

PROPOSED POOL HOUSE & GAZEBO 854 S. COUNTY ROAD

TOWN OF PALM BEACH,

FLORIDA



PROJECT DATA		LOCATION MAP	
OCCUPANCY : R3 CONSTRUCTION : TYPE VB			
<p><u>CODES AND REFERENCES :</u></p> <ul style="list-style-type: none"> * THE FLORIDA BUILDING CODE, 2023 EDITION* * NATIONAL ELECTRIC CODE 2020 EDITION* 			
<p>INDEX OF DRAWINGS</p> <ul style="list-style-type: none"> A-0.00 COVER SHEET SURVEY A-0.01 STREETScape DRAWING NEIGHBOR HOOD PHOTOGRAPHS SP-1.00 SITE PLAN & SITE DATA A-1.01 POOL HOUSE PLAN & ROOF PLAN A-2.01 POOL HOUSE ELEVATIONS A-2.02 POOL HOUSE SECTIONS A-2.03 GAZEBO PLAN & ELEVATIONS A-2.04 BUILDING HEIGHT DIAGRAM A-3.01 EXTERIOR DETAILS A-3.02 MATERIALS 			
<p>PROJECT NUMBER</p> <p>HSB-24-005 (ZON-24-0035)</p>	<p>HEARING DATES</p> <p>08-21-2024 LPC 09-11-2024 TC</p>		
<p>SCOPE OF WORK</p> <ol style="list-style-type: none"> 1. CONSTRUCT NEW 1 STORY POOL HOUSE, TO MATCH STYLE, COLOR, MATERIALS & DETAILS OF THE MAIN RESIDENCE. 2. CONSTRUCT NEW GAZEBO, MATCHING THE COLOR & ROOF TILES OF EXISTING RESIDENCE. 			
CONSULTANTS AND ENGINEERS			
CIVIL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR	ARCHITECT
	<p>ENVIRONMENT DESIGN GROUP DUSTIN M. MIZELL, M.L.A. #A+6666784 139 N. COUNTY ROAD SUITE # 20B PALM BEACH, FLORIDA 33480 PHONE (561) 832-4600 MOBILE (561) 313-4424 www.Dustin@environmentdesigngroup.com</p>	<p>MILLER LAND SURVEYING 1121 LAKE AVENUE LAKEWORTH, FLORIDA 33460 PHONE: (561) 586-2669 FAX: (561) 582-0151 www.millersurveying.com E-MAIL: orders@millersurveying.com</p>	<p>THE BENEDICT BULLOCK GROUP 1525 NW 3RD STREET, SUITE #1 DEERFIELD BEACH, FLORIDA 33442 PHONE (954) 570-9500 FAX (954) 570-9550 www.TBBG.net</p>

VARIANCE REQUESTS:

1. Additional enclosed accessory building containing bedrooms with bath facilities is proposed.
2. Vehicle gate setback of 10'-0" in lieu of the 18'-0" required.

REVISIONS	BY	DATE
	RST	07-12-2024

The Benedict Bullock Group, PA
ARCHITECTURE • PLANNING
1525 NW 3RD STREET, SUITE #1
DEERFIELD BEACH, FLORIDA 33442
PHONE (954) 570-9500 FAX (954) 570-9550
www.TBBG.net

PROPOSED POOL HOUSE & GAZEBO
854 S. COUNTY ROAD
FLORIDA
PALM BEACH,

ARCHITECT'S SEAL

BRIAN BULLOCK, ARCHITECT
AR 95754

DIGITAL SIGNATURE

DATE 06-27-2024
DRAWN BY RST
PROJECT NO. BR2350

SITE PLAN

A-0.00

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Private Residence
854 South County Rd
Palm Beach

F L O R I D A

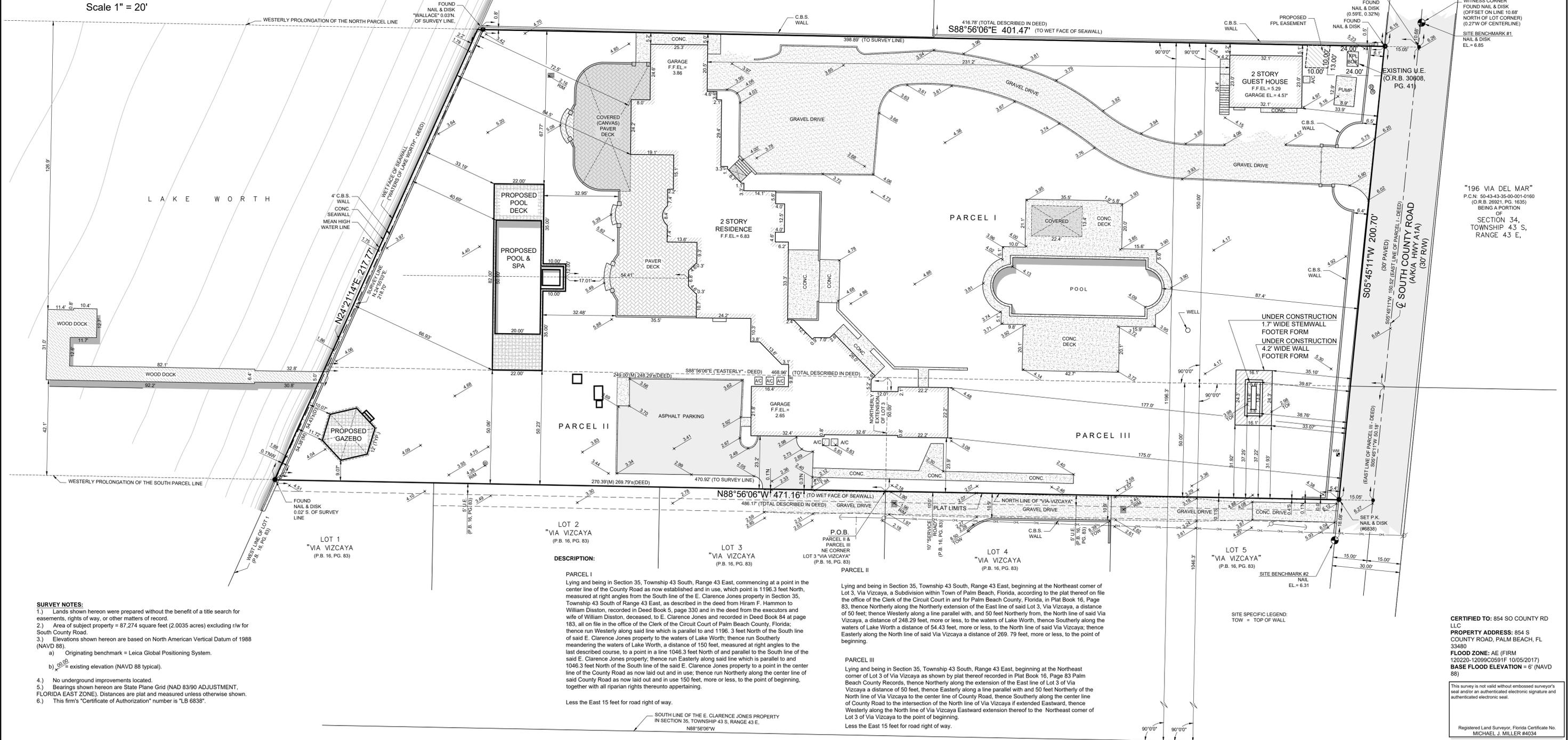
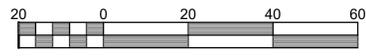
Application #:
H/B-24-0005
02.10.25 Submittal

Comments as per ARCOM / LPC Meeting 02.19.25

* Restudy guest house.

Modifications to Previously Presented Plans

- Revised landscaping based on adjusted building footprint
See Sheet L6.1
- Modifications to site data
See Sheet L5.1



SURVEY NOTES:

- Lands shown hereon were prepared without the benefit of a title search for easements, rights of way, or other matters of record.
- Area of subject property = 87,274 square feet (2.0035 acres) excluding r/w for South County Road.
- Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - existing elevation (NAVD 88 typical).
- No underground improvements located.
- Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Distances are plat and measured unless otherwise shown.
- This firm's "Certificate of Authorization" number is "LB 9838".

DESCRIPTION:

PARCEL I
Lying and being in Section 35, Township 43 South, Range 43 East, commencing at a point in the center line of the County Road as now established and in use, which point is 1196.3 feet North, measured at right angles from the South line of the E. Clarence Jones property in Section 35, Township 43 South of Range 43 East, as described in the deed from Hiram F. Hammon to William Disston, recorded in Deed Book 5, page 330 and in the deed from the executors and wife of William Disston, deceased, to E. Clarence Jones and recorded in Deed Book 84 at page 183, all on file in the office of the Clerk of the Circuit Court of Palm Beach County, Florida; thence run West along said line which is parallel to and 1196.3 feet North of the South line of said E. Clarence Jones property to the waters of Lake Worth; thence run Southerly meandering the waters of Lake Worth, a distance of 150 feet, measured at right angles to the last described course, to a point in a line 1046.3 feet North of and parallel to the South line of the said E. Clarence Jones property; thence run Easterly along said line which is parallel to and 1046.3 feet North of the South line of the said E. Clarence Jones property to a point in the center line of the County Road as now laid out and in use; thence run Northerly along the center line of said County Road as now laid out and in use 150 feet, more or less, to the point of beginning, together with all riparian rights thereunto appertaining.

Less the East 15 feet for road right of way.

PARCEL II
Lying and being in Section 35, Township 43 South, Range 43 East, beginning at the Northeast corner of Lot 3, Via Vizcaya, a Subdivision within Town of Palm Beach, Florida, according to the plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 16, Page 83, thence Northerly along the Northerly extension of the East line of said Lot 3, Via Vizcaya, a distance of 50 feet; thence West along a line parallel with, and 50 feet Northerly from, the North line of said Via Vizcaya, a distance of 248.29 feet, more or less, to the waters of Lake Worth; thence Southerly along the waters of Lake Worth a distance of 54.43 feet, more or less, to the North line of said Via Vizcaya; thence Easterly along the North line of said Via Vizcaya a distance of 269.79 feet, more or less, to the point of beginning.

PARCEL III
Lying and being in Section 35, Township 43 South, Range 43 East, beginning at the Northeast corner of Lot 3 of Via Vizcaya as shown by plat thereof recorded in Plat Book 16, Page 83 Palm Beach County Records, thence Northerly along the extension of the East line of Lot 3 of Via Vizcaya a distance of 50 feet, thence Easterly along a line parallel with and 50 feet Northerly of the North line of Via Vizcaya to the center line of County Road, thence Southerly along the center line of County Road to the intersection of the North line of Via Vizcaya Eastward extension thereof to the Northeast corner of Lot 3 of Via Vizcaya to the point of beginning.

Less the East 15 feet for road right of way.

LEGEND:

CALC.	CONCRETE BLOCK STRUCTURE	IP	PLAT	P.I.	POINT OF INTERSECTION	ASPHALT PAVEMENT
C.B.S.	CONCRETE MONUMENT	R	RADIUS	P.O.C.	POINT OF COMMENCEMENT	CONCRETE FLOATHORK
CONC.	CONCRETE	A	CENTRAL "DELTA" ANGLE	P.O.B.	POINT OF BEGINNING	PAVER BRICK FLOATHORK
CONC. MON.	CONCRETE MONUMENT	A	CENTRAL BEARING	RW	RIGHT OF WAY	WOOD POWER POLE
DE	DRAINAGE EASEMENT	CHB	CHORD BEARING	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	WATER METER
U.E.	UTILITY EASEMENT	D.B.	DEED BOOK	N.C.P.S.	NATIONAL CURVATURE POINT SYSTEM	FIRE HYDRANT
F.F.E.L.	FINISHED FLOOR ELEVATION	P.C.	POINT OF CURVATURE	P.C.	POINT OF CURVATURE	CATCH BASIN
EL.	ELEVATION	P.R.C.	POINT OF REVERSE CURVATURE	P.R.C.	POINT OF REVERSE CURVATURE	SEWERY MANHOLE
B.R.	BEARING REFERENCE	P.C.C.	POINT OF COMPOUND CURVATURE			
(D)	DI					
(M)	MEASURED					

SCALE: 1" = 20'
 DRAWN BY: PICARD
 FIELD WK: F.U.
 DATE: 05/15/2024

MILLER LAND SURVEYING
 1121 LAKE AVENUE
 LAKE WORTH BEACH, FLORIDA 33460
 PHONE: (561) 586-2669 - FAX: (561) 582-0151
 WWW.MILLERSURVEYING.COM
 e-mail: orders@millersurveying.com

REF: B-24076 B-24077 B-24078 B-24079
 PREV: B-24075
 JOB NO'S: Y240112 Y240492 Y240519
 JOB NO.: Y240519
 L - 2409 - E

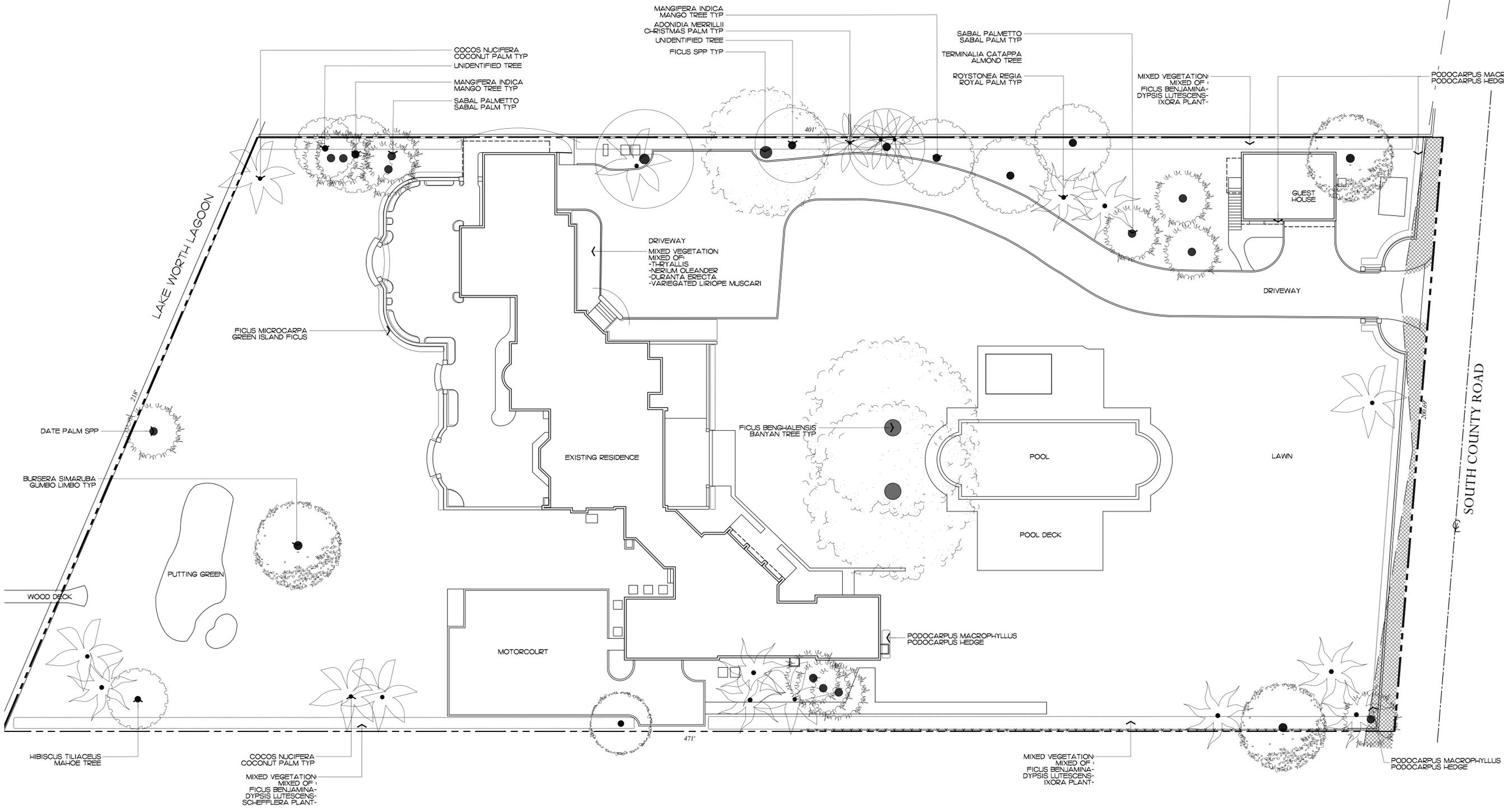
REVISIONS:

05/04/2024	Re stake pad (moved by client)
05/22/2024	Topo of alley to south.

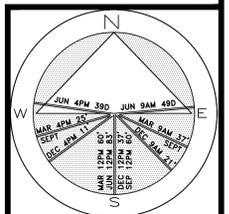
CERTIFIED TO: 854 SOUTH COUNTY RD LLC
PROPERTY ADDRESS: 854 S COUNTY ROAD, PALM BEACH, FL 33480
FLOOD ZONE: AE (FIRM 120220-12099C0511-10/05/2017)
BASE FLOOD ELEVATION = 6' (NAVD 88)

This survey is not valid without embossed surveyor's seal and/or an authorized electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034
 CRD. FILE Y240519



Private Residence
 854 S County Road
 Palm Beach



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Alex Ebugrii
 DATE: 05.16.2024

2024
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H/S/B: 24-0005
 ZON: 24-0035

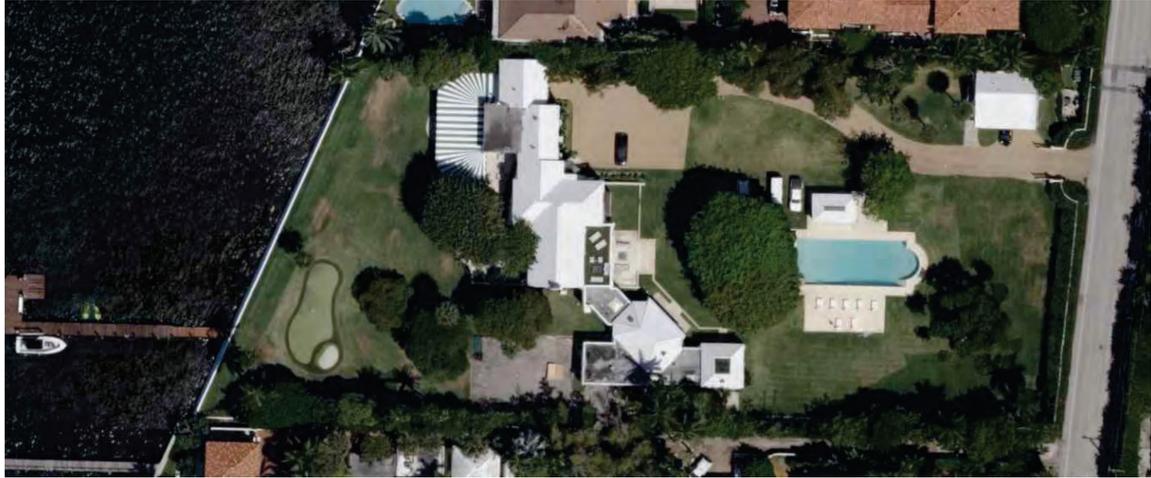
Existing Vegetation Inventory & Action Plan

SCALE: 1/16"=1'

SHEET L1.0

64 sf.

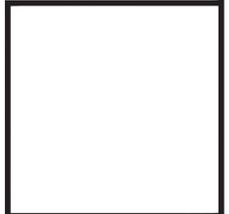
AREA IN SQ. FT.



Aerial View



PRIVATE RESIDENCE
 854 S COUNTY ROAD
 PALM BEACH
 FLORIDA



JOB NUMBER: # 23090.00 LA
 DRAWN BY: /s/Jan Twomey
 DATE: 03.14.2024

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Existing Conditions - Frontyard Images

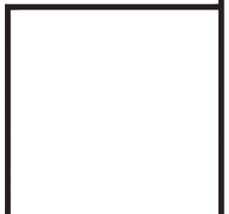
SHEET L1.1
 64 sf.
 AREA IN SQ.FT.



Aerial View



PRIVATE RESIDENCE
 854 S COUNTY ROAD
 PALM BEACH
 FLORIDA



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Alex Ebugrii
 DATE: 03.14.2024

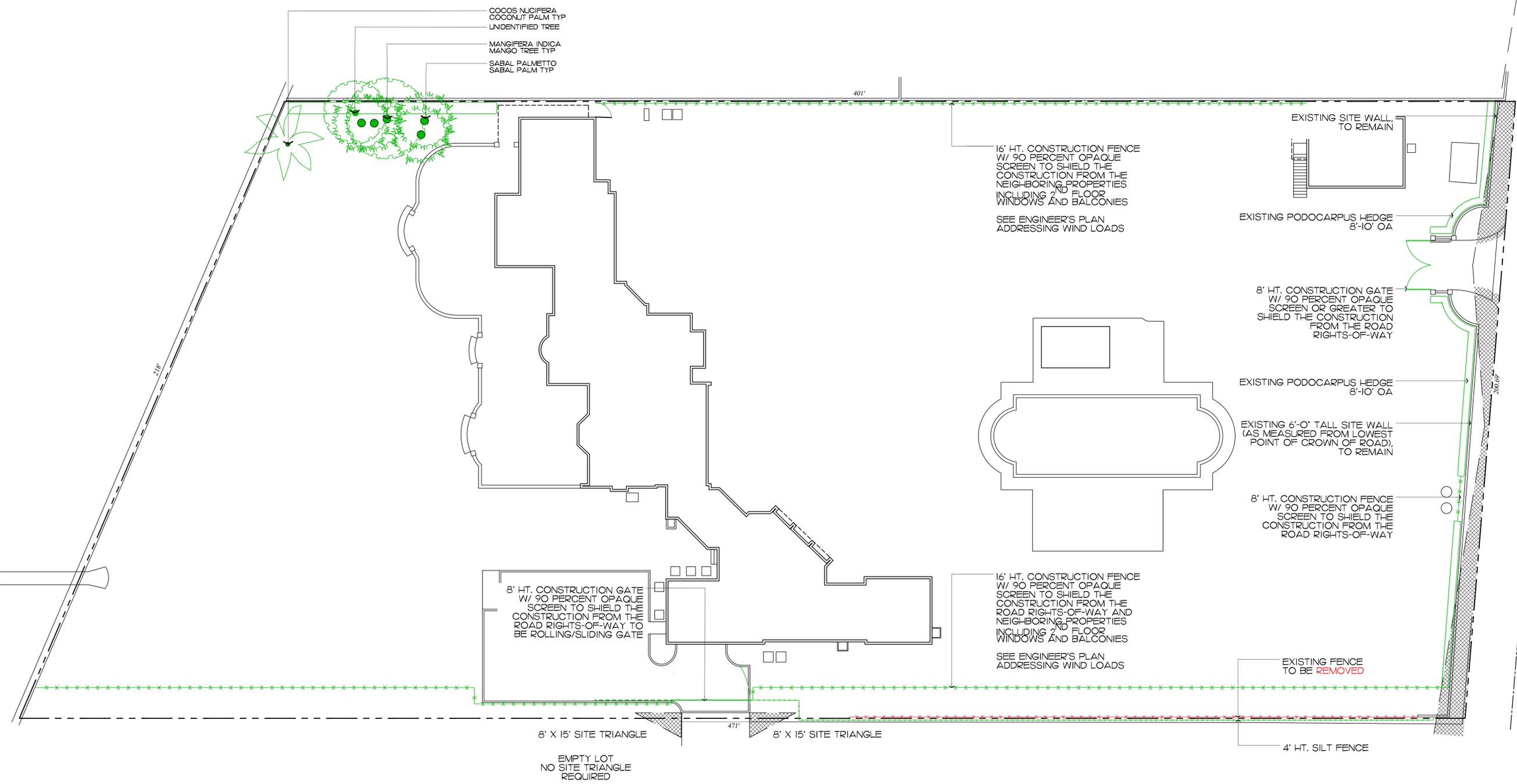
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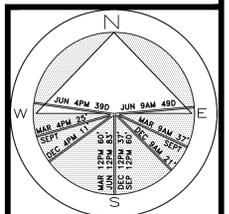
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Existing Conditions - Backyard Images

SHEET L1.2
 64 sf.
 AREA IN SQ.FT.



SOUTH COUNTY ROAD
 Private Residence
 854 S County Road
 Palm Beach
 F L O R I D A



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Alex Ebugrii
 DATE: 05.16.2024
 07.01.2024

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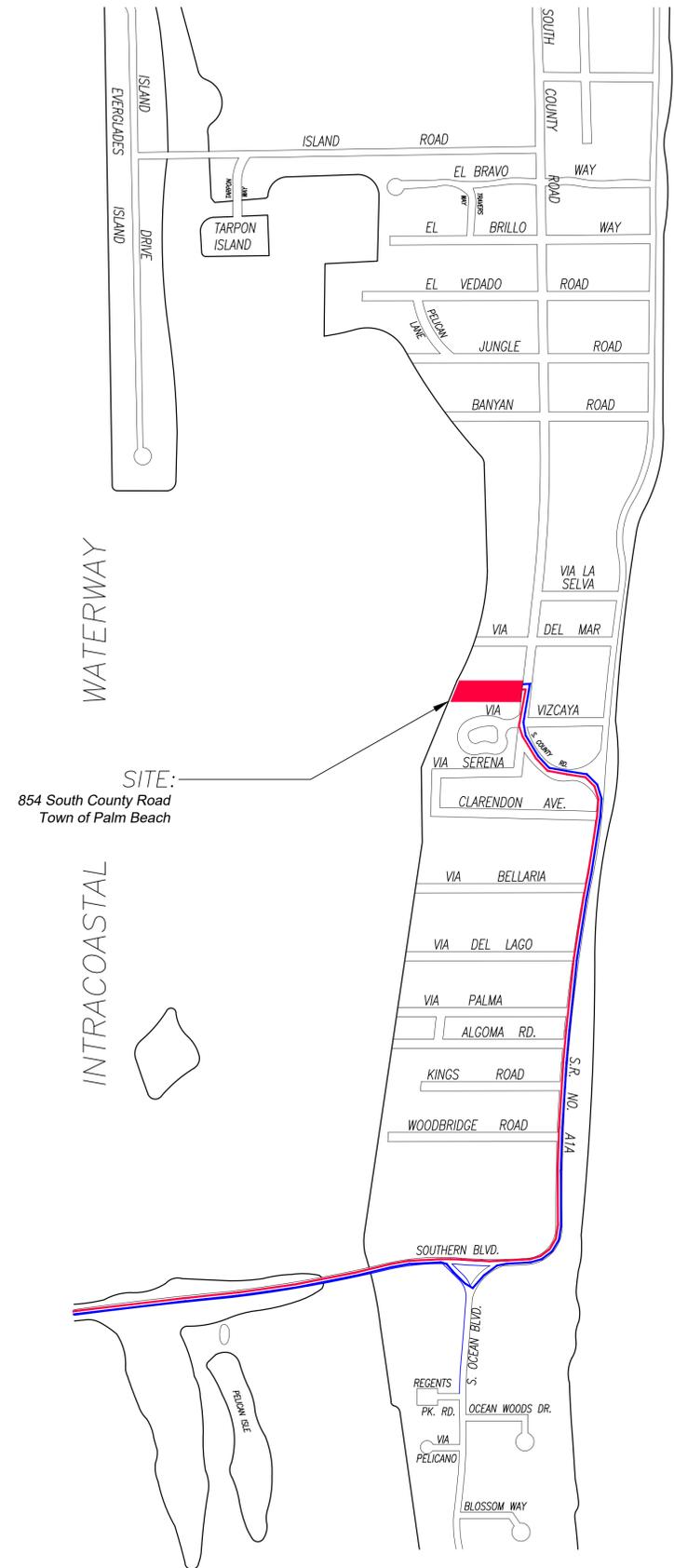
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H/S/B: 24-0005
 ZON: 24-0035

Construction Screening & Staging Plan

SCALE: 1/16"=1'

SHEET L3.0
 AREA IN SQ.FT. 64 sf.



1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

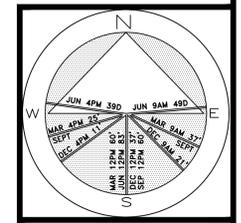
CONCEPTUAL CONSTRUCTION SCHEDULE:

MONTH 1:	DEMOLITION
MONTH 2-4	HARDSCAPE INSTALLATION
MONTH 5	LANDSCAPE INSTALLATION
MONTH 6	FINAL CERTIFICATIONS / PERMITS

LARGEST TRUCK ->
 LANDSCAPE TRUCKS ->
 SOD
 IRRIGATION

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

Private Residence
 854 S County Road
 Palm Beach



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Dustin Mizell
 DATE: 05.16.2024
 07.01.2024

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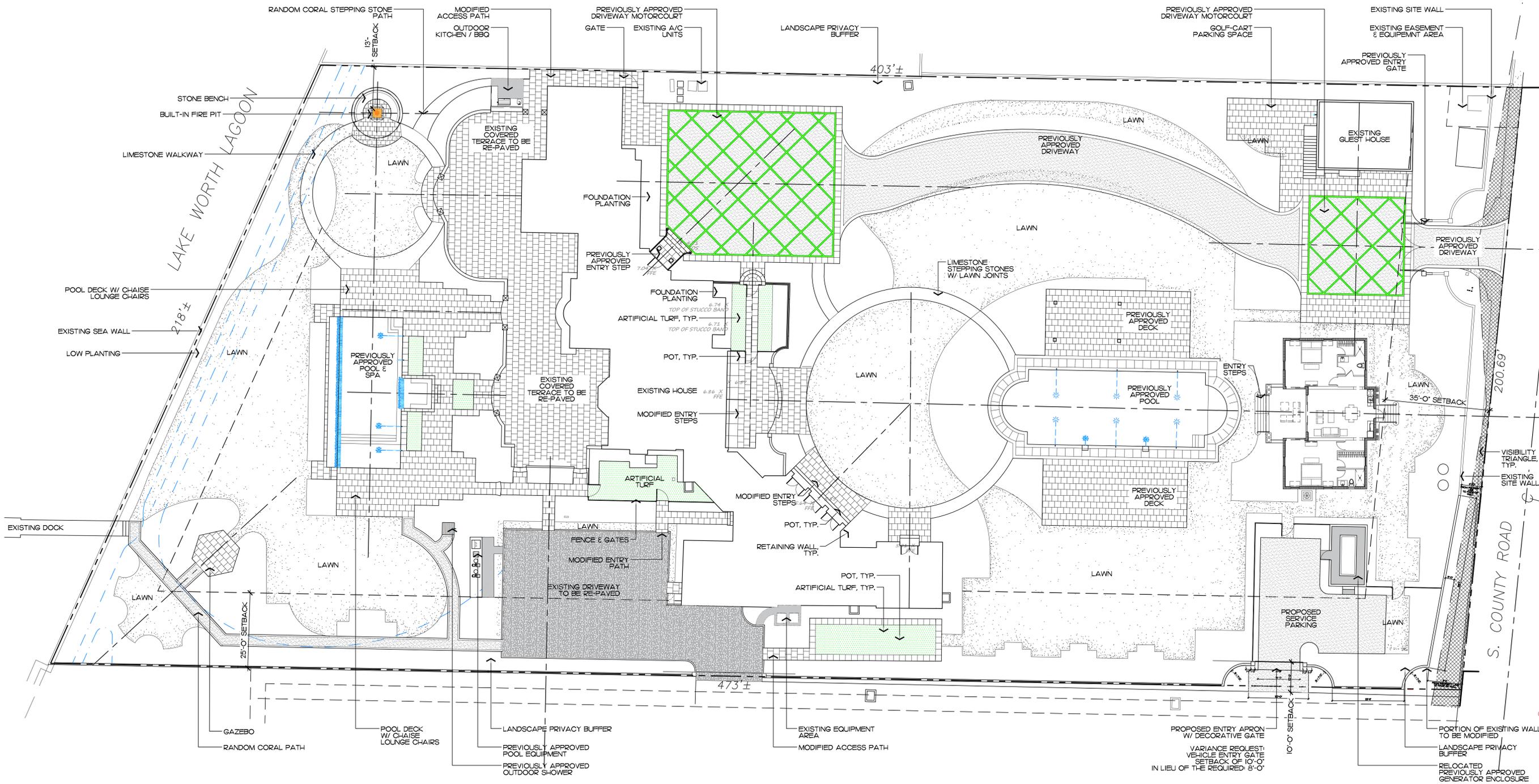
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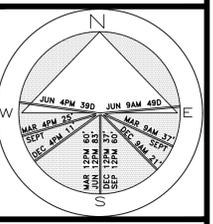
H/S/B: 24-0005
 ZON: 24-0035

Truck Logistics Plan
 SCALE: NOT TO SCALE

SHEET L4.0



Private Residence
854 S County Road
Palm Beach
FLORIDA

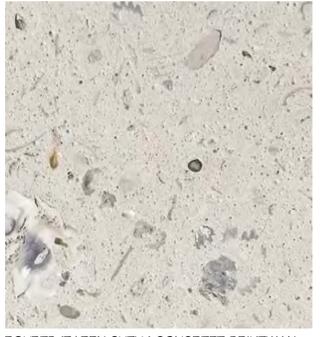


JOB NUMBER: # 23090.00 LA
DRAWN BY: Adam Mills / cam. Tiaromey
DATE: 03.04.2024
02.07.2025

Hardscape Materials



LIMESTONE PAVERS



POURED 'TABBY SHELL' CONCRETE DRIVEWAY

2025
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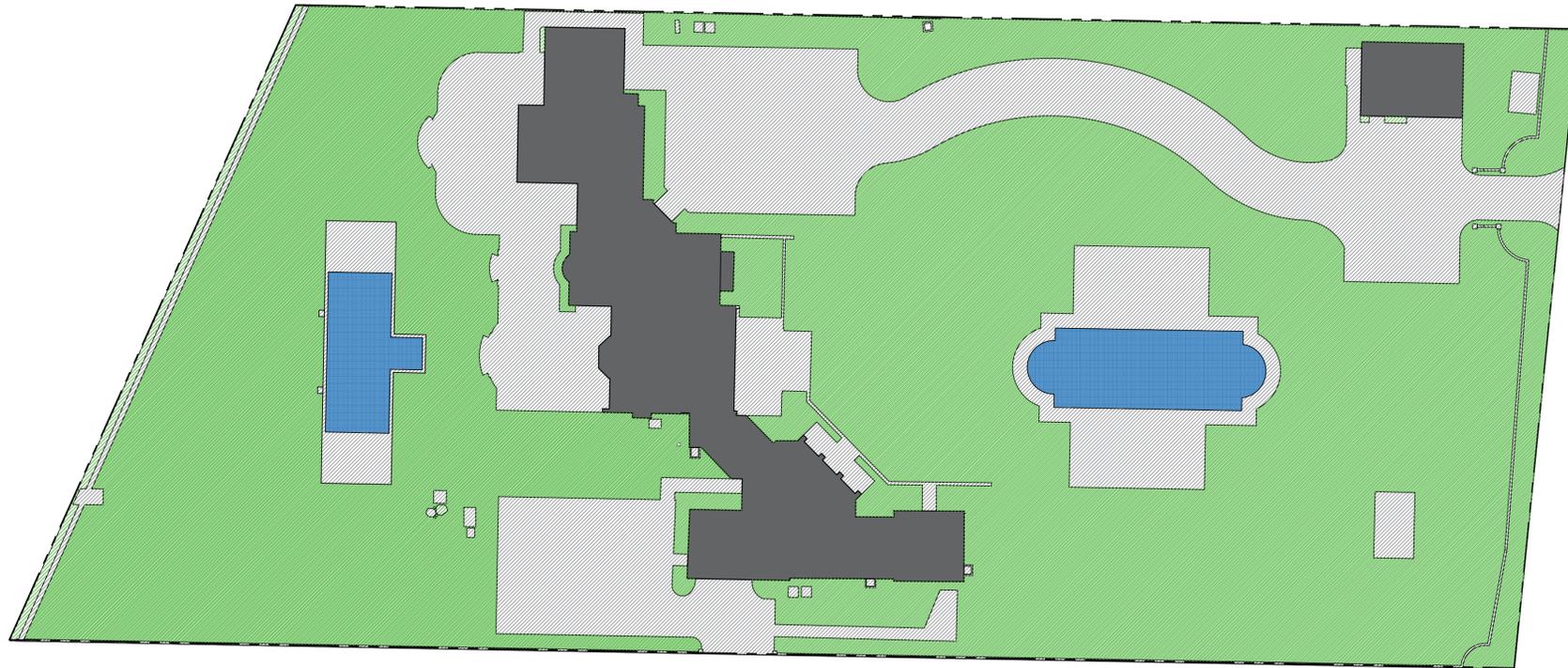
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H/S/B: 24-0005
ZON: 24-0035

Site Plan
SCALE IN FEET 0' 16' 32' 48'

SHEET L5.0
64 sf.
AREA IN SQ.FT.



Existing Lot Coverage Graphic

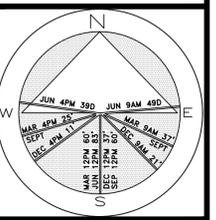
Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE
- IMPERVIOUS AREA / WATER FEATURE

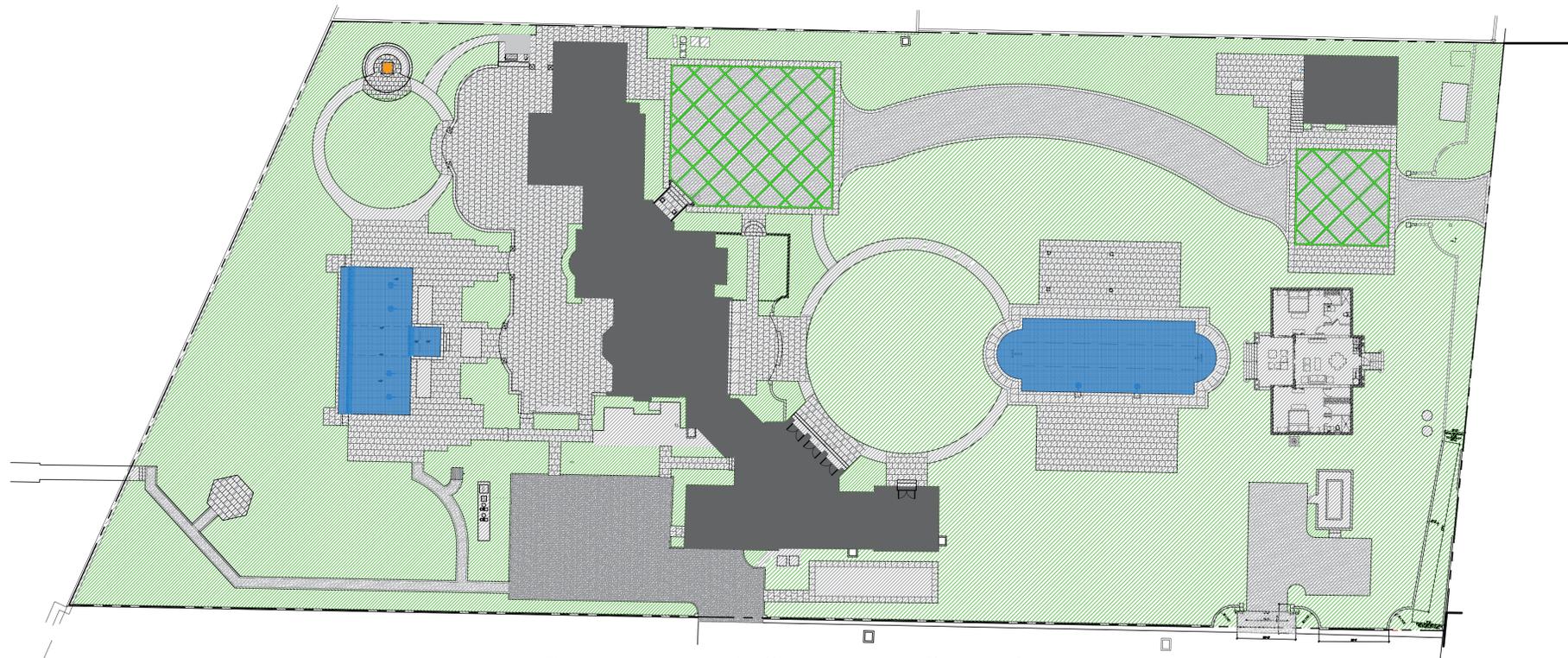
Site Data

DESCRIPTION	REQUIRED	PREVIOUSLY APPROVED	PROPOSED
LOT ZONE		R-A - ESTATE RESIDENTIAL	R-A - ESTATE RESIDENTIAL
LOT AREA		87,571.86 SF.	87,571.86 SF.
OPEN / PERMEABLE SPACE	MINIMUM 50% 43,785.93 S.F.	63.7% 55,776.5 S.F.	52% 45,530 S.F.
FRONT YARD LANDSCAPE	MINIMUM 45% OF FRONT YARD 1,575 S.F.	89.23% 5,897.45 S.F.	72.7% 6,364.45 S.F.

Private Residence
 854 S County Road
 Palm Beach
 F L O R I D A



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Adam Mills
 Kerinaelle Dorinuli
 DATE: 02.07.2024
 07.01.2024
 02.07.2025



Proposed Lot Coverage Graphic

SHEET L5.1

2025
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H/S/B: 24-0005
 ZON: 24-0035

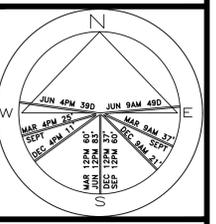
Landscape Open Space Calculations

NOT TO SCALE

64 sf.

AREA IN SQ.FT.

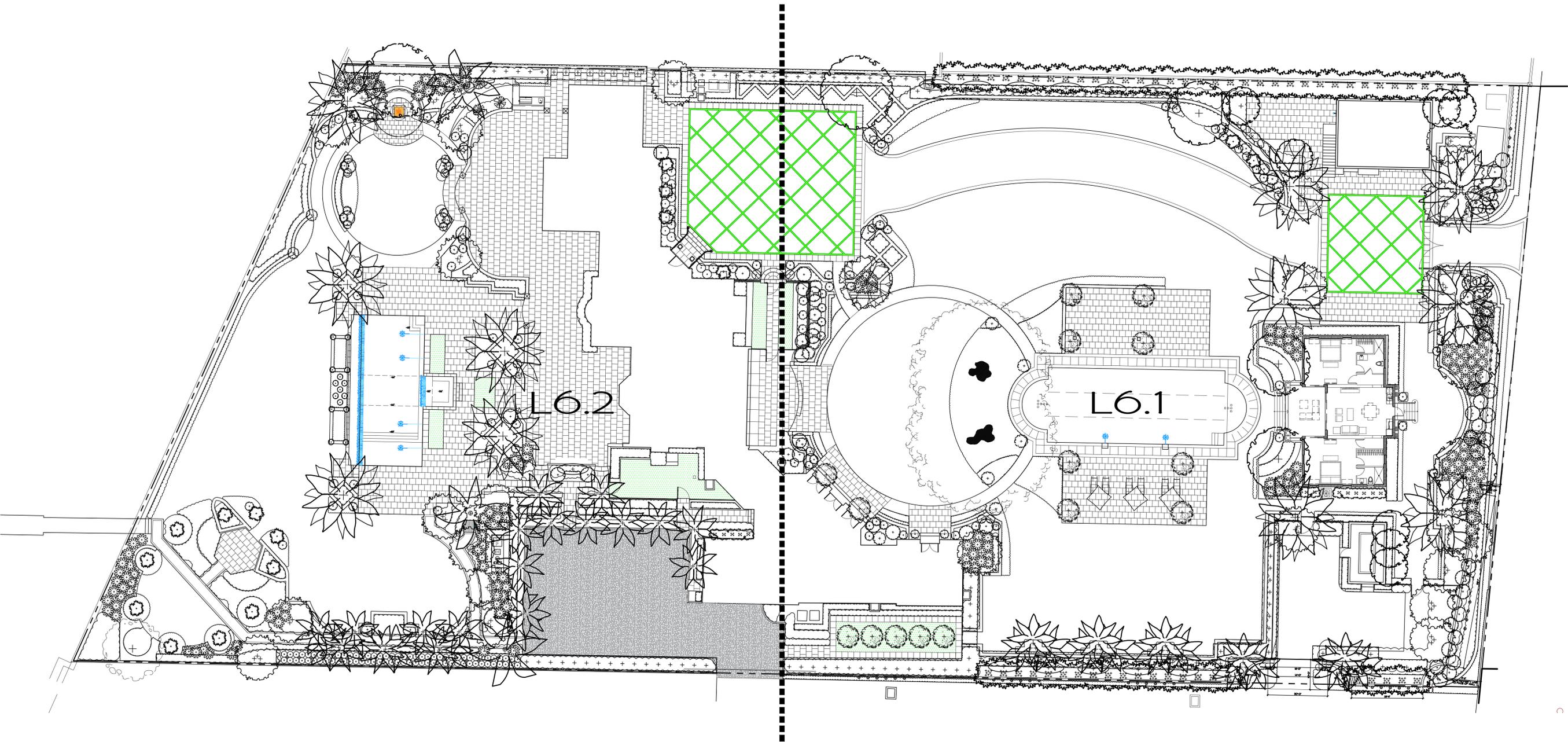
Private Residence
 854 S County Road
 Palm Beach
 FLORIDA



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Adam Mills
 DATE: 02.07.2025

SHEET L6.0

256 sf.
 AREA IN SQ. FT.



2025
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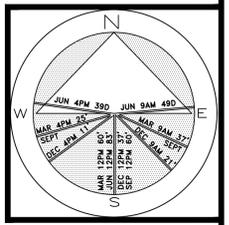
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H/S/B: 24-0005
 ZON: 24-0035

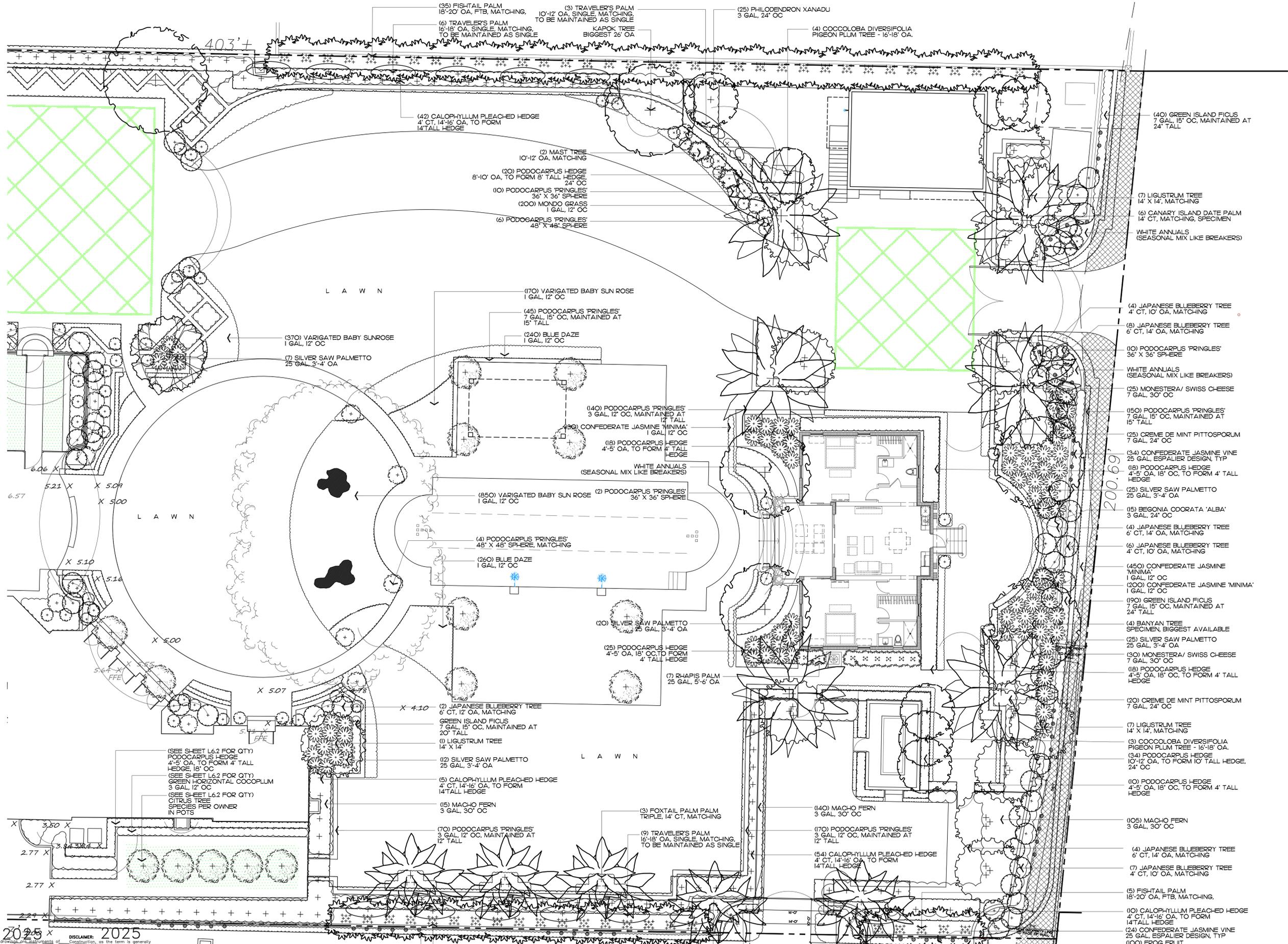
Landscape Plan
 SCALE IN FEET 0' 16' 32' 48'

Private Residence
 854 S County Road
 Palm Beach



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Adam Hills
 DATE: 02.07.2025

SHEET L6.1



2025
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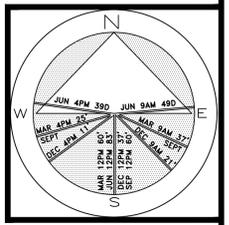
East Landscape Plan Enlargement

SCALE IN FEET 0' 10' 20' 30'

100 sf.

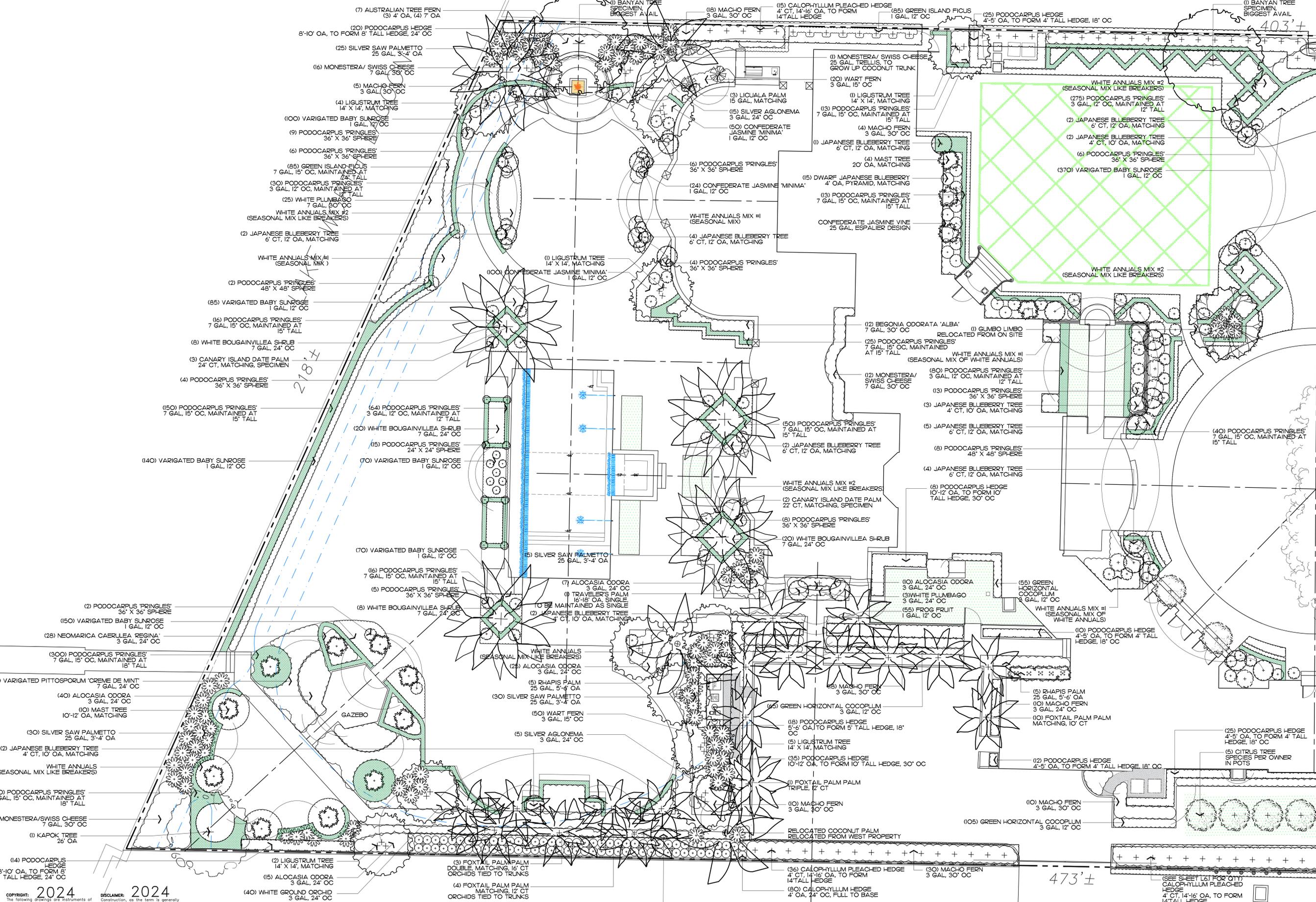
AREA IN SQ.FT.

Private Residence
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 Palm Beach
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JOB NUMBER: # 23090.00 LA
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West Landscape Plan Enlargement

SCALE IN FEET 0' 10' 20' 30'

100 sf.

AREA IN SQ. FT.

Trees & Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BURSERA SIMARUBA GUMBO LIMBO	1	EXISTING TO BE RELOCATED	YES
	CEIBA PENTANDRA KAPOK TREE	2	LARGEST SPECIMEN AVAILABLE	NO
	COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE	7	18'-20' OA., FTB.	YES
	FICUS AUREA NATIVE BANYAN TREE	6	LARGEST SPECIMEN AVAILABLE	YES
	LIGUSTRUM LUCIDUM LIGUSTRUM TREE	27	14' X 14', MATCHING	NO
	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM	6	14' CT, MATCHING, SPECIMEN	NO
	WODYETIA BIFURCATA FOXTAIL PALM	2	22' CT, MATCHING SPECIMEN	NO
	RAVENALA MADAGASCARIENSIS TRAVELERS PALM	3	TRIPLE, 14' CT, MATCHING	NO
	LICUALA GRANDIS LICUALA PALM	3	10'-12' OA, MATCHING TO BE MAINTAINED AS SINGLE	NO
	CITRUS CITRUS TREE	15	16'-18' OA, MATCHING TO BE MAINTAINED AS SINGLE	NO
	CARYOTA FISHTAIL PALM	35	18'-20' OA, SINGLE MATCHING TO BE MAINTAINED AS SINGLE	NO
		22	18'-20' OA, FTB, MATCHING	
TOTAL TREES:		43	NOTE: TREES IN POTS ARE NOT COUNTED TOWARD NATIVE CALCULATIONS	
NATIVE SPECIES:		14 (32.6%)		

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BEGONIA ODORATA 'ALBA' WHITE BEGONIA	30	36" HT., 24" O.C.	NO
	BOUGAINVILLEA ALBA WHITE BOUGAINVILLEA	30	7 GAL, 30" O.C.	NO
		8	3 GAL, 24" O.C.	
		56	7 GAL, 24" OC	NO
	CHRYSOBALANUS ICACO GREEN COCOPLUM	180	3 GAL., 18" O.C.	YES
	CALOPHYLLUM INOPHYLLUM CALOPHYLLUM HEDGE	80	4' OA., 24" O.C., F.T.B.	NO
		22	4' CT., 14"-16" OA. PLEACHED HEDGE	
		162	4' CT., 14"-16" OA. TO FORM 14' TALL HEDGE	
	CYATHEA COOPERI AUSTRALIAN TREE FERN	10	4' - 5' OAL, MATCHING	NO
	ELAEOCARPUS DECIPENS DWARF JAPANESE BLUEBERRY	15	4' OA., PYRAMID, MATCHING.	NO
		20	12' OA., 6' CT., MATCHING.	NO
		20	10' OA., 4' CT., MATCHING	
	FICUS MICROCARPA GREEN ISLAND FIGUS	515	7 GAL., 15" O.C.	NO
		85	1 GAL., 12" O.C.	
	MICROSORUM SCOLOPENDRIA WART FERN	70	3 GAL., 15" O.C.	NO
	MONSTERA DELICIOSA SWISS CHEESE PLANT	179	7 GAL., 30" O.C.	NO
		1	25 GAL TRELLIS, TO GROW UP COCONUT TRUNK	
	NEPHROLEPIS BISERRATA MACHO FERN	600	7 GAL., 30" O.C.	YES
		340	3 GAL., 30" O.C.	
		10	3 GAL., 24" O.C.	
	PODOCARPUS MACROPHYLLUS PODOCARPUS PRINGLES	143	3 GAL., 12" O.C.	NO
		658	7 GAL., 15" O.C.	
		23	24" X 24" SPHERE	NO
		52	36" X 36" SPHERE	
		10	48" X 48" SPHERE	
		68	4' - 5' OA, TO FORM 4' HEDGE, 18" O.C.	NO
		43	10' - 12' OA, TO FORM 10' TALL HEDGE, 30" O.C.	
		20	5' - 6' OA.	
		38	8' - 10' OA, TO FORM 8' TALL HEDGE, 24" O.C.	
	RHAPIS EXCELSA LADY PALM	22	25 GAL., 5'-6' OA.	NO
	PLUMBAGO ZEYLANICA WHITE PLUMBAGO	35	7 GAL., 30" O.C.	NO
		3	3 GAL., 24" O.C.	
	BLETILLA STRIATA WHITE GROUND ORCHID	40	3 GAL 24" O.C.	NO
	POLYALTHIA LONGIFOLIA MAST TREE	20	20' OA, MATCHING	NO
		20	10'-12' OA, MATCHING	
	SERENOA REPENS SILVER SAW PALMETTO	97	25 GAL., 3'-4' OA.	YES
		100	SEASONAL MIX	NO
	ALOCASIA ODORA ALOCASIA ODORA	97	3 GAL, 24' OC	NO
	CHRYSOBALANUS ICACO L. GREEN HORIZONTAL COCOPLUM	430	3 GAL, 12' OC	YES
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	12	25 GAL, ESPALIER DESIGN	NO
		150	1 GAL, 12 O.C.	
	AGLAONEMA COSTATUM CHINESE EVERGREEN	20	3 GAL, 24 O.C.	NO
	NEOMARICA CAERULEA REGINA GIANT APOSTLES	28	3 GAL, 24 O.C.	NO
	VARIGATED PITTOSPOURM 'CREME DE MINT' VARIGATED PITTOSPORUM	120	7 GAL, 24 O.C.	NO
TOTAL:		4,682		
NATIVE SPECIES:		1,657 (35.3%)		

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	MESEMBRYANTHEMUM CORDIFOLIUM VARIGATED BABY SUNROSE	1,255	1 GAL, 12' OC	NO
	PHYLLA NODIFLORA FROG FRUIT	605	1 GAL, 12' OC	YES
TOTAL:		1860		
NATIVE SPECIES:		605 (32.5%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

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 Dustin M. Mizell, M.L.A. R.L.A. #6666784
 Dustin@environmentaldesigngroup.com

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 Palm Beach
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JOB NUMBER: # 23090.00 LA
 DRAWN BY: Kerlianaelle Dorinuit
 DATE: 05.15.2024
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Plant Schedule

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT., 1/4 LB. PER 1 GAL. POT.) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3' DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BED MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

- SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.
- PALMS:** CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

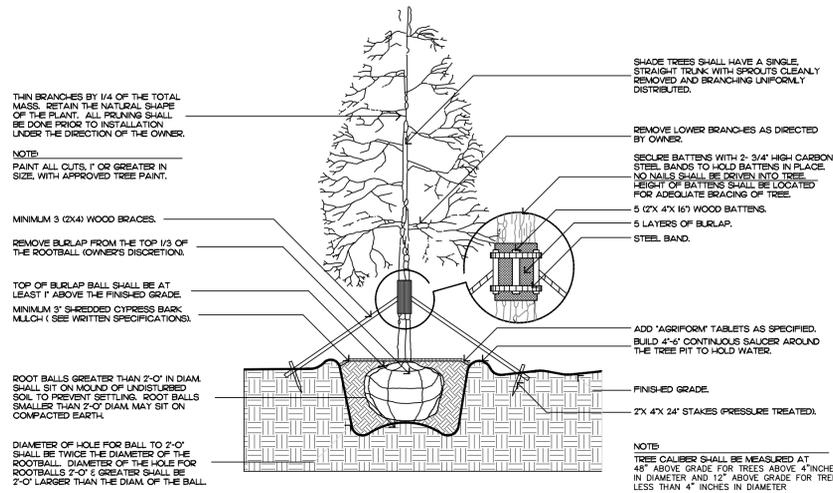
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBERUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

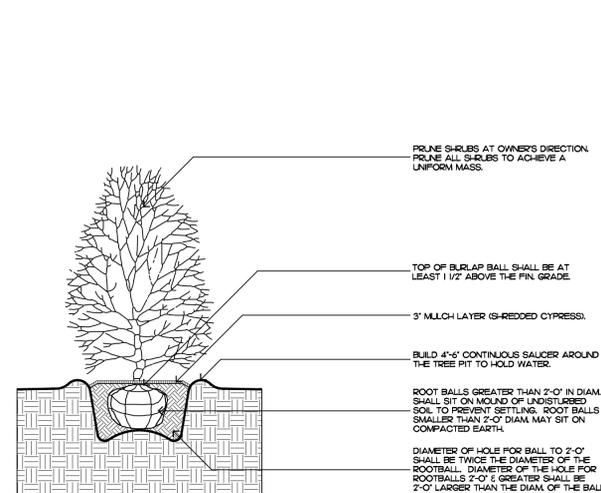
MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.



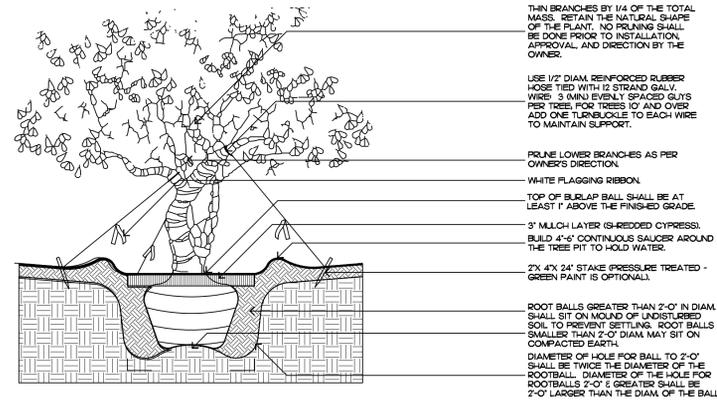
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

tree planting



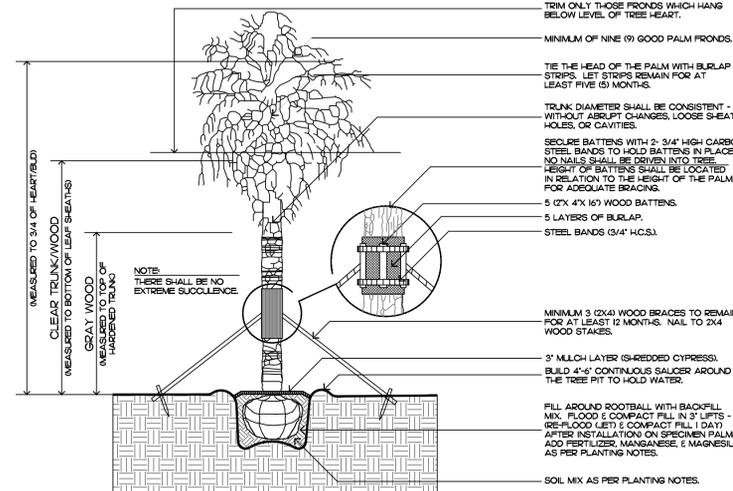
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

shrub planting



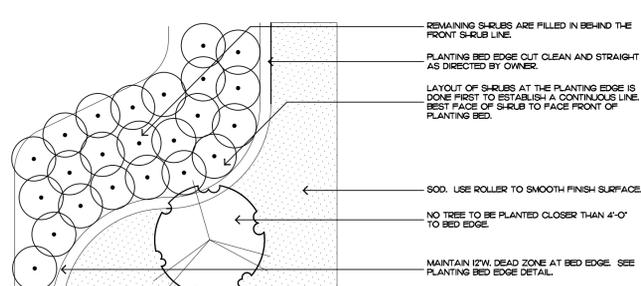
FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

irregular and multi-stem tree



FILL MATERIAL SHALL CONSIST OF AT LEAST 1/3 NATIVE SOIL FROM THE HOLE DUG FOR THE PLANT. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.

palm tree planting



shrub & ground cover layout

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ARCOM# B-000-2021
Planting Details & Specifications

ENVIRONMENT DESIGN GROUP
 130 North County Road 5809-B Palm Beach, FL 33480
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Private Residence
 854 S County Road
 Palm Beach
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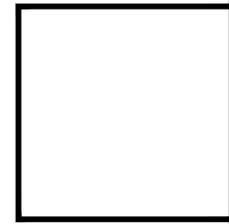
JOB NUMBER: # 2309.00 LA
 DRAWN BY: Dustin Mizell
 DATE: 05.16.2024

SHEET L6.4



Private Residence
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 Palm Beach

F L O R I D A



JOB NUMBER: # 23090.00 LA
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SHEET L7.0

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Plan Rendering



East Elevation



West Elevation

Private Residence
 854 S County Road
 Palm Beach

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L
F



JOB NUMBER: # 23090.00 LA
 DRAWN BY: Dustin Mizell
 DATE: 02.07.2025

SHEET L7.1

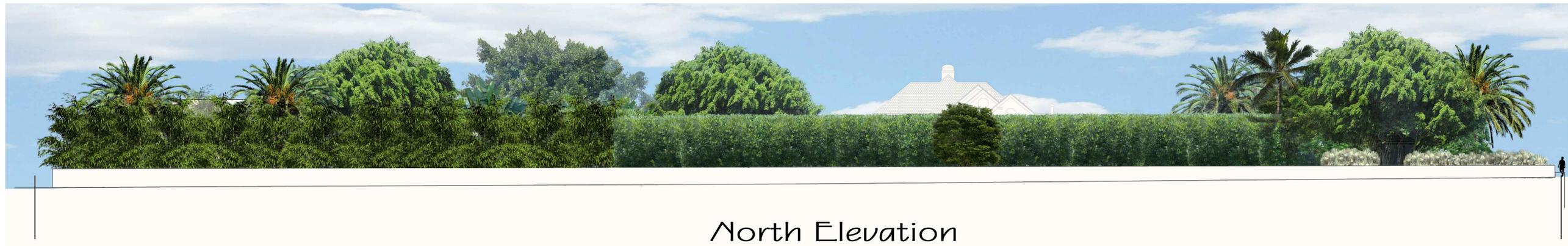
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East/West Elevation

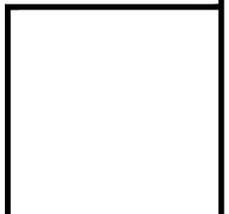


North Elevation



South Elevation

PRIVATE RESIDENCE
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North/South Elevation

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