



Mr. & Mrs. Forsyth Williams Guest House  
288 Sandpiper Drive, Palm Beach, FL 33480



ARCHITECTURE

MP DESIGN & ARCHITECTURE

Scope of Work

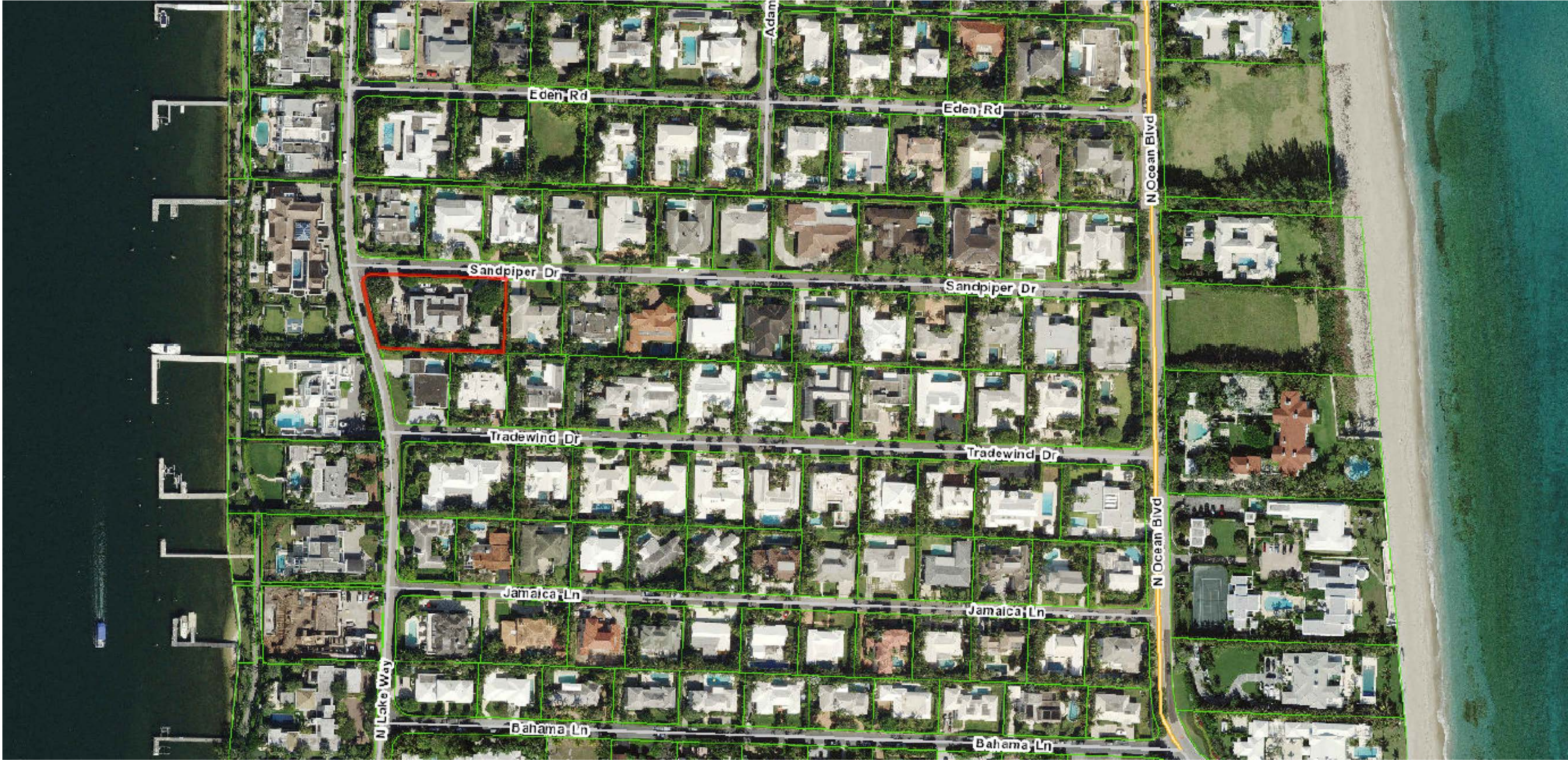
Modifications to previously ARCOM Approved submittal.  
Addition and Enclosure of Existing Lanai to air-conditioned space.  
Removal of Glass Block wall replaced with a pair of French Doors with Side Lites at the Gym.

ARC-24-0131  
ZON-24-005

|                  |            |
|------------------|------------|
| First Submittal  | 11-26-2024 |
| Second Submittal | 12-16-2024 |
| Final Submittal  | 01-10-2025 |
| Meeting Date     | 01-29-2025 |

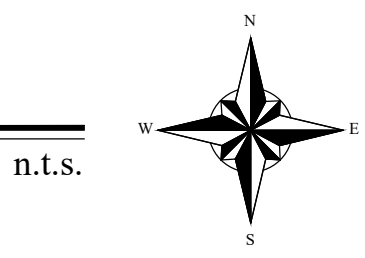
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Vicinity Location Map

Scale



n.l.s.

ARC-24-0131  
ZON-24-005



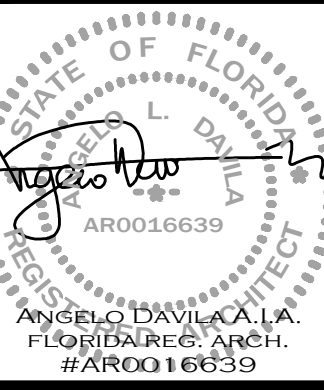
COMM NO.  
1703

DATE  
11-26-2024

REVISIONS

Additions and Renovations to the  
Forsyth Williams Guest House

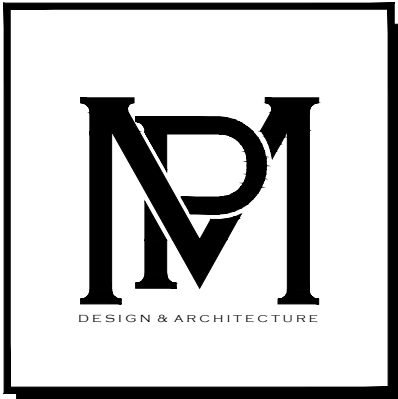
288 Sandpiper Drive  
Palm Beach, FL 33480



MP DESIGN &  
ARCHITECTURE, INC  
217 PERUVIAN AVENUE, SUITE 4  
PALM BEACH, FLORIDA 33480  
561.833.7575  
AA26001667

SHEET NO.

Vicinity  
Map



COMM NO.  
1703

DATE  
11-26-2024

REVISIONS

288 Sandpiper Drive  
Palm Beach FL 33480

Forsyth Williams Guest House

Additions and Renovations to the



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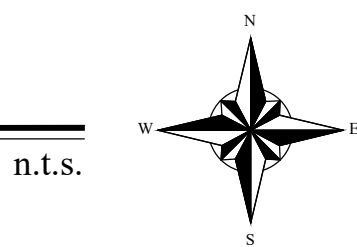
SHEET NO.

Location  
Map



Location Map

Scale



ARC-24-0131  
ZON-24-005



# Town of Palm Beach

Planning Zoning and Building

360 S County Rd

Palm Beach, FL 33480

www.townofpalmbeach.com

| Line # | Zoning Legend                                                              |                                            |          |          |
|--------|----------------------------------------------------------------------------|--------------------------------------------|----------|----------|
| 1      | Property Address:                                                          |                                            |          |          |
| 2      | Zoning District:                                                           |                                            |          |          |
| 3      | Structure Type:                                                            |                                            |          |          |
| 4      |                                                                            | Required/Allowed                           | Existing | Proposed |
| 5      | Lot Size (sq ft)                                                           |                                            |          |          |
| 6      | Lot Depth                                                                  |                                            |          |          |
| 7      | Lot Width                                                                  |                                            |          |          |
| 8      | Lot Coverage (Sq Ft and %)                                                 |                                            |          |          |
| 9      | Enclosed Square Footage<br>(1st & 2nd Fl., Basement, Accs. Structure, etc) |                                            |          |          |
| 10     | Cubic Content Ratio (CCR) (R-B ONLY)                                       |                                            |          |          |
| 11     | *Front Yard Setback (Ft.)                                                  |                                            |          |          |
| 12     | * Side Yard Setback (1st Story) (Ft.)                                      |                                            |          |          |
| 13     | * Side Yard Setback (2nd Story) (Ft.)                                      |                                            |          |          |
| 14     | *Rear Yard Setback (Ft.)                                                   |                                            |          |          |
| 15     | Angle of Vision (Deg.)                                                     |                                            |          |          |
| 16     | Building Height (Ft.)                                                      |                                            |          |          |
| 17     | Overall Building Height (Ft.)                                              |                                            |          |          |
| 18     | Crown of Road (COR) (NAVD)                                                 |                                            |          |          |
| 19     | Max. Amount of Fill Added to Site (Ft.)                                    |                                            |          |          |
| 20     | Finished Floor Elev. (FFE)(NAVD)                                           |                                            |          |          |
| 21     | Zero Datum for point of meas. (NAVD)                                       |                                            |          |          |
| 22     | FEMA Flood Zone Designation                                                |                                            |          |          |
| 23     | Base Flood Elevation (BFE)(NAVD)                                           |                                            |          |          |
| 24     | Landscape Open Space (LOS) (Sq Ft and %)                                   |                                            |          |          |
| 25     | Perimeter LOS (Sq Ft and %)                                                |                                            |          |          |
| 26     | Front Yard LOS (Sq Ft and %)                                               |                                            |          |          |
| 27     | **Native Plant Species %                                                   | Please refer to separate landscape legend. |          |          |

\* Indicate each yard area with cardinal direction  
(N,S,E,W)

If value is not applicable, enter N/A

\*\* Provide Native plant species calculation per  
category as required by Ord. 24-2021 on  
separate table

If value is not changing, enter N/C

LEGEND

- A

= ARC LENGTH
- A/C

= AIR CONDITIONING
- A.E.

= ACCESS EASEMENT
- A.K.A.

= ALSO KNOWN AS
- B.F.P.

= BACKFLOW PREVENTER
- BLDG.

= BUILDING
- B.M.

= BENCHMARK
- B.O.C.

= BACK OF CURB
- B.O.W.

= BACK OF WALK
- (C)

= CALCULATED
- CATV

= CABLE ANTENNA TELEVISION
- C.B.

= CHORD BEARING
- C.B.S.

= CONCRETE BLOCK STRUCTURE
- C.C.C.L.

= COASTAL CONSTRUCTION CONTROL LINE
- CH

= CHORD
- C.I.F.

= CHAIN LINK FENCE
- CLR.

= CLEAR
- C.M.P.

= CORRUGATED METAL PIPE
- CONC.

= CONCRETE
- (D)

= DESCRIPTION DATUM
- D.B.

= DEED BOOK
- D.E.

= DRAINAGE EASEMENT
- D.H.

= DRILL HOLE
- E.B.

= ELECTRIC BOX
- EL.

= ELEVATION
- ENC.

= ENCROACHMENT
- E.O.P.

= EDGE OF PAVEMENT
- E.O.W.

= EDGE OF WATER
- ESMT

= EASEMENT
- FFE

= FINISH FLOOR ELEVATION
- FND.

= FOUND
- G.A.

= GUY ANCHOR
- GEN

= GENERATOR
- G.M.

= GAS METER
- INV.

= INVERT
- L.A.E.

= LIMITED ACCESS EASEMENT
- L.B.

= LICENSE BOARD
- L.W.D.D.

= LAKE WORTH DRAINAGE DISTRICT
- (M)

= FIELD MEASUREMENT
- M.H.

= MANHOLE
- M.H.W.L.

= MEAN HIGH WATER LINE
- M.L.W.L.

= MEAN LOW WATER LINE
- N.A.V.D.

= NORTH AMERICAN VERTICAL DATUM
- N.G.V.D.

= NATIONAL GEODETIC VERTICAL DATUM
- N.P.B.C.I.D.

= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
- N.T.S.

= NOT TO SCALE
- O.A.

= OVERALL
- O.D.

= OUTSIDE DIAMETER
- O/H

= OVERHEAD UTILITY LINE
- O.R.B.

= OFFICIAL RECORD BOOK
- P

= PLANTER
- (P)

= PLAT DATUM
- P.B.

= PLAT BOOK
- P.B.C.

= PALM BEACH COUNTY
- P.C.

= POINT OF CURVATURE
- P.C.C.

= POINT OF COMPOUND CURVATURE
- P.E.

= POOL EQUIPMENT
- PG.

= PAGE
- P.I.

= POINT OF INTERSECTION
- P/O

= PART OF
- P.O.B.

= POINT OF BEGINNING
- P.O.C.

= POINT OF COMMENCEMENT
- P.R.C.

= POINT OF REVERSE CURVATURE
- P.R.M.

= PERMANENT REFERENCE MONUMENT
- PROP.

= PROPOSED
- P.T.

= POINT OF TANGENCY
- P.V.M.T

= PAVEMENT
- (R)

= RADIAL
- R

= RADIUS
- RGE.

= RANGE
- R.P.B.

= ROAD PLAT BOOK
- R/W

= RIGHT OF WAY
- (S)

= SURVEY DATUM
- S.B.

= SETBACK
- SEC.

= SECTION
- S/D

= SUBDIVISION
- S.F.

= SQUARE FEET
- S.F.W.M.D.

= SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- S.I.R.W.C.D.

= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
- S.R.

= STATE ROAD
- STA.

= STATION
- STY.

= STORY
- TH

= THRESHOLD ELEVATION
- TOC

= TOP OF CURB ELEVATION
- TOW

= TOP OF WALL ELEVATION
- TWP.

= TOWNSHIP
- TYP.

= TYPICAL
- U/C

= UNDER CONSTRUCTION
- U.E.

= UTILITY EASEMENT
- U.R.

= UNRECORDED
- W.C.

= WITNESS CORNER
- W.M.E.

= WATER MANAGEMENT EASEMENT
- W.M.M.E.

= WATER MANAGEMENT MAINTENANCE EASEMENT
- W.M.T.

= WATER MANAGEMENT TRACT
- Y.D.

= YARD DRAIN
- Δ

= CENTERLINE
- ∠

= CENTRAL ANGLE/DELTA
- = CONCRETE MONUMENT FOUND (AS NOTED)
- = CONCRETE MONUMENT SET (LB #4569)
- = ROD & CAP FOUND (AS NOTED)
- = 5/8" ROD & CAP SET (LB #4569)
- ⊙

= IRON PIPE FOUND (AS NOTED)
- ⦿

= IRON ROD FOUND (AS NOTED)
- ▲

= NAIL FOUND
- ▲

= NAIL & DISK FOUND (AS NOTED)
- ⊗

= MAG NAIL & DISK SET (LB #4569)
- ℙ

= PROPERTY LINE
- ℙ

= UTILITY POLE
- ⚡

= FIRE HYDRANT
- ⚡

= WATER METER
- ⚡

= WATER VALVE
- ⚡

= LIGHT POLE

BOUNDARY SURVEY FOR:

KELLY M. WILLIAMS, AS TRUSTEE OF THE KELLY WILLIAMS

REVOCABLE TRUST DATED AUGUST 9, 2016

This survey is made specifically and only for the following party for the purpose of a permit on the surveyed property.

Kelly M. Williams, as Trustee of the Kelly Williams Revocable Trust dated August 9, 2016  
Statewide Land Title, Inc.

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

288 Sandpiper Drive  
Palm Beach, FL 33480

LEGAL DESCRIPTION:

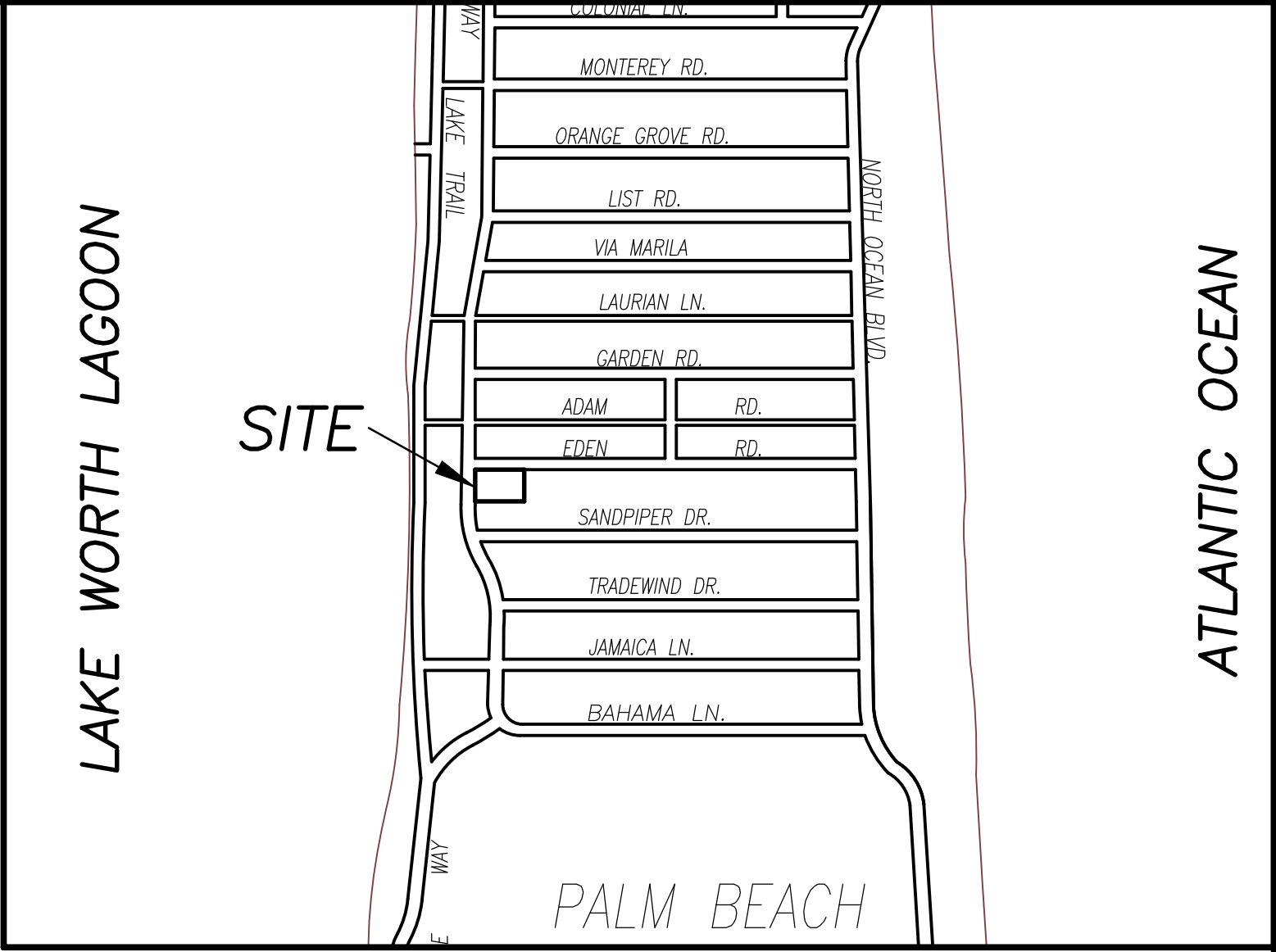
Lots 14 and 15, **DODGE ESTATES**, according to the plat thereof recorded in Plat Book 27, Page 119, of the Public Records of Palm Beach County, Florida.

FLOOD ZONE:

This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0851 F, dated 10-5-17.

NOTES:

1. All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 23-17230, issued by Statewide Land Title, Inc., dated December 15, 2023. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
3. Description furnished by client or client's agent.
4. Unless it bears the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
6. Except as shown, underground and overhead improvements are not located. Underground foundations not located.
7. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
9. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
10. All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
12. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.



VICINITY SKETCH N.T.S.

| TITLE COMMITMENT REVIEW                                                                          |                    |                                  |                     |                            |                 |                     |
|--------------------------------------------------------------------------------------------------|--------------------|----------------------------------|---------------------|----------------------------|-----------------|---------------------|
| CLIENT: Kelly M. Williams, as Trustee of the Kelly Williams Revocable Trust dated August 9, 2016 |                    | COMMITMENT NO. : 23-17230        | DATE: 12/15/23      |                            |                 |                     |
| REVIEWED BY: Craig Wallace                                                                       |                    | JOB NO. : 18-1215.18             |                     |                            |                 |                     |
| SEC. 6                                                                                           | DOCUMENT           | DESCRIPTION                      | AFFECTS AND PLOTTED | AFFECTS AND NOT PLOTT-ABLE | DOES NOT AFFECT | NOT A SURVEY MATTER |
| 1                                                                                                | PB 27, PG 119      | Plat of DODGE ESTATES.           | ●                   |                            |                 |                     |
| 2                                                                                                | ORB 880, PG 249    | Declaration.                     |                     | ●                          |                 |                     |
| 3                                                                                                | ORB 6806, PG 1620  | Agreement.                       | ●                   |                            |                 |                     |
| 4                                                                                                | ORB 19788, PG 1005 | Agreement.                       | ●                   |                            |                 |                     |
| 5                                                                                                | ORB 33125, PG 609  | Agreement.                       | ●                   |                            |                 |                     |
| 6                                                                                                | ORB 33678, PG 816  | Stormwater Management Agreement. |                     | ●                          |                 |                     |
| 7                                                                                                | ORB 33880, PG 186  | Underground Easement.            | ●                   |                            |                 |                     |

REVISIONS:

11/30/23 SURVEY AND TIE-IN UPDATE C.E./S.W. 18-1215.18 PB355/18  
05/16/22 SURVEY AND TIE-IN UPDATE B.M./M.B. 18-1215.16 PB333/32  
05/16/22 SITE WALL TIE-IN B.M./M.B. 18-1215.17 PB333/6  
05/06/22 FORMBOARD TIE & EL. B.M./J.P. 18-1215.15 PB331/76  
03/07/22 SPOT ELEVATIONS J.C./S.W. 18-1215.14 PB325/75  
07/31/21 SITE WALL TIE-IN J.P./M.B. 18-1215.11 PB314/68  
07/19/21 ADD SAFE SITE TRIANGLE S.W. 18-1215.10  
07/14/21 TIE-IN ON ADJUSTED FOOTER FORMS B.M./M.B. 18-1215.9 PB316/21  
05/29/21 FORMBOARD TIE-IN B.M./S.W. 18-1215.7 PB311/65  
09/22/20 TIE BEAM ELEVATIONS B.M./S.W. 18-1215.6 PB301/9  
09/03/20 FORMBOARD TIE-IN B.M./S.W. 18-1215.5 PB297/75  
07/10/20 FORMBOARD TIE-IN C.E./S.W. 18-1215.4 PB297/10  
06/03/20 FORMBOARD TIE-IN B.M./S.W. 18-1215.3 PB295/47

BOUNDARY SURVEY FOR:

KELLY M. WILLIAMS, AS TRUSTEE OF THE KELLY WILLIAMS REVOCABLE TRUST DATED AUGUST 9, 2016

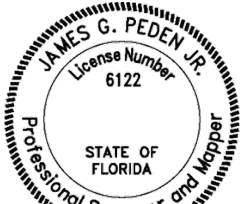
|                                                                                                                                                                                      |                  |                    |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|--------------------|--|
| <div><div><div></div></div><div><b>WALLACE SURVEYING</b><br/>CORP., LICENSED BUSINESS # 4569<br/>5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-6551</div></div> |                  |                    |  |
| FIELD: B.M.                                                                                                                                                                          | JOB NO.: 18-1215 | F.B.: PB259 PG. 56 |  |
| OFFICE: M.B.                                                                                                                                                                         | DATE: 4/26/18    | DWG. NO.: 18-1215  |  |
| C/K'D: C.W.                                                                                                                                                                          | REF: 18-1215.DWG | SHEET 1 OF 2       |  |

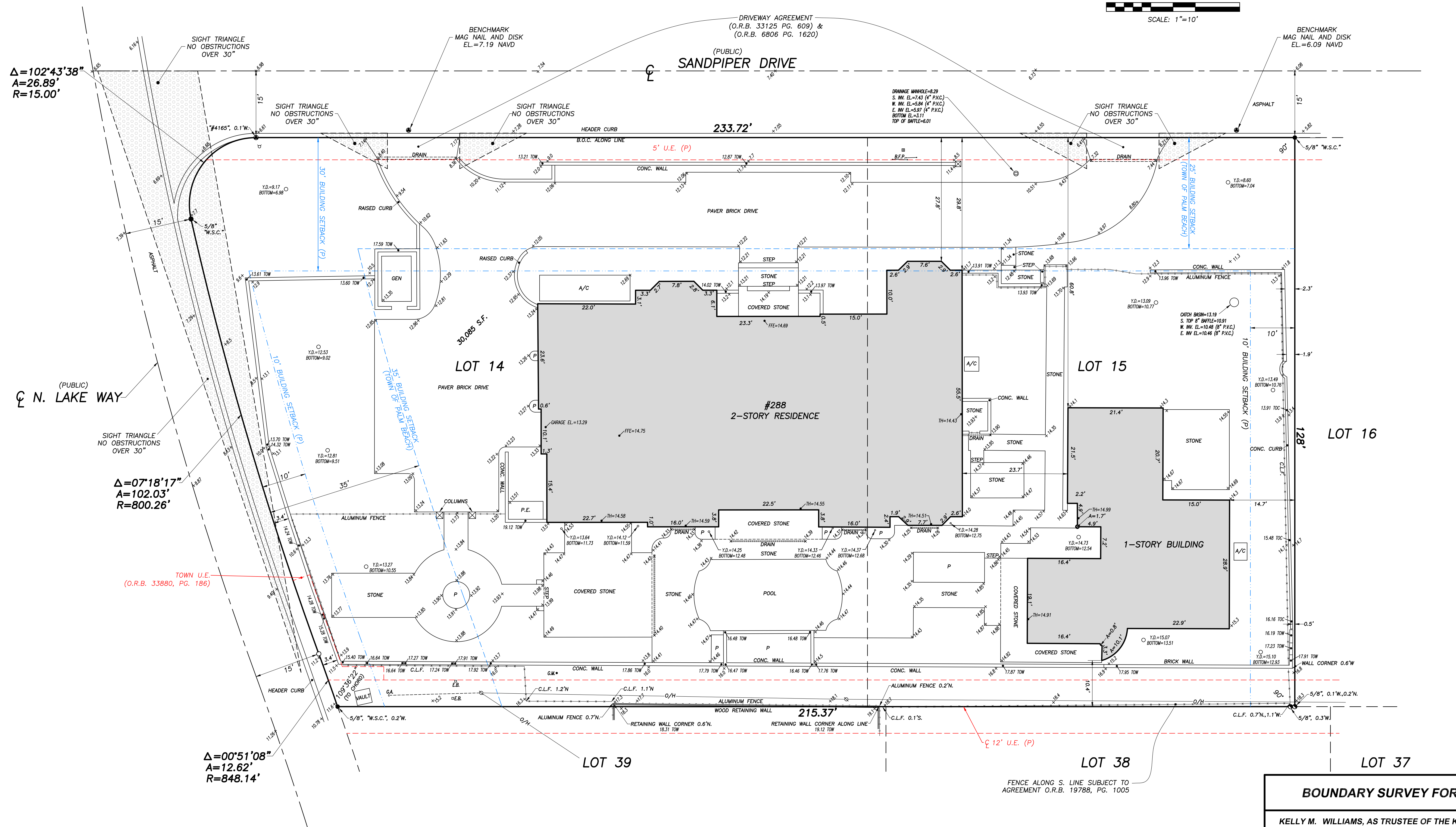
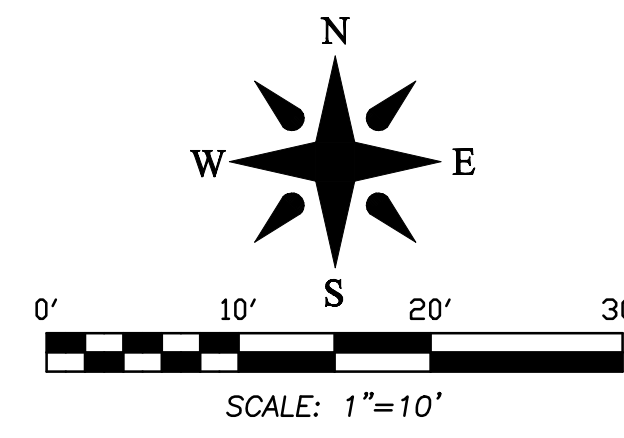
CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 11/30/2023

James G. Peden, Jr.  
Professional Surveyor and Mapper  
Florida Certificate No. 6122



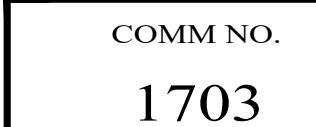


**BOUNDARY SURVEY FOR:**

KELLY M. WILLIAMS, AS TRUSTEE OF THE KELLY WILLIAMS REVOCABLE TRUST DATED AUGUST 9, 2016

**WALLACE SURVEYING**  
CORP., LICENSED BUSINESS # 4589  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-6551

|        |      |         |             |          |              |
|--------|------|---------|-------------|----------|--------------|
| FIELD  | B.M. | JOB NO. | 18-1215     | F.B.     | PB259 PG. 56 |
| OFFICE | M.B. | DATE    | 4/26/18     | DWG. NO. | 18-1215      |
| C.K'D  | C.W. | REF.    | 18-1215.DWG | SHEET    | 2 OF 2       |



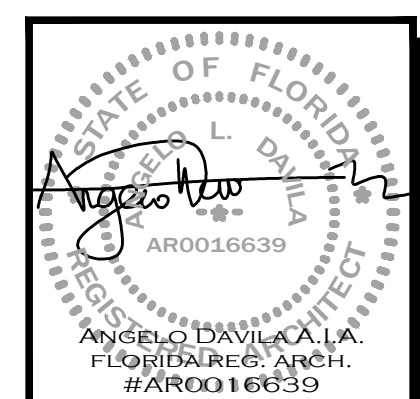
DATE  
11-26-2024

## REVISIONS

Palm Beach FL 33480

Additions and Renovations to the  
**Forsyth Williams Guest House**

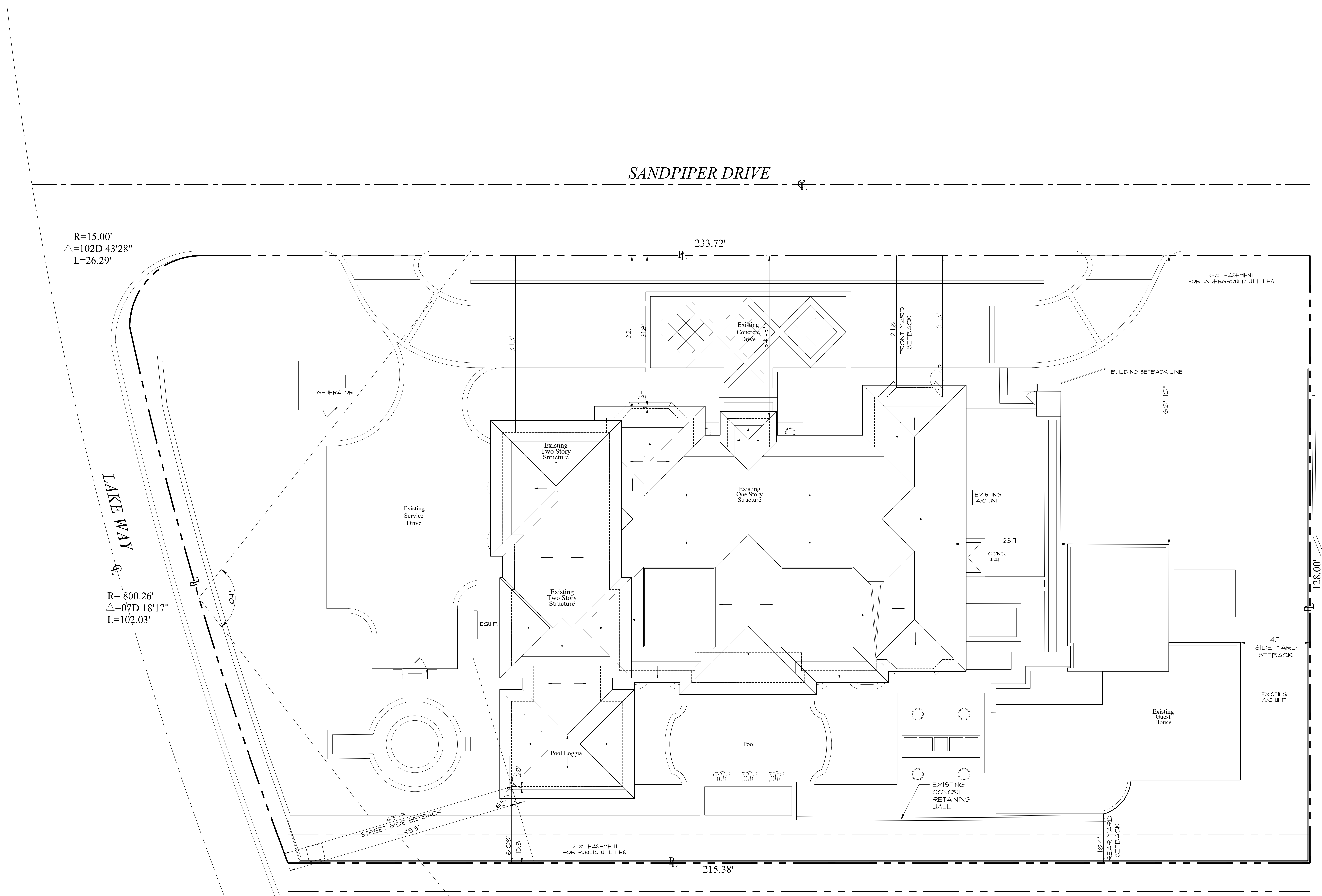
288 Sandpiper Drive



MP DESIGN &  
ARCHITECTURE, INC  
217 PERUVIAN AVENUE, SUITE 4  
PALM BEACH, FLORIDA 33480  
561.833.7575  
AA26001667

SHEET NO.

A000

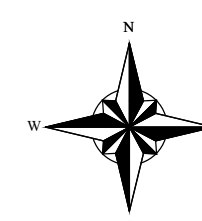


Existing Site Plan  
Scale

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1/8" = 1'-0"



ARC-24-0131  
ZON-24-005

LEGAL DESCRIPTION  
Lots 14 and 15, DODGE ESTATES, according to the plat thereof in Plat Book 27, Page 119, of the Public Records of Palm Beach County, Florida



Location Map

Scale

n.t.s.

| ZONING & SITE CALCULATIONS |                          |                   |                   |
|----------------------------|--------------------------|-------------------|-------------------|
| Zoning Item                | Required/Allowed         | Existing          | Proposed          |
| Zoning District            | RB                       | RB                | RB                |
| Lot Area                   | 20,000 SF                | 30,074 SF         | 30,074 SF         |
| Lot Width                  | 125'                     | 233'              | 233'              |
| Lot Depth                  | 150'                     | 128'              | 128'              |
| Front Yard Setback         | 35'                      | *27'-9"           | *27'-9"           |
| Street Side Yard Setback   | 35'                      | 49'-11"           | 49'-11"           |
| Side Yard Setback          | 15'                      | *14'-7"           | 14'-7"            |
| Rear Yard Setback          | 15'                      | *10'-4"           | *10'-4"           |
| Maximum Building Height    | 25' 1 or 2-Story         | 19'-3"            | 19'-3"            |
| Maximum Overall Height     | 30'                      | 26'-3"            | 26'-3"            |
| Lot Coverage               | 25% 2-Story (7,518.5 SF) | 23.6% (7,105 SF)  | 24.74% (7,441)    |
| Landscape Open Space       | 50% (15,037 SF)          | 55.6% (15,833 SF) | 55.6% (15,833 SF) |
| Required Front Yard        | 45% (3,875 SF)           | 56.4% (4,857 SF)  | 56.4% (4,857 SF)  |
| Cubic Content Ratio        | 3.80 (114,000 CF)        | 2.63 (79,171 CF)  | 2.68 (80,558 CF)  |
| Angle of Vision            | 100 Degrees              | 104 Degrees       | 104 Degrees       |

\*Indicates Existing Non-Conformity to Remain

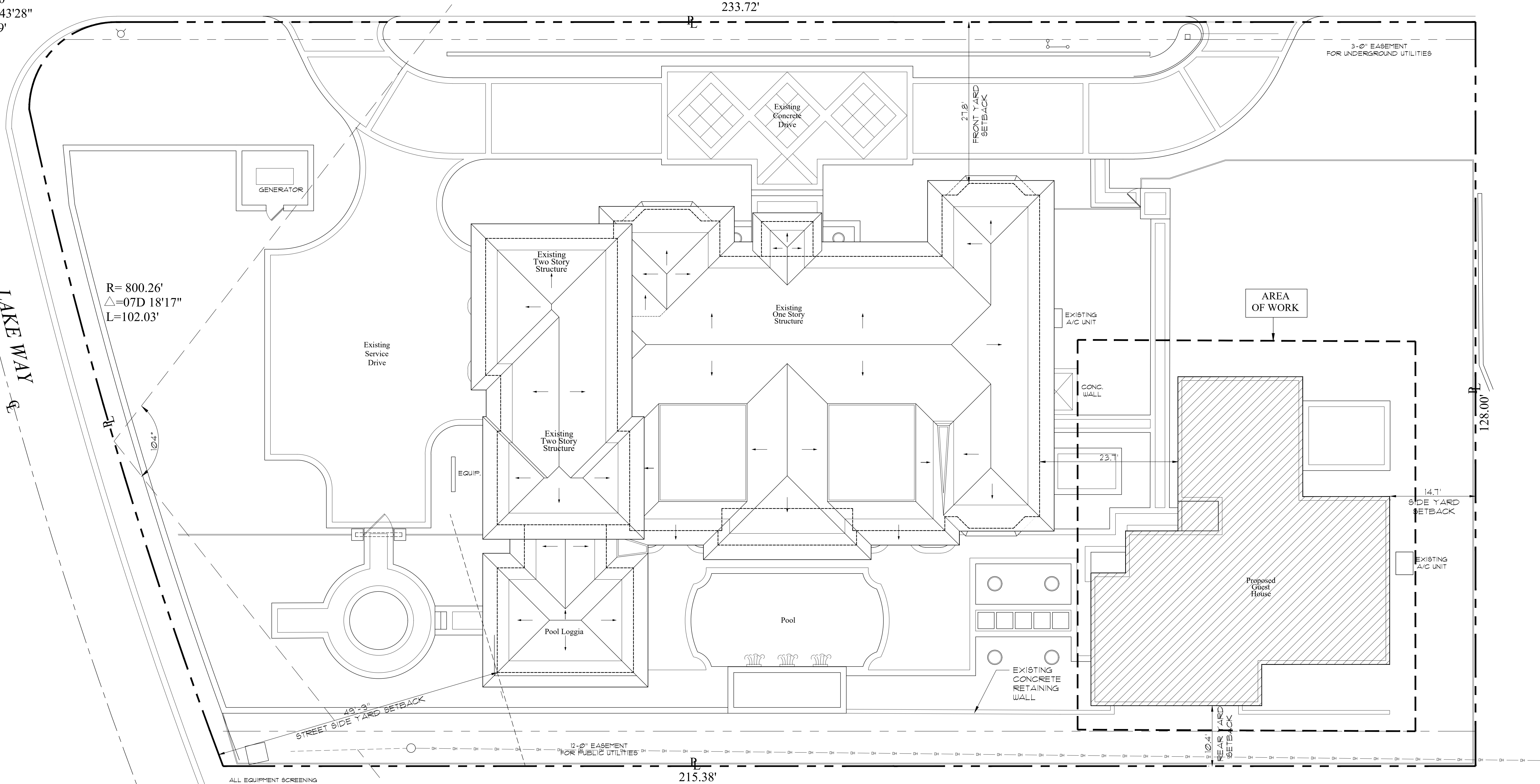
| AREAS MAIN HOUSE AND GUEST HOUSE |     |          |           |
|----------------------------------|-----|----------|-----------|
|                                  |     | Existing | Proposed  |
| 1st Floor                        | A/C | 4,033 SF | 4,033 SF  |
| 2nd Floor                        | A/C | 762 SF   | 762 SF    |
| Loggia                           |     | 670 SF   | 670 SF    |
| Garage                           |     | 739 SF   | 739 SF    |
| Total                            | A/C | 6,204 SF | 6,204 SF  |
|                                  |     |          |           |
| Guest House                      | A/C | 1,642 SF | 336.18 SF |
| Guest House Lanai                |     | 200 SF   |           |
| Total                            | A/C | 1,642 SF | 1,978 SF  |

R=15.00'  
△=102D 43'28"  
L=26.29'

R= 800.26'  
△=07D 18'17"  
L=102.03'

LAKE WAY

SANDPIPER DRIVE

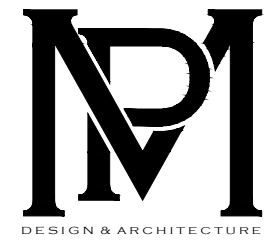


Proposed Site Plan

Scale

1/8" = 1'-0"

ARC-24-0131  
ZON-24-005



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DATE  
11-26-2024

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Additions and Renovations to the  
Forsyth Williams Guest House

Palm Beach FL 33480

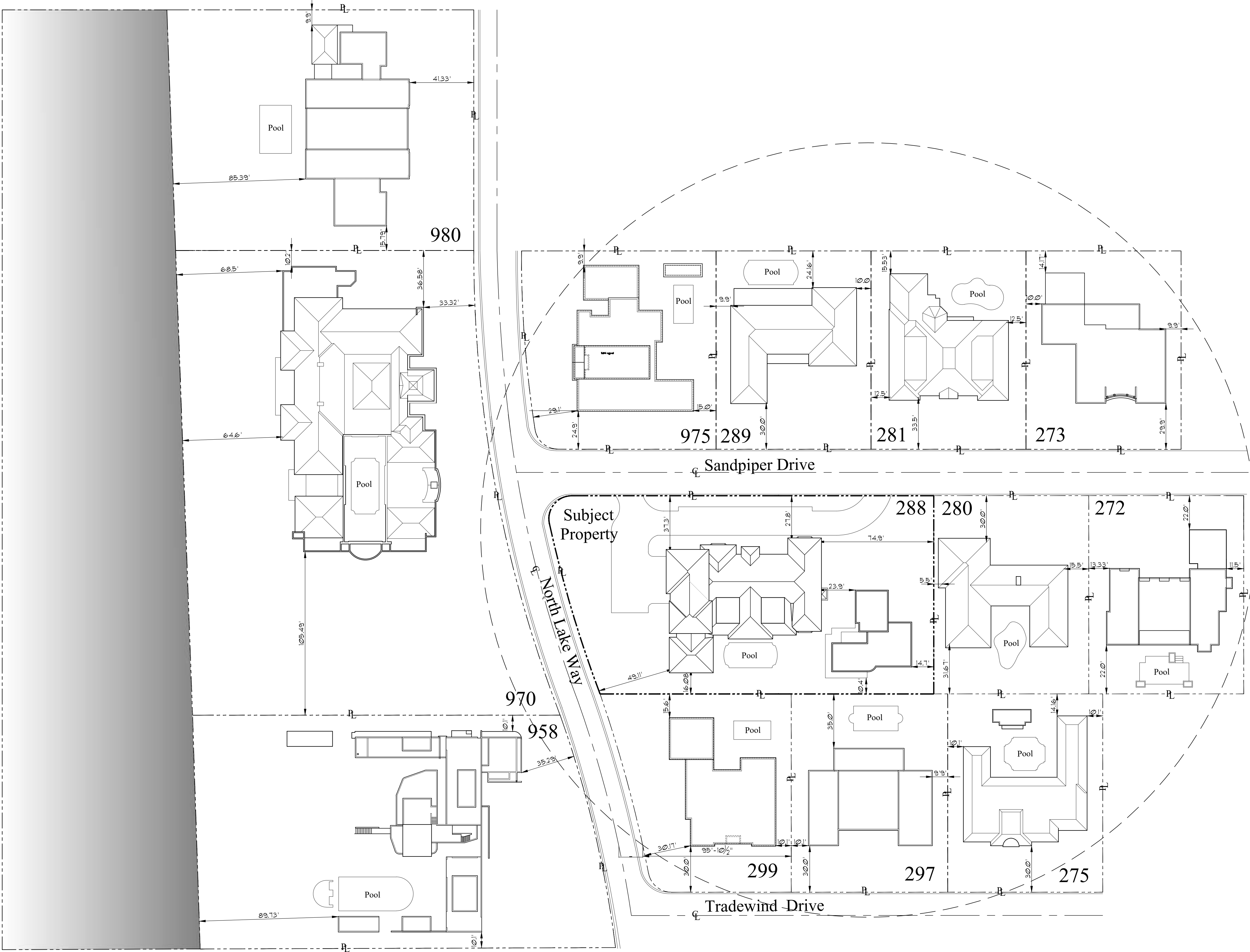
288 Sandpiper Drive



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561.833.7575  
AA26001667

SHEET NO.

A001



Streetscape

Scale

1/32" = 1'-0"



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1703

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288 Sandpiper Drive  
Palm Beach FL 33480

288 Sandpiper Drive

Forsyth Williams Guest House

Additions and Renovations to the



ANGELICA DAVILA, P.E.  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
#AR0016639

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A001.1



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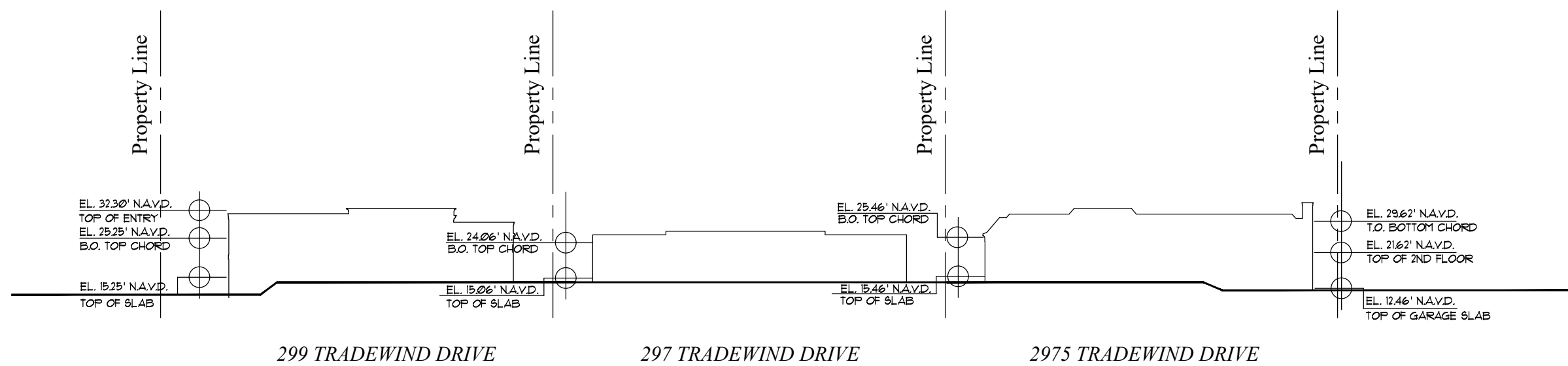
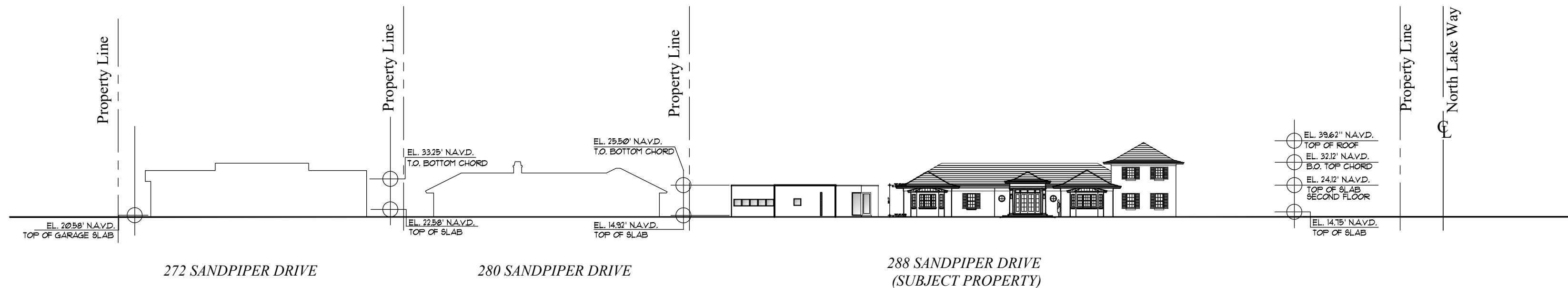
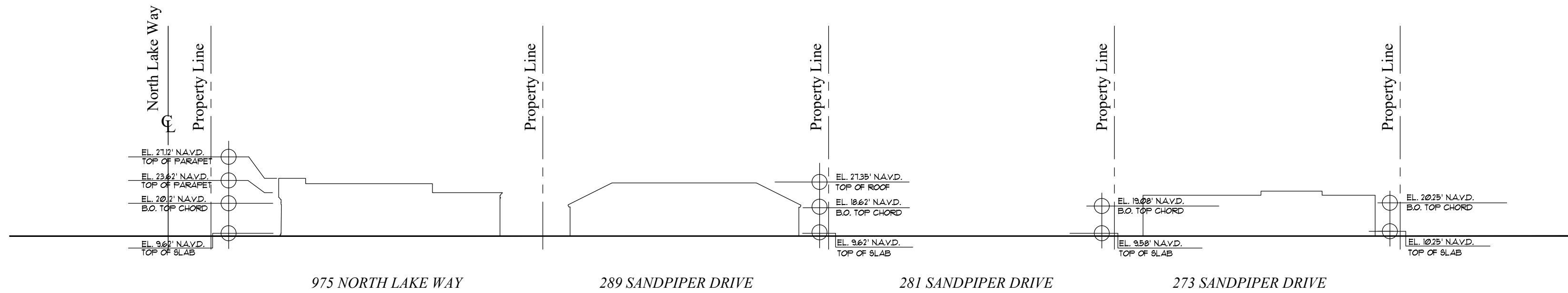
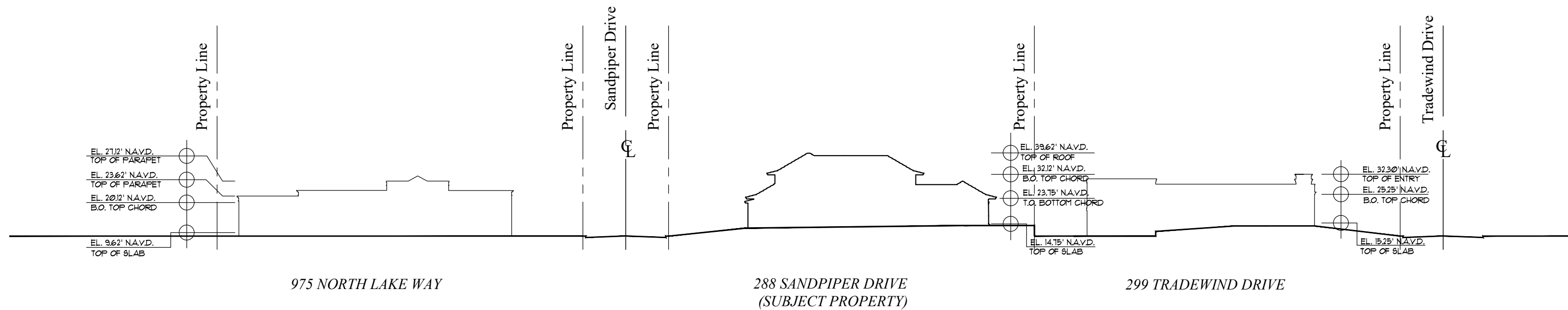
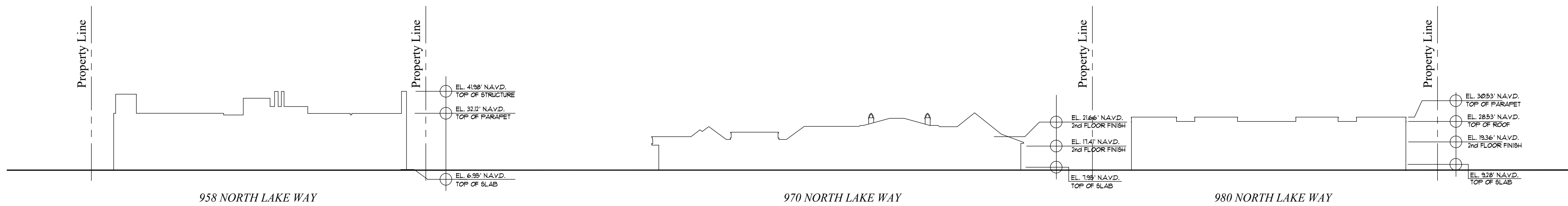
For  
Forsyth Williams Guest House

to the  
Additions and Renovations to the

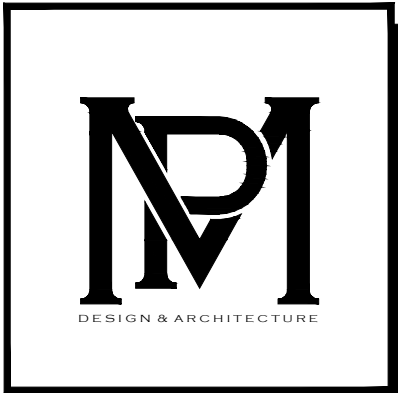


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SHEET NO.  
A001.2



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Forsyth Williams Guest House

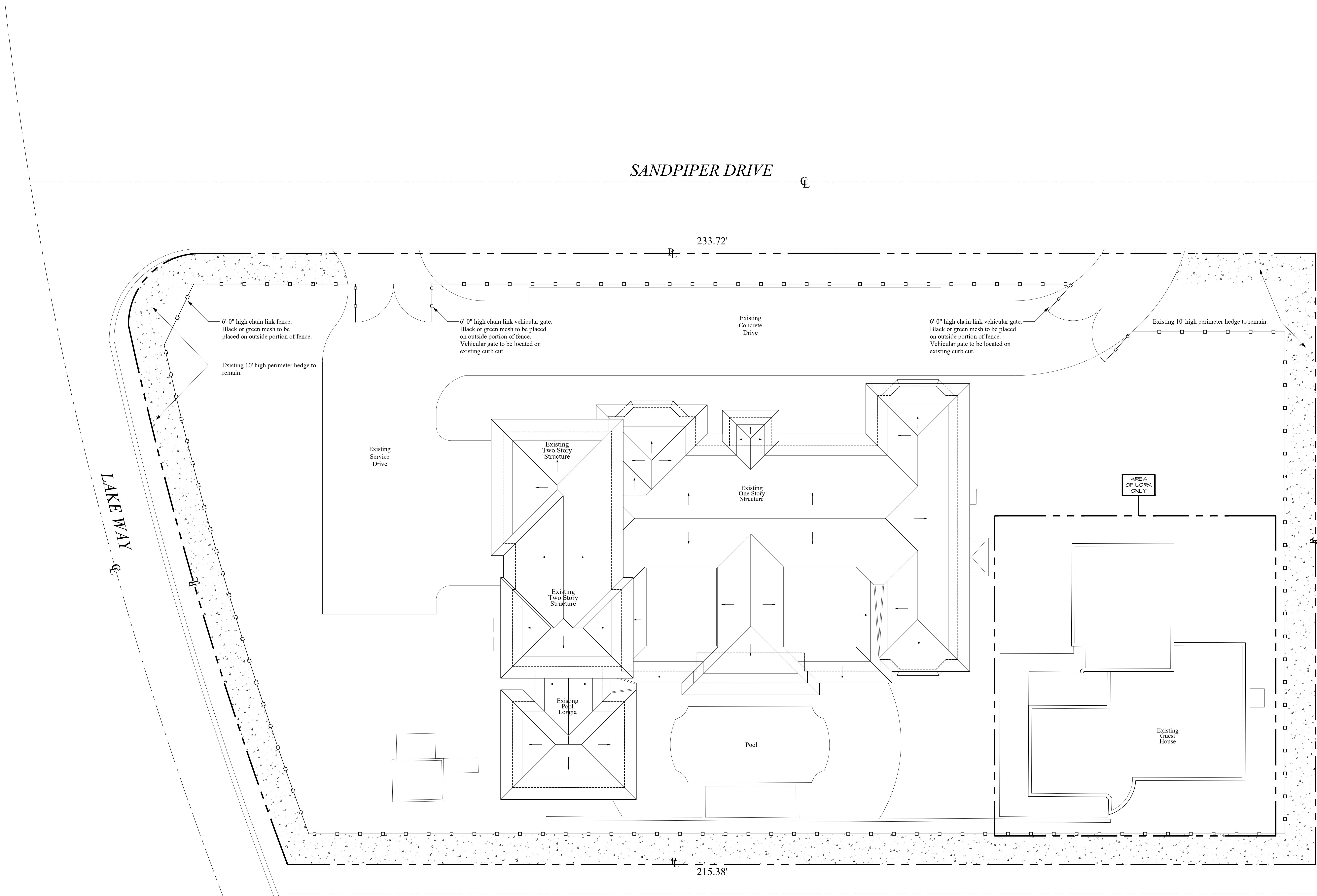
Additions and Renovations to the



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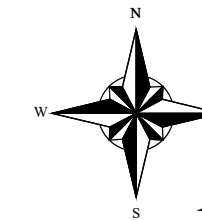
A003



Construction Screening Plan

Scale

1/8" = 1'-0"



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Route To Property:

Enter the Town of Palm Beach thru Royal Ponciana Way over the Flagler Memorial Bridge. Turn left on N County Road heading north. Turn right with Country Club Road heading east. Turn Left with N. Ocean Boulevard heading north. turn left on Sandpiper Drive heading west until reaching subject property.

Max. Number Of Trips to Subject Property:

60 Building material and dumpster trucks

Maximum Truck Length:

40'



Truck Traffic Map

Scale

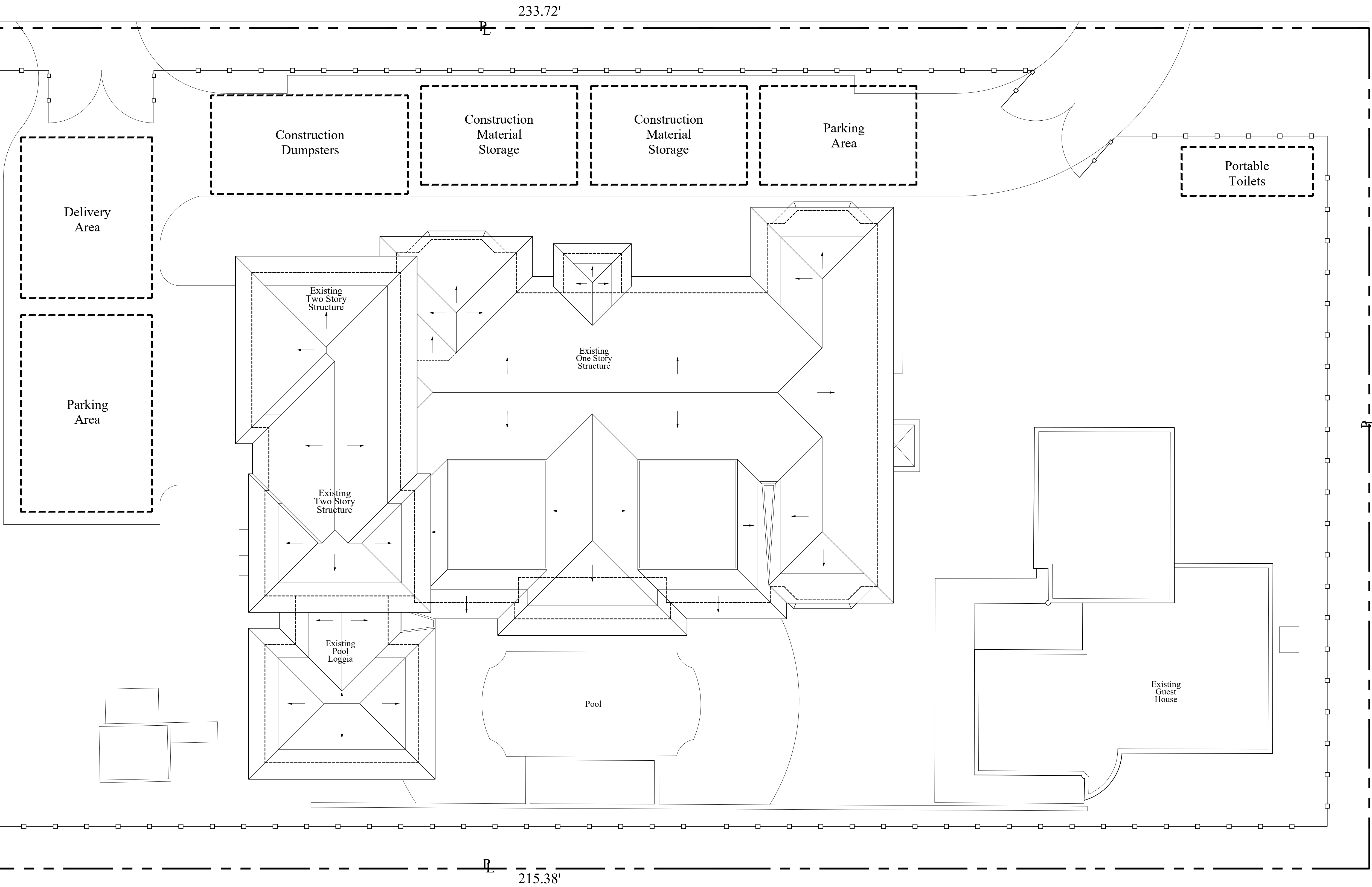
NTS



SANDPIPER DRIVE



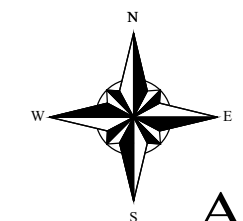
LAKE WAY



Truck Logistics Plan

Scale

1/8" = 1'-0"



ARC-24-0131  
ZON-24-005



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1703

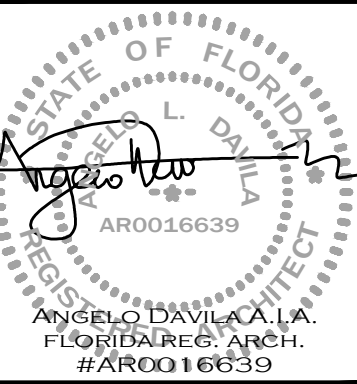
DATE  
11-26-2024

REVISIONS

Additions and Renovations to the  
Forsyth Williams Guest House

Palm Beach FL 33480

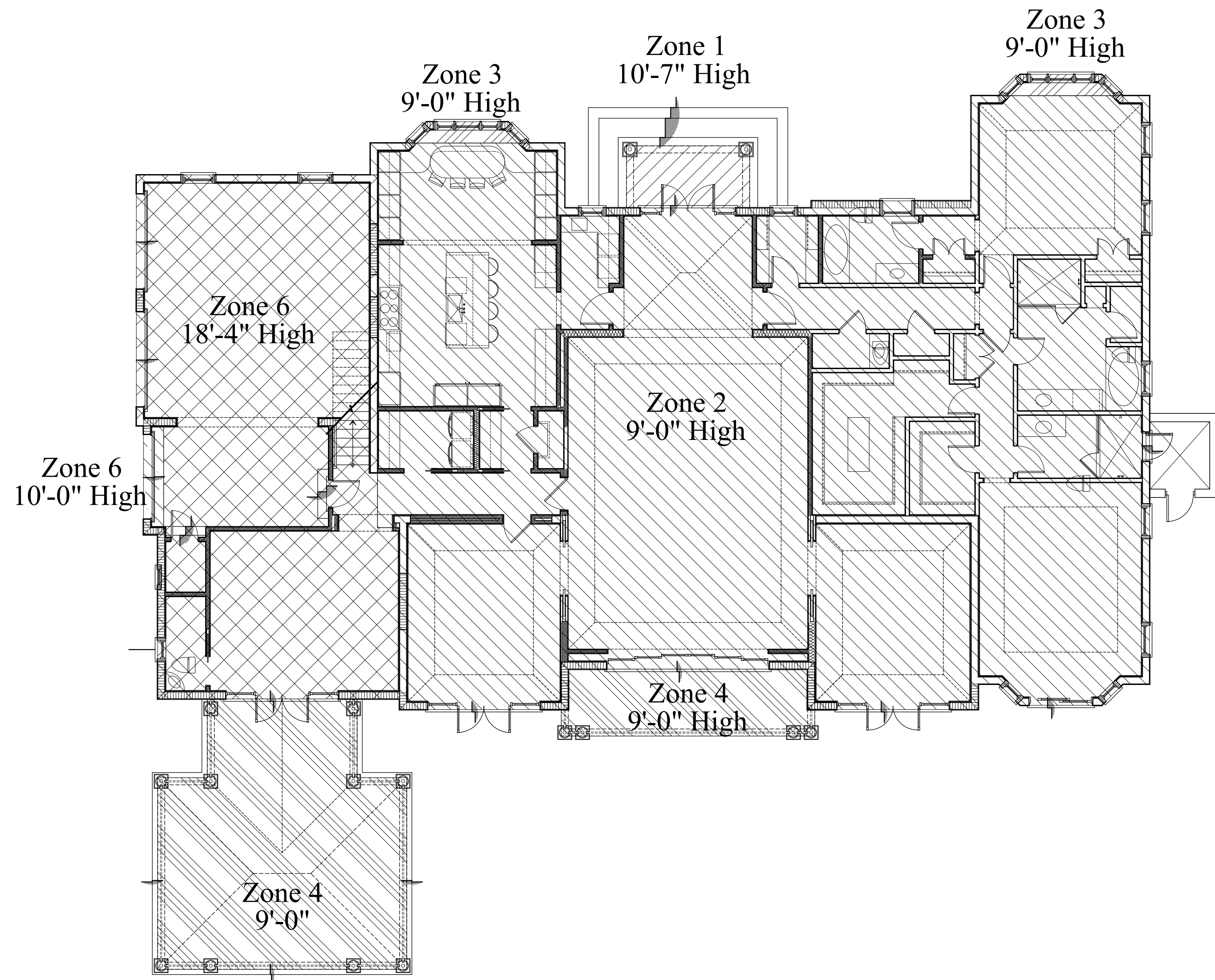
288 Sandpiper Drive



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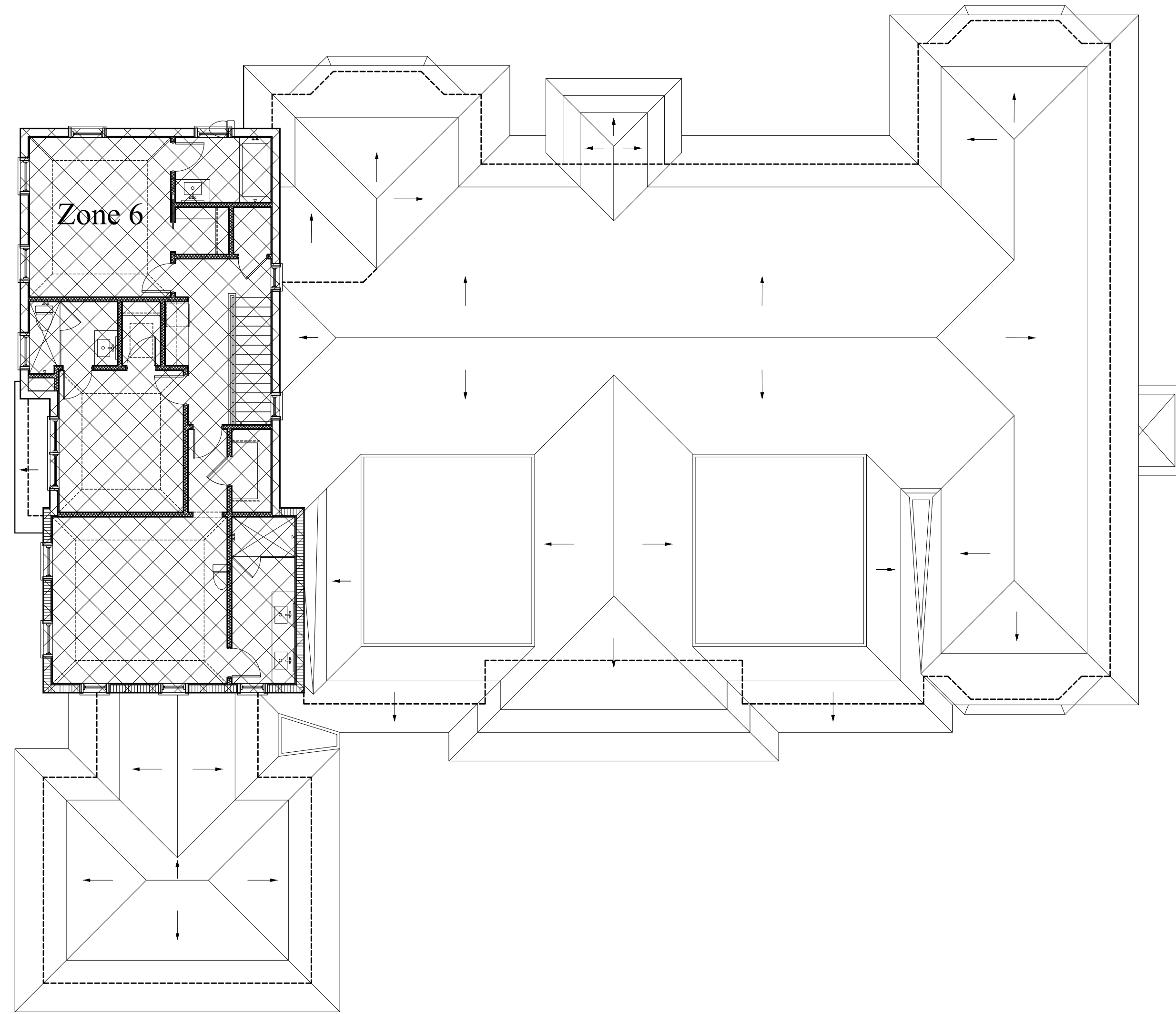
SHEET NO.

A004



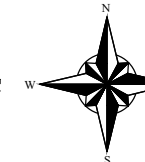
Existing - First Floor Cubic Content Ratio Plan

Scale 1/8" = 1'-0"



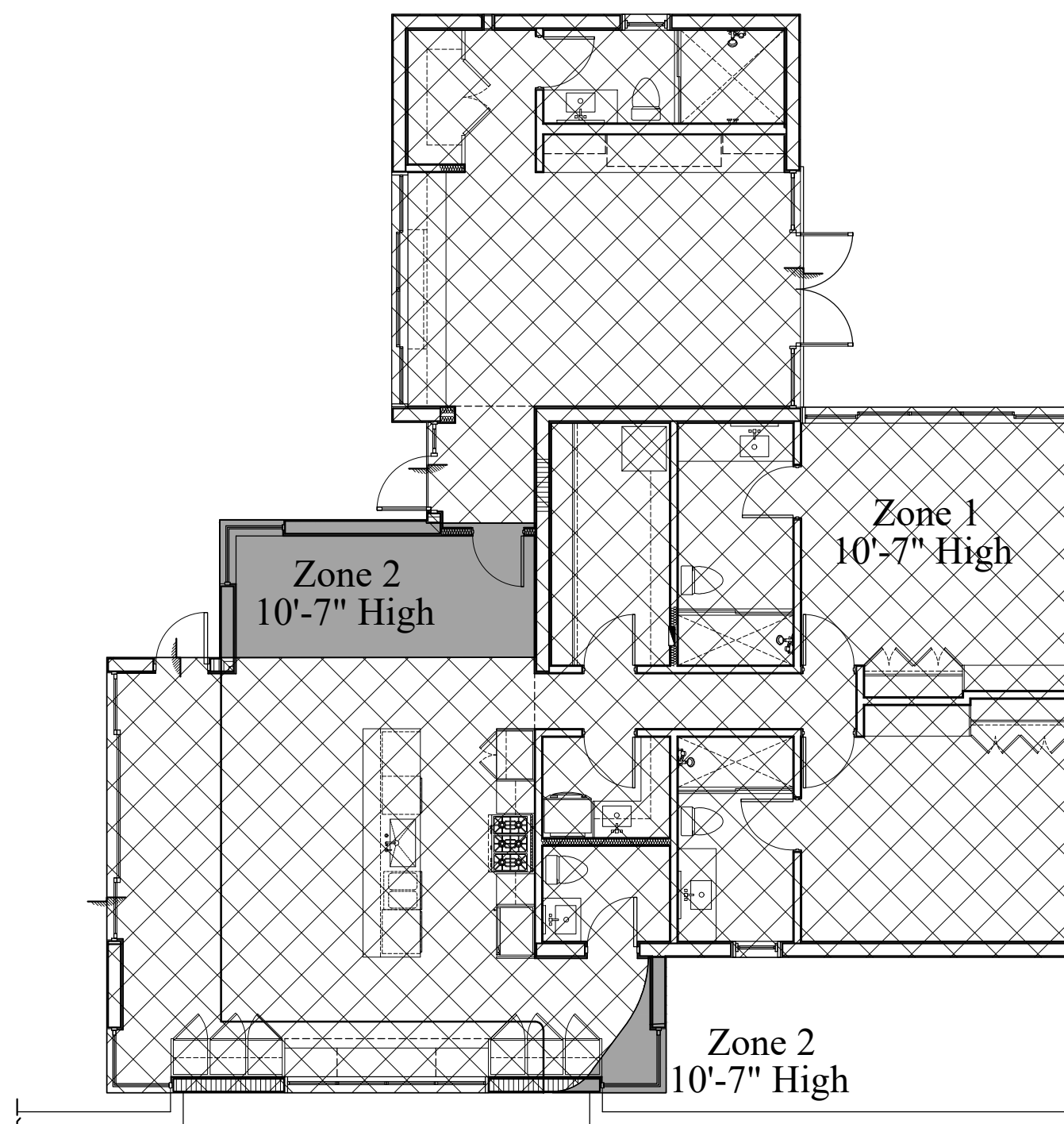
Existing - Second Floor Cubic Content Ratio Plan

Scale 1/8" = 1'-0"



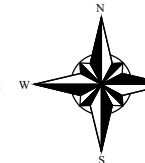
| CCR Calculations       |                 |
|------------------------|-----------------|
| ZONE                   | CUBIC FEET      |
| 1                      | 720 CU.FT       |
| 2                      | 32,220 CU.FT    |
| 3                      | 351 CU.FT       |
| 4                      | 6,039 CU.FT     |
| 5                      | 191 CU.FT       |
| 6                      | 20,102 CU.FT    |
|                        |                 |
| GUEST HOUSE            | 20,935.63 CU.FT |
| TOTAL =80,558.63 CU.FT |                 |

| Legend |                          |
|--------|--------------------------|
|        | ZONE 1<br>ONE STORY AREA |
|        | ZONE 4<br>ONE STORY AREA |
|        | ZONE 2<br>ONE STORY AREA |
|        | ZONE 5<br>ONE STORY AREA |
|        | ZONE 3<br>ONE STORY AREA |
|        | ZONE 6<br>ONE STORY AREA |



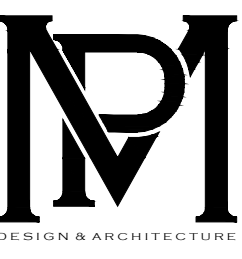
Proposed Guest House Cubic Content Ratio

Scale 1/8" = 1'-0"



| Proposed CCR Calculations |                        |
|---------------------------|------------------------|
| ZONE                      | CUBIC FEET             |
| 1                         | 19,496.41 CU.FT        |
| 2                         | 1439.22 CU.FT          |
| TOTAL                     | TOTAL =20,935.63 CU.FT |

| Legend |                         |
|--------|-------------------------|
|        | ZONE 1<br>EXISTING AREA |
|        | ZONE 2<br>ADDITION AREA |



COMM NO.  
1703

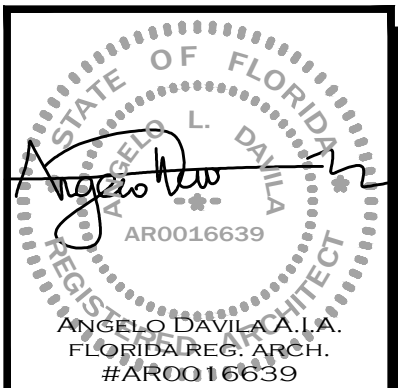
DATE  
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REVISIONS

Additions and Renovations to the  
Forsyth Williams Guest House

Palm Beach FL 33480

288 Sandpiper Drive

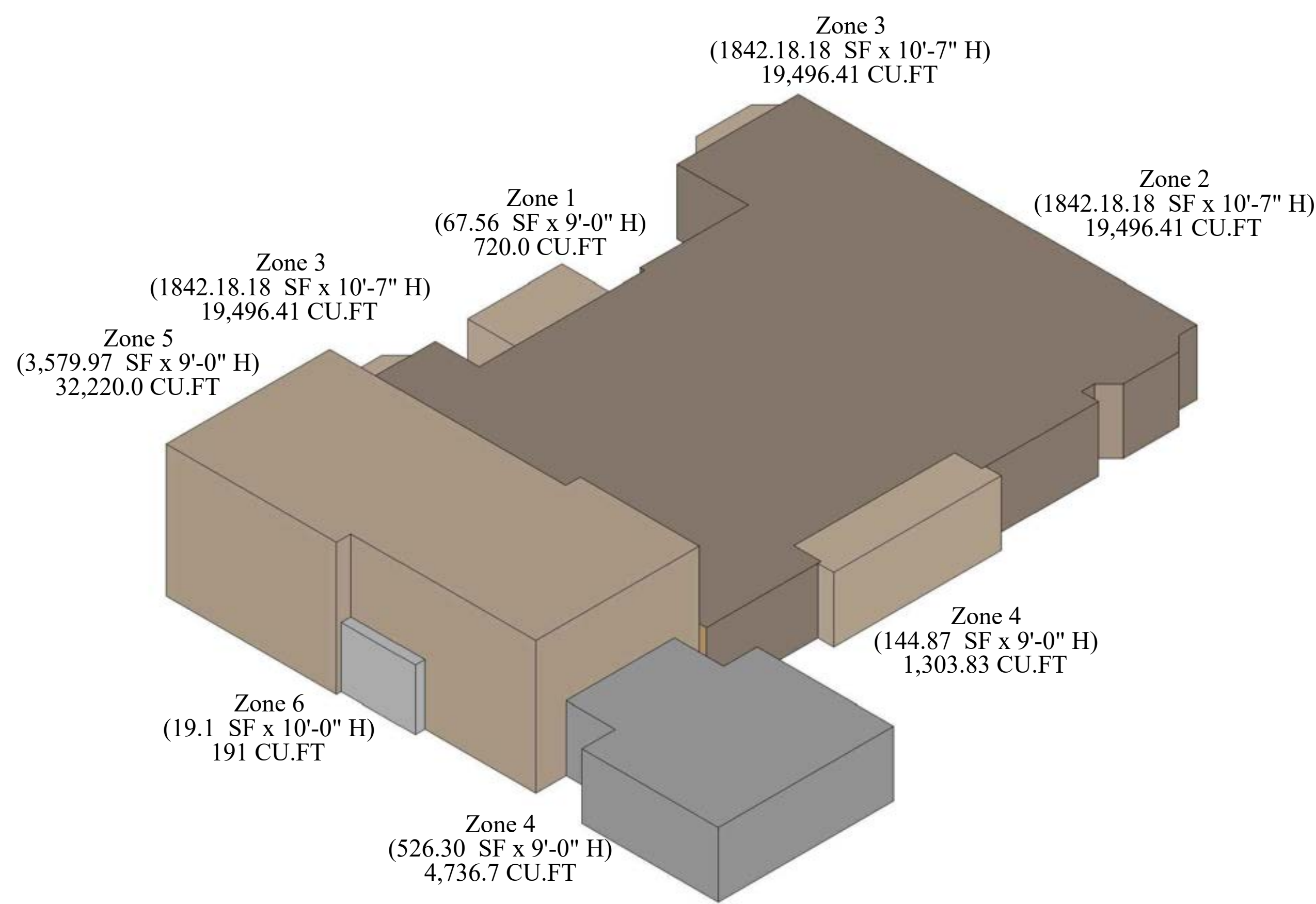


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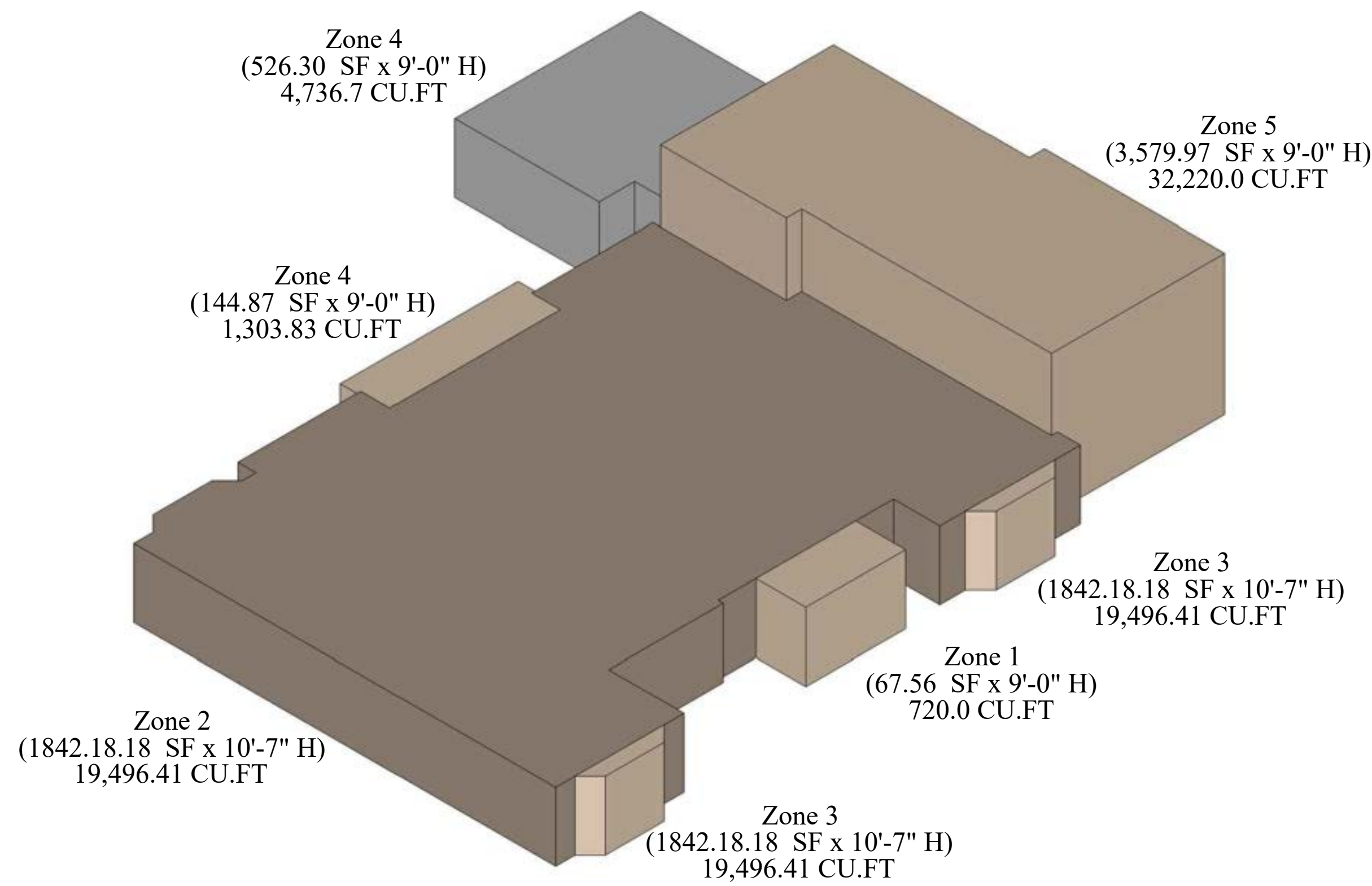
SHEET NO.

A005

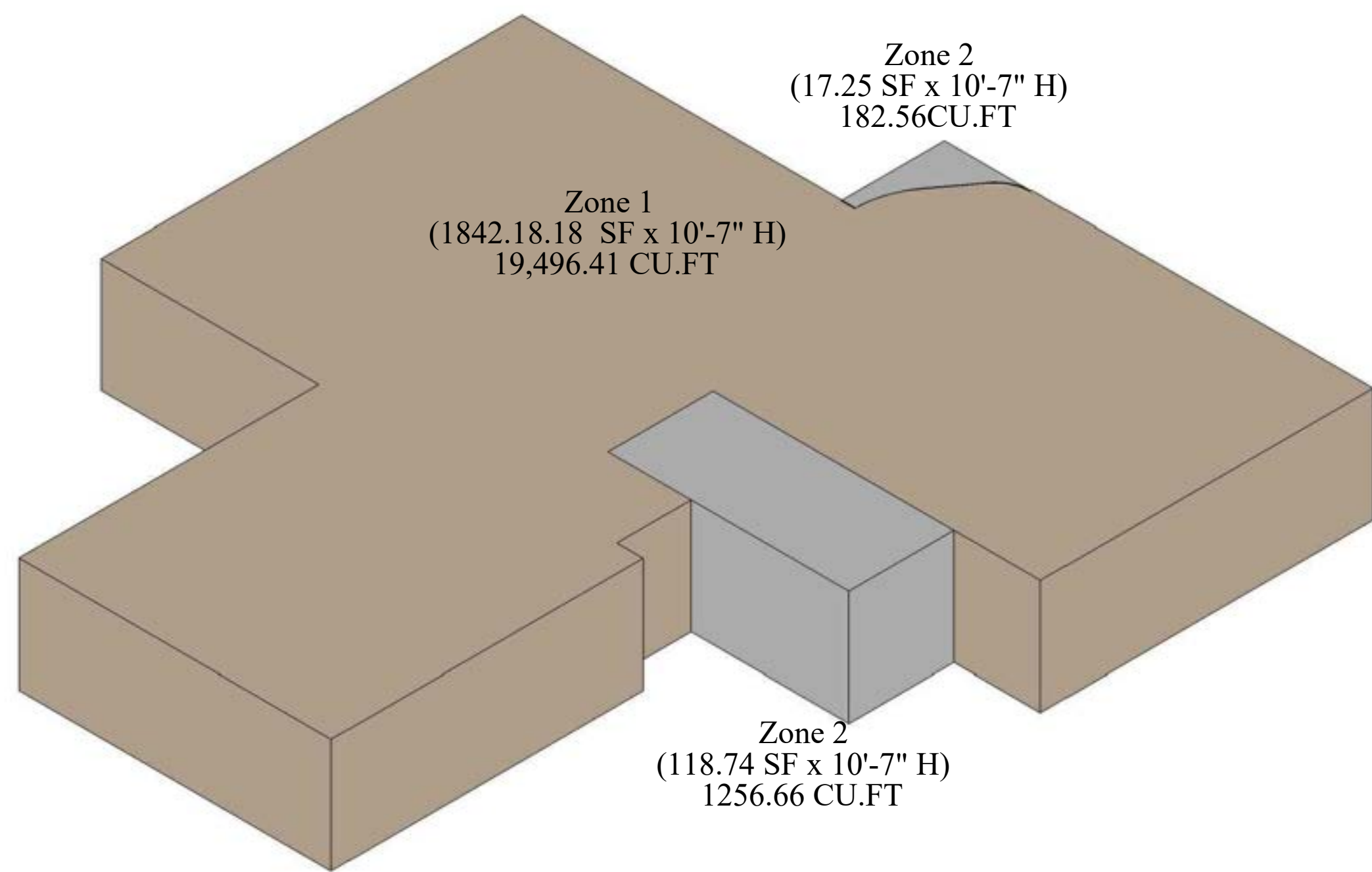
ARC-24-0131  
ZON-24-005



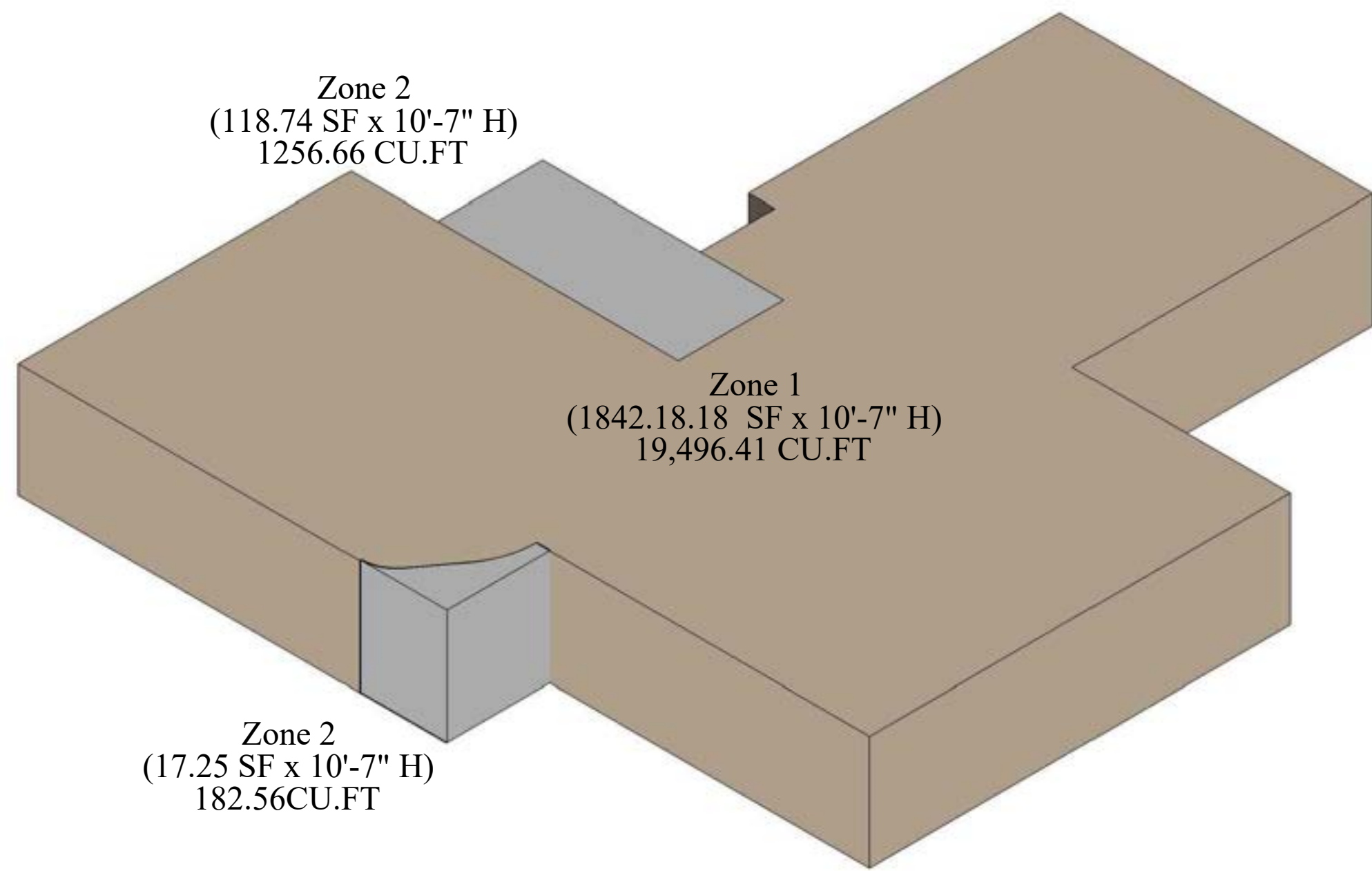
Existing Cubic Content Ratio Axonometric - Main House  
Scale n.t.s.



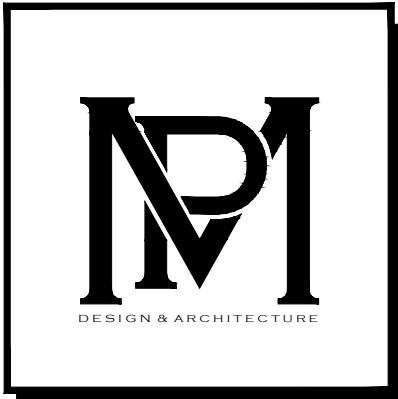
Existing Cubic Content Ratio Axonometric - Main House  
Scale n.t.s.



Proposed Cubic Content Ratio Axonometric - Guest House  
Scale n.t.s.



Proposed Cubic Content Ratio Axonometric - Guest House  
Scale n.t.s.



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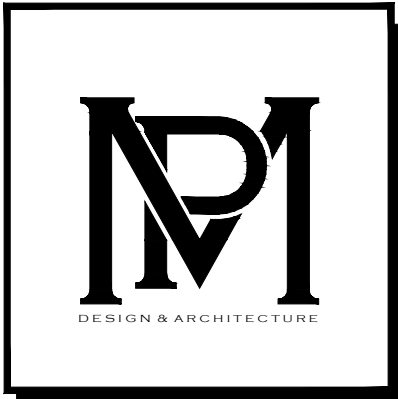
288 Sandpiper Drive  
Palm Beach FL 33480

STATE OF FLORIDA  
ANGEL DAVILA, AIA  
FLOOR PLANS ARCHT.  
#AR0016639

ANGEL DAVILA, AIA  
FLOOR PLANS ARCHT.  
#AR0016639

SHEET NO.  
A006

ADDITIONS AND RENOVATIONS TO THE  
FORSYTH WILLIAMS GUEST HOUSE



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1703

DATE  
11-26-2024

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288 Sandpiper Drive  
Palm Beach FL 33480

Forstyth Williams Guest House

Additions and Renovations to the



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SHEET NO.

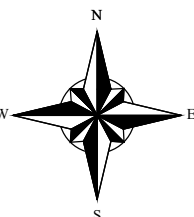
A007



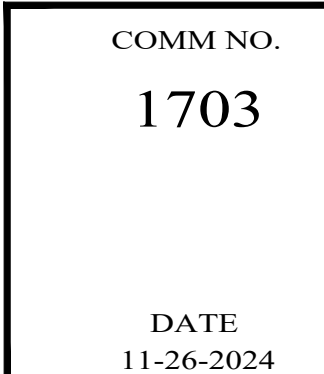
Proposed & Existing Zoning Diagram

Scale

1/8" = 1'-0"



| Legend |                               |
|--------|-------------------------------|
|        | PROPERTY SETBACK LINE         |
|        | BUILDABLE AREA                |
|        | EXISTING AREAS                |
|        | PROPOSED GUEST HOUSE ADDITION |
|        | ENCLOSED AREA                 |

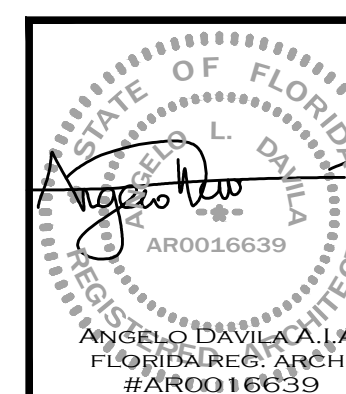


## REVISIONS

Additions and Renovations to the  
**Forsyth Williams Guest House**

Palm Beach FL 33480

288 Sandpiper Drive



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SHEET NO.

A008



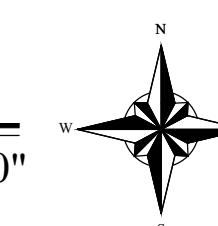
### Proposed Variance Diagram

Scale

---

---

1/8" = 1'-0"



### Legend

|                                                                                     |                                                  |
|-------------------------------------------------------------------------------------|--------------------------------------------------|
|  | PROPERTY SETBACK AREA                            |
|  | BUILDABLE AREA                                   |
|  | EXISTING AREAS                                   |
|  | PROPOSED GUEST HOUSE ADDITION                    |
|  | ENCLOSED AREA ENCRoACHING INTO REAR YARD SETBACK |

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ZON-24-005



281 Sandpiper Drive



281 Sandpiper Drive



289 Sandpiper Drive



289 Sandpiper Drive



975 N Lake Way



975 N Lake Way



COMM NO.  
1703

DATE  
11-26-2024

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288 Sandpiper Drive

289 Sandpiper Drive

281 Sandpiper Drive

281 Sandpiper Drive

975 N Lake Way

975 N Lake Way

289 Sandpiper Drive

281 Sandpiper Drive

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PHOTOS  
1

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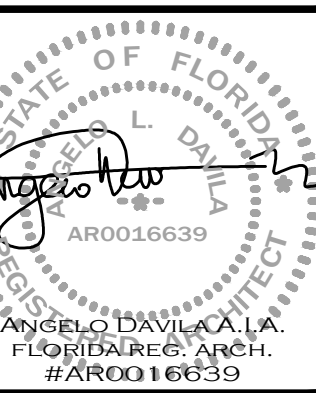
DATE  
11-26-2024

## REVISIONS

Forsyth Williams Guest House

Palm Beach FL 33480

288 Sandpiper Drive

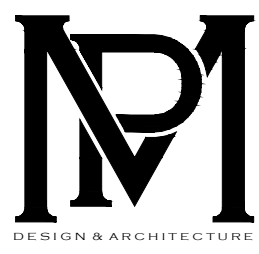


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## Photos

ARC-24-0131  
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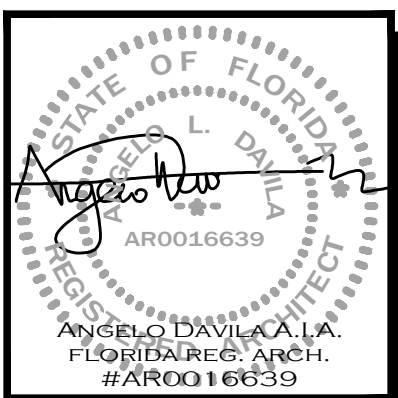


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11-26-2024

## REVISIONS

Additions and Renovations to the  
 Forsyth Williams Guest House  
 288 Sandpiper Drive  
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## Photos

ARC-24-0131  
ZON-24-005



288 Sandpiper Drive  
Subject Property



288 Sandpiper Drive  
Subject Property



288 Sandpiper Drive  
Subject Property



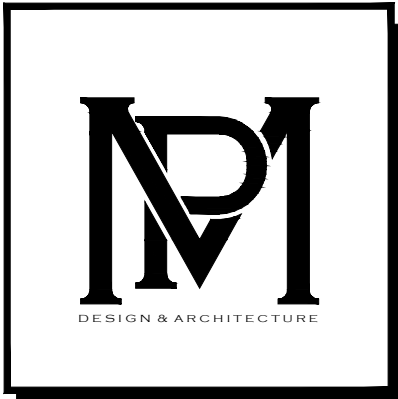
288 Sandpiper Drive  
Subject Property



288 Sandpiper Drive  
Subject Property



288 Sandpiper Drive  
Subject Property



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11-26-2024

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288 Sandpiper Drive

33480

Palm Beach, FL

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PHOTOS

4



288 Sandpiper Drive  
West Elevation  
Subject Property



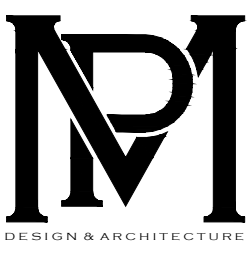
288 Sandpiper Drive  
West Elevation  
Subject Property



288 Sandpiper Drive  
North Elevation  
Subject Property



288 Sandpiper Drive  
East Elevation  
Subject Property



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REVISIONS

Additions and Renovations to the  
Forsyth Williams Guest House

Palm Beach, FL 33480

288 Sandpiper Drive



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Photos  
5



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1703

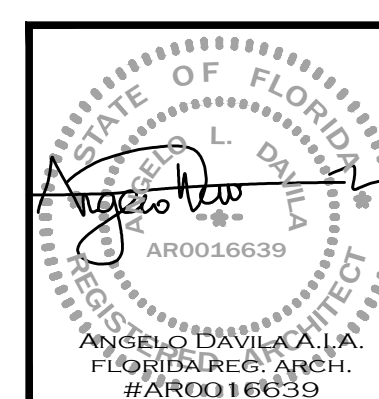
DATE  
11-26-2024

## REVISIONS

Additions and Renovations to the  
 Forsyth Williams Guest House

Dolan, David E. 33480

2000 Conference Division



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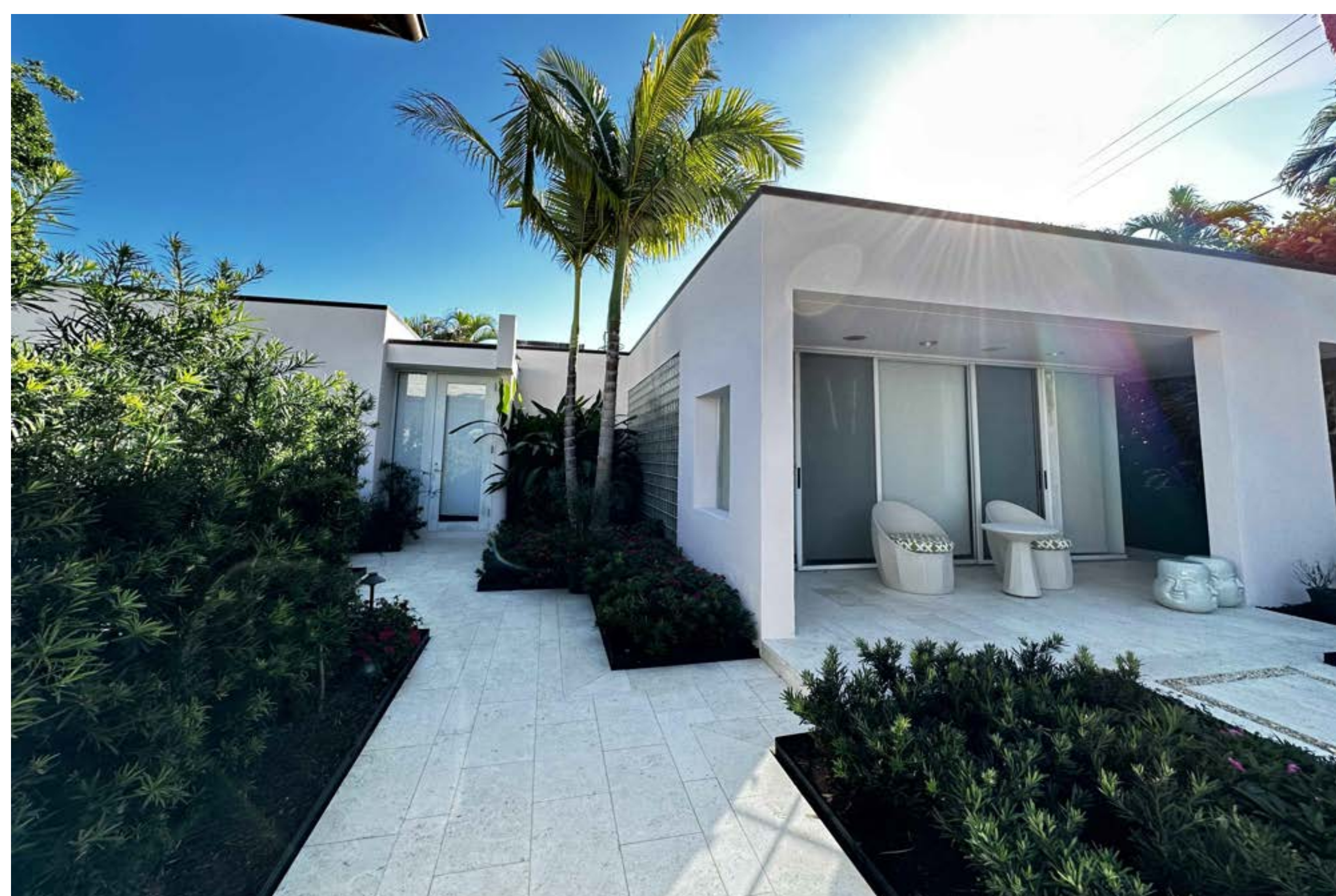
## Photos



288 Sandpiper Drive  
East Elevation  
Subject Property



288 Sandpiper Drive  
West Elevation  
Subject Property



288 Sandpiper Drive  
West Elevation  
Subject Property

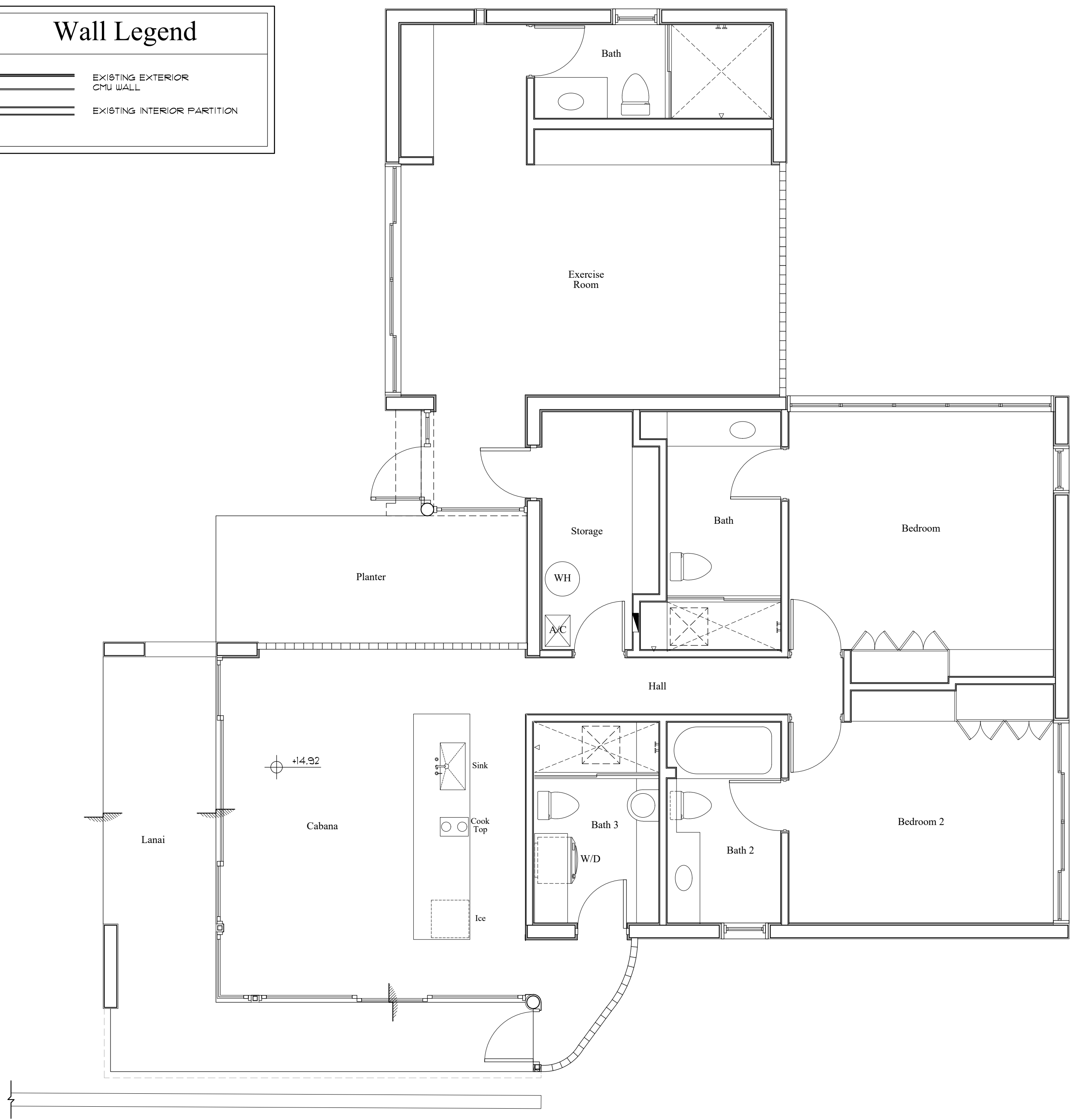


288 Sandpiper Drive  
North Elevation  
Subject Property

ARC-24-0131  
ZON-24-005

Wall Legend

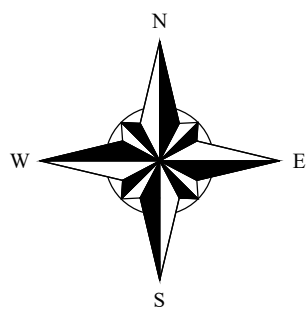
|  |                             |
|--|-----------------------------|
|  | EXISTING EXTERIOR CMU WALL  |
|  | EXISTING INTERIOR PARTITION |



Existing Floor Plan

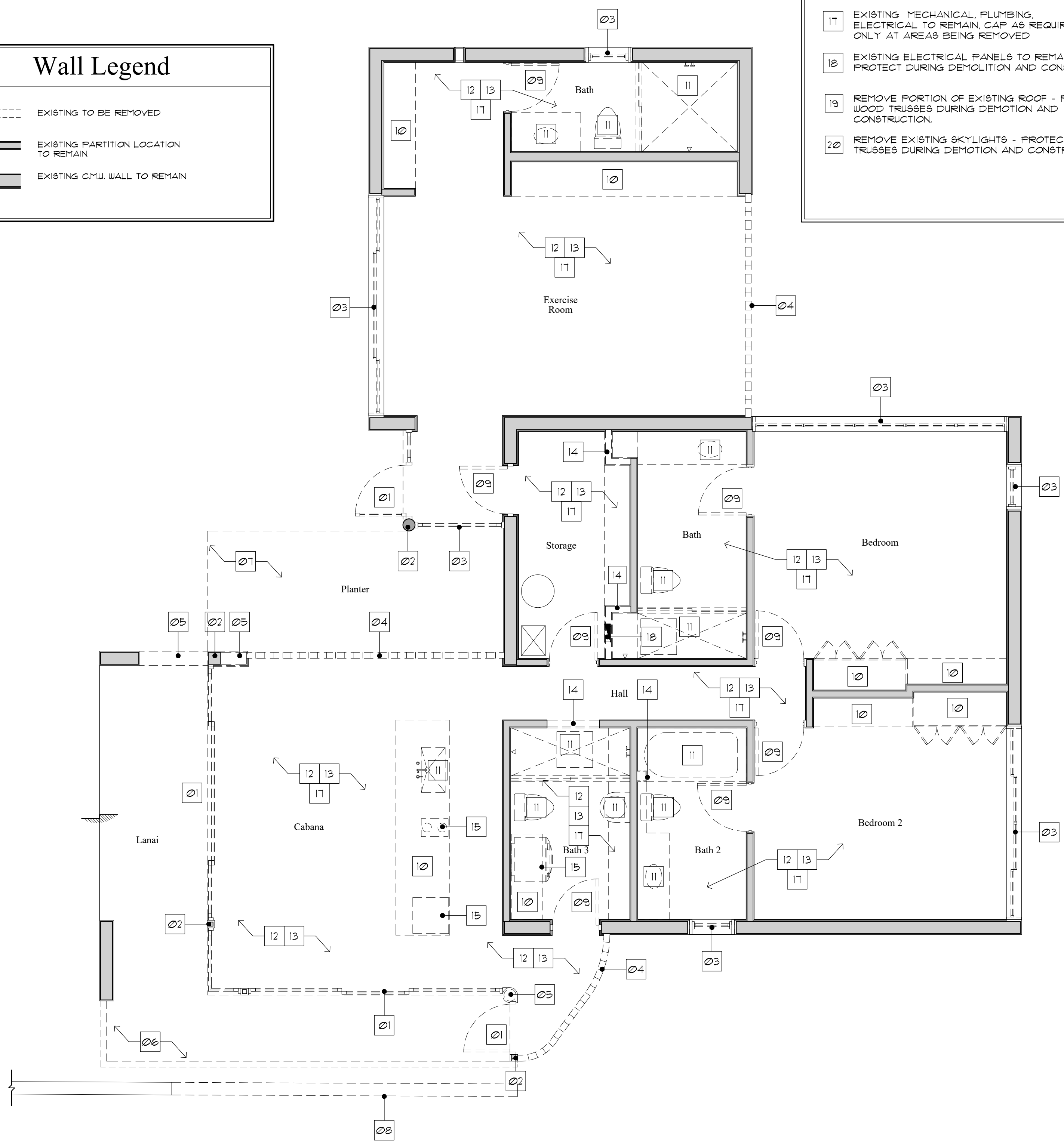
Scale

1/4" = 1'-0"



Wall Legend

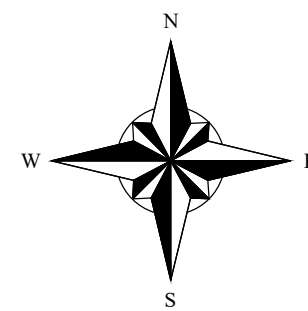
|  |                                       |
|--|---------------------------------------|
|  | EXISTING TO BE REMOVED                |
|  | EXISTING PARTITION LOCATION TO REMAIN |
|  | EXISTING CMU WALL TO REMAIN           |



Demolition Floor Plan

Scale

1/4" = 1'-0"

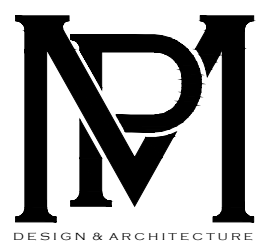


Demolition Notes

1. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS REQUIRED FOR THE REMODELING WORK INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, CEILING SYSTEM, ELECTRICAL, PLUMBING, FLOOR MATERIAL, ETC.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS, EQUIPMENT, TREES, UTILITY LINES, ETC., WHICH ARE TO REMAIN AND REPAIR OR REPLACE WHEN NECESSARY THESE ITEMS WHEN DAMAGED BY HIM OR HIS SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.
3. MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS AND BRACING AND SHORES SHALL BE USED WHERE NECESSARY TO AVOID DAMAGE TO THE STRUCTURE.
4. THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND TAG ALL ITEMS THAT WILL BE SAVED. THOSE ITEMS SHALL BE REMOVED AND STORED WHERE THE OWNER REQUESTS.
5. PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY.
6. EXISTING PLUMBING LINES TO BE CARRIED OFF BELOW FLOOR LEVEL. PLUMBING LINES TO BE REWORKED TO SUIT NEW PLAN PLUMBING LAYOUTS.
7. EXISTING FLOOR FINISHES TO BE REMOVED AND DISPOSED OF PROPERLY. PATCH AND REPAIR SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
8. ALL REMOVED DOORS SHALL BE STOCKPILE FOR POSSIBLE RE-USE AT NEW LAYOUT.

Demo Key Notes

- |    |                                                                                                                                                     |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| 01 | EXISTING EXTERIOR DOOR AND FRAME TO BE REMOVED WITH ALL EXISTING ACCESSORIES                                                                        |
| 02 | EXISTING COLUMN TO REMAIN - PROTECT DURING DEMOLITION                                                                                               |
| 03 | EXISTING WINDOWS TO BE REMOVED WITH ALL EXISTING INTERIOR WINDOW TRIMS AND WINDOW TREATMENT                                                         |
| 04 | EXISTING GLASS BLOCK WALL TO BE DEMOLISHED                                                                                                          |
| 05 | PORTION OF EXISTING EXTERIOR WALL TO BE DEMOLISHED                                                                                                  |
| 06 | PORTION OF EXISTING EXTERIOR CONCRETE SLAB TO BE DEMOLISHED                                                                                         |
| 07 | PORTION OF EXISTING EXTERIOR PLANTER TO BE DEMOLISHED                                                                                               |
| 08 | PORTION OF EXISTING RETAINING WALL TO BE DEMOLISHED                                                                                                 |
| 09 | REMOVE EXISTING INTERIOR DOORS, DOOR FRAMES AND ALL RELATED ACCESSORIES                                                                             |
| 10 | REMOVE EXISTING BUILT-IN CABINETS / CLOSET AND ALL RELATED ACCESSORIES                                                                              |
| 11 | REMOVE EXISTING PLUMBING FIXTURES AND STOCKPILE - CAP ALL PLUMBING LINES AS NECESSARY BELOW FLOOR LINE AND PREPARE FOR NEW FIXTURE AT SAME LOCATION |
| 12 | EXISTING CEILING AND LIGHT FIXTURES AT THIS ROOM TO REMAIN                                                                                          |
| 13 | REMOVE EXISTING FLOOR FINISH AT THIS ROOM                                                                                                           |
| 14 | REMOVE EXISTING GYPSUM BOARD PARTITION, STUDS, WALL FINISH, BASE AND ALL RELATED ACCESSORIES                                                        |
| 15 | REMOVE EXISTING APPLIANCES AND STOCKPILE                                                                                                            |
| 16 | EXISTING GYPSUM BOARD, FURRING AND INSULATION TO BE REMOVED AT ALL EXTERIOR WALLS - TYPICAL                                                         |
| 17 | EXISTING MECHANICAL, PLUMBING, ELECTRICAL TO REMAIN, CAP AS REQUIRED ONLY AT AREAS BEING REMOVED                                                    |
| 18 | EXISTING ELECTRICAL PANELS TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION                                                                   |
| 19 | REMOVE PORTION OF EXISTING ROOF - PROTECT WOOD TRUSSES DURING DEMOLITION AND CONSTRUCTION                                                           |
| 20 | REMOVE EXISTING SKYLIGHTS - PROTECT WOOD TRUSSES DURING DEMOLITION AND CONSTRUCTION                                                                 |



COMM NO.

1703

DATE

11-26-2024

REVISIONS

Additions and Renovations to the

Forsyth Williams Guest House

Palm Beach FL 33480

288 Sandpiper Drive

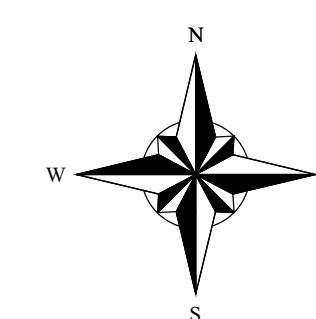


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SHEET NO.

A100

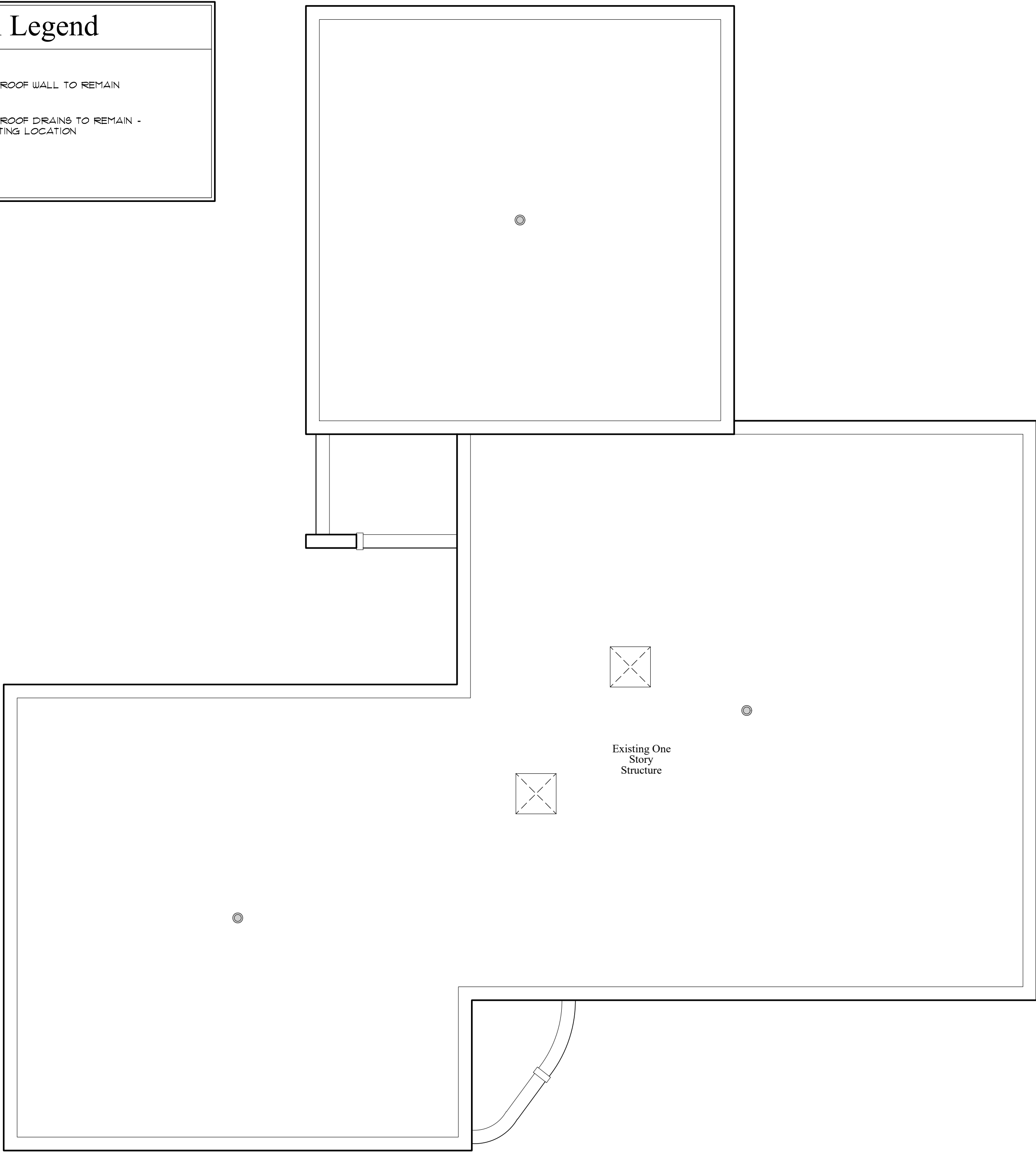
ARC-24-0131  
ZON-24-005



Wall Legend

EXISTING ROOF WALL TO REMAIN

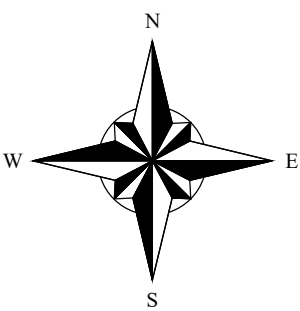
EXISTING ROOF DRAINS TO REMAIN -  
V.I.F. EXISTING LOCATION



Existing Roof Plan

Scale

1/4" = 1'-0"

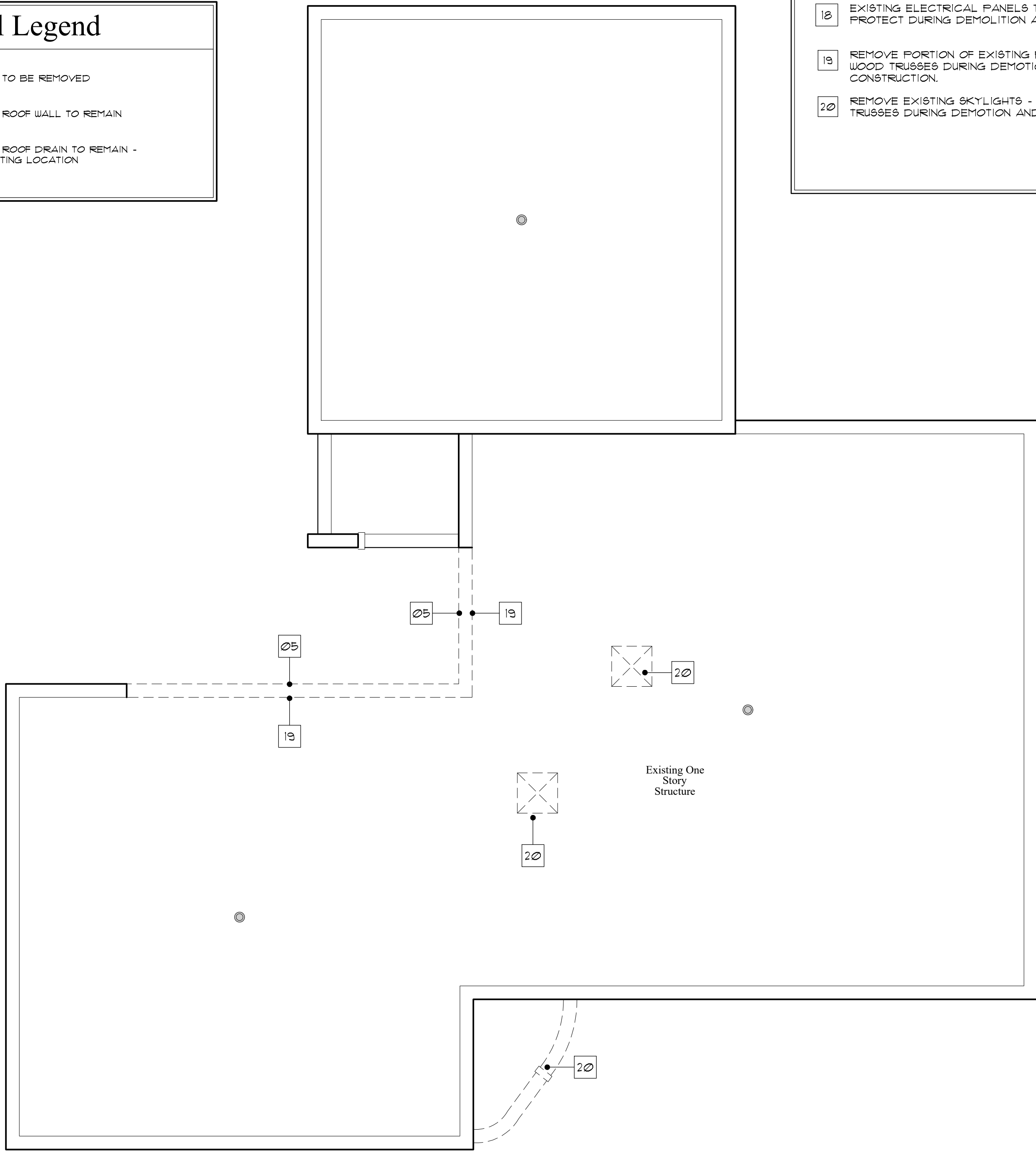


Wall Legend

EXISTING TO BE REMOVED

EXISTING ROOF WALL TO REMAIN

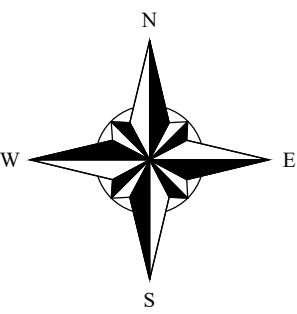
EXISTING ROOF DRAIN TO REMAIN -  
V.I.F. EXISTING LOCATION



Demolition Roof Plan

Scale

1/4" = 1'-0"



Demo Key Notes

01

EXISTING EXTERIOR DOOR AND FRAME TO BE REMOVED WITH ALL EXISTING ACCESSORIES

02

EXISTING COLUMN TO REMAIN - PROTECT DURING DEMOLITION

03

EXISTING WINDOWS TO BE REMOVED WITH ALL EXISTING INTERIOR WINDOW TRIMS AND WINDOW TREATMENT

04

EXISTING GLASS BLOCK WALL TO BE DEMOLISHED

05

PORTION OF EXISTING EXTERIOR WALL TO BE DEMOLISHED

06

PORTION OF EXISTING EXTERIOR CONCRETE SLAB TO BE DEMOLISHED

07

PORTION OF EXISTING EXTERIOR PLANTER TO BE DEMOLISHED

08

PORTION OF EXISTING RETAINING WALL TO BE DEMOLISHED

09

REMOVE EXISTING INTERIOR DOORS, DOOR FRAMES AND ALL RELATED ACCESSORIES

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REMOVE EXISTING GYPSUM BOARD PARTITION, STUDS, WALL FINISH, BASE AND ALL RELATED ACCESSORIES

15

REMOVE EXISTING APPLIANCES AND STOCKPILE

16

EXISTING GYPSUM BOARD, FURRING AND INSULATION TO BE REMOVED AT ALL EXTERIOR WALLS - TYPICAL

17

EXISTING MECHANICAL, PLUMBING, ELECTRICAL TO REMAIN, CAP AS REQUIRED ONLY AT AREAS BEING REMOVED

18

EXISTING ELECTRICAL PANELS TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION

19

REMOVE PORTION OF EXISTING ROOF - PROTECT WOOD TRUSSES DURING DEMOTION AND CONSTRUCTION

20

REMOVE EXISTING SKYLIGHTS - PROTECT WOOD TRUSSES DURING DEMOTION AND CONSTRUCTION



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REVISIONS

Additions and Renovations to the

Forsyth Williams Guest House

Palm Beach FL 33480

288 Sandpiper Drive

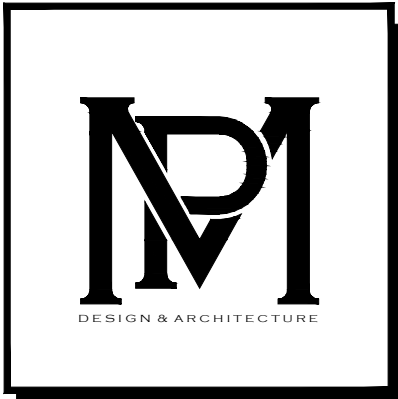


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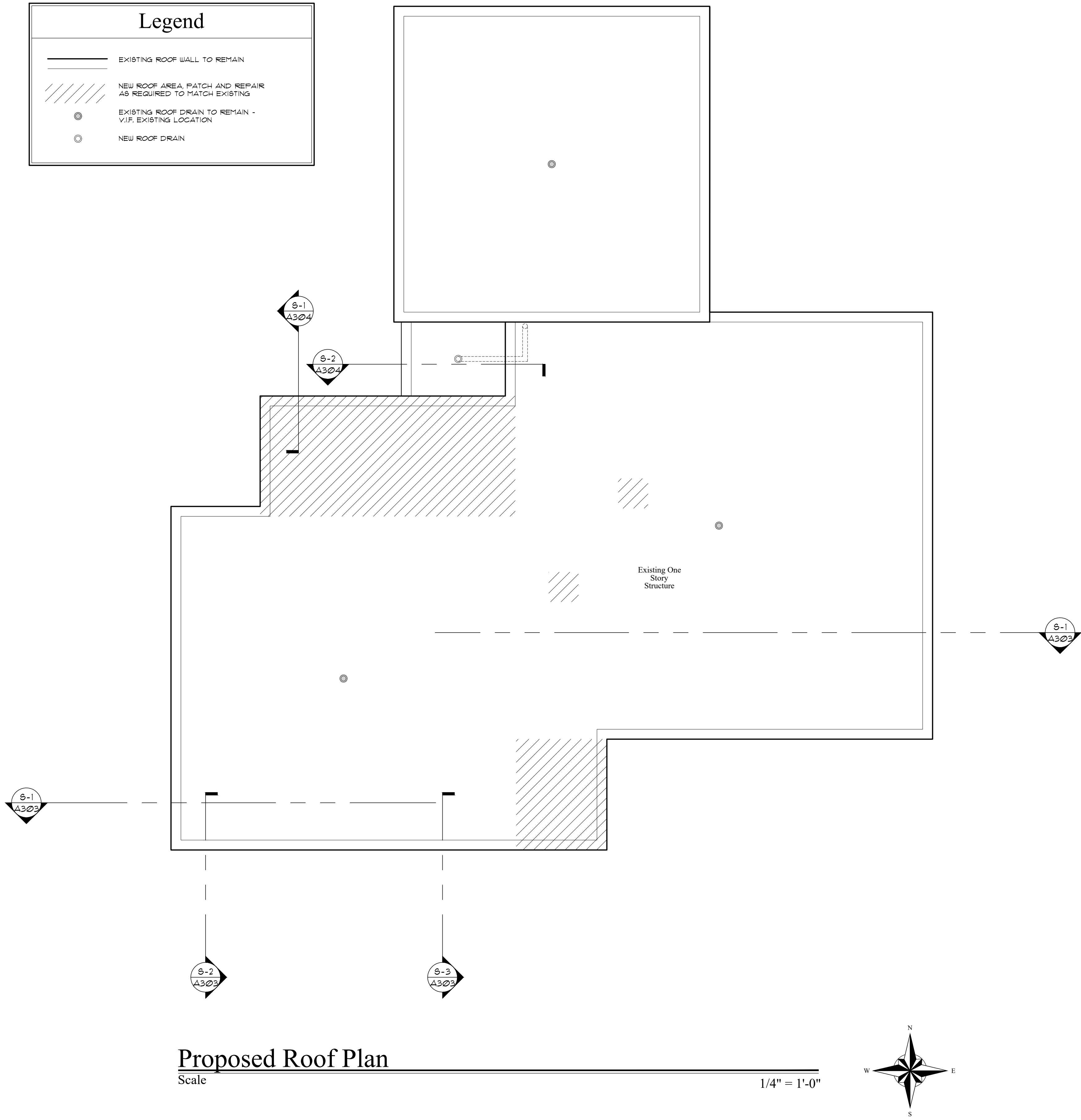
288 Sandpiper Drive  
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Additions and Renovations to the  
**Forsyth Williams Guest House**



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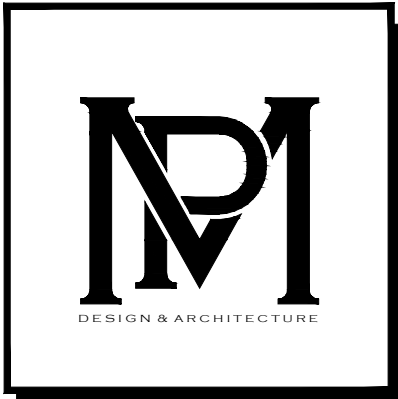
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West Elevation



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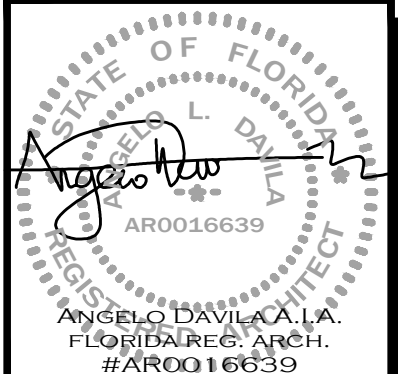
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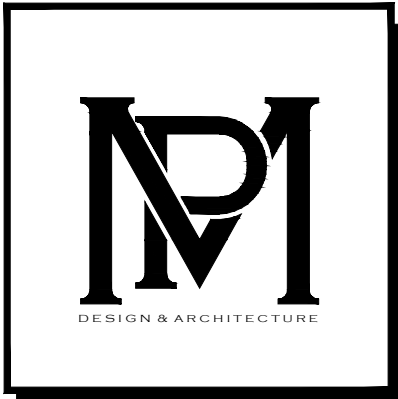
SHEET NO.

R1

ARC-24-0131  
ZON-24-005



East Elevation



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DATE  
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Additions and Renovations to the



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R2



North Elevation



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1703

DATE  
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Additions and Renovations to the

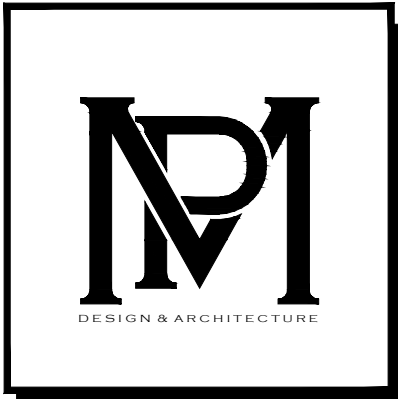


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R3



South Elevation



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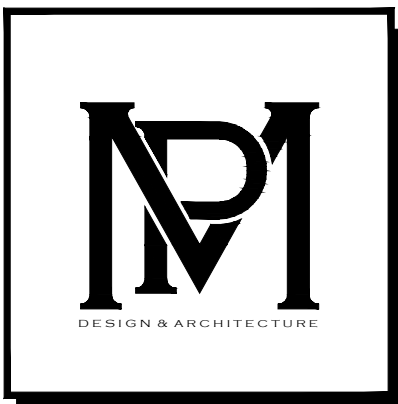
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Additions and Renovations to the  
Forsyth Williams Guest House



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SHEET NO.  
R4



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**1703**

DATE  
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288 Sandpiper Drive

Forsyth Williams Guest House

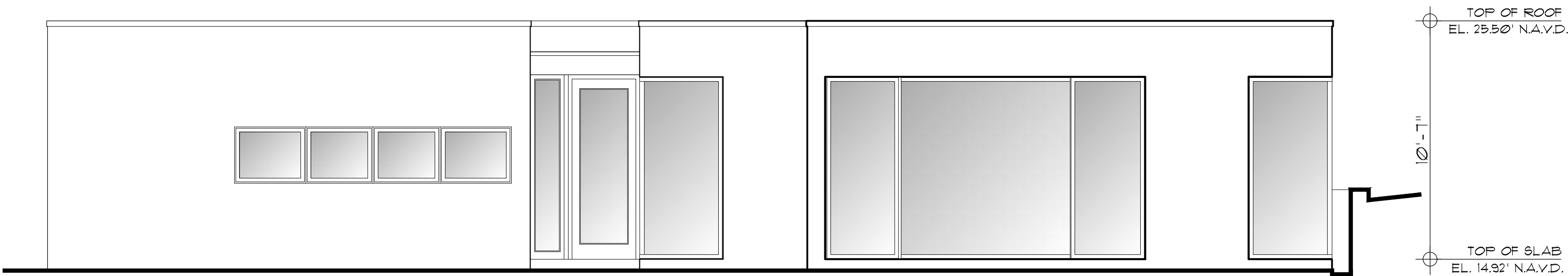
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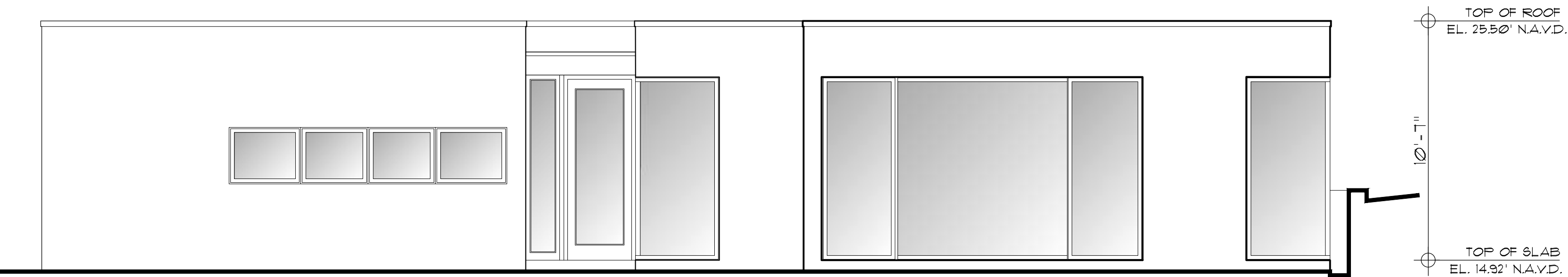
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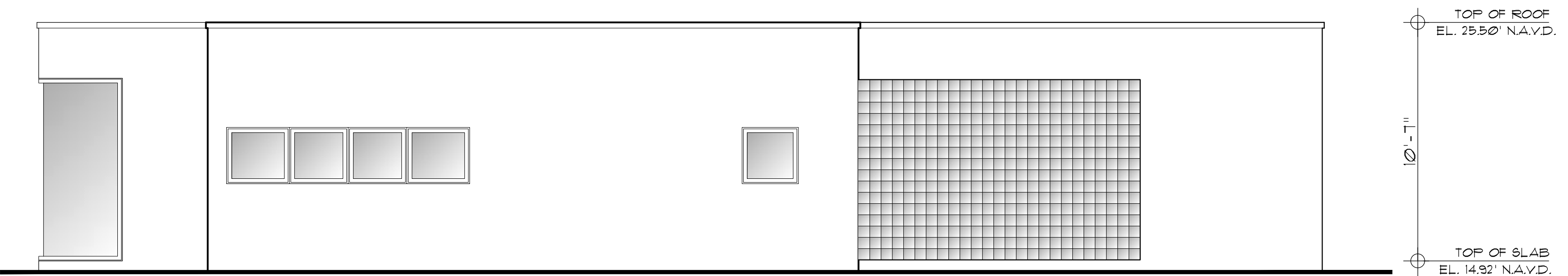
Previously ARCOM Approved West Elevation

Scale 1/4" = 1'-0"



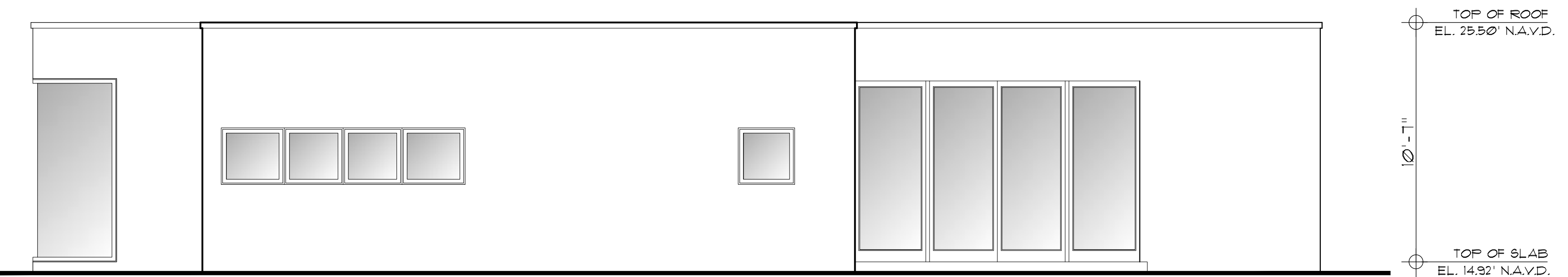
Proposed West Elevation

Scale 1/4" = 1'-0"



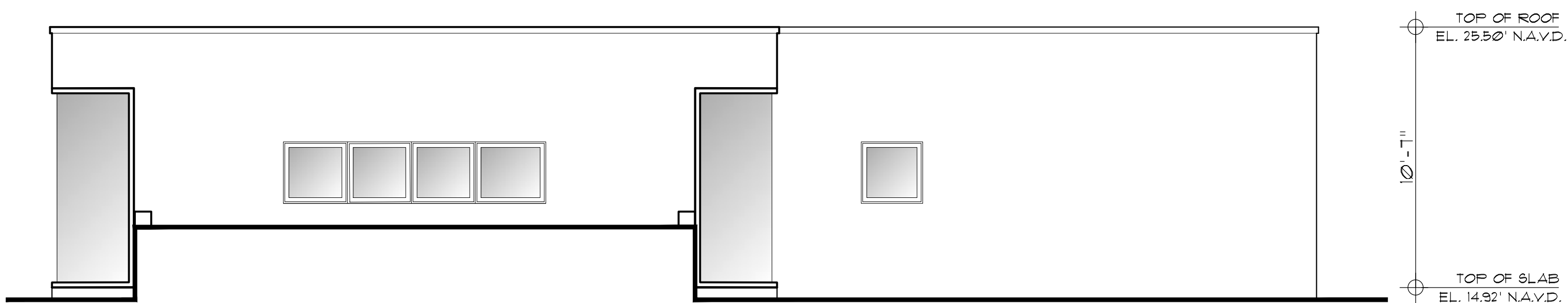
Previously ARCOM Approved East Elevation

Scale 1/4" = 1'-0"



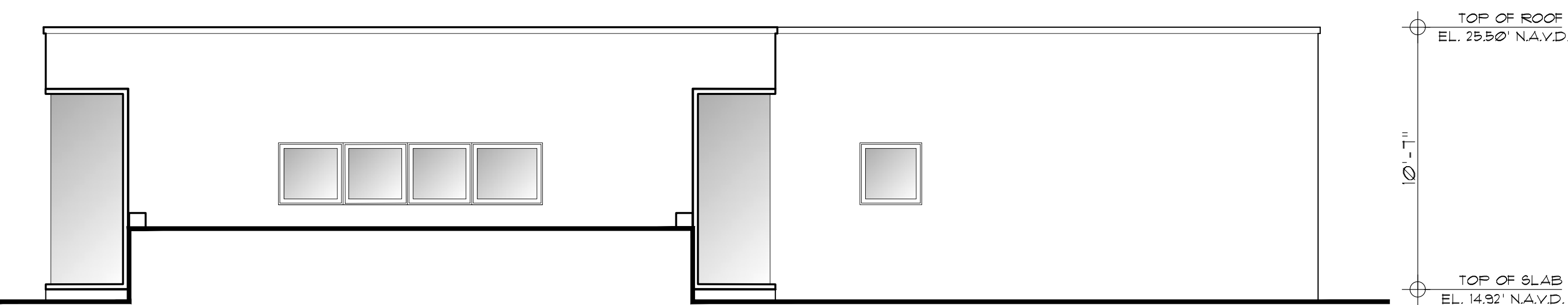
Proposed East Elevation

Scale 1/4" = 1'-0"



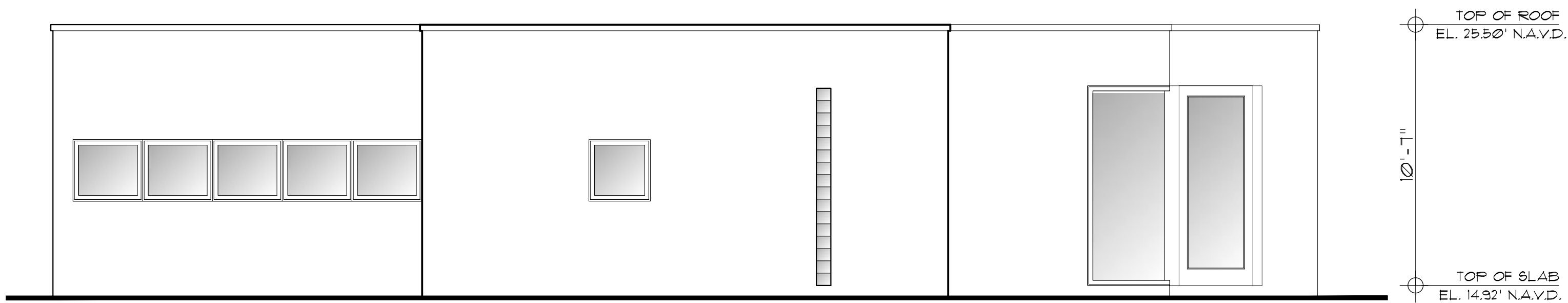
Previously ARCOM Approved South Elevation

Scale 1/4" = 1'-0"



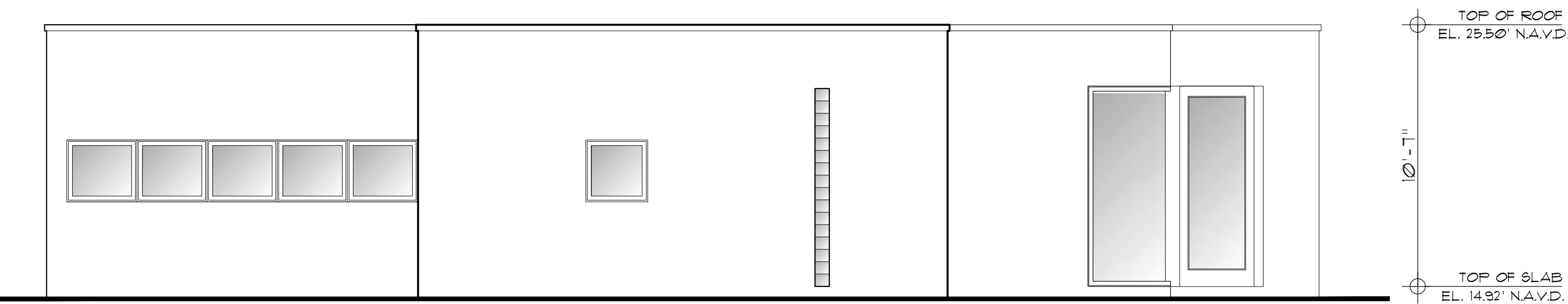
Proposed South Elevation

Scale 1/4" = 1'-0"



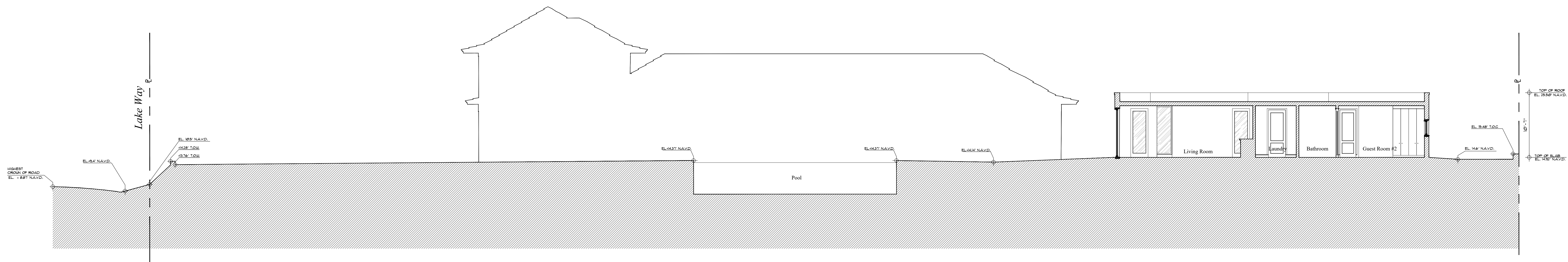
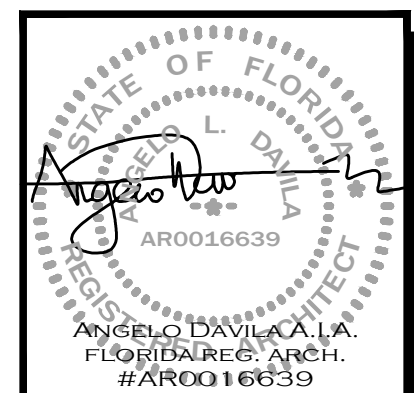
Previously ARCOM Approved North Elevation

Scale 1/4" = 1'-0"



Proposed North Elevation

Scale 1/4" = 1'-0"



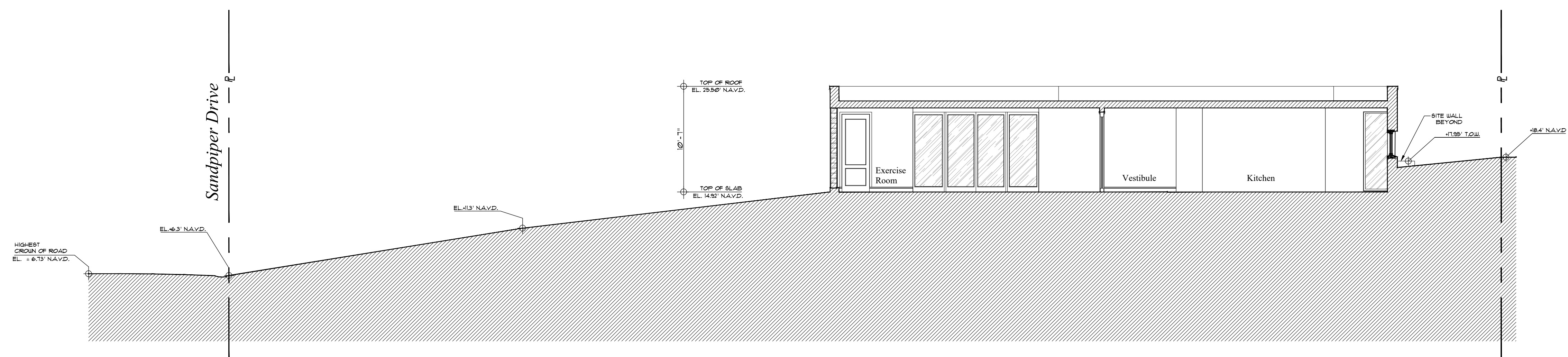
### Proposed Building Section

Scale

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N.T.S.



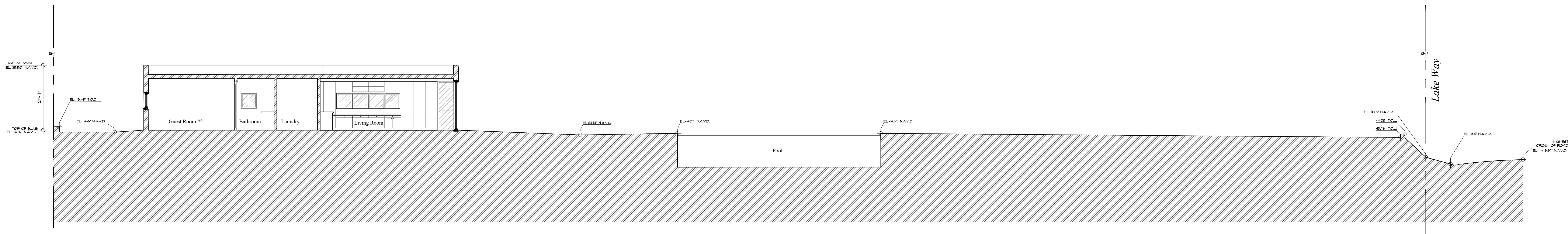
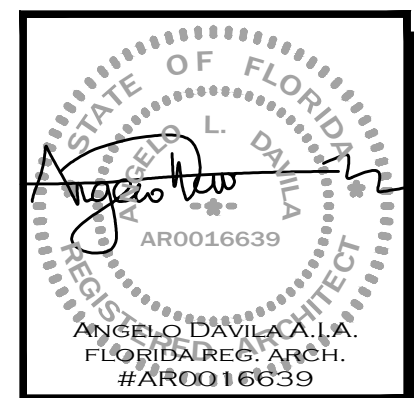
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Scale

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N.T.S.



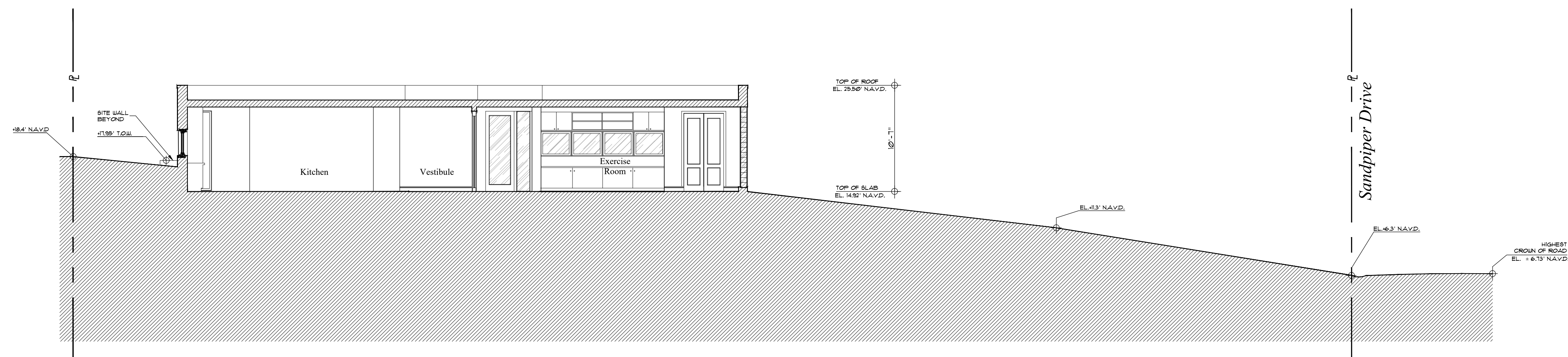
### Proposed Building Section

Scale

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N.T.S.



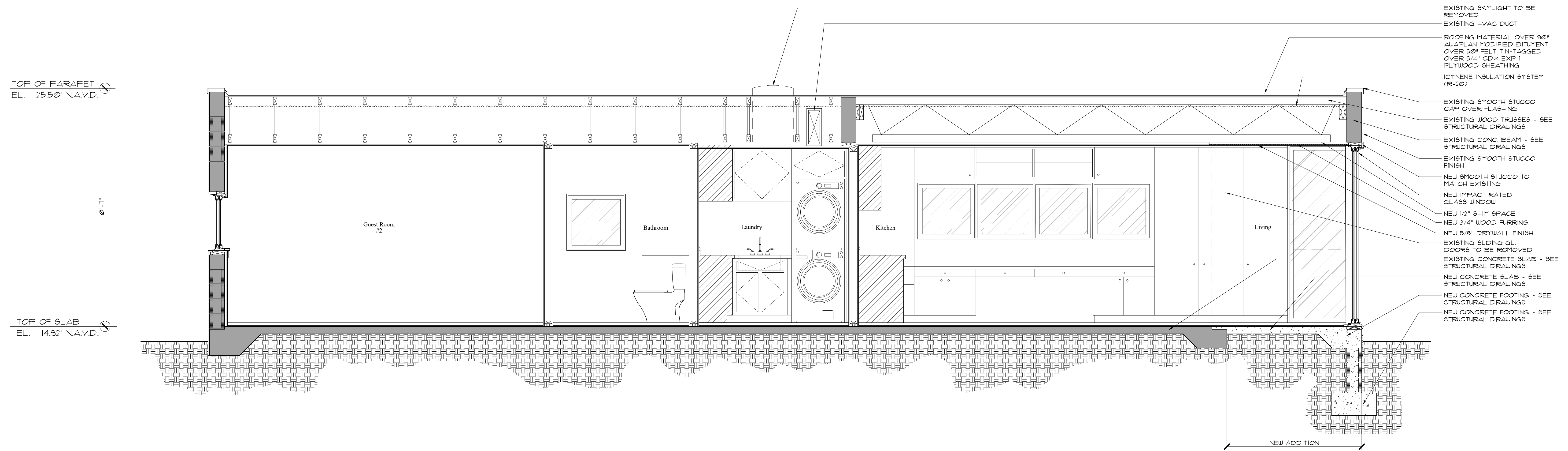
### Proposed Building Section

Scale

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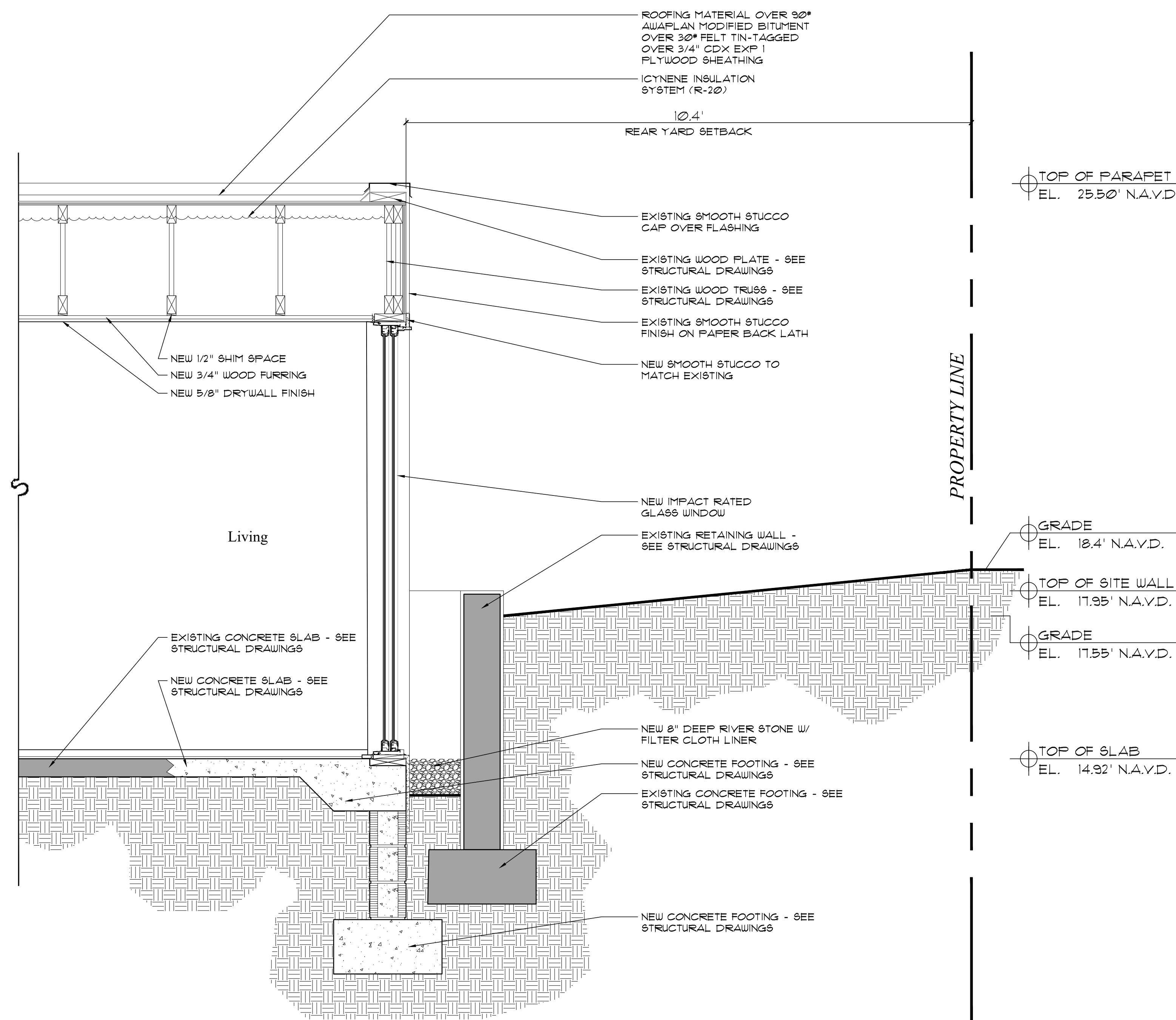
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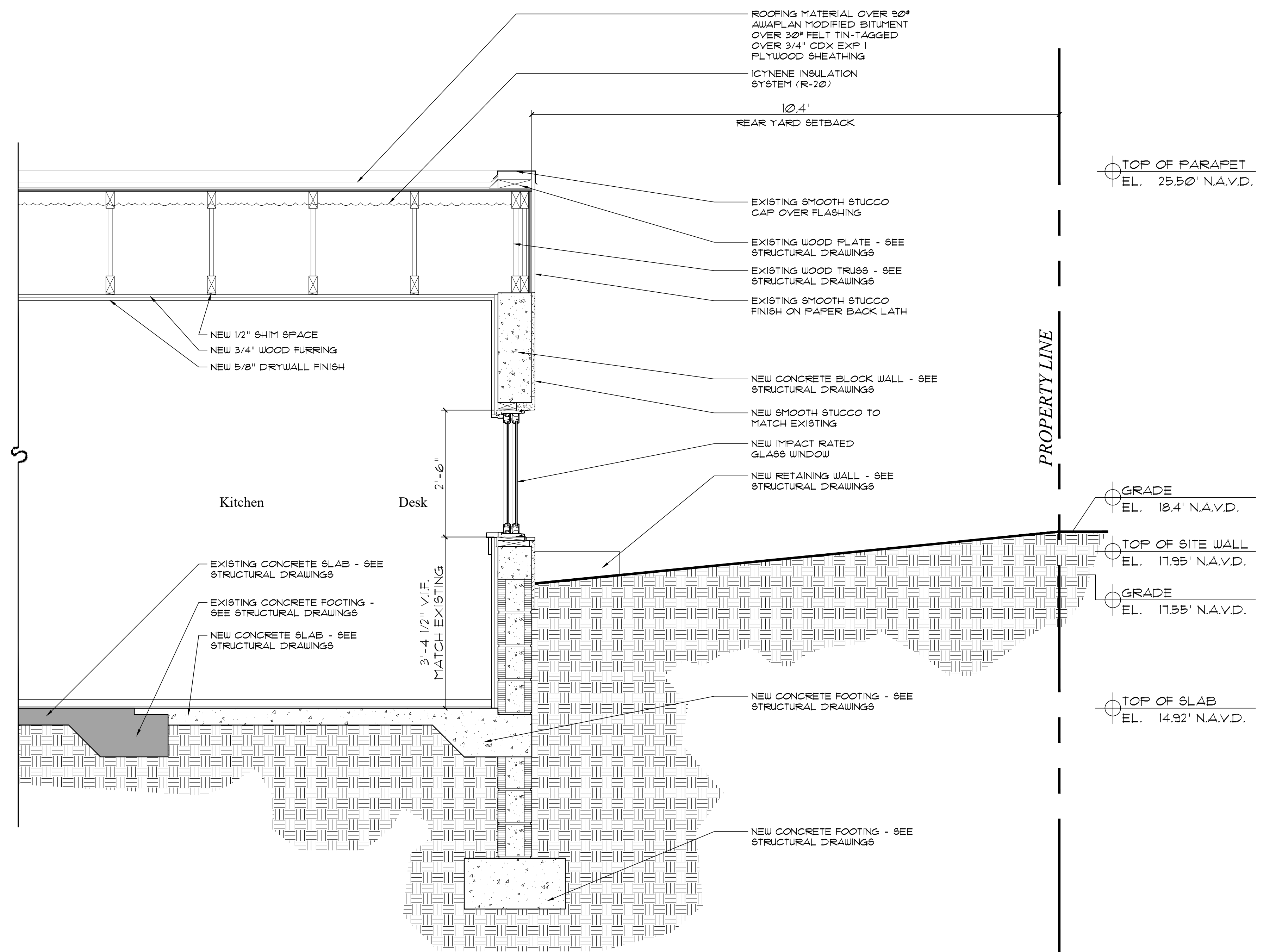
S-1  
A303 Transverse Building Section  
Scale

1/4" = 1'-0"



S-2  
A303 South Wall Section @ Living  
Scale

3/4" = 1'-0"



S-3  
A303 South Wall Section @ Kitchen  
Scale

3/4" = 1'-0"



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REVISIONS

Additions and Renovations to the  
Forsyth Williams Guest House

Palm Beach FL 33480

288 Sandpiper Drive

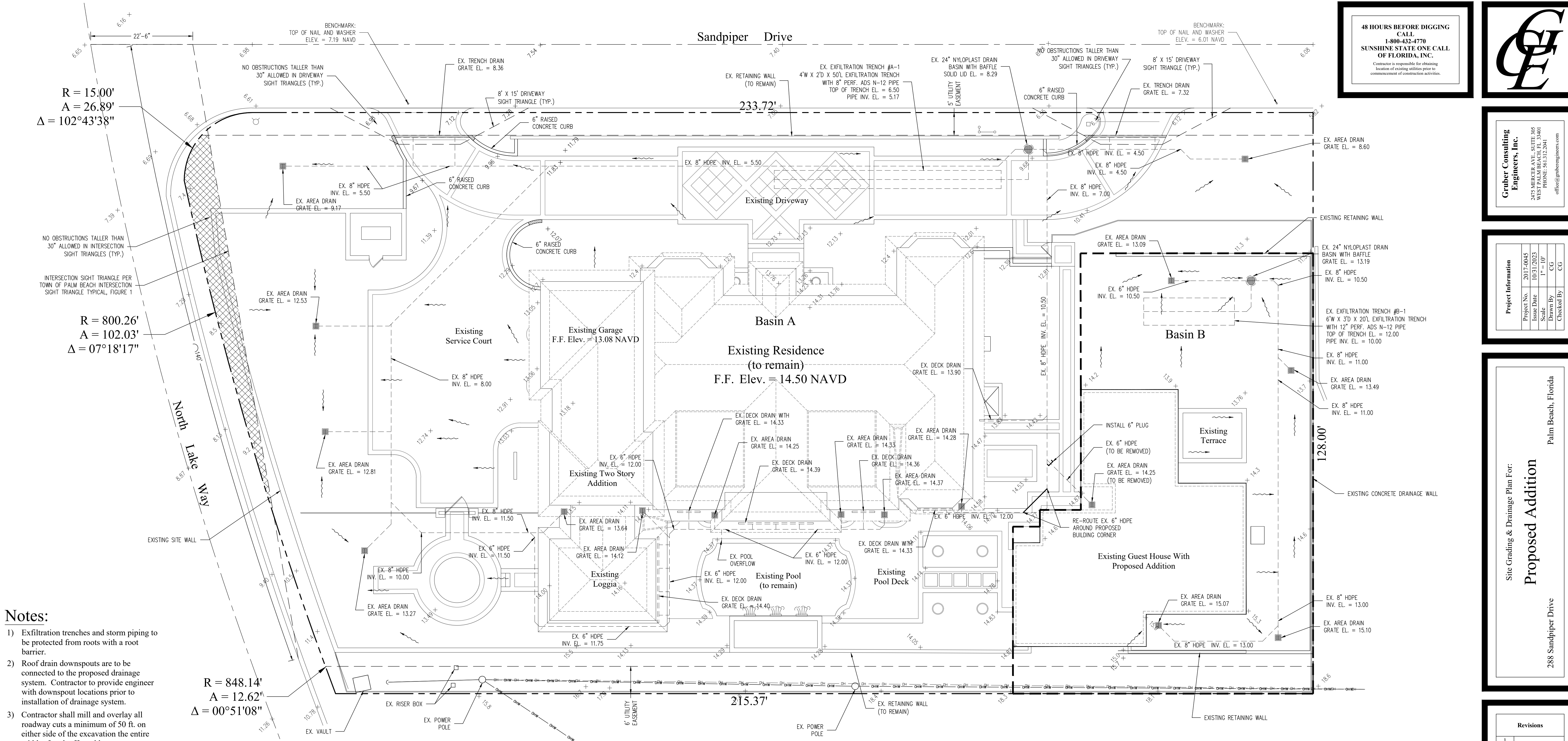


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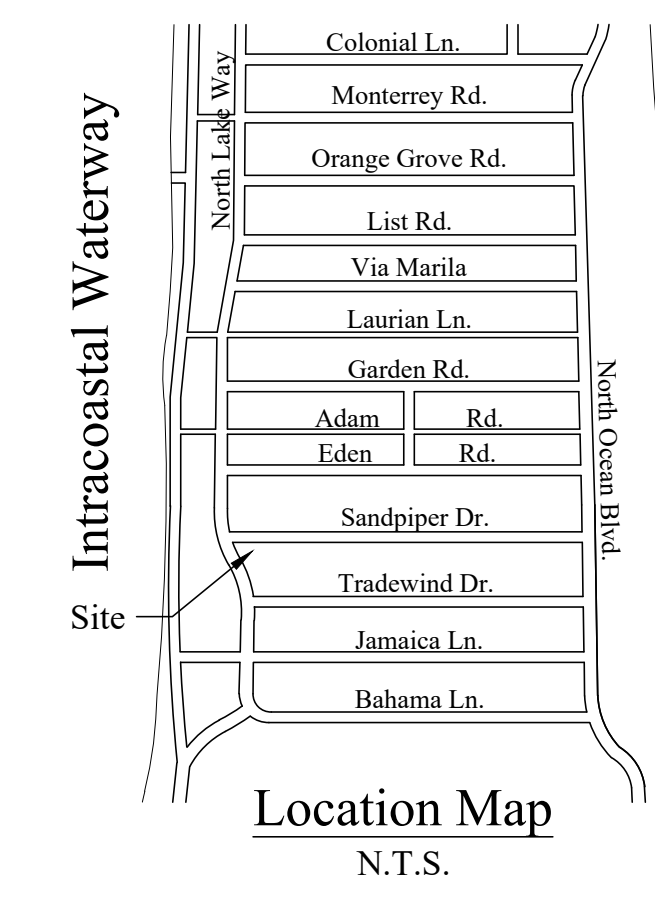
SHEET NO.

A303

ARC-24-0131  
ZON-24-005



- Notes:**
- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
  - 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
  - 3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
  - 4) Contractor is responsible for installing and maintaining erosion control measures during construction.
  - 5) Video inspection of storm drainage system required prior to installation of sod.



**STORMWATER RETENTION CALCULATIONS (Basin A)**

**A. SITE INFORMATION**

Total Property Area = 30,074 sq.ft.

Drainage Basin A Area = 24,526 sq.ft.

Drainage Area Impervious Surface (existing residence, pool, driveway, proposed addition, loggia, deck) = 12,906 sq.ft.

Drainage Area Pervious Surface = 11,620 sq.ft.

**B. ESTIMATED STORMWATER RETENTION VOLUME**

The retention volume is estimated using the Rational Method (Q=CiA) where:

C = 1.0 (impervious surface)

C = 0.2 (pervious surface)

i = 2 in/hr

Impervious Surface Runoff Volume: 1.0 x 2 in/hr x 12,906 sq.ft. x 1 ft/12 in. = 2,151 cu.ft.

Pervious Runoff Volume: 0.2 x 2 in/hr x 11,602 sq.ft. x 1 ft/12 in. = 387 cu.ft.

Total Volume to be Retained = 2,538 cu.ft.

**C. PROPOSED EXFILTRATION TRENCH SIZING**

|    |   |                                 |   |         |                        |
|----|---|---------------------------------|---|---------|------------------------|
| L  | = | Total Length of Trench Provided | = | 50      | ft                     |
| W  | = | Trench Width                    | = | 4       | ft                     |
| K  | = | Hydraulic Conductivity          | = | 0.00053 | cfs/sq.ft./ft. of head |
| H2 | = | Depth to Water Table            | = | 5.82    | ft                     |
| DU | = | Un-Saturated Trench Depth       | = | 2.00    | ft                     |
| DS | = | Saturated Trench Depth          | = | 0.00    | ft                     |
| V  | = | Volume Treated                  | = | 4,295   | cu.ft.                 |

**STORMWATER RETENTION CALCULATIONS (Basin B)**

**A. SITE INFORMATION**

Total Property Area = 30,074 sq.ft.

Drainage Basin B Area = 5,548 sq.ft.

Drainage Area Impervious Surface (existing guest house, proposed patio) = 2,217 sq.ft.

Drainage Area Pervious Surface = 3,331 sq.ft.

**B. ESTIMATED STORMWATER RETENTION VOLUME**

The retention volume is estimated using the Rational Method (Q=CiA) where:

C = 1.0 (impervious surface)

C = 0.2 (pervious surface)

i = 2 in/hr

Impervious Surface Runoff Volume: 1.0 x 2 in/hr x 2,217 sq.ft. x 1 ft/12 in. = 370 cu.ft.

Pervious Runoff Volume: 0.2 x 2 in/hr x 3,331 sq.ft. x 1 ft/12 in. = 111 cu.ft.

Total Volume to be Retained = 481 cu.ft.

**C. PROPOSED EXFILTRATION TRENCH SIZING**

|    |   |                                 |   |         |                        |
|----|---|---------------------------------|---|---------|------------------------|
| L  | = | Total Length of Trench Provided | = | 20      | ft                     |
| W  | = | Trench Width                    | = | 6       | ft                     |
| K  | = | Hydraulic Conductivity          | = | 0.00053 | cfs/sq.ft./ft. of head |
| H2 | = | Depth to Water Table            | = | 6.00    | ft                     |
| DU | = | Un-Saturated Trench Depth       | = | 3.00    | ft                     |
| DS | = | Saturated Trench Depth          | = | 0.00    | ft                     |
| V  | = | Volume Treated                  | = | 2,605   | cu.ft.                 |

**Legend**

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE

Scale: 1" = 10'

**48 HOURS BEFORE DIGGING CALL**  
1-800-432-4770  
**SUNSHINE STATE ONE CALL OF FLORIDA, INC.**  
Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

**Gruber Consulting Engineers, Inc.**  
574 MERCER AVE., SUITE 305  
WEST PALM BEACH, FL 33401  
PHONE: 561.312.2841  
office@gruberengineers.com

| Project Information | Project No. | 2017-0045 | Issue Date | 10/31/2023 | Scale | 1" = 10' | Drawn By | CG | Checked By | CG |
|---------------------|-------------|-----------|------------|------------|-------|----------|----------|----|------------|----|
|---------------------|-------------|-----------|------------|------------|-------|----------|----------|----|------------|----|

Site Grading & Drainage Plan For:  
**Proposed Addition**  
Palm Beach, Florida  
288 Sandpiper Drive

Revisions

|    |  |
|----|--|
| 1  |  |
| 2  |  |
| 3  |  |
| 4  |  |
| 5  |  |
| 6  |  |
| 7  |  |
| 8  |  |
| 9  |  |
| 10 |  |

Chad M. Gruber  
FL P.E. No. 57466

Sheet No.  
**C-1**

Plan Background from Site Plan by MP Design & Architecture Received 10/6/23  
**ARC-23-159**  
**ZON-24-005**  
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