						
	974 S. OCEAN (KOCH BEACH HOUSE)	995 S. OCEAN (CONRAD HOUSE)	AVERAGE ELEVATION (N.A.V.D.) OF 974 AND 995	MAXIMUM BUILDING HEIGHT OF 977 S. OCEAN (AVERAGE ELEVATION OF ADJOINING PRINCIPAL BUILDINGS PLUS 5 FEET)	PROPOSED MAXIMUM BUILDING HEIGHT OF 977 S. OCEAN	AMOUNT PROPOSED HEIGHT EXCEEDS MAXIMUM ALLOWABLE HEIGHT
FINISH FLOOR ELEVATION (NAVD)	10.73	13.9			16.00	
DISTANCE IN FEET, FF TO TOP CHORD OF ROOF FRAMING MEMBER (PITCHED ROOF)	N/A	19			18.75	
DISTANCE IN FEET, FF TO POINT WHERE CEILING MEETS THE EXTERIOR WALL (FLAT ROOF)	9.32	N/A				
ELEVATION OF TOP CHORD OR CEILING (NAVD)	20.05	32.9	26.48	31.48	34.75	3.28



A
A203

PROPOSED NORTH ELEVATION

SCALE:

3/16" = 1'-0"

B-093-2018 Z-18-00134



EAST VIEW

N.Y.B.

StudioSR
Architecture+Design
Lizette Sanchez, AIA 200202124
440 Cleveland Street, Suite 100 Palm Beach, FL 33480 561.838.3071

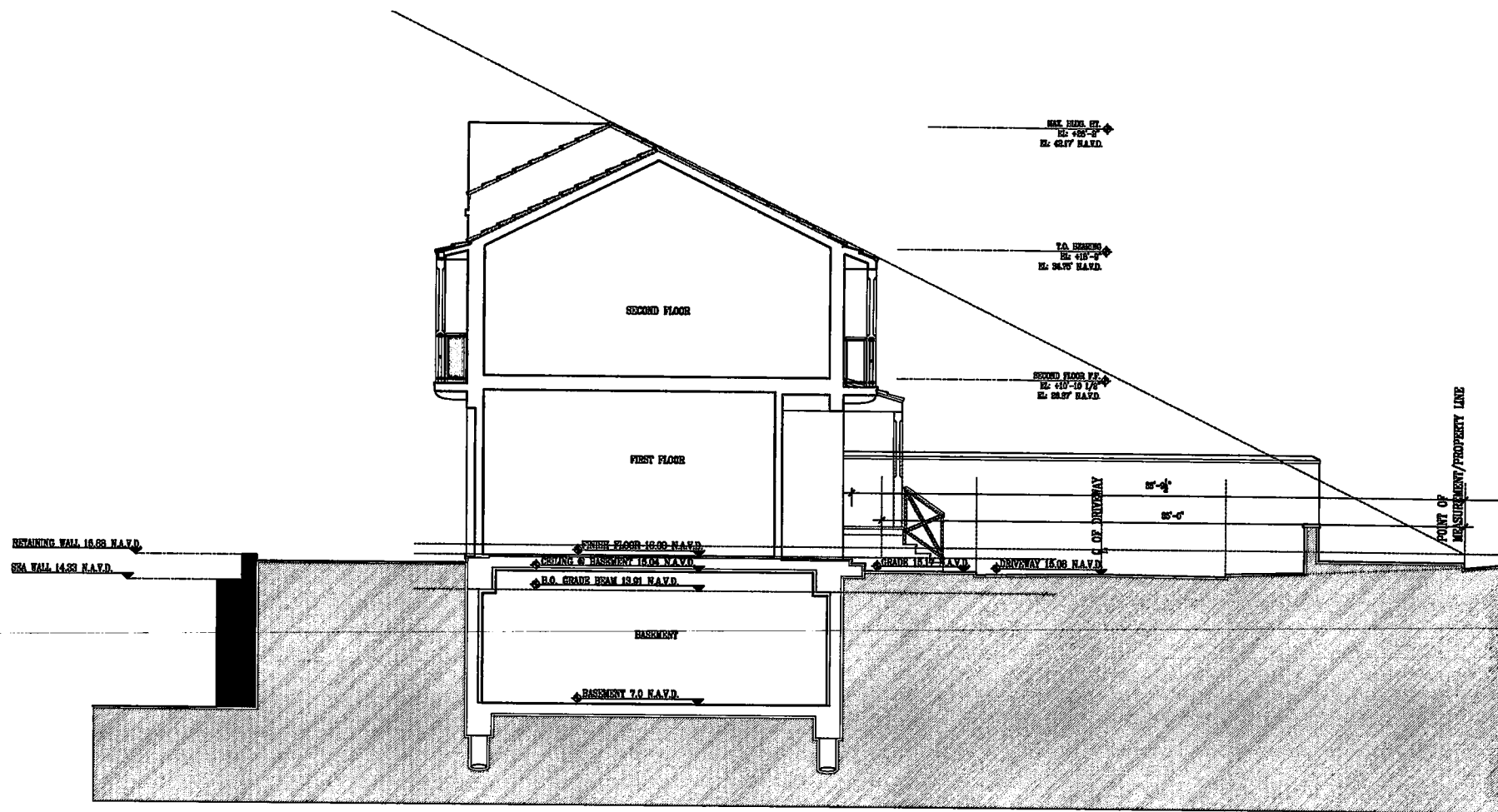
THE HOLZER RESIDENCE
977 South Ocean Boulevard, Palm Beach,
FL 33480



REVISIONS

DATE:
11/13/2018

3D-2



PROPOSED SITE SECTION

SCALE:

4

