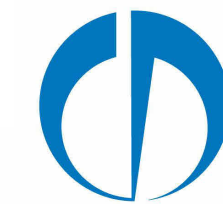


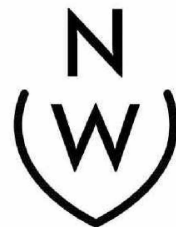
01 VARIANCE SUMMARY

EDGEWATER VARIANCE SUMMARY							
Number	Site	Topic	Issue		Requirement	Request	Notes
1	Edgewater	Lot Coverage	Relief from maximum lot coverage	Sec. 134-1060 (9)	Max 22% lot coverage	To exceed the maximum lot coverage by 8% for new five-story building with 30.8% lot coverage in lieu of the 22% permitted.	Inclusive of Below Grade Garage, Covered Areas & Terraces.
2	Edgewater	Building Length	Relief from maximum building length	Sec. 134-1060 (10)	175'	To exceed the maximum building length from 175 ft. to 209'-9" ft.	Inclusive of the subgrade garage and terraces.
3	Edgewater	Fill	Relief from Fill Permitted	Sec. 134-1600	Max Fill	To exceed by 6.4 the maximum amount of fill in required yards to permit 9.0 ft. of max fill in lieu of 2.60 ft. permitted.	COR = 4.8 NAVD FFE = 10.00 NAVD (per Point of Measure Definitions) 10.00-4.8 = 5.2 / 2 = 2.60 FEET MAX FILL
4	Edgewater	Setbacks	Relief from Side Yard Setback North	Sec. 134-1060 (6)(d)	Minimum building height up to 62'-6"	To reduce the required minimum side yard setback to 22'-5-1/2" ft. in lieu of 62'-6" required and 11'-3" ft. existing.	
5	Edgewater	Setbacks	Relief from Side Yard Setback South	Sec. 134-1060 (6)(d)	Minimum building height up to 62'-6"	To reduce the required minimum side yard setback to 57'-6" ft. in lieu of 62'-6" required and 5'-0" ft. existing.	
6	Edgewater	Other	Rooftop mechanical equipment	Sec. 134-1607(1)	Max Height	To allow an increase in height of the rooftop mechanical equipment from 48 inches to 108 inches.	Screening provided
7	Edgewater	Other	Rooftop generator	Sec. 134-1729	Max Height Rooftop Location Exceed 100 KW	To allow generators on roofs and to increase in the height of generators greater than 100 kw from 84 inches to 155 inches and permitted to be mounted on the roof of the building.	Screening provided
8	Edgewater	Other	Mechanical Equipment Area	Sec. 134-845	Max Area	To exceed by 13% the rooftop area greater than 10% of the rooftop area, to permit 23% for building 3.	Screening provided
9	Edgewater	Other	Overall Building Height	Sec. 134-1064 (b)(3)	5'-0" above permitted building height for flat roof	To increase the overall building height for the mechanical level by 8' to 75.5 ft. in lieu of the permitted 67.5ft. (Building height is for mechanical equipment screening only).	Additional Overall building height is for mechanical equipment screening only.
10	Edgewater	Other	Perimeter Wall Height	Sec. 134-1667 Sec. 134-1670 (a)	6'-0" above permitted above adjacent grade	To exceed by 1' for 6'-10" in front yard and 7'-6" in side yards.	Hedges and additional planting provided

AMBASSADOR VARIANCE SUMMARY							
Number	Site	Topic	Issue		Requirement	Request	Notes
11	Ambassador	Lot Coverage	Relief from maximum lot coverage	Sec. 134-1064 (9)	Max 22% lot coverage	To exceed the maximum lot coverage by 22% for new five-story building with 44% in lieu of the 22% permitted- inclusive of the subgrade garage and terraces.	Existing Lot Coverage is nonconforming at 24%. Portion of structure above grade is 24.6% lot coverage.
12	Ambassador	Building Length	Relief from maximum building length	Sec. 134-1060(10)	175'	To exceed the maximum building length from 175 ft. to 433'-10" ft. inclusive of the subgrade garage and terraces.	Portion of structure above grade does not exceed 175'-0"
13	Ambassador	Fill	Relief from Fill Permitted	Sec. 134-1600	Max Fill	To exceed by 6.4 the maximum amount of fill in required yards to permit 12.5 ft. of max fill in lieu of 6.1 ft permitted.	COR = 4.8 NAVD FFE = 17.00 NAVD 17.00-4.8 = 12.2 / 2 = 6.1 FEET MAX FILL
14	Ambassador	Setbacks	Relief from Side Yard Setback North	Sec. 134-1060 (6)(d)	Minimum building height up to 62'-6"	To reduce the required minimum side yard setback to 31'-7" ft. in lieu of 60'-6" ft. required.	56'-1" North Side Yard Setback to Portion of structure above grade.
15	Ambassador	Setbacks	Relief from Side Yard Setback South	Sec. 134-1060 (6)(d)	Minimum building height up to 62'-6"	To reduce the required minimum side yard setback to 29'-2" in lieu of 60'-6" required and 29'-9" existing.	56'-1" South Side Yard Setback to Portion of structure above grade.
16	Ambassador	Other	Rooftop mechanical equipment	Sec. 134-1607(1)	Max Height	To allow an increase in height of the rooftop mechanical equipment from 48 inches to 108 inches.	Screening provided
17	Ambassador	Other	Rooftop generator	Sec. 134-1729	Max Height Rooftop Location Exceed 100 KW	To allow generators on roofs and to increase in the height of generators greater than 100 kw from 84 inches to 155 inches and permitted to be mounted on the roof of the building.	Screening provided
18	Ambassador	Other	Mechanical Equipment Area	Sec. 134-845	Max Area	To exceed by 21% the rooftop area greater than 10% of the rooftop area, to permit 31% for building 2 and to exceed by 17% to permit 27% for building 1.	Screening provided
19	Ambassador	Other	Overall Building Height	Sec. 134-1064 (b)(3)	5'-0" above permitted building height for flat roof	To increase the overall building height for the mechanical level by 8' to 73.5' for the portion of the building East of the CCCL and 14.9' to 80.4' for the portion of the building West of the CCCL in lieu of the permitted from 65.5' for rooftop mechanical equipment screening.	Additional Overall building height is for mechanical equipment screening only. Difference East and West of the CCCL is due to varying point of measure.
20	Ambassador	Other	Building Height	Sec. 134-1060 (8)	60'-6" Building Max Height	To increase the overall building height building 2 by 9'-10 3/4" in lieu of the permitted from 60'-6" from 9' NAVD for the portion of the building located west of the CCCL.	There is no change to the elevation of the top of the building. The Point of measure for this portion of the building is 9.00 NAVD in lieu of 15.90 NAVD for the portion East of the CCCL.
21	Ambassador	Other	Perimeter Wall Height	Sec. 134-1667 Sec. 134-1670 (a)	6'-0" at front yard setback 7'-0" within 10 ft of side property line permitted wall	To exceed by 1'-6" for 7'-2" in front yard and 8'-6" for 15'-6" in side yards.	Hedges and additional planting provided



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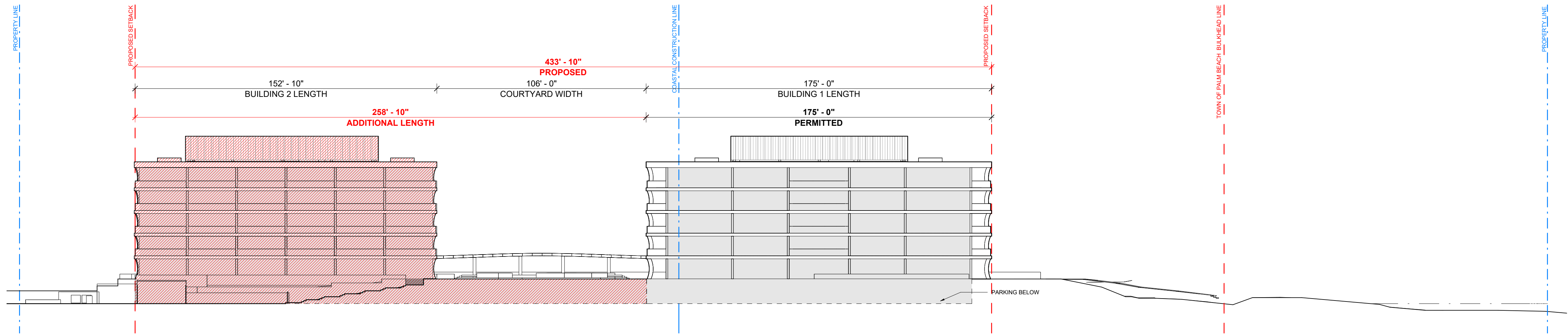
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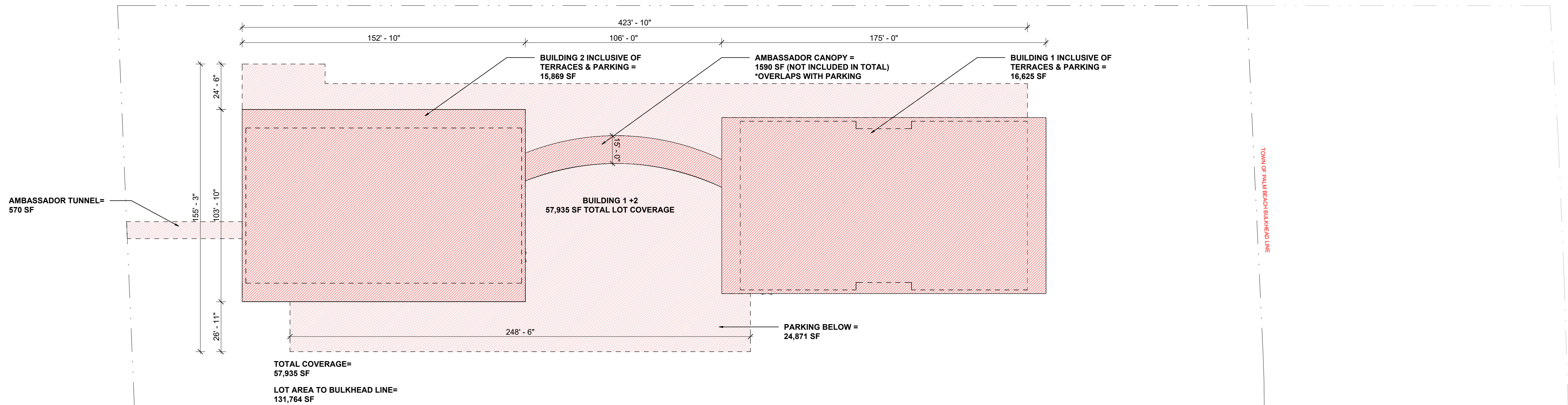
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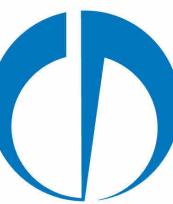
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VARIANCE SUMMARY

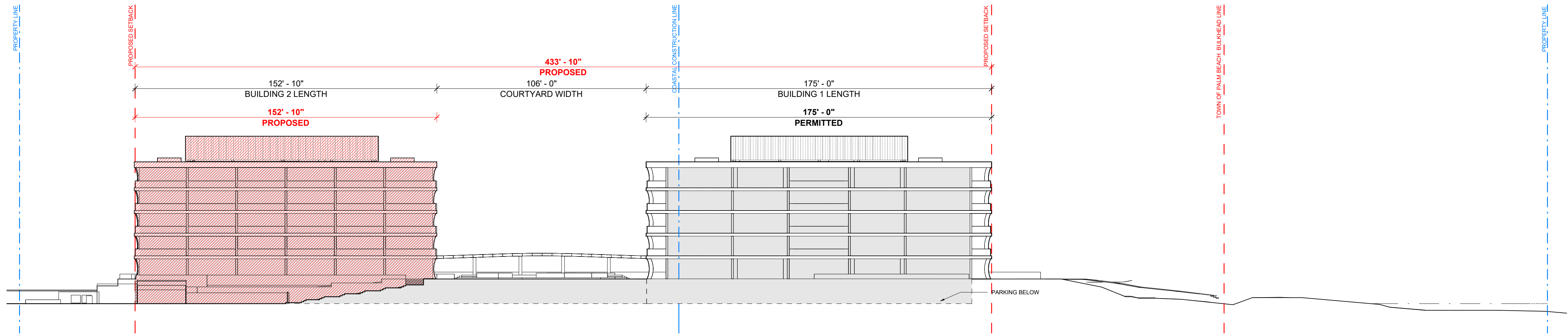


2 VARIANCE #12 - RELIEF FROM MAXIMUM BUILDING LENGTH
SCALE: 1/32" = 1'-0"
PERMITTED = 175'-0"
PROPOSED = 433'-10"

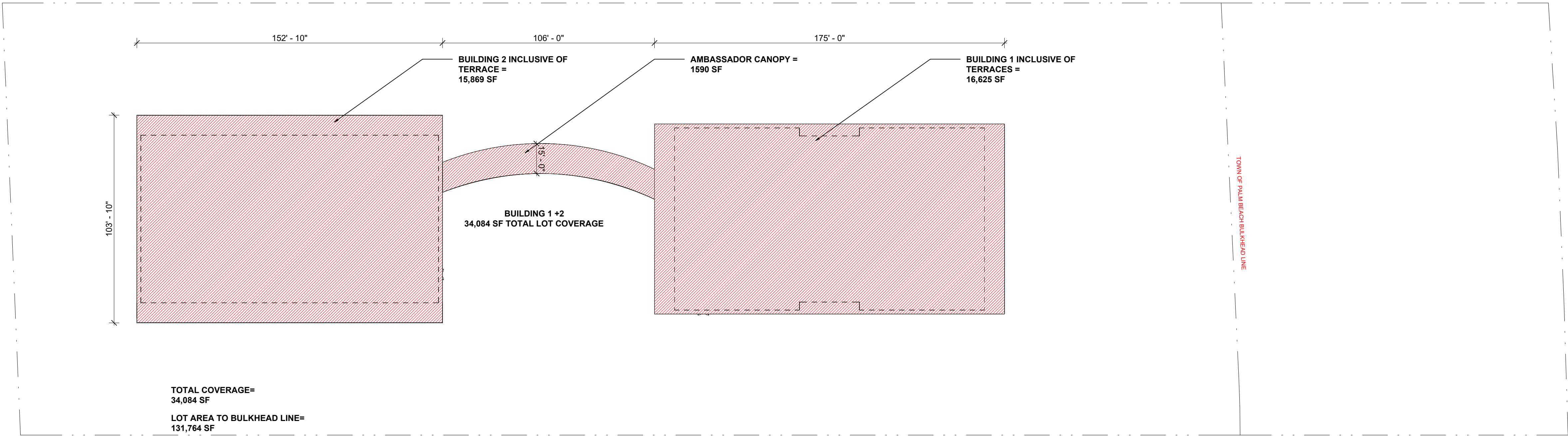


1 VARIANCE #11 - RELIEF FROM MAXIMUM LOT COVERAGE
SCALE: 1/32" = 1'-0"
PERMITTED = 22%
PROPOSED = 43.9%

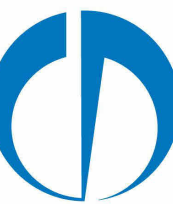


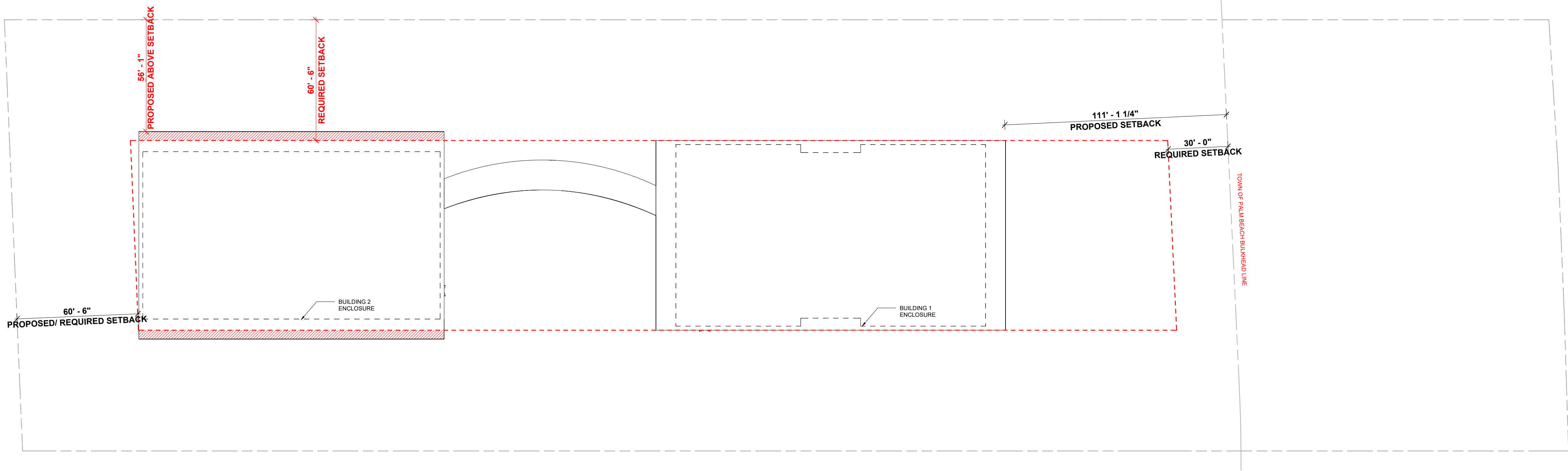


2 VARIANCE #12 - RELIEF FROM MAXIMUM BUILDING LENGTH, ABOVE GRADE
SCALE: 1/32" = 1'-0"
PERMITTED = 175'-0"
PROPOSED = 433'-10"

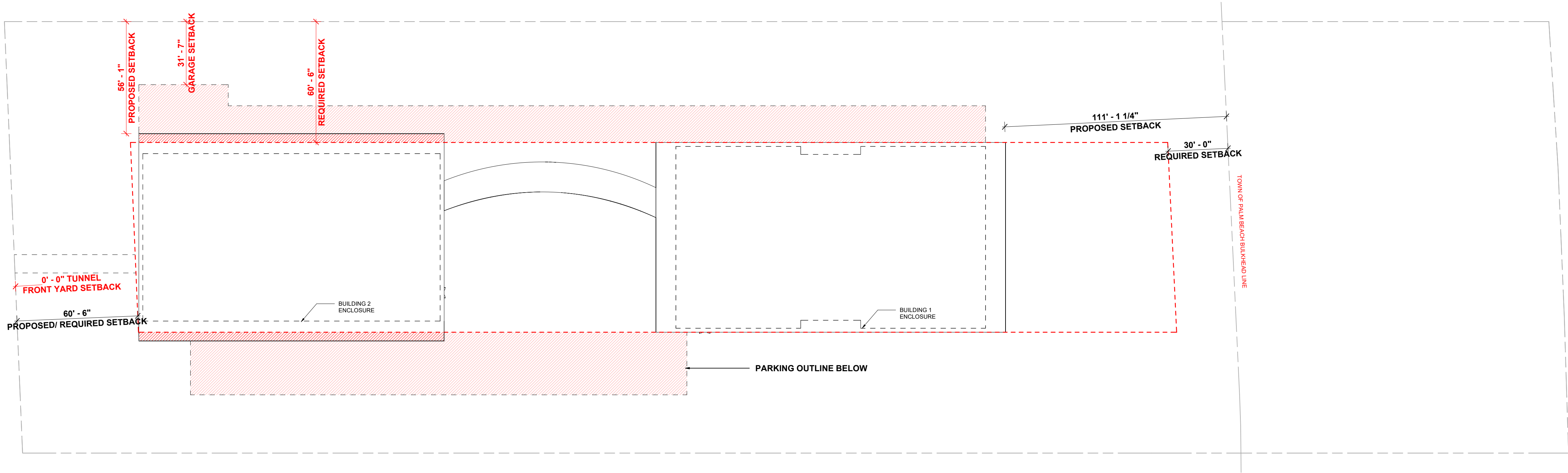


1 VARIANCE #11 - RELIEF FROM MAXIMUM LOT COVERAGE, ABOVE GRADE
SCALE: 1/32" = 1'-0"
PERMITTED = 22%
PROPOSED = 25.9%



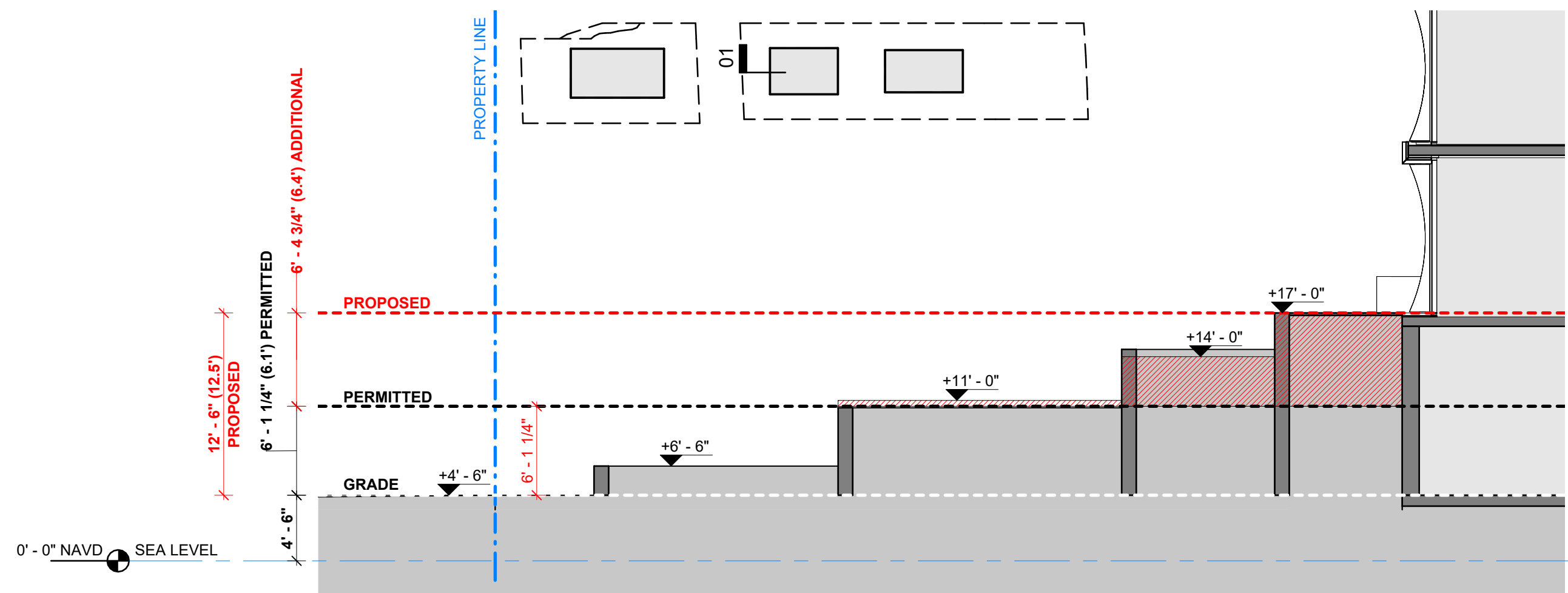


3 VARIANCE #14 - RELIEF FROM SIDE YARD SETBACK NORTH, ABOVE GRADE
SCALE: 1/32" = 1'-0"



2 VARIANCE #14 - RELIEF FROM SIDE YARD SETBACK NORTH
SCALE: 1/32" = 1'-0"

REQUIRED = 60'-6
PROPOSED = 31'-7"

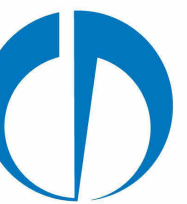


1 VARIANCE #13 - RELIEF FROM FILL PERMITTED
SCALE: 1/8" = 1'-0"

PERMITTED = 6.1'
PROPOSED = 12.5'

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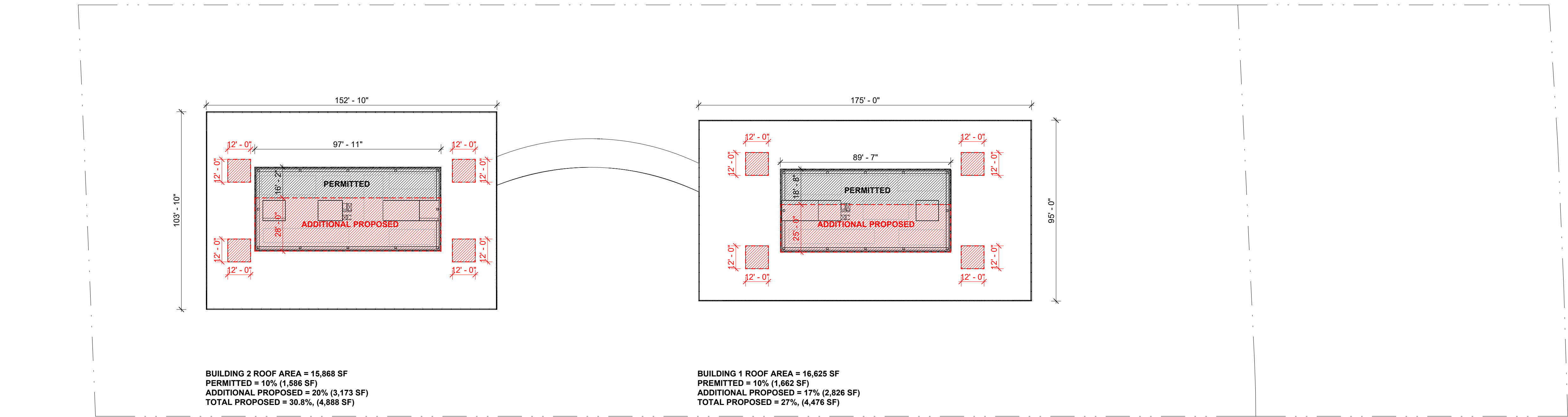
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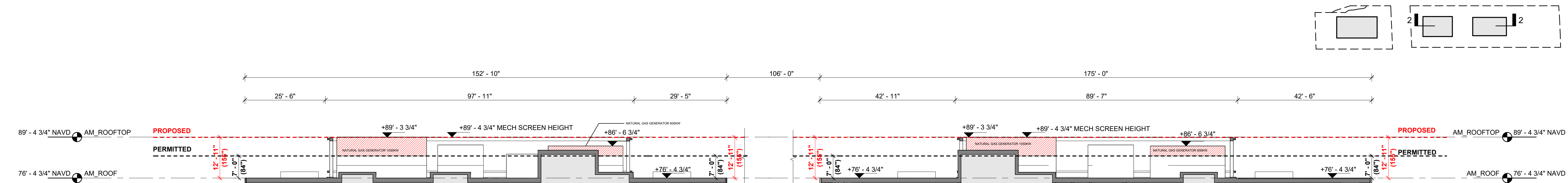
VARIANCE DIAGRAMS - AM





3 VARIANCE #18 - MECHANICAL EQUIPMENT AREA

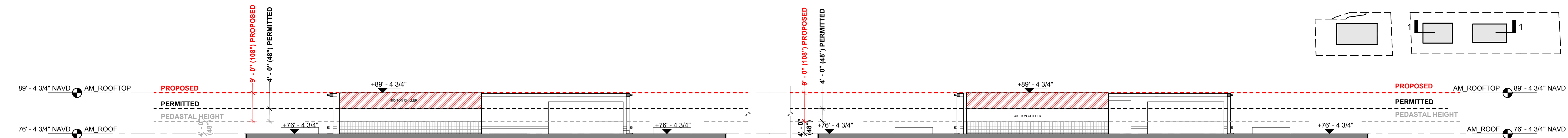
SCALE: 1/32" = 1'-0"



2 VARIANCE #17 - ROOFTOP GENERATOR

SCALE: 1/16" = 1'-0"

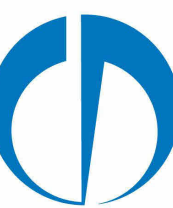
PERMITTED = 7'-0" (84")
PROPOSED = 14'-11" (155")



1 VARIANCE #16 - ROOFTOP MECHANICAL EQUIPMENT

SCALE: 1/16" = 1'-0"

PERMITTED = 4'-0" (48")
PROPOSED = 9'-0" (108")



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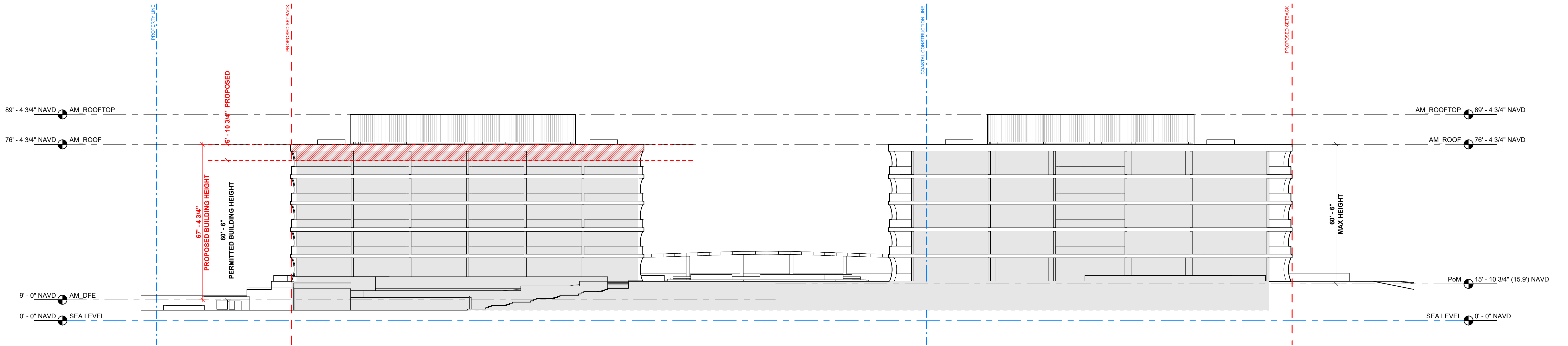
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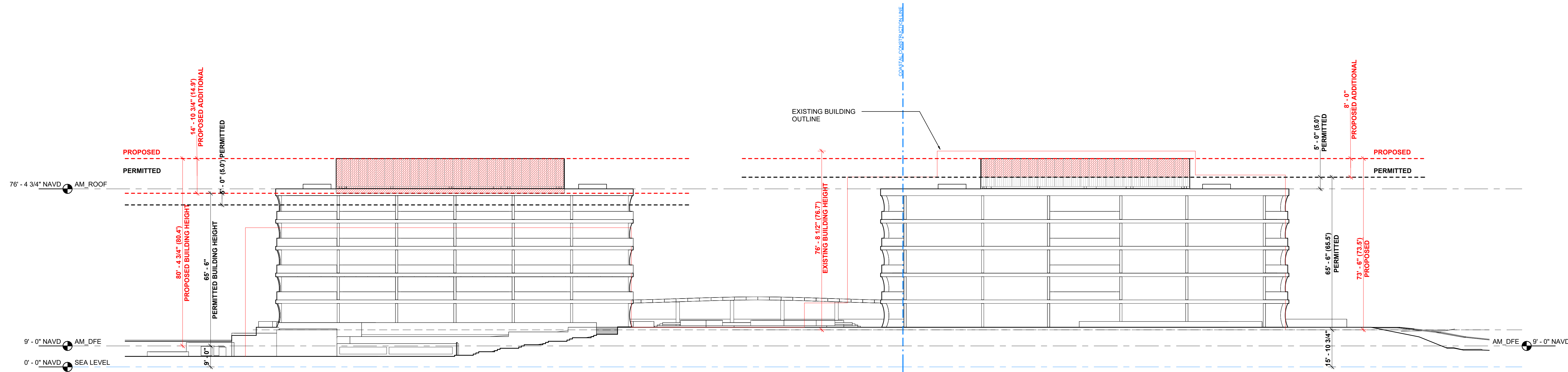
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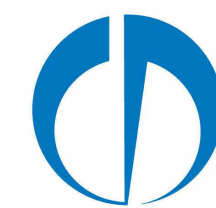


2 VARIANCE #20 - BUILDING HEIGHT
SCALE: 3/64" = 1'-0"



1 VARIANCE #19 - OVERALL BUILDING HEIGHT
SCALE: 3/64" = 1'-0"

PERMITTED = 65'-6" (65.5')
PROPOSED = EAST OF CCL: 73'-6" (73.5'), WEST OF CCL 80'-4 3/4" (80.4')



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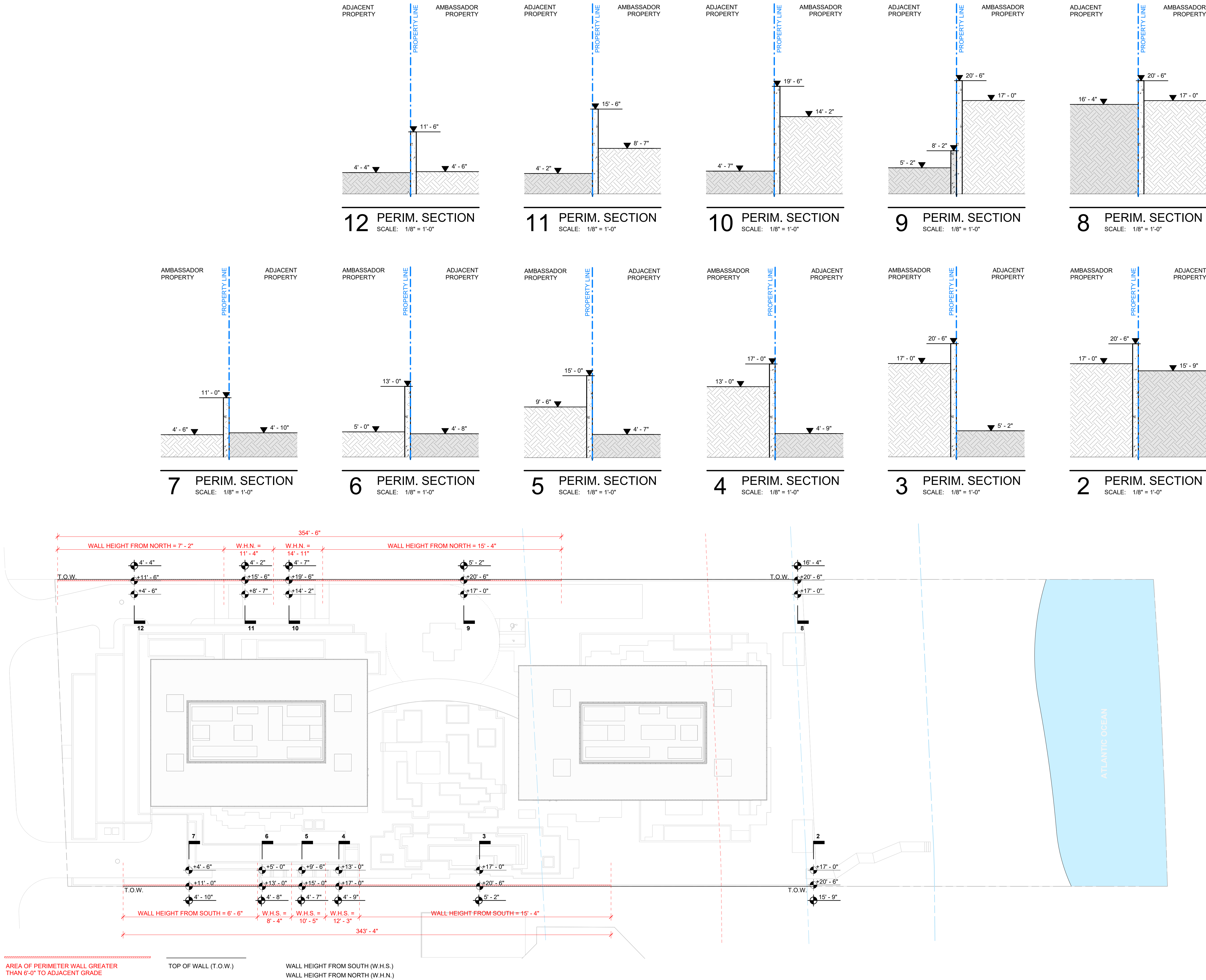
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VARIANCE DIAGRAMS - AM



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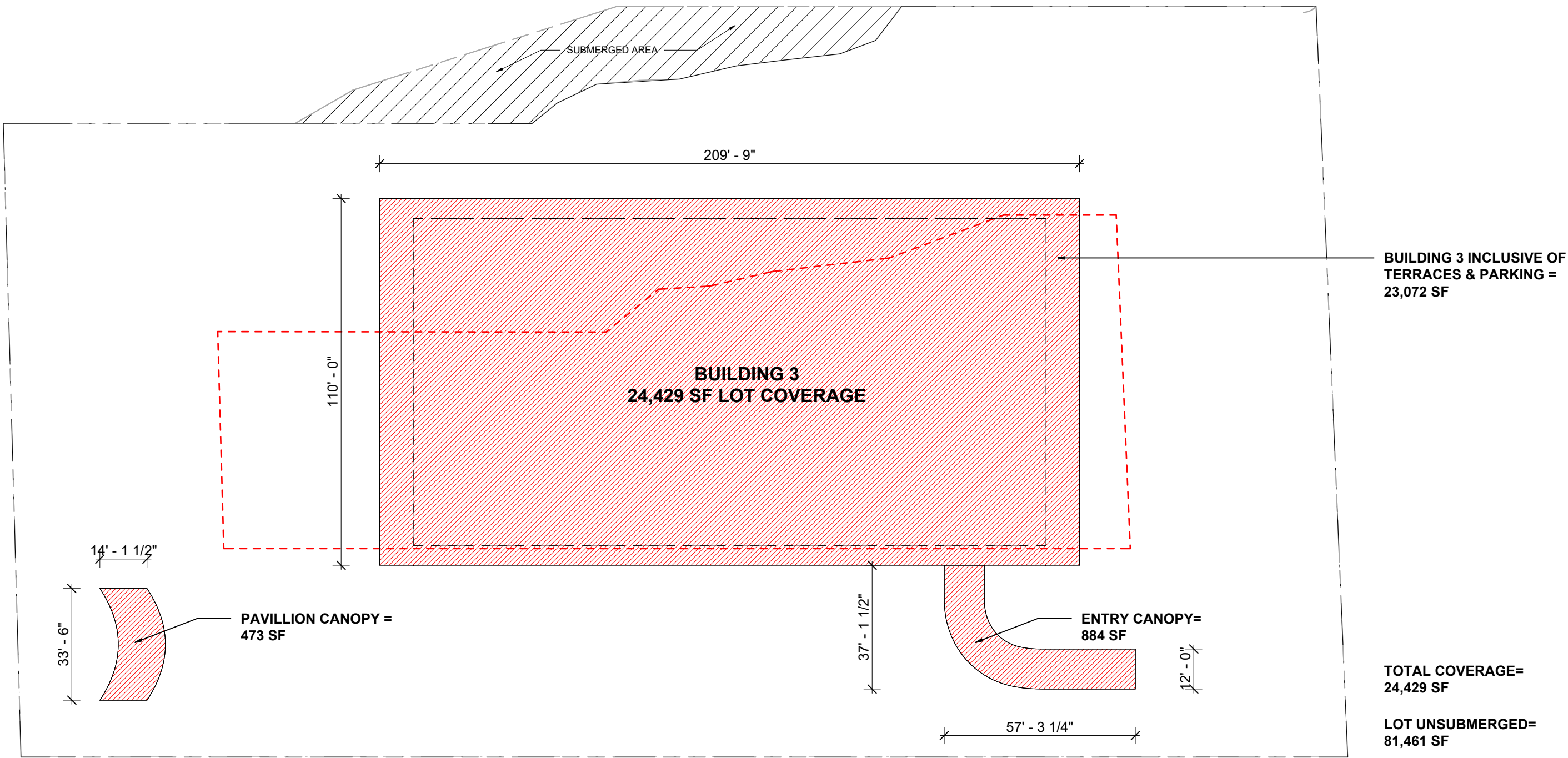
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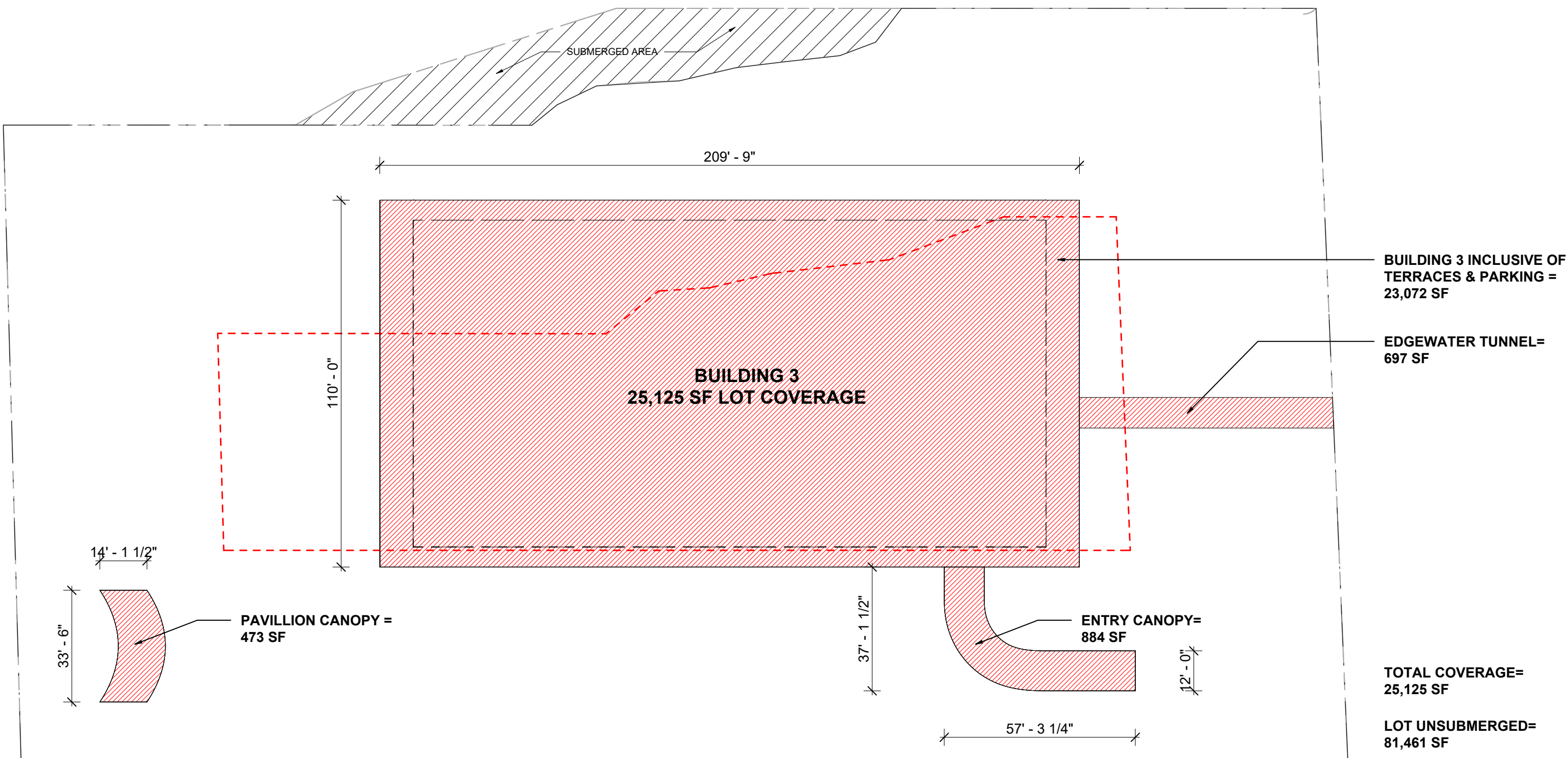
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VARIANCE DIAGRAMS - AM



2 VARIANCE #1 - RELIEF FROM MAXIMUM LOT COVERAGE, ABOVE GRADE

SCALE: 1/32" = 1'-0"

PERMITTED = 22%
PROPOSED = 29.8%



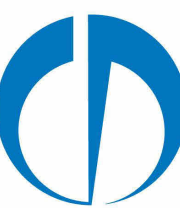
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PROPOSED = 30.8%

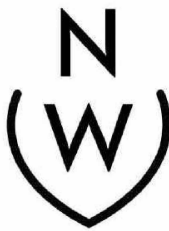
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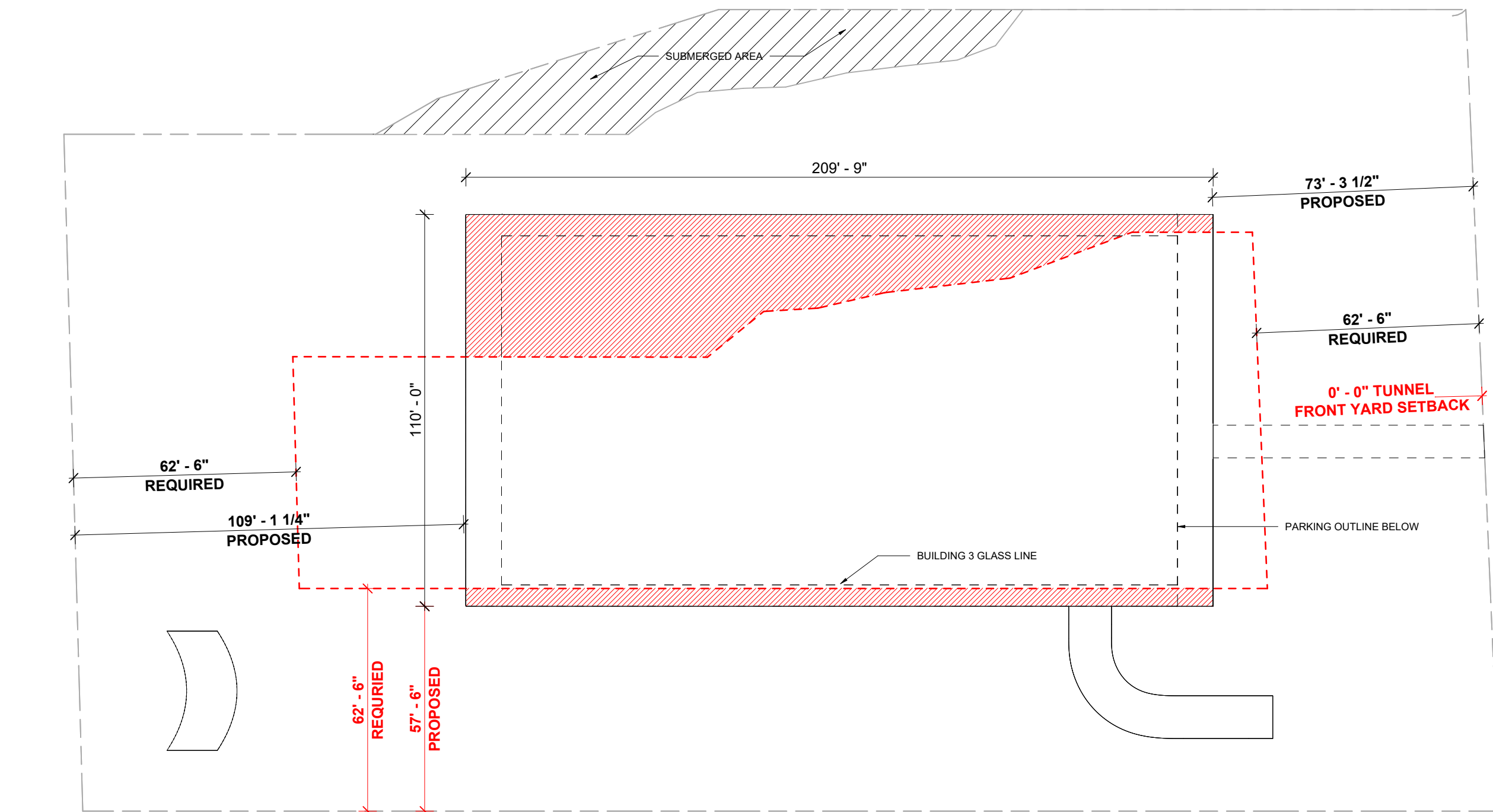
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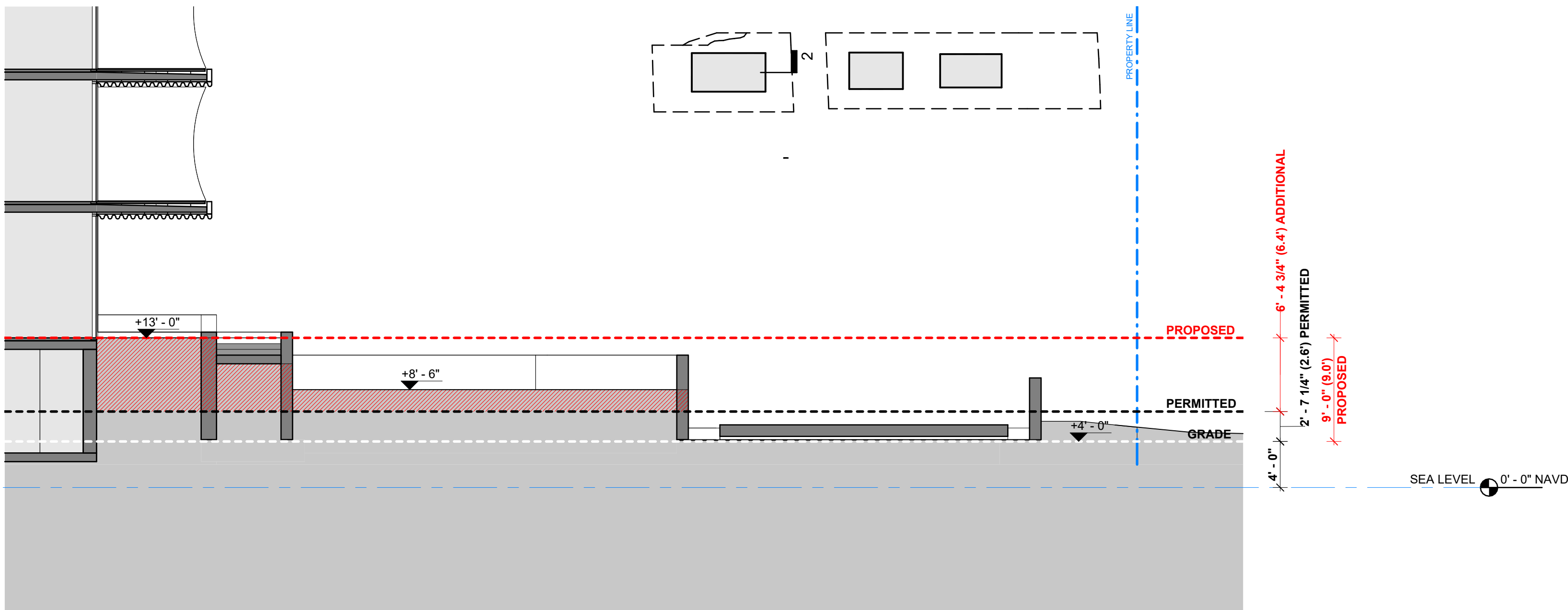
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VARIANCE DIAGRAMS - EW

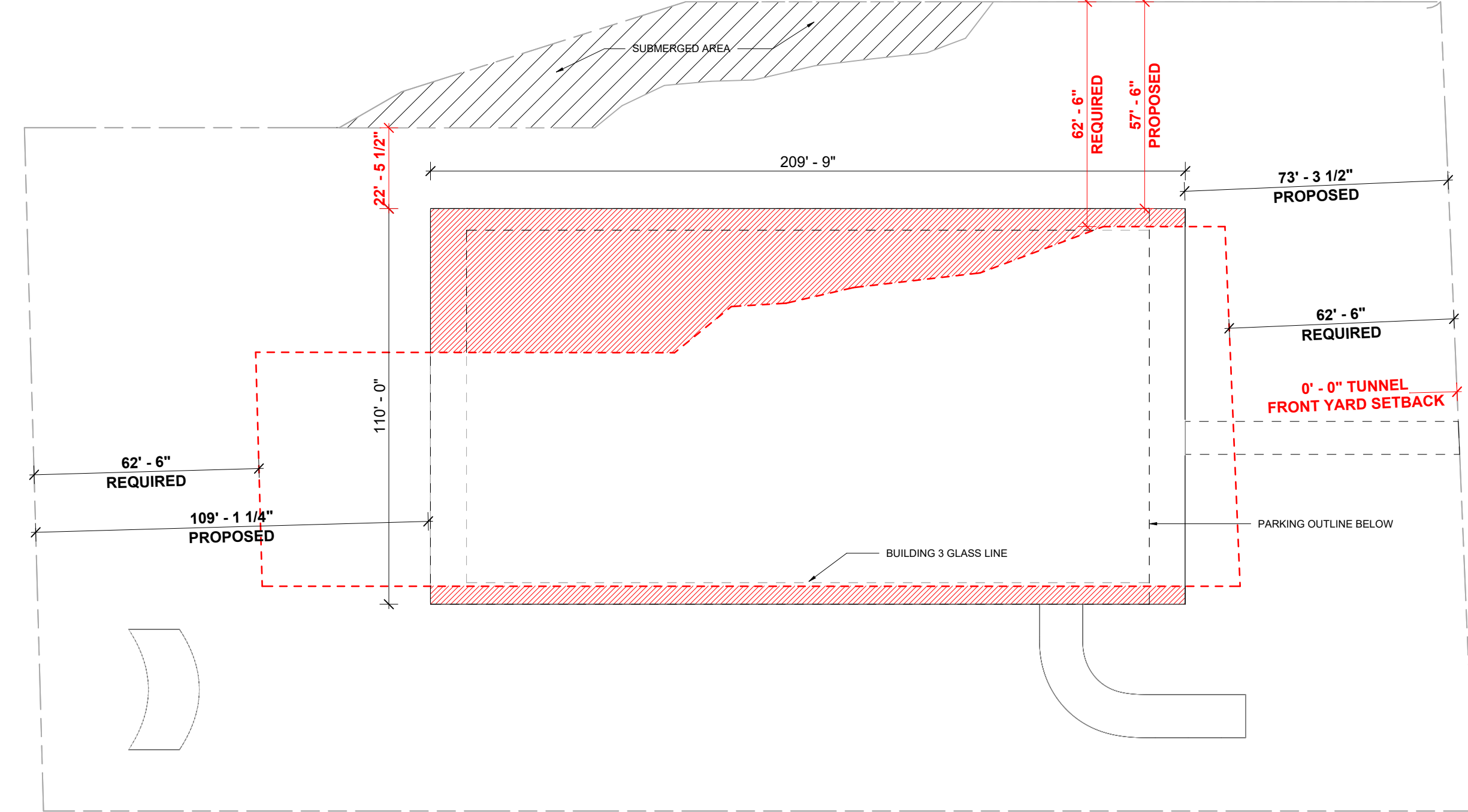
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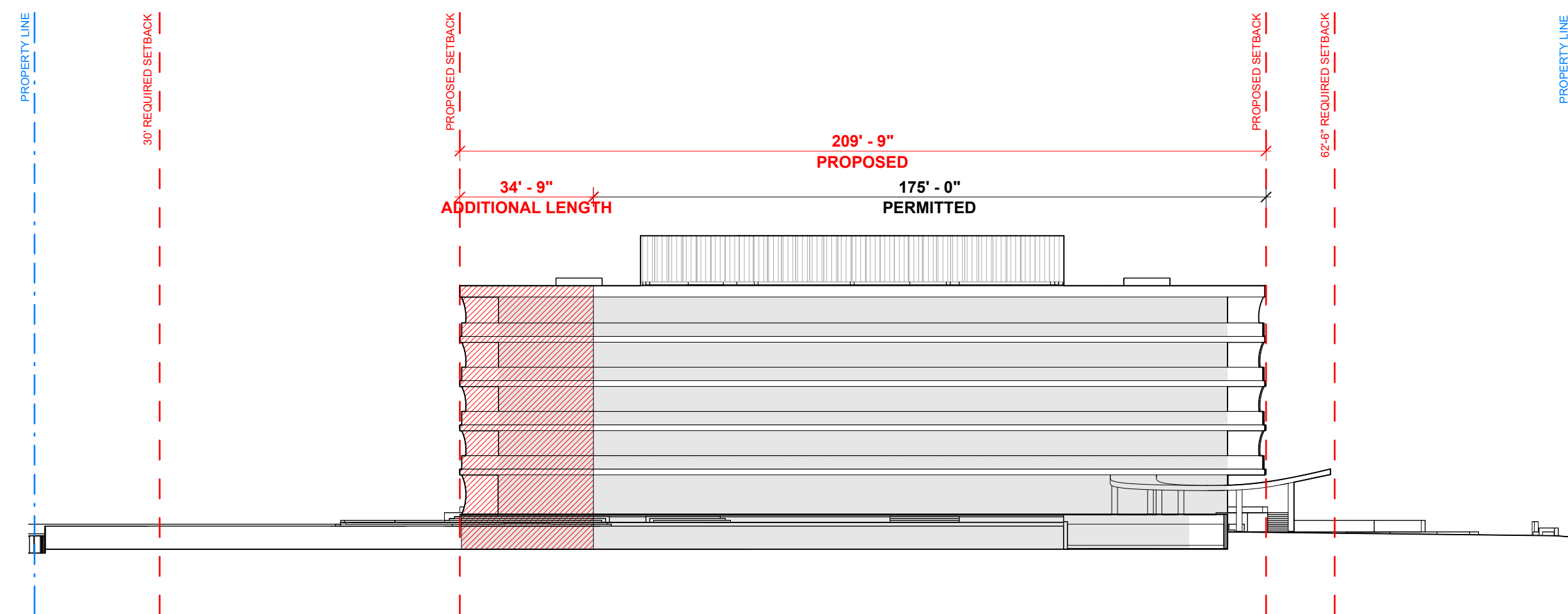
4 VARIANCE #5 - RELIEF FROM SIDE YARD SETBACK SOUTH
SCALE: 1/32" = 1'-0"
REQUIRED = 62'-6" (EXISTING SOUTH 9'-0")
PROPOSED = SOUTH 57'-6"



2 VARIANCE #3 - RELIEF FROM FILL PERMITTED
SCALE: 1/8" = 1'-0"
PERMITTED = 2'-7 1/4" (2.6')
PROPOSED = 9'-0" (9.0')



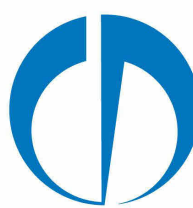
3 VARIANCE #4 - RELIEF FROM SIDE YARD SETBACK NORTH
REQUIRED = 62'-6" (EXISTING NORTH 11'-3")
PROPOSED = NORTH 22'-5 1/2"



1 VARIANCE #2 - RELIEF FROM MAXIMUM BUILDING LENGTH
SCALE: 1/32" = 1'-0"
PERMITTED = 175'-0"
PROPOSED = 209'-9"

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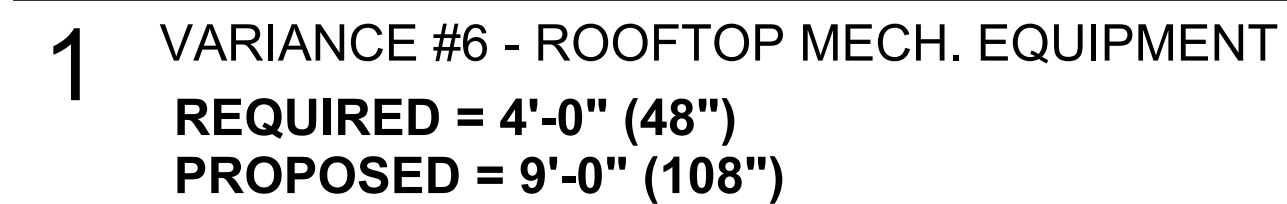
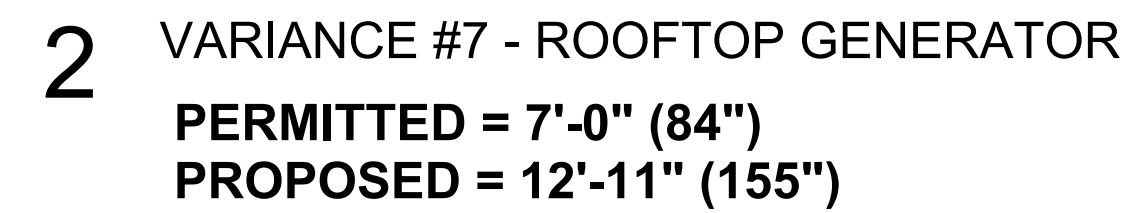
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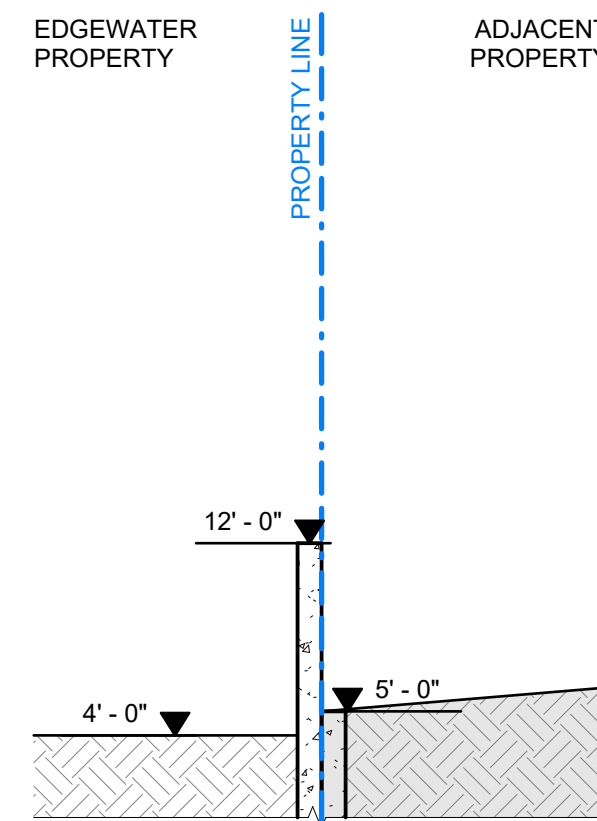
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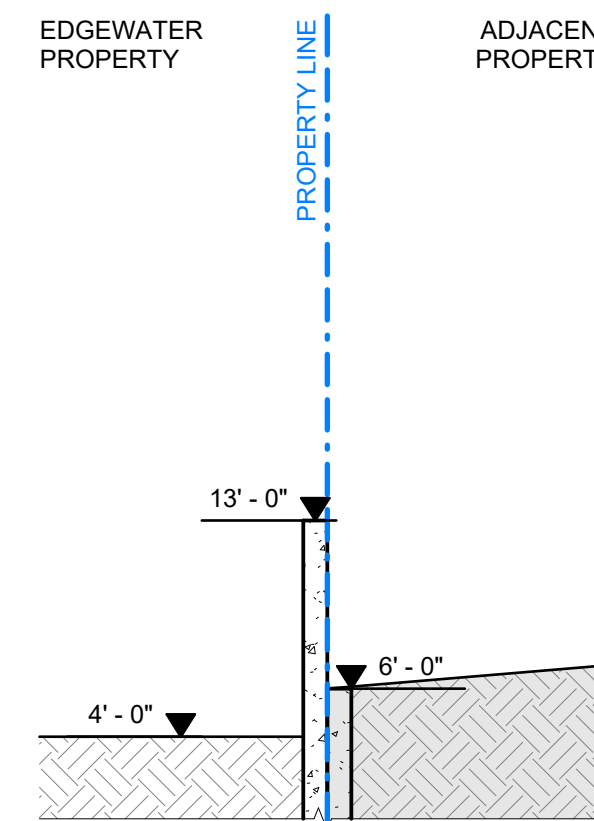
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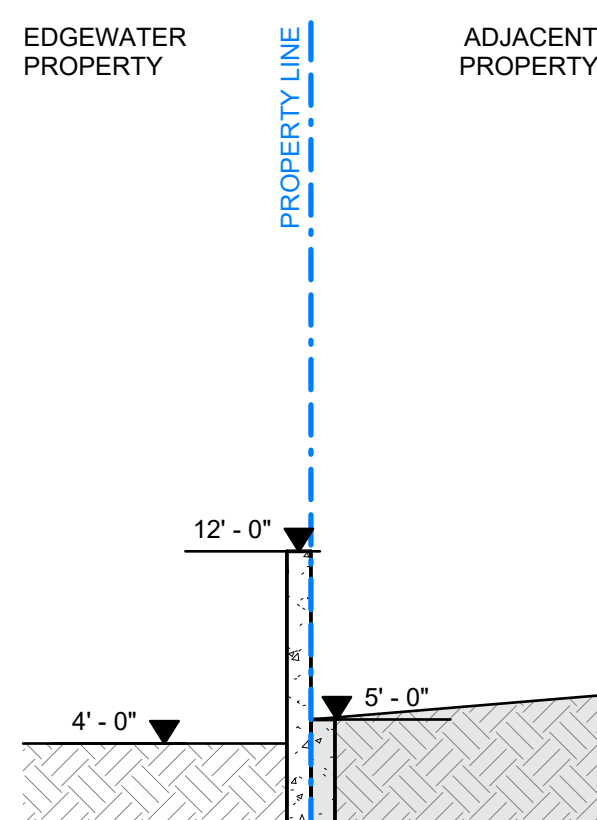
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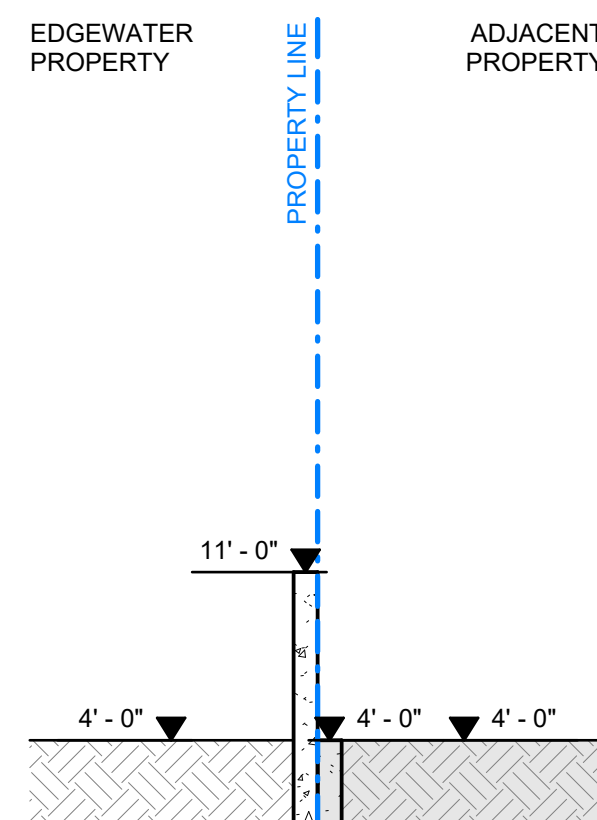
7 PERIM. SECTION
SCALE: 1/8" = 1'-0"



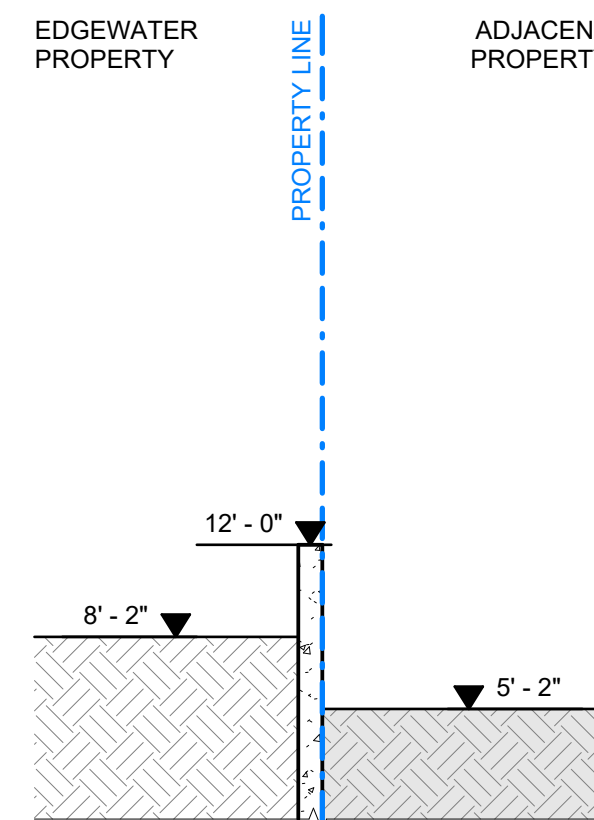
6 PERIM. SECTION
SCALE: 1/8" = 1'-0"



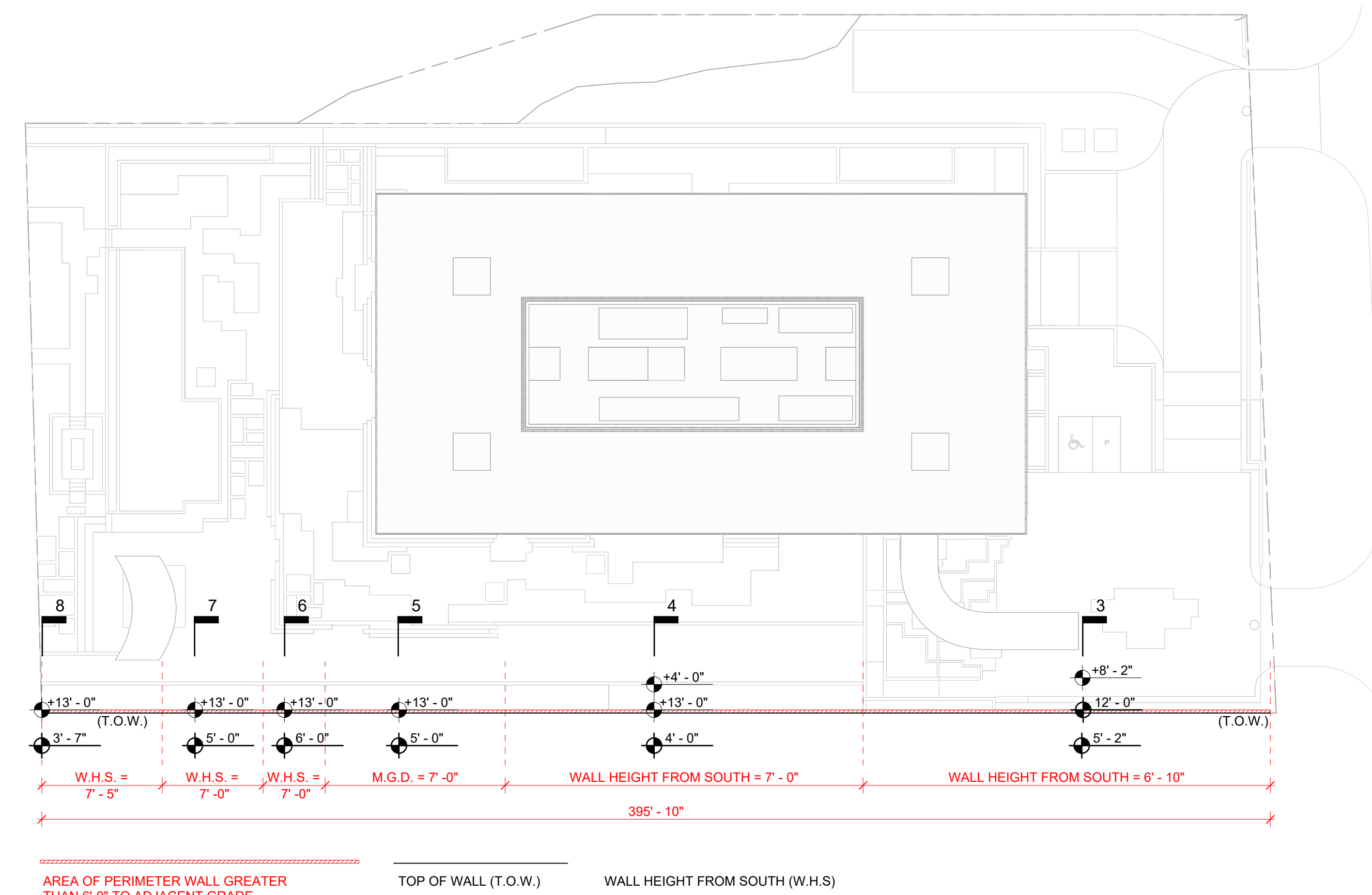
5 PERIM. SECTION
SCALE: 1/8" = 1'-0"



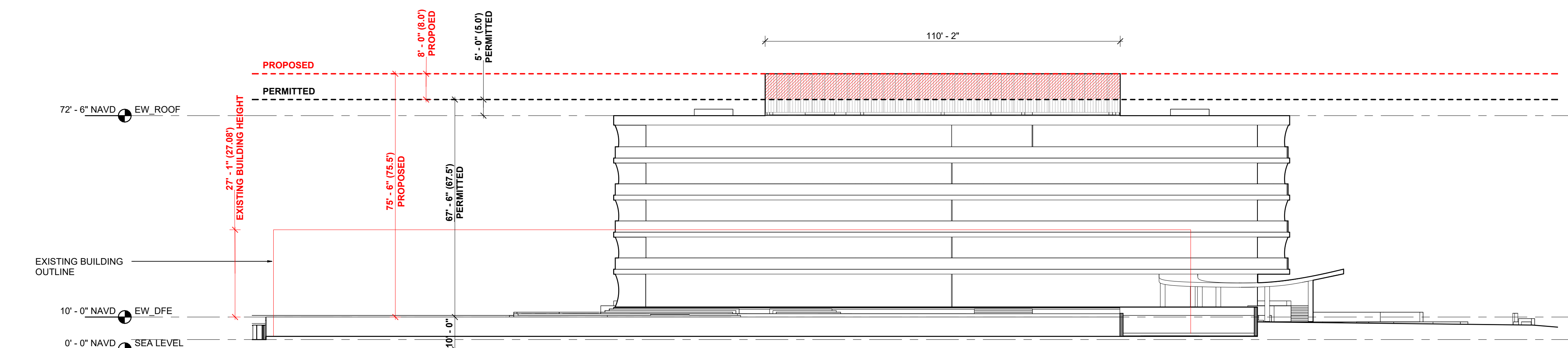
4 PERIM. SECTION
SCALE: 1/8" = 1'-0"



3 PERIM. SECTION



2 VARIANCE #10 - PERIMETER WALL HEIGHT



1 VARIANCE #9 - OVERALL BUILDING HEIGHT
PERMITTED = 67'-6"
PROPOSED = 75'-6"