

DOC PALM BEACH PLLC

1 7 5 B R A D L E Y P L A C E
P A L M B E A C H , F L O R I D A

MAJOR PROJECT WITH NOTICE
(COMBO PROJECT WITH SPECIAL EXCEPTIONS, SITE PLAN REVIEW
AND VARIANCES REQUESTS)

DRC FINAL SUBMITTAL

JANUARY 27, 2025

TOWN COUNCIL MEETING DATE: MARCH 12, 2025

ARCOM MEETING DATE: MARCH 26, 2025



DOCUMENT ISSUE:	DWG#	TITLE	ISSUED TO:
10/21/24 DRC PRE-APP SUBMITTAL	1000	TRUCK SIGN & TILES	TOWN OF PALM BEACH
11/14/24 DRC FIRST SUBMITTAL	220008	TRUCK SIGN & TILES	TOWN OF PALM BEACH
12/30/24 DRC SECOND SUBMITTAL	220009	TRUCK SIGN & TILES	TOWN OF PALM BEACH
01/27/25 DRC FINAL SUBMITTAL	220010	TRUCK SIGN & TILES	TOWN OF PALM BEACH

SCOPE OF WORK:

RENOVATIONS AND ADDITION TO COMMERCIAL
PROPERTY AT 175 BRADLEY PLACE, PALM BEACH, FLORIDA.

CODES AND STANDARDS:

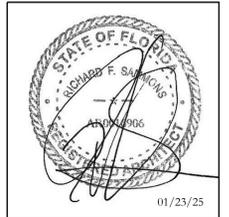
THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE
2025 FLORIDA BUILDING CODE.

LEGAL DESCRIPTION:

LOT 19 OF BUNGALOW PARK ADDITION, ACCORDING TO THE PLAT THEREOF ON
FILE IN THE OFFICE OF THE CLERK OF THE COURT IN AND FOR PALM BEACH
COUNTY, FLORIDA.
MUNICIPALITY: PALM BEACH
LOCATION ADDRESS: 175 BRADLEY PLACE, PALM BEACH, FLORIDA.
PARCEL CONTROL NUMBER: 50-43-43-15-08-000-0190

TRAFFIC & CIVIL ENGINEERING
SIMMONS & WHITE
CIVIL & TRAFFIC ENGINEERING
2581 METROCENTRE BLVD WEST, STE 3
WEST PALM BEACH, FL 33407
561.478.7848

ARCHITECT
FAIRFAX & SAMMONS ARCHITECTS
214 BRAZILIAN AVENUE, SUITE 100
PALM BEACH, FL 33480
561-805-8591



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

**175 BRADLEY
PLACE**
PALM BEACH, FLORIDA 33480

SHEET TITLE
COVER SHEET

DATE 11/14/2024	SHEET NO A-000
SCALE AS NOTED	
BY MC, MRM	

FAIRFAX & SAMMONS
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FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000048

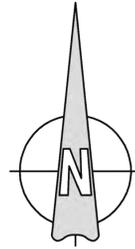
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INVOICE NO.:72740

DATE:	DESCRIPTION:
12-02-2024	BOUNDARY SURVEY

ABBREVIATIONS / SYMBOLS:

- A/C = AIR CONDITIONING UNIT
- ADJ = ADJACENT
- BCR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CALC = CALCULATED
- CA = CENTRAL ANGLE
- C/L = CENTERLINE
- CB = CATCH BASIN
- CBS = CONCRETE BLOCK WALL
- CHATT = CHATTAHOOCHEE
- CONC = CONCRETE
- CM = CONCRETE MONUMENT
- COL = COLUMN
- D = DEED
- DE = DRAINAGE EASEMENT
- DS = DRAINAGE STRUCTURE
- ELEV. = ELEVATION
- EOW = EDGE OF WATER
- FD = FOUND
- FF = FINISHED FLOOR
- ID = IDENTIFICATION
- INV = INVERT
- IP = IRON PIPE
- IR = IRON ROD
- L = LENGTH
- LAE = LIMITED ACCESS EASEMENT
- LME = LAKE MAINTENANCE EASEMENT
- LP = LIGHT POLE
- M = MEASURED
- N/D = NAIL AND DISC
- N/G = NATURAL GROUND
- NR = NON RADIAL
- NTS = NOT TO SCALE
- OHC = OVERHEAD CABLES
- ORB = OFFICIAL RECORD BOOK
- P = PLAT
- PB = PLAT BOOK
- PBCR = PALM BEACH COUNTY RECORDS
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVATURE
- PCP = PERMANENT CONTROL POINT
- PG = PAGE
- PI = POINT OF INTERSECTION
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PRC = POINT OF REVERSE CURVATURE
- PRM = PERMANENT REFERENCE MONUMENT
- PT = POINT OF TANGENCY
- R = RADIUS
- RGE = RANGE
- ROE = ROOF OVERHANG EASEMENT
- R/W = RIGHT OF WAY
- SEC = SECTION
- S/W = SIDEWALK
- TOB = TOP OF BANK
- TYP = TYPICAL
- UE = UTILITY EASEMENT
- WF = WOOD FENCE
- WPP = WOOD POWER POLE (UTILITY POLE)



SCALE: 1"=20'

PROPERTY ADDRESS:
175 BRADLEY PLACE, PALM BEACH, FLORIDA 33480

LEGAL DESCRIPTION:
LOT 19 OF BUNGALOW PARK, AN ADDITION TO THE TOWN OF PALM BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE(S) 26, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

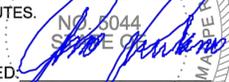
CERTIFICATIONS:
- ROWE PLASTIC SURGERY

FLOOD DATA:
FLOOD ZONE: AE
COMMUNITY NUMBER: 120220
COMMUNITY NAME: TOWN OF PALM BEACH
PANEL NUMBER: 12099C0581F



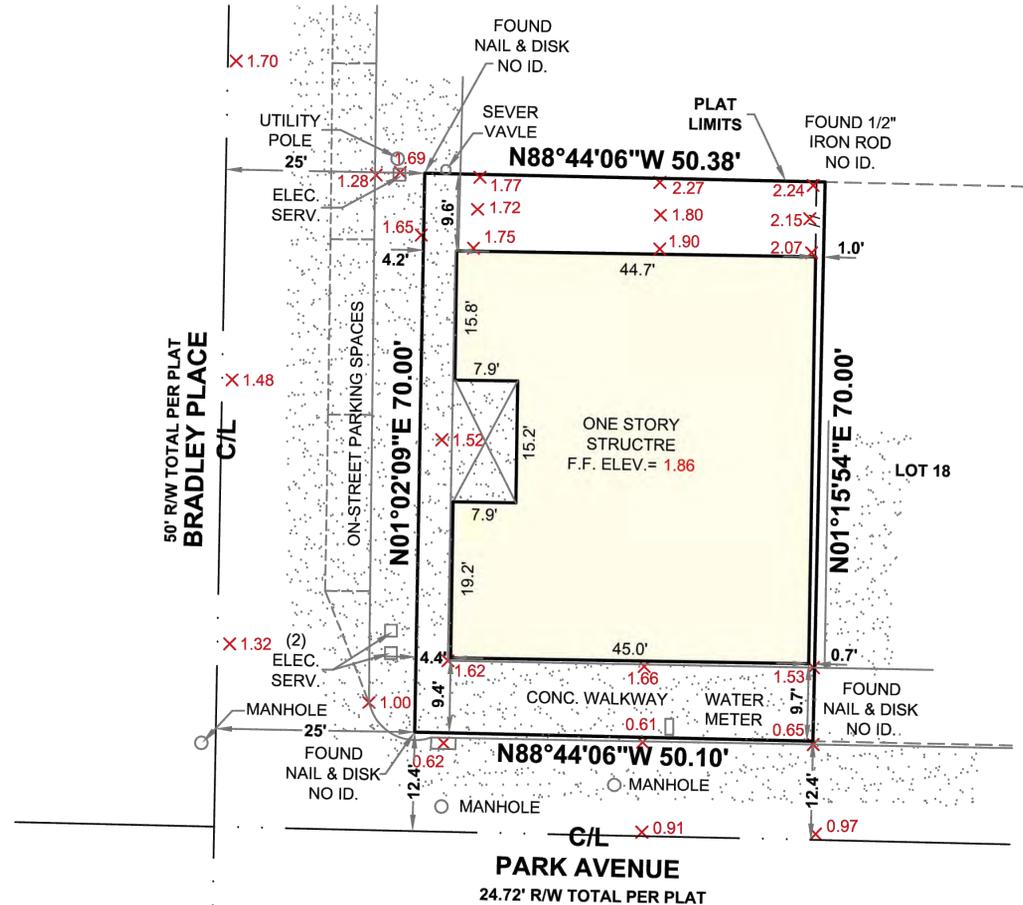
GT SURVEYOR SERVICES INC.
1660 SOUTHERN BLVD. UNIT K
WEST PALM BEACH
FLORIDA 33406-1747
OFFICE: 561-753-0353
E-MAIL: gtsurveying@gmail.com

I HEREBY CERTIFY THAT THIS **MAP OF BOUNDARY SURVEY** WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. FURTHERMORE THIS SURVEY SKETCH MEETS THE INTENT OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

SIGNED: 
GINO EURLANO SURVEYOR AND MAPPER
FLORIDA LICENSE NO.: 5044
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR/MAPPER NAMED ABOVE.

OVERHEAD CABLES	CONVERSION INCHES TO DECIMAL
METAL FENCE	1" = 0.08'
WOOD FENCE	2" = 0.17'
PLASTIC FENCE	3" = 0.25'
EASEMENT LINES	4" = 0.33'
CENTERLINE (C/L)	5" = 0.42'
PLATTED LOT LINE	6" = 0.50'
BOUNDARY LINE	7" = 0.58'
	8" = 0.67'
	9" = 0.75'
	10" = 0.83'
	11" = 0.92'
	12" = 1.0'

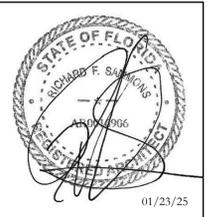
xx.xx'
INDICATES N.A.V.D. 88 ELEVATION



GENERAL NOTES:

- BEARING BASIS PER G.P.S COORDINATE SYSTEM NAD 83, 1990 ADJUSTMENT (UNLESS OTHERWISE NOTED)
- THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- ELEVATION ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988) UNLESS OTHERWISE NOTED.
- IN SOME CASES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED FOR CLEARER ILLUSTRATION. MEASURED RELATIONSHIP SHALL HAVE PRECEDENCE OVER SCALE POSITIONS.
- ALL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.10 (FT)
- "ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES." (CHAPTER 61G17-6.003 OF THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

**** 5J-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.**
(2) BOUNDARY MONUMENTS- (b6) WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE, ALTERNATE MONUMENTATION MAY BE USED THAT IS DURABLE AND IDENTIFIABLE ." (EXAMPLES: FENCE POST, BLDG. CORNERS, ETC.)



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

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DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

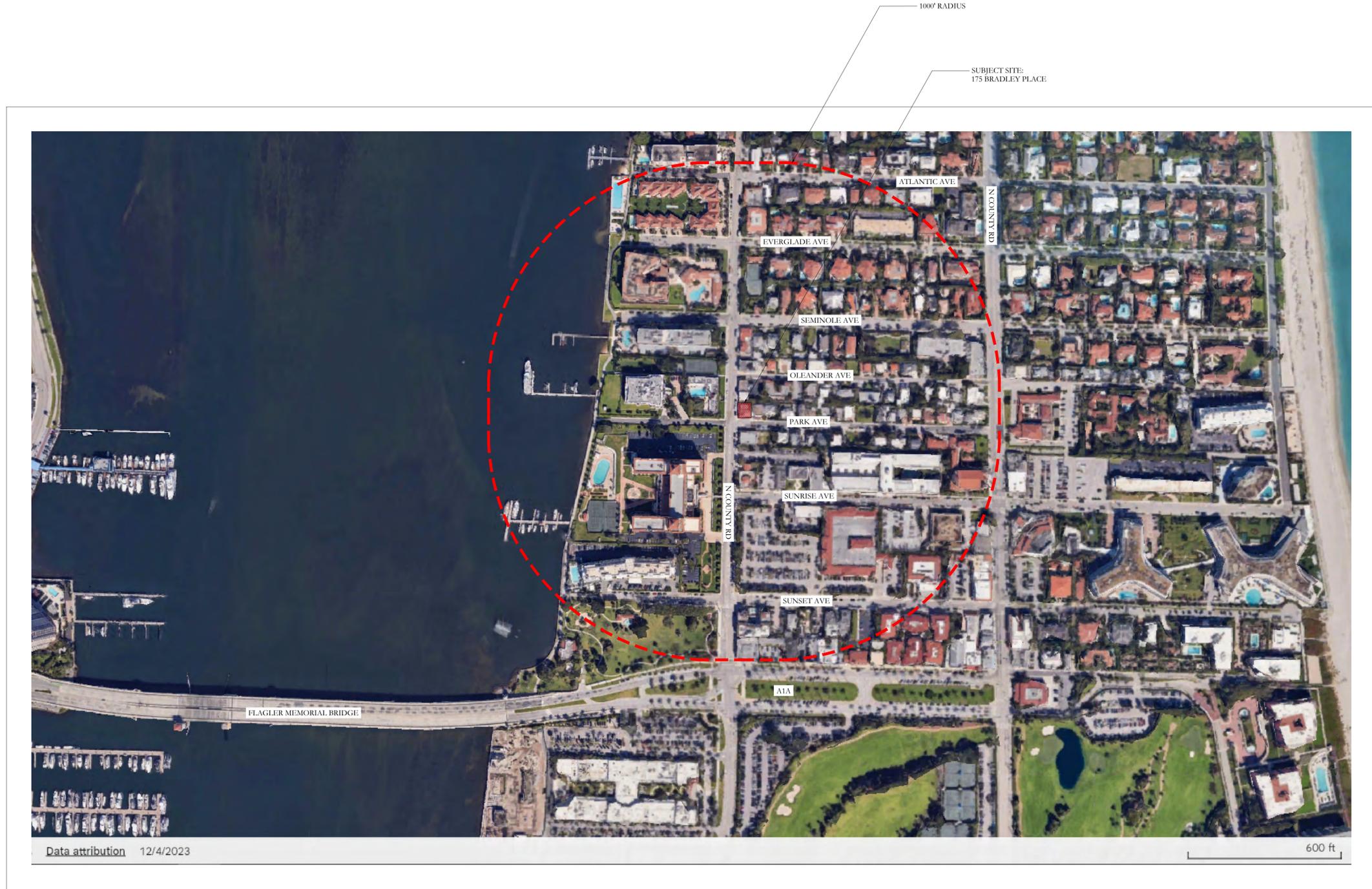
175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
BOUNDARY SURVEY

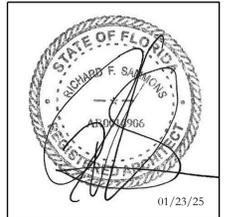
DATE	SHEET NO
SCALE	
BY	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
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1 LOCATION SITE MAP - 1000 FT RADIUS
NTS



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FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
LOCATION SITE PLAN
1000 FT RADIUS

DATE 10/9/2024	SHEET NO G-001
SCALE AS NOTED	
BY MC, MRM	

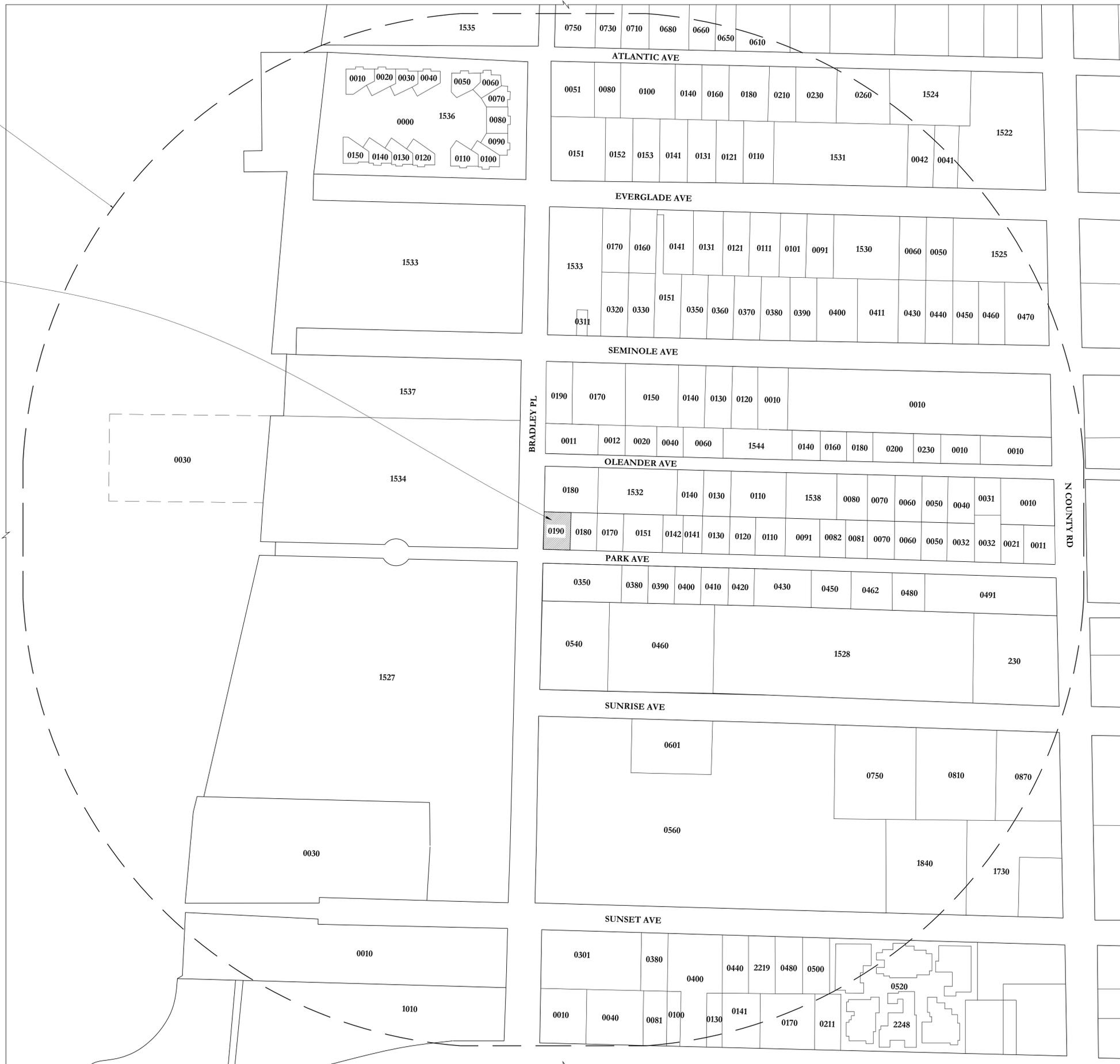
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1000' RADIUS

SUBJECT SITE
175 BRADLEY PL



1 LOCATION/VICINITY MAP - 1000 FT RADIUS
N.T.S



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FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
LOCATION SITE MAP
CONTEXT SITE PLAN

DATE	10/9/2024	SHEET NO	G-002
SCALE	AS NOTED		
BY	MC, MRM		

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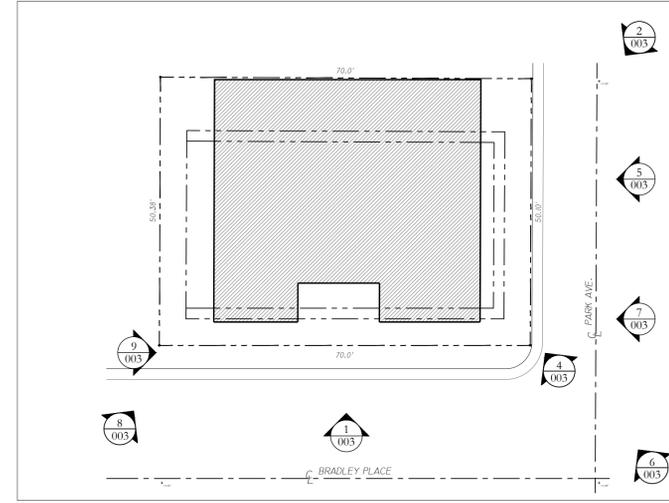
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1 EXISTING SITE CONDITION



2 EXISTING SITE CONDITION



3 KEY PLAN: EXISTING CONDITION
1/16" = 1'-0"



4 EXISTING SITE CONDITION



5 EXISTING SITE CONDITION



6 EXISTING SITE CONDITION



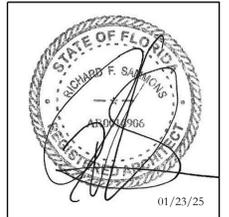
7 EXISTING SITE CONDITION



8 EXISTING SITE CONDITION



9 EXISTING SITE CONDITION



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ARC-24-0111

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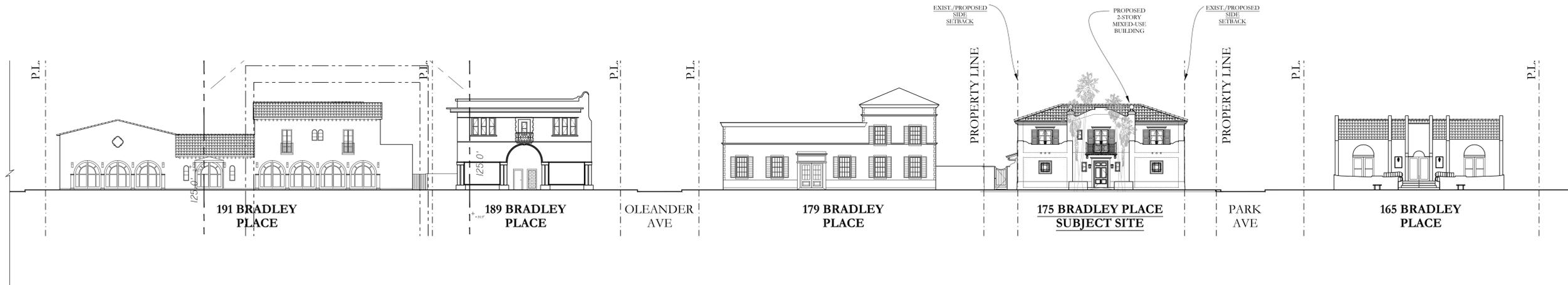
SHEET TITLE
EXISTING CONDITION
SITE PHOTOS

DATE 10/9/2024	SHEET NO G-003
SCALE AS NOTED	
BY MC, MRM	

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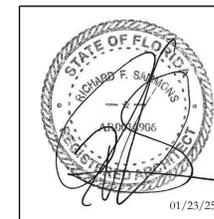
1 PROPOSED BRADLEY PLACE STREETSCAPE ELEVATION, FACING WEST
1/16"=1'-0"



3 KEY PLAN
N.T.S.



2 PROPOSED PARK AVE. STREETSCAPE ELEVATION, FACING SOUTH
1/16"=1'-0"



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ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
STREETSCAPE ELEVATIONS

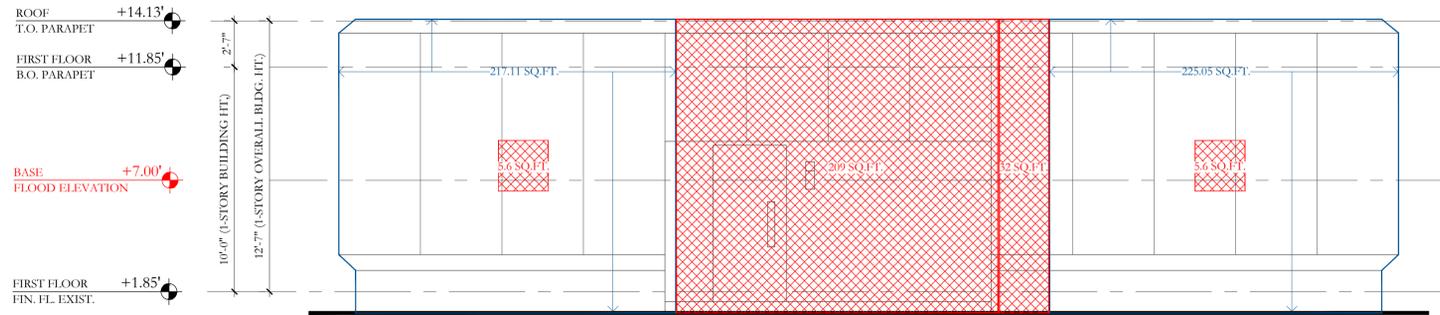
DATE
10/9/2024
SCALE
AS NOTED
BY
MC, MRM

SHEET NO
G-004

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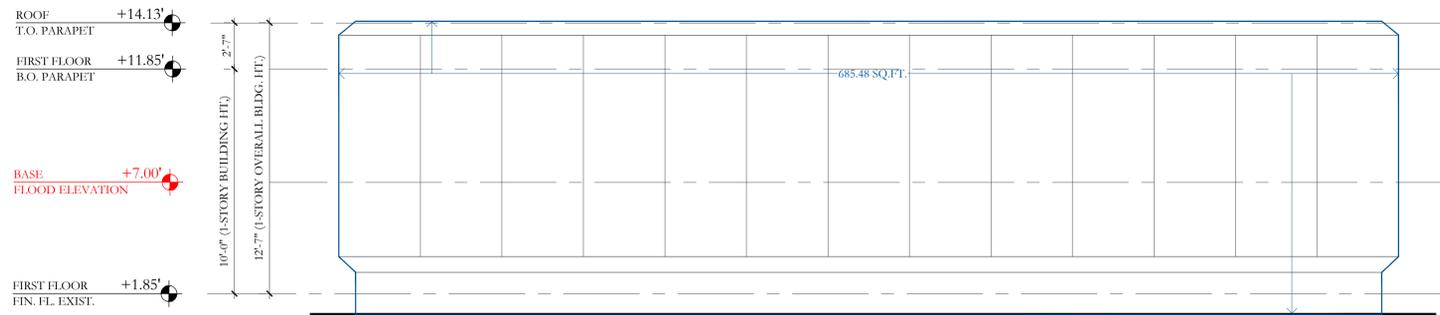
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1 PROPOSED REMOVAL: WEST ELEVATION
1/4"=1'-0"

WEST ELEVATION CALCULATIONS:

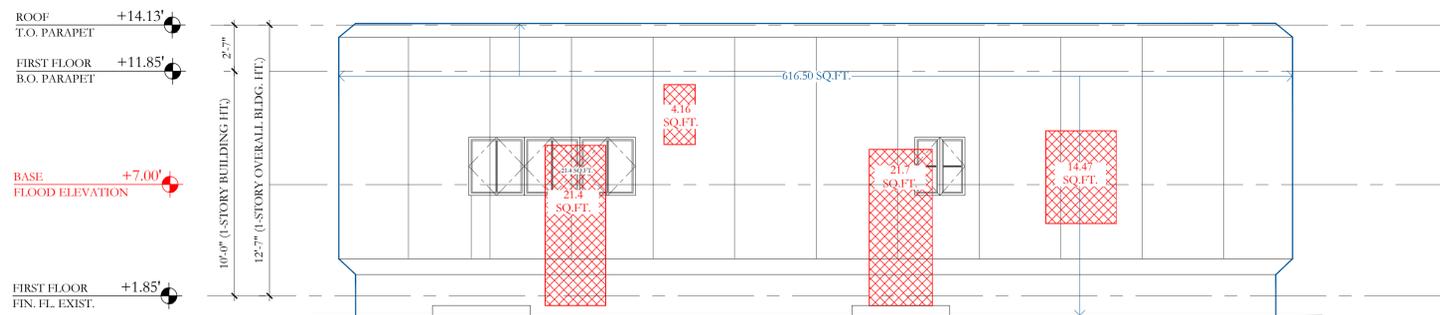
EXTERIOR WALL AREA TO REMAIN:	430.96 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	252.20 SQ. FT.
EXISTING WALL AREA:	685.48 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	36.79 %



2 PROPOSED REMOVAL: EAST ELEVATION
1/4"=1'-0"

EAST ELEVATION CALCULATIONS:

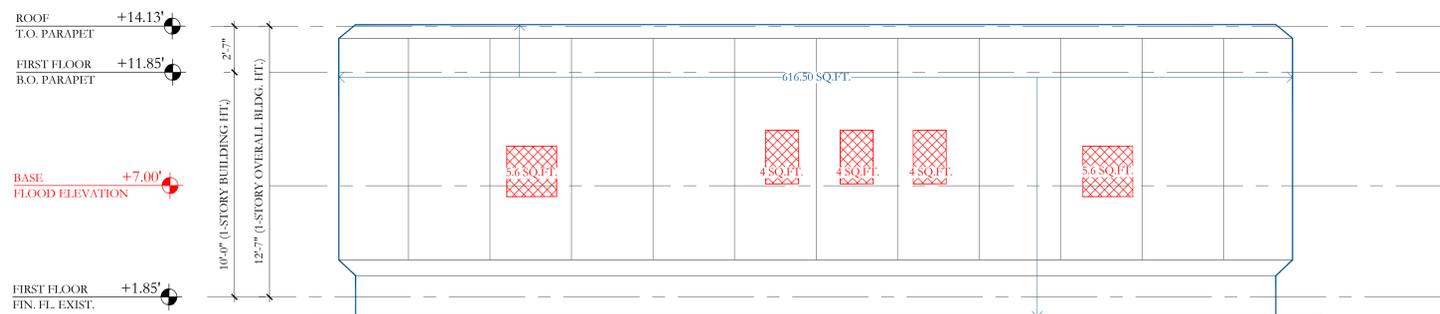
EXTERIOR WALL AREA TO REMAIN:	685.48 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	0 SQ. FT.
EXISTING WALL AREA:	685.48 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	0 %



3 PROPOSED REMOVAL: NORTH ELEVATION
1/4"=1'-0"

NORTH ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	562.2 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	61.87 SQ. FT.
EXISTING WALL AREA:	616.50 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	10 %



4 PROPOSED REMOVAL: SOUTH ELEVATION
1/4"=1'-0"

SOUTH ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	598.90 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	17.60 SQ. FT.
EXISTING WALL AREA:	616.50 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	2.80 %

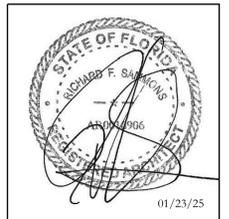
TOTAL DEMOLITION FOR NEW MASONRY OPENINGS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	2,277.54 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	331.67 SQ. FT.
TOTAL EXISTING WALL AREA:	2,603.96 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	12.73 %

PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED WILL BE LESS THAN 50%

DEMOLITION KEY:

EXISTING EXTERIOR WALL TO REMAIN	
NEW MASONRY OPENING	



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175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
MATERIAL REMOVAL
ELEVATIONS

DATE
10/9/2024

SHEET NO
DM-002

SCALE
AS NOTED

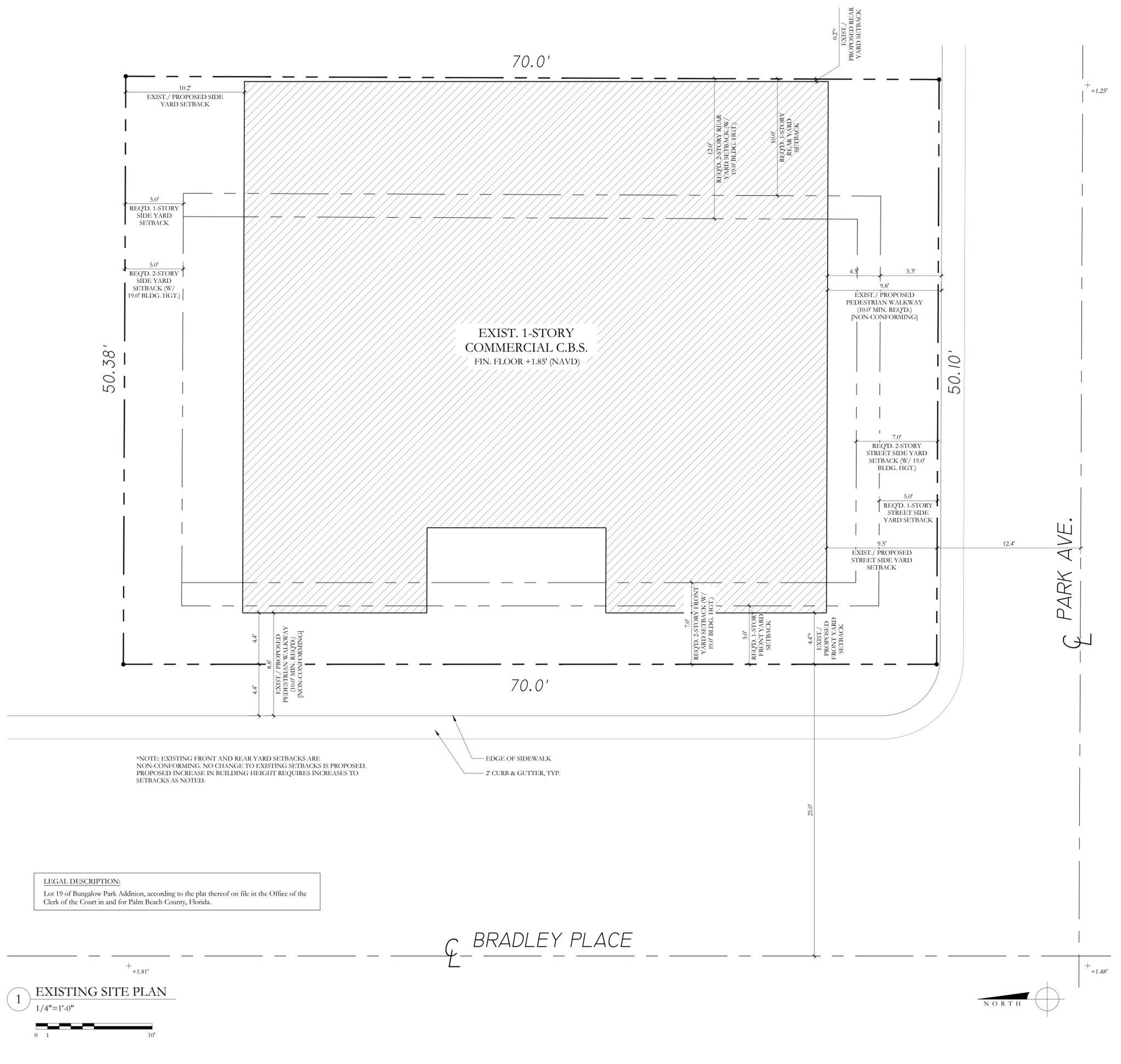
BY
MC, MRM



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NEW YORK - PALM BEACH
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*NOTE: EXISTING FRONT AND REAR YARD SETBACKS ARE NON-CONFORMING. NO CHANGE TO EXISTING SETBACKS IS PROPOSED. PROPOSED INCREASE IN BUILDING HEIGHT REQUIRES INCREASES TO SETBACKS AS NOTED.

EDGE OF SIDEWALK
2' CURB & GUTTER, TYP.

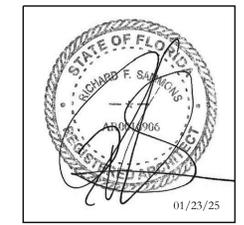
LEGAL DESCRIPTION:
Lot 19 of Bungalow Park Addition, according to the plat thereof on file in the Office of the Clerk of the Court in and for Palm Beach County, Florida.

1 EXISTING SITE PLAN
1/4"=1'-0"
0 1 10'

NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:
+5.50' EXISTING SPOT ELEVATION
+5'-6" PROPOSED SPOT ELEVATION

NOTE: REFER TO LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING
SITE PLAN

DATE AS NOTED	SHEET NO EX-001
BY MC, MRM	

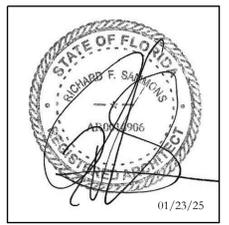
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NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, L.L.C.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 858-8881
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 +5'-6" PROPOSED SPOT ELEVATION

NOTE: REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



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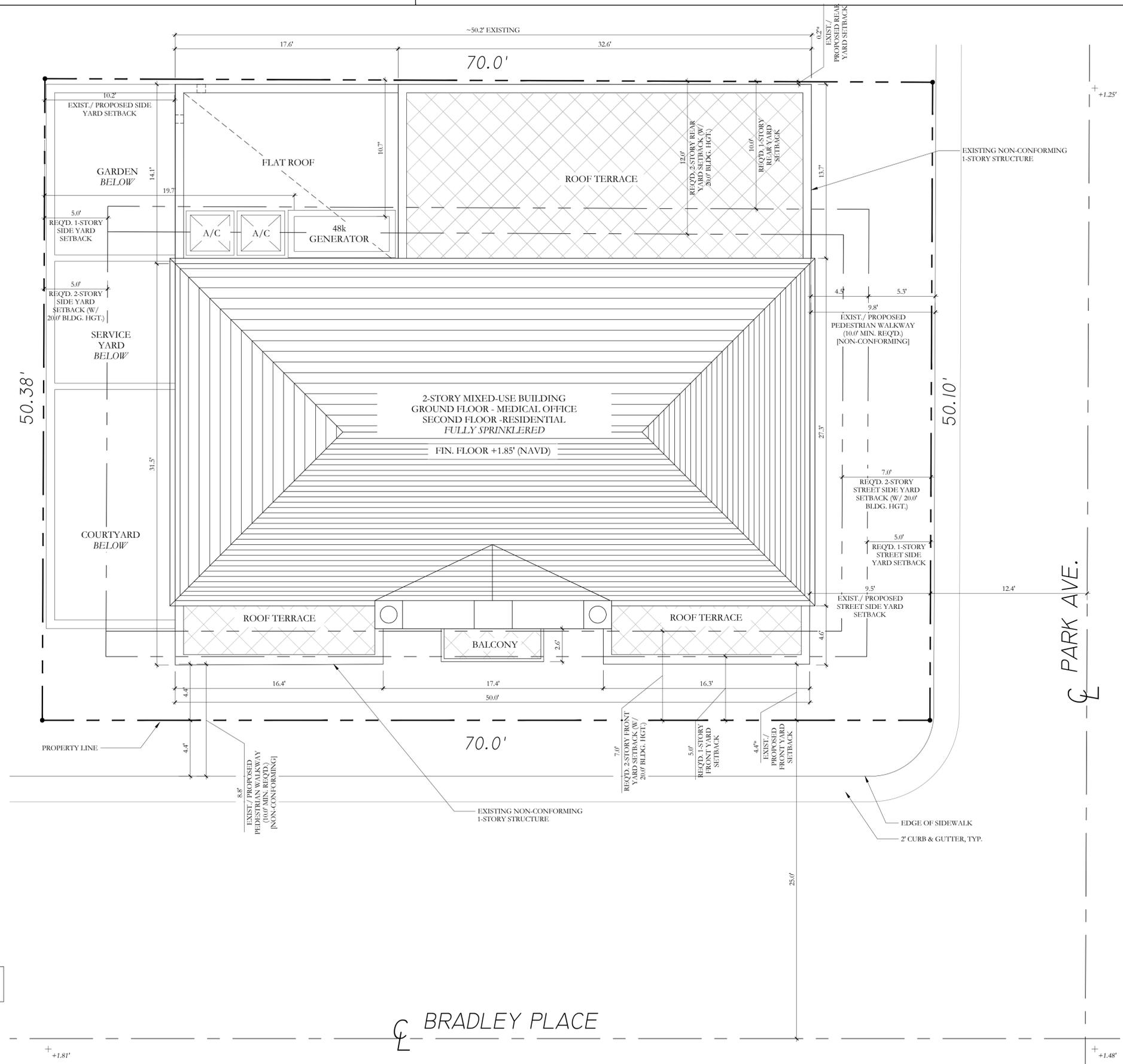
175 BRADLEY PLACE
 PALM BEACH, FLORIDA 33480

SHEET TITLE
 PROPOSED SITE PLAN

DATE 9/30/2024	SHEET NO A-001
SCALE 1/4"=1'-0"	
BY MC, MRM	

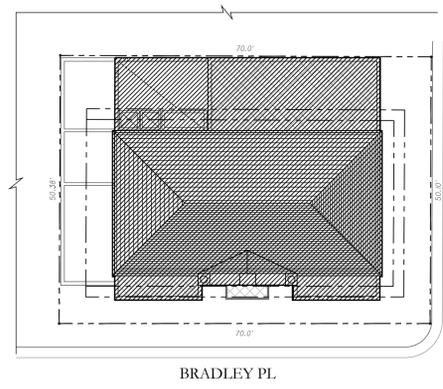
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AREA CALCULATIONS:

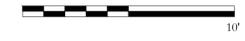
	CONDITIONED	UNCONDITIONED
FIRST FLOOR - MED. OFFICE INTERIOR	2,049 FT ²	
SECOND FLOOR - RESIDENTIAL INTERIOR TERRACES BALCONY	1,250 FT ²	426 FT ² 18 FT ²
SUBTOTAL	3,299 FT ²	444 FT ²
TOTAL AREA:	APPROX. 3,743 FT²	



LOT AREA: 3500 SF
 BUILDING AREA: 2249 SF
 64% LOT COVERAGE

2 LOT COVERAGE DIAGRAM
 1/16"=1'-0"

1 PROPOSED SITE PLAN
 1/4"=1'-0"



*NOTE: EXISTING FRONT AND REAR YARD SETBACKS ARE NON-CONFORMING. NO CHANGE TO EXISTING SETBACKS IS PROPOSED. PROPOSED INCREASE IN BUILDING HEIGHT REQUIRES INCREASES TO SETBACKS AS NOTED.



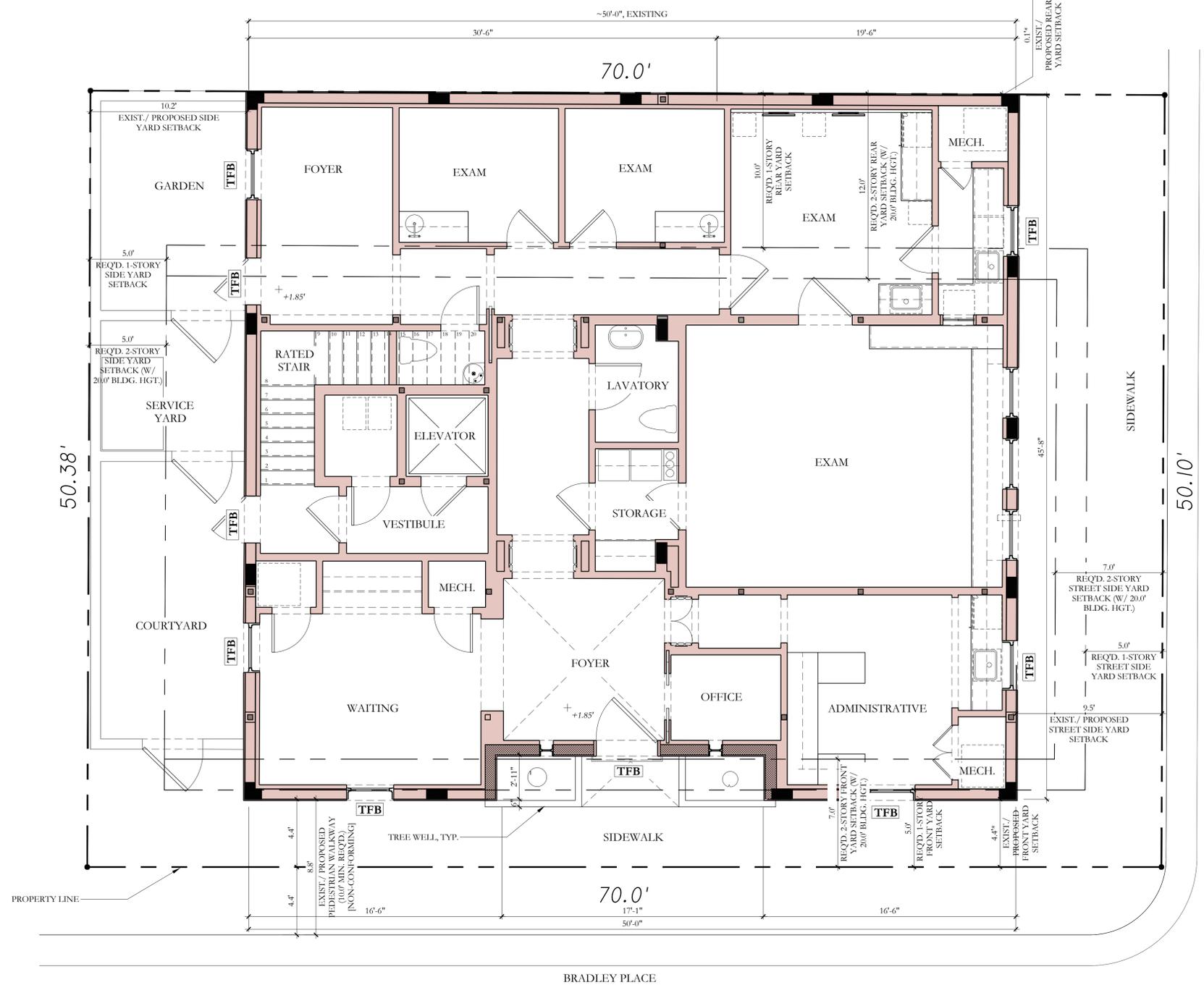
GENERAL NOTES:

1. THE ENTIRE AREA OF THE LEVEL OF EXIT DISCHARGE (VESTIBULE) SHALL BE SEPARATED FROM THE OFFICE AREA BELOW BY CONSTRUCTION CONFORMING TO THE FIRE-RESISTANCE RATING OF THE INTERIOR EXIT STAIRWAY, 2025 FBC, SEC. 1023 & SEC. 1026.2.
2. AN NFPA 72 COMPLIANT FIRE ALARM SHALL BE INSTALLED WITH NOTIFICATION TO THE RESIDENCE FOR ALL ALARMS. THE FDC SHALL COMPLY WITH NFPA 14 FOR INSTALLATION AND LOCATION FROM A FIRE HYDRANT.
3. NFPA 14 CHAPTER 6, 6.4.5.4 * FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT (30.5 M) FROM THE NEAREST FIRE HYDRANT CONNECTED TO AN APPROVED WATER SUPPLY.
4. 6.4.6 FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT LESS THAN 18 IN. (457 MM) NOR MORE THAN 48 IN. (1219 MM) ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE.
5. ALL PROVISIONS OF NFPA 241 SHALL BE COMPLIED WITH DURING THE CONSTRUCTION OF THE PROJECT.

FLOOD PROOFING:

BUILDING PLANS ARE DESIGNED IN ACCORDANCE WITH 2025 FBC, SEC. 1612 FLOOD HAZARD DOCUMENTATION, REFER TO BUILDING ELEVATIONS FOR THE DRY FLOOD-PROOFED ELEVATION (BFE +1). DRY FLOODPROOFING IS DESIGNED IN ACCORDANCE WITH ASCE 24, REFER TO THE PROJECT'S FLOOD EMERGENCY PLAN.

TFB = INDICATES LOCATION OF TEMPORARY FLOOD BARRIER TO BE INSTALLED AS PER FLOOD MANAGEMENT PLANS

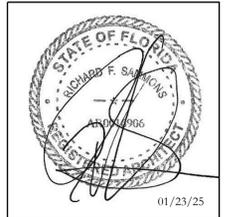


1 PROPOSED SITE PLAN W/ FIRST FLOOR PLAN
1/4"=1'-0"

NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

- LEGEND:**
- +5.50' EXISTING SPOT ELEVATION
 - +5.60' PROPOSED SPOT ELEVATION

NOTE: REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



RICHARD F. SAMMONS
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175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
SITE FLOORPLAN

DATE
10/9/2024

SHEET NO

SCALE
AS NOTED

A-002

BY
MC, MRM



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Town of Palm Beach
 Planning Zoning and Building
 360 S County Rd. Palm Beach, FL 33480
 www.townofpalmbeach.com

Zoning Legend						
Line #		REQ'D / PERMITTED	EXISTING	NON-CONFORMING	PROPOSED	VARIANCE REQUEST
1	Property Address:	175 BRADLEY PLACE				
2	Zoning District:	C-TS (COMMERCIAL TOWN SERVING)				
3	Lot Area (sq. ft.):	3,500 S.F.				
4	Lot Width (W) & Depth (D) (ft.):	[SEE BELOW]				
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	C.B.S. / COMMERCIAL OFFICE BLDG. (NON-MEDICAL) 1 TO 3 STORIES				
6	FEMA Flood Zone Designation:	ZONE AE (EL 6)				
7	Zero Datum for point of meas. (NAVD)	EXISTING FINISH FLOOR (+1.85' NAVD)				
8	Crown of Road (COR) (NAVD)	+1.81' NAVD (BRADLEY PL.)				
9		REQ'D / PERMITTED	EXISTING	NON-CONFORMING	PROPOSED	VARIANCE REQUEST
10	Lot Area (Sq. Ft.)	4,000 MIN.	3,500	X	[N/C]	*SPECIAL EXCEPTION W/ SITE PLAN REVIEW
11	Lot Width (Ft.)	30 MIN.	70		[N/C]	
12	Lot Depth (Ft.)	90 MIN.	50.1' - 50.38' [VARIES]	X	[N/C]	*SPECIAL EXCEPTION W/ SITE PLAN REVIEW
13	Lot Coverage (Sq Ft and %)	2,450 (70%) MAX.	2,288 (65.3%)		[N/C]	
14	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	2,175		3,570	
15	*Front (West) Yard Setback (1 Story) (Ft.)	5	4.4	X	N/A	X
16	*Front (West) Yard Setback (2 Story) (Ft.)	7 ^	N/A		4.4 [N/C]	
17	* Street Side (South) Yard Setback (1 Story) (Ft.)	5	9.5		N/A	
18	* Street Side (South) Yard Setback (2 Story) (Ft.)	7 ^	N/A		9.5 [N/C]	
19	* Side (North) Yard Setback (1 Story) (Ft.)	0 (5 IF PROVIDED)	10.2		N/A	
20	* Side (North) Yard Setback (2 Story) (Ft.)	4 ^ (5 IF PROVIDED)	N/A		10.2 [N/C]	
21	*Rear (East) Yard Setback (1 Story) (Ft.)	10	0.2	X	N/A	X
22	*Rear (East) Yard Setback (2 Story) (Ft.)	12 ^	N/A		0.2 [N/C]	
23	Building Height (Ft.)	15 FOR 1-STORY 25 FOR 2-STORY	10 (1-STORY)		19 (2-STORY)	*SPECIAL EXCEPTION FOR 2 STORIES
24	Overall Building Height (Ft.)	20 FOR 1-STORY (FLAT ROOF) 35 FOR 2-STORY (PITCHED ROOF)	12 (1-STORY)		28.5 (2-STORY)	*SPECIAL EXCEPTION FOR 2 STORIES
25	Building Length (Ft.)	150	50.25		[N/C]	
26	** Max. Fill Added to Site (Ft.)	0.02	N/A		N/A	
27	Finished Floor Elev. (FFE)(NAVD)	N/A	+1.85		[N/C]	
28	Base Flood Elevation (BFE)(NAVD)	N/A	+7.0		[N/C]	
29	Landscape Open Space (LOS) (Sq. Ft. and %)	525 (15%) MIN. (1-STORY) 875 (25%) MIN. (2-STORY)	319 (9.1%) (1-STORY) N/A	X	N/A 319 (9.1%) (1-STORY) [N/C]	X
30	Front Yard LOS (Sq. Ft. and %)	123 (35%) MIN. (1-STORY) 172 (35%) MIN. (2-STORY)	53 (15%) (1-STORY) N/A	X	N/A 53 (10.8%) (2-STORY) [N/C]	X
31	Maximum Gross Floor Area (Sq. Ft.)	15,000	2,175		3,750	
32	*** Native Plant Species %	Please refer to TOPB Landscape Legend.				

^ For buildings in excess of 15 feet in height, increase minimum yard requirements one foot for each two feet of building height, or portion thereof, exceeding 15 feet.

* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two, (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

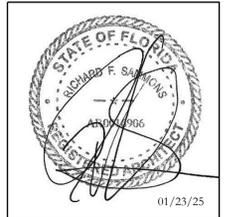
REV BF 20230626

1 ZONING LEGEND
N.T.S

NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:
 +5.50' EXISTING SPOT ELEVATION
 +5'-6" PROPOSED SPOT ELEVATION

NOTE:
 REFER TO LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



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 STATE OF FLORIDA ARCHITECT
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ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED ZONING LEGEND

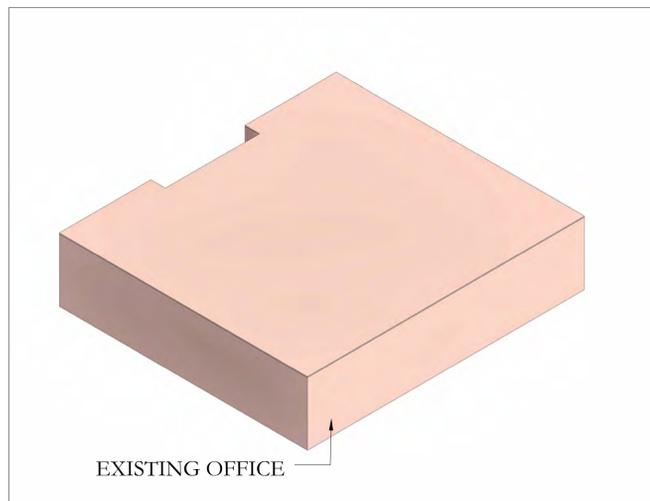
DATE: 10/9/2024
 SCALE: AS NOTED
 BY: MC, CG
 SHEET NO: A-002A



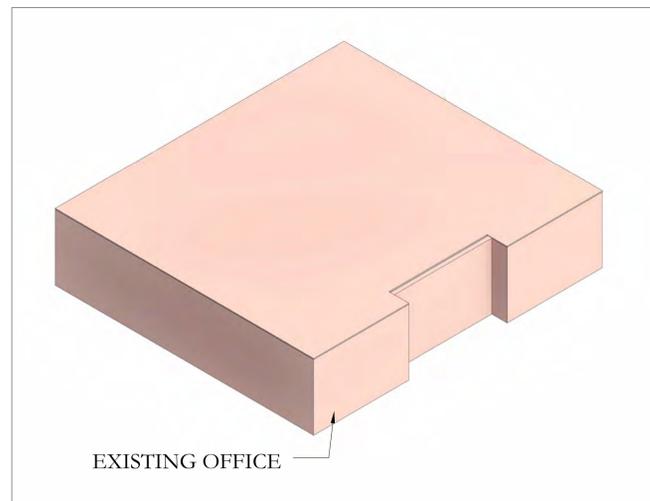
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MASSING DIAGRAMS

EXISTING CONDITION

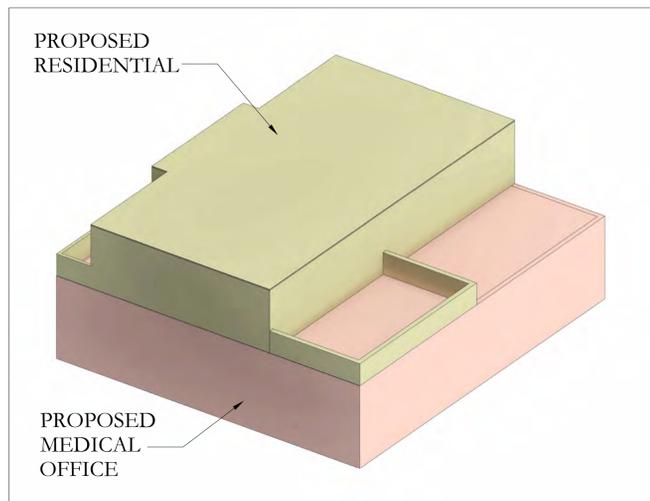


1 MASSING DIAGRAM - FROM EAST
N.T.S

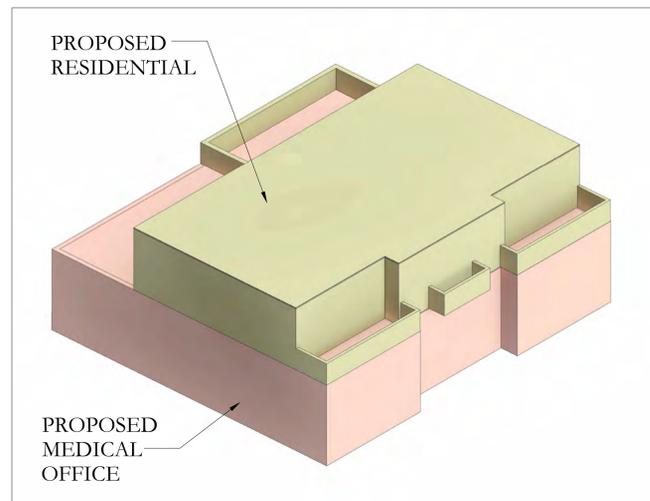


2 MASSING DIAGRAM - FROM WEST
N.T.S

PROPOSED CONDITION

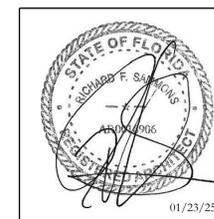


3 MASSING DIAGRAM - FROM EAST
N.T.S



4 MASSING DIAGRAM - FROM WEST
N.T.S

LEGEND	
	FIRST FLOOR
	SECOND FLOOR



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MC, MRM

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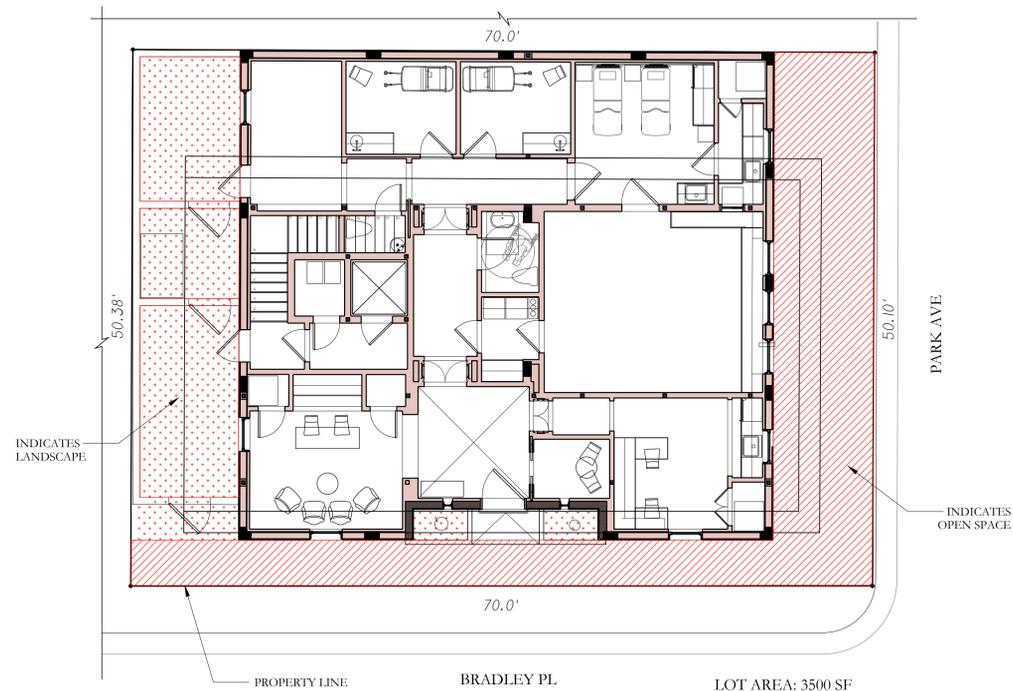
A-003



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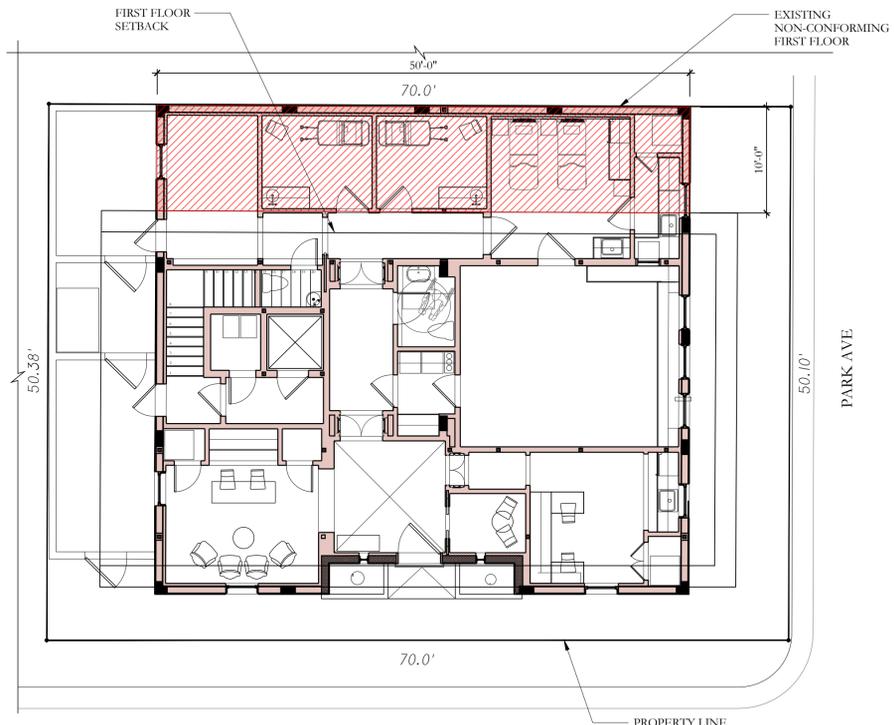
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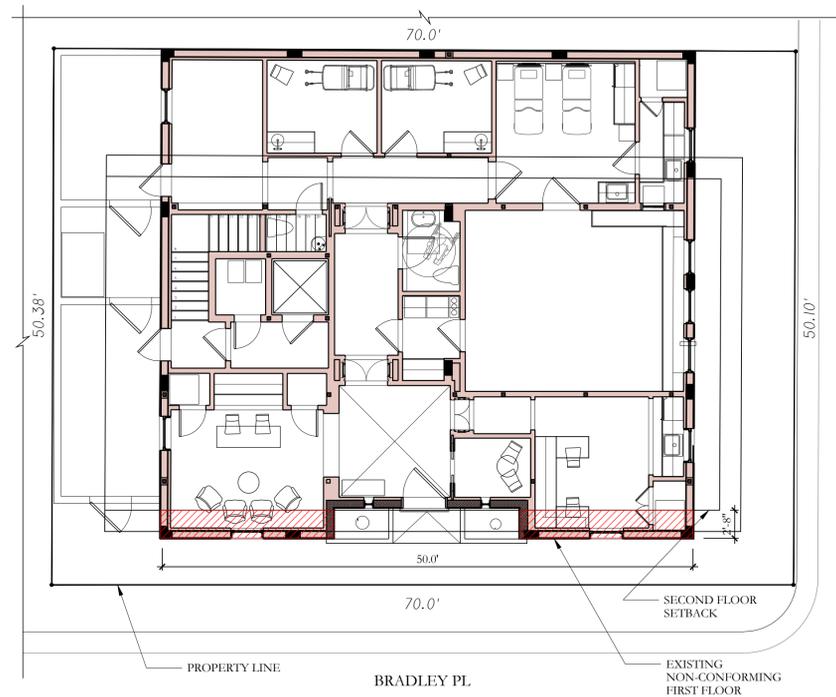


1 LANDSCAPE & OPEN SPACE
1/8"=1'-0"
VARIANCE DIAGRAM

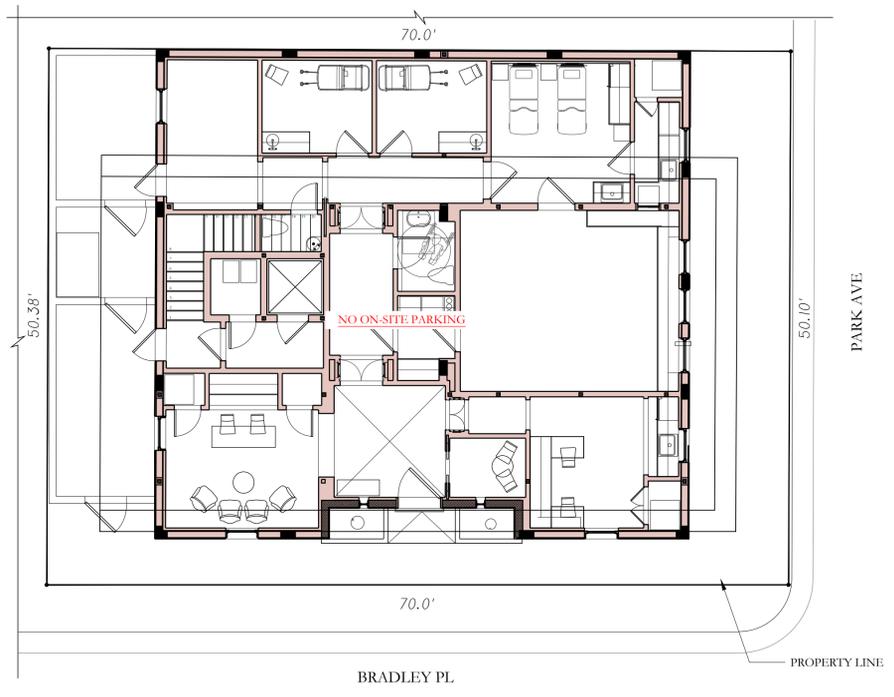
LOT AREA: 3500 SF
LANDSCAPE: 470 SF
OPENSOURCE: 744 SF
TOTAL 1214 SF
34.69% LOT COVERAGE



3 REAR YARD SETBACK
1/8"=1'-0"
VARIANCE DIAGRAM

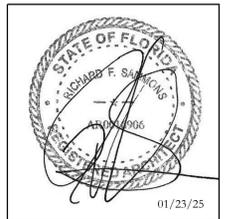


2 FRONT YARD SETBACK
1/8"=1'-0"
VARIANCE DIAGRAM



4 PARKING DIAGRAM
1/8"=1'-0"
VARIANCE DIAGRAM

*REFER TO TRAFFIC CONCURRENCE REPORT FOR ADDITIONAL INFORMATION



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SHEET TITLE
VARIANCE DIAGRAMS

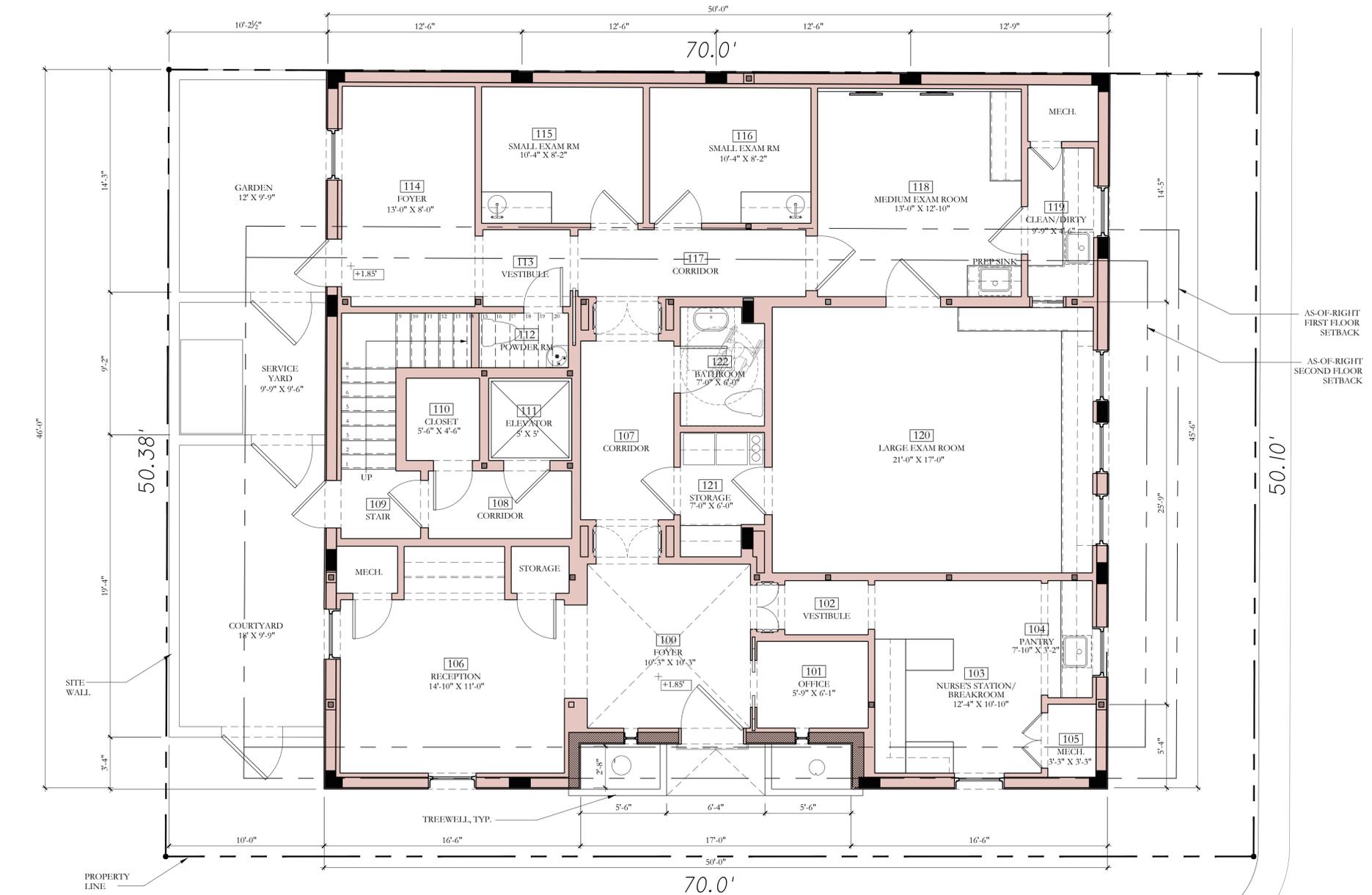
DATE 10/9/2024	SHEET NO A-004
SCALE AS NOTED	
BY MC, MRM	



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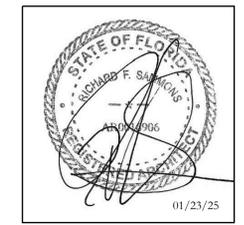
1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

- LEGEND:
- +5.50' EXISTING SPOT ELEVATION
 - +5'-6" PROPOSED SPOT ELEVATION

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FIRST FLOOR PLAN

DATE 9/30/2024	SHEET NO A-100
SCALE 1/4"=1'-0"	
BY MC, MRM	



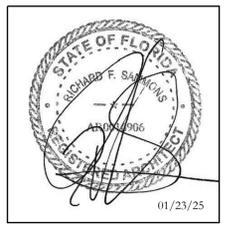
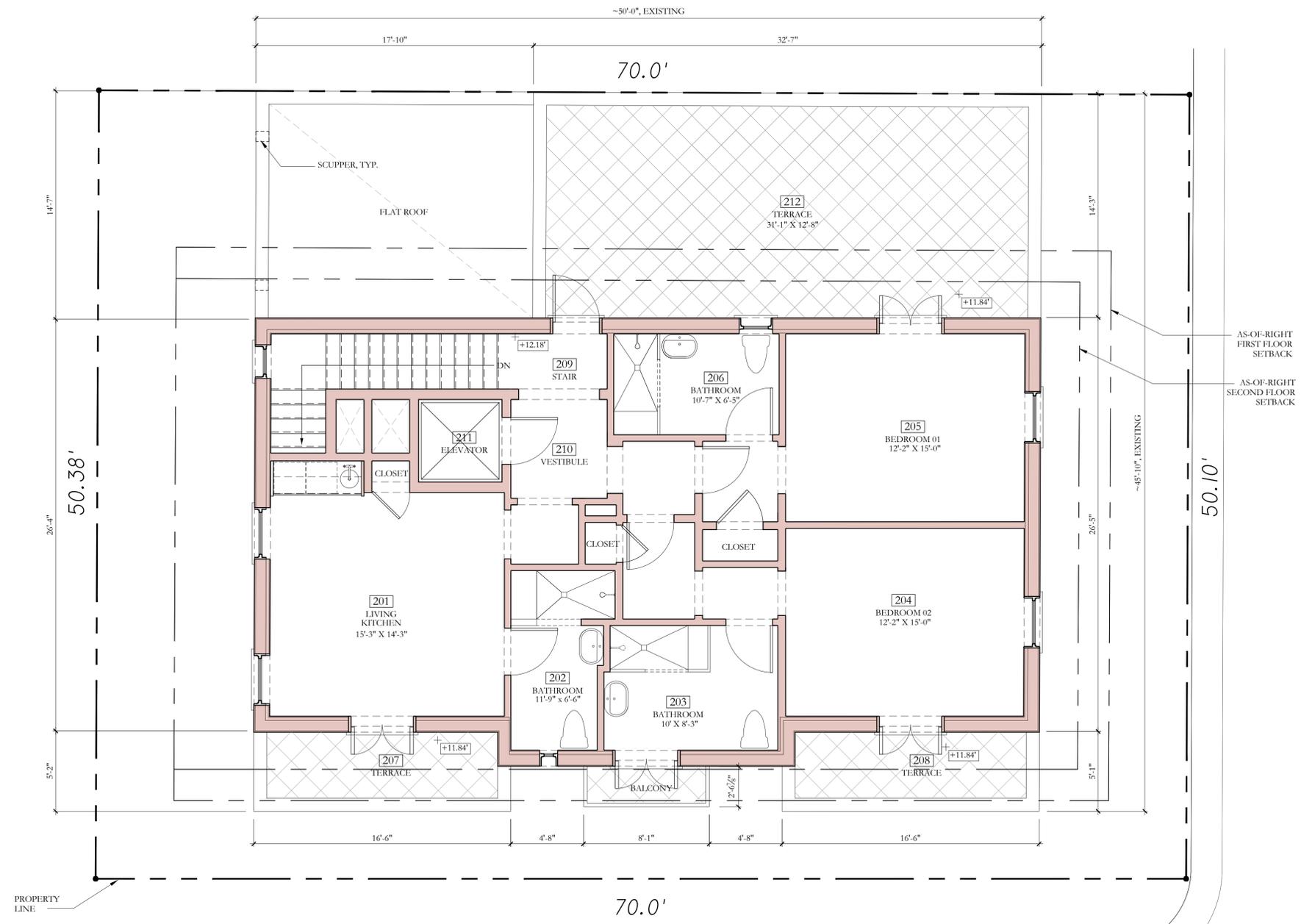
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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:
 +5.50' EXISTING SPOT ELEVATION
 +5'-6" PROPOSED SPOT ELEVATION

NOTE:
 REFER TO LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



RICHARD F. SAMMONS
 STATE OF FLORIDA
 ARCHITECT
 REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
 ZON-24-0067

FILE NUMBER:
 ARC-24-0111

175 BRADLEY PLACE
 PALM BEACH, FLORIDA 33480

SHEET TITLE
 PROPOSED SECOND FLOOR PLAN

DATE	9/30/2024	SHEET NO	A-101
SCALE	1/4"=1'-0"	BY	
BY	MC, MRM		



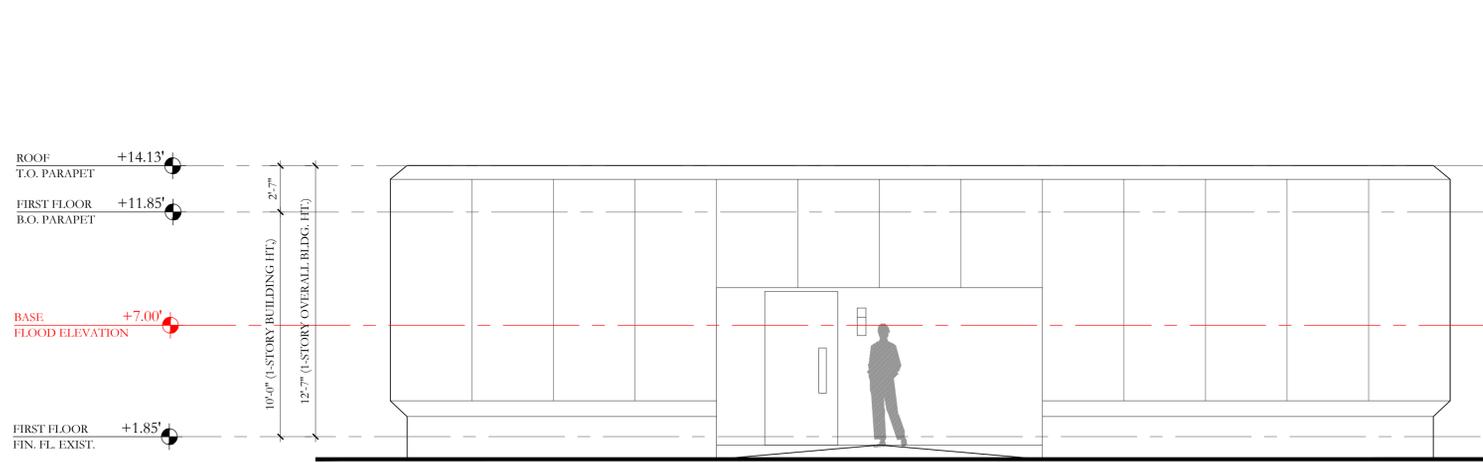
1 PROPOSED SECOND FLOOR PLAN
 1/4"=1'-0"

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 214 BRAZILIAN AVENUE, PALM BEACH 33480
 TELEPHONE (561) 806-9891
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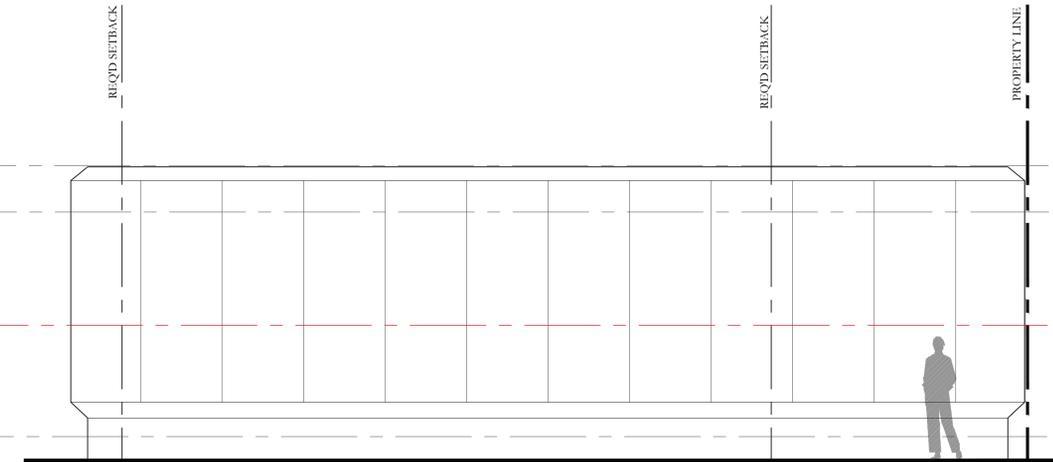
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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS



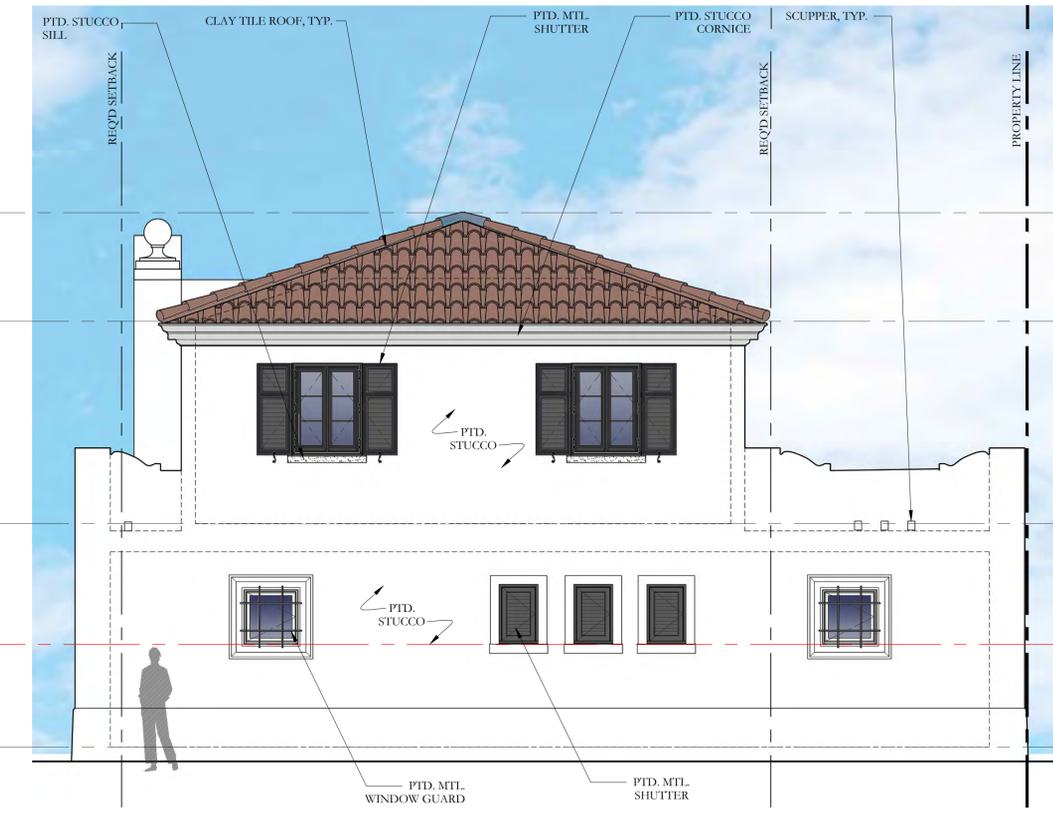
1 EXISTING: WEST ELEVATION
1/4"=1'-0"



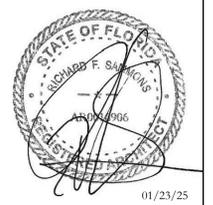
2 EXISTING: SOUTH ELEVATION
1/4"=1'-0"
YARD SECTION DIAGRAM



3 PROPOSED: WEST ELEVATION
1/4"=1'-0"



4 PROPOSED: SOUTH ELEVATION
1/4"=1'-0"
YARD SECTION DIAGRAM



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FILE NUMBER:
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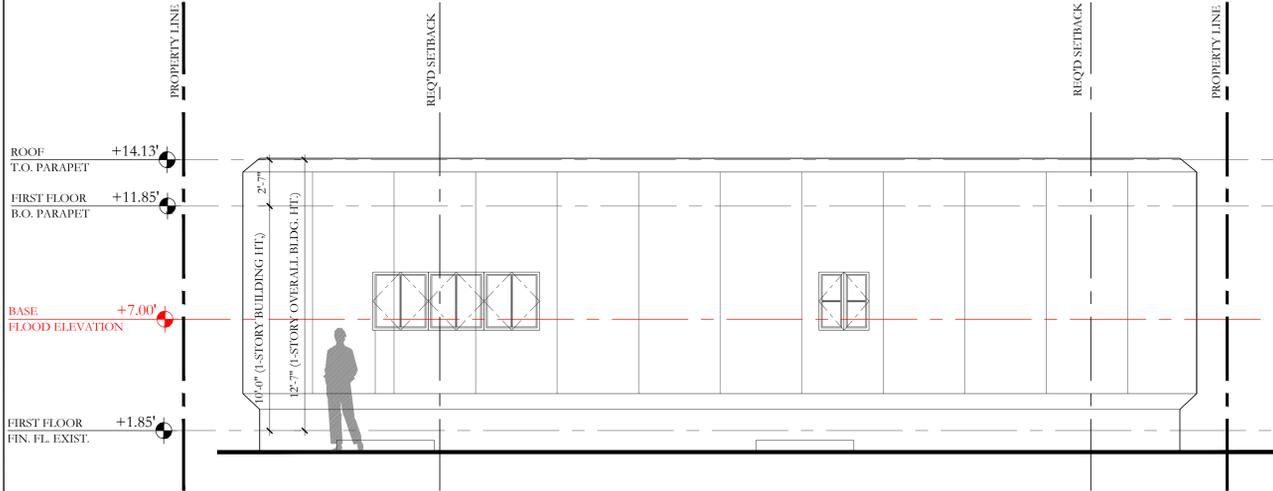
SHEET TITLE
EXISTING/PROPOSED
SOUTH & WEST ELEVATIONS

DATE 10/9/2024	SHEET NO A-110
SCALE AS NOTED	
BY MC, MRM	



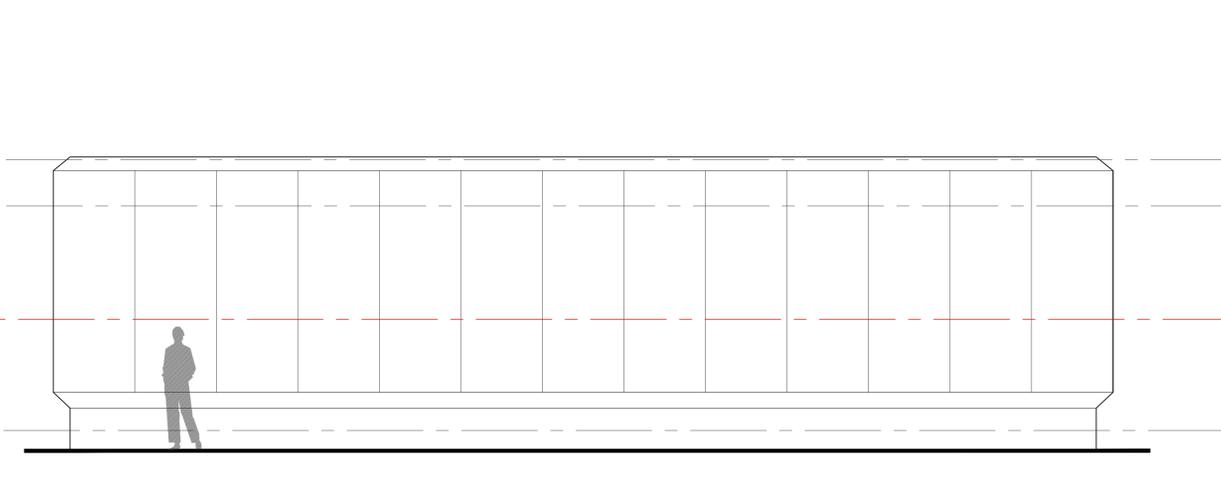
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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS



1 EXISTING: NORTH ELEVATION
1/4"=1'-0"

YARD SECTION DIAGRAM



2 EXISTING: EAST ELEVATION
1/4"=1'-0"

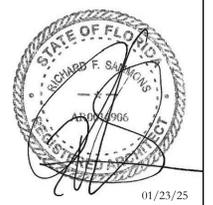


3 PROPOSED: NORTH ELEVATION
1/4"=1'-0"

YARD SECTION DIAGRAM



4 PROPOSED: EAST ELEVATION
1/4"=1'-0"



RICHARD F. SAMMONS
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FILE NUMBER:
ARC-24-0111

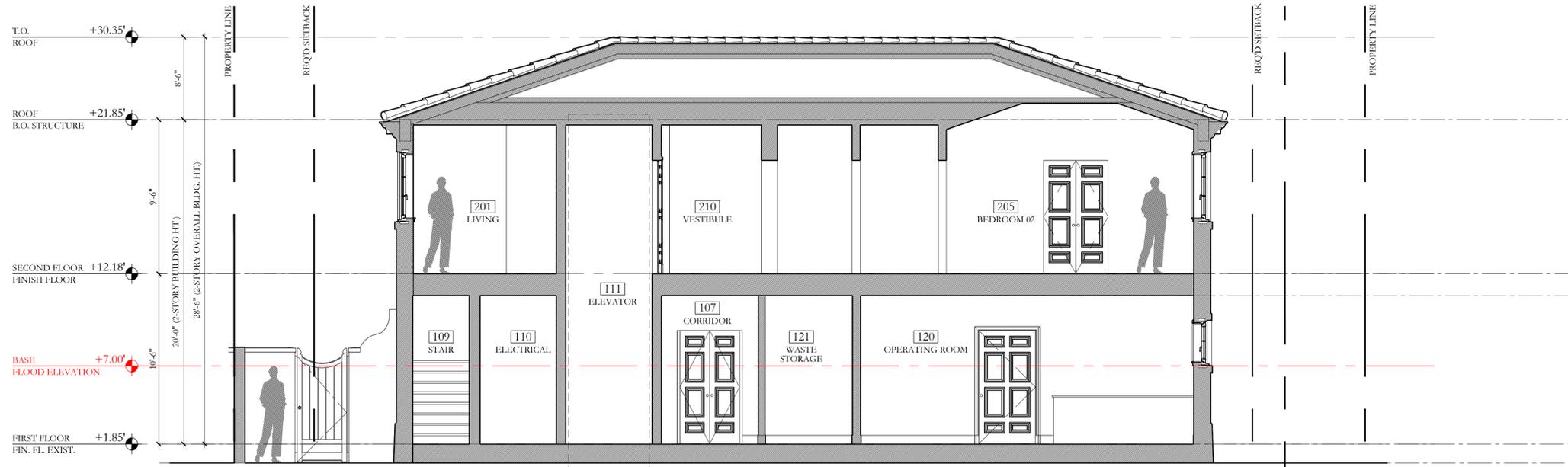
175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING/PROPOSED
NORTH & EAST ELEVATIONS

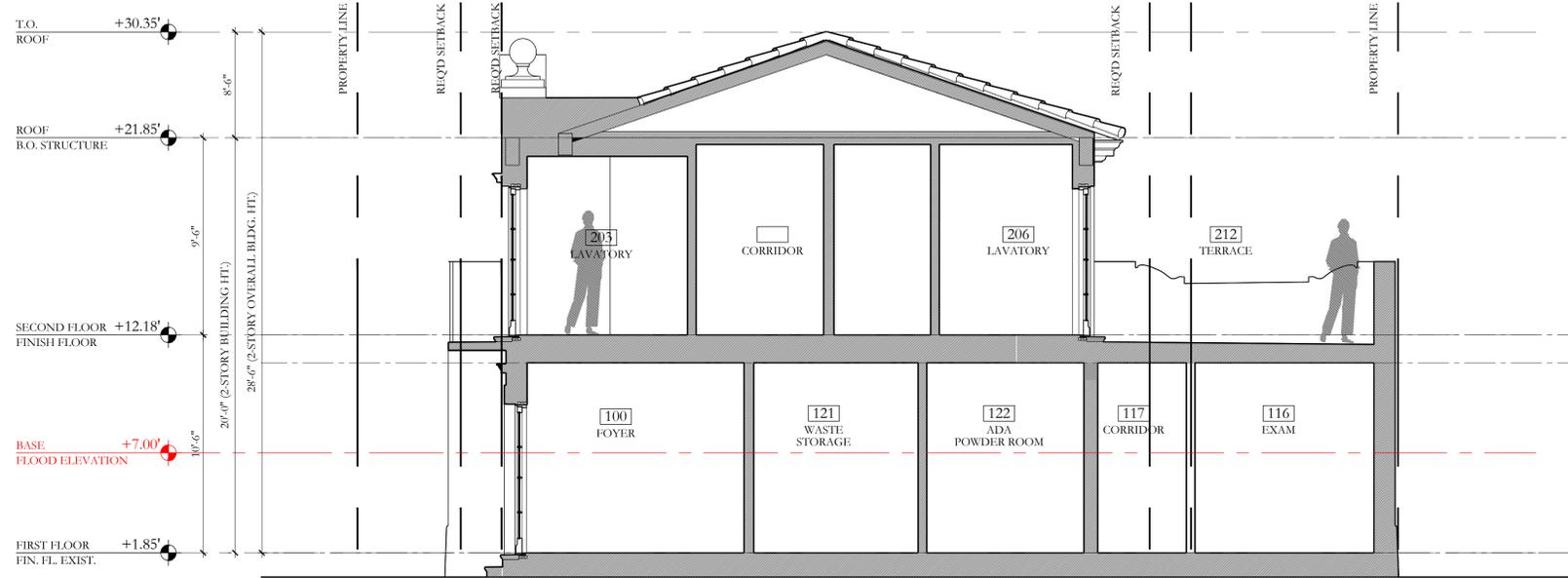
DATE: 10/9/2024
SCALE: AS NOTED
BY: MC, MRM
SHEET NO: A-111



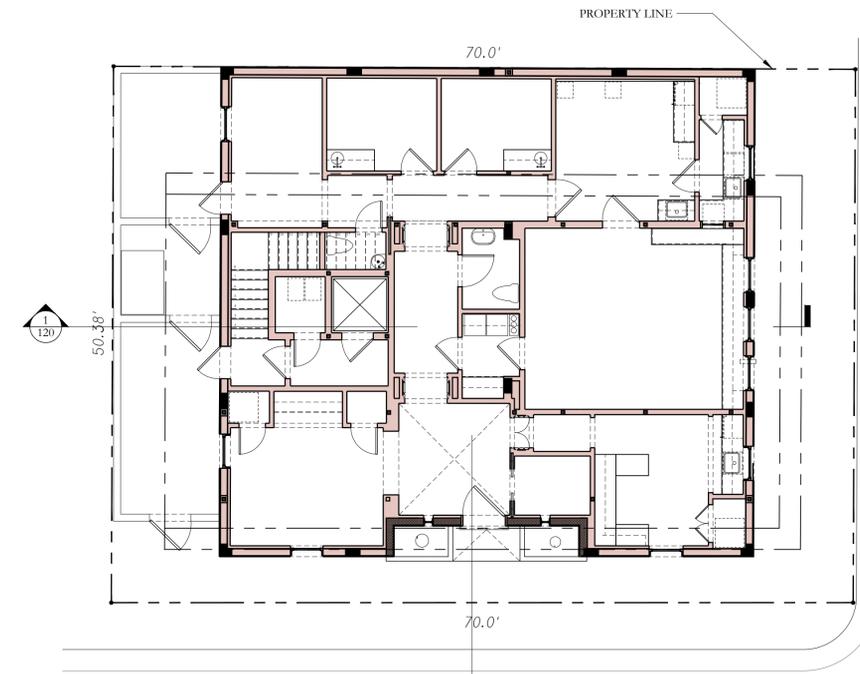
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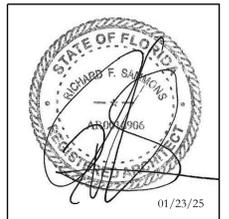
1 PROPOSED SECTION LOOKING EAST
1/4"=1'-0"



2 PROPOSED SECTION LOOKING NORTH
1/4"=1'-0"



3 KEY PLAN
1/8"=1'-0"



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175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

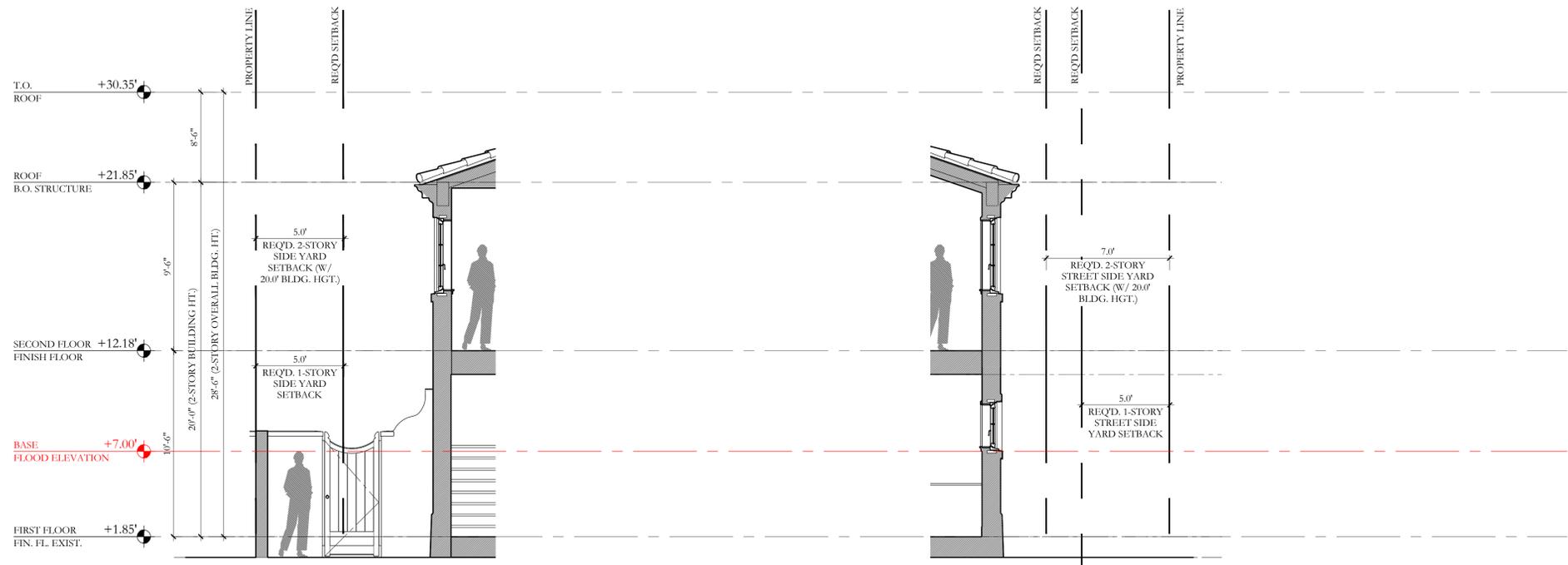
SHEET TITLE
PROPOSED BUILDING SECTIONS & YARD SECTIONS

DATE 10/9/2024	SHEET NO A-120
SCALE AS NOTED	
BY MC, MRM	

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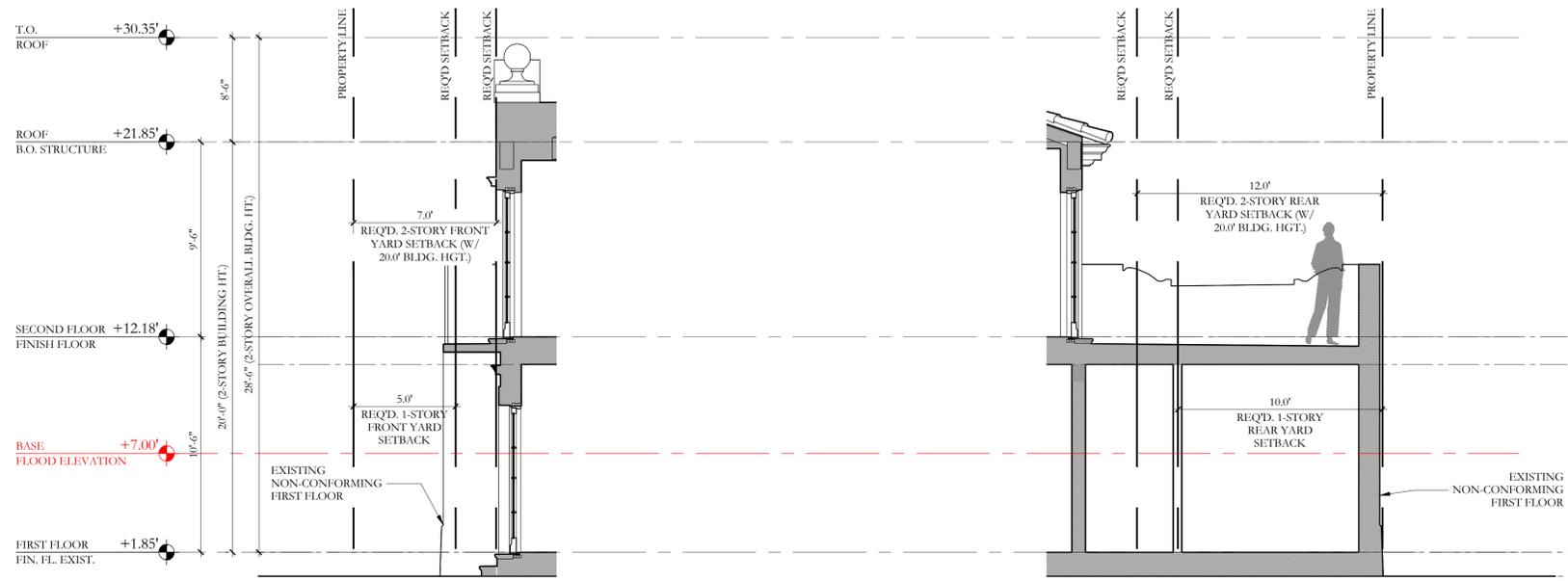
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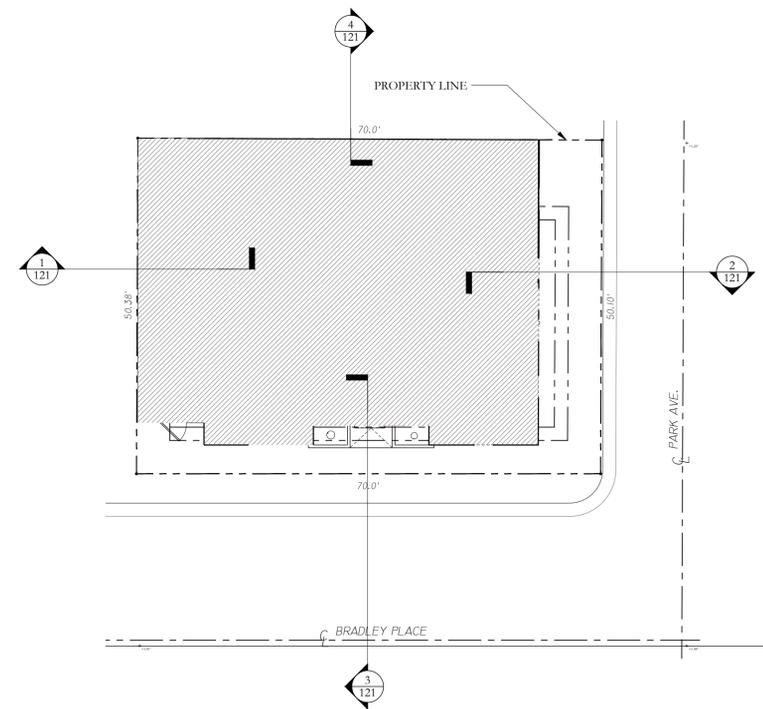
1 SIDE YARD SECTION LOOKING EAST
1/4"=1'-0"

2 SIDE YARD SECTION LOOKING WEST
1/4"=1'-0"

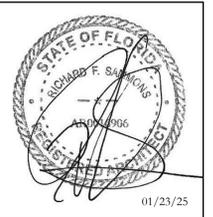


3 FRONT YARD SECTION LOOKING NORTH
1/4"=1'-0"

4 REAR YARD SECTION LOOKING SOUTH
1/4"=1'-0"



5 KEY PLAN
1/8"=1'-0"



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FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

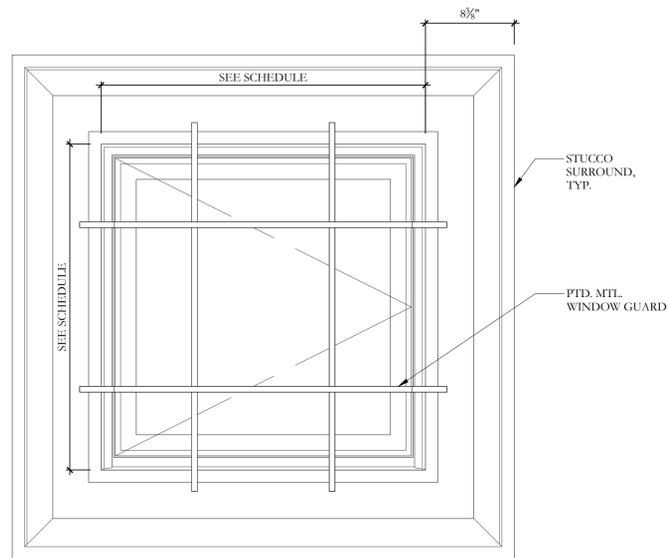
SHEET TITLE
PROPOSED BUILDING YARD SECTIONS

DATE 10/9/2024	SHEET NO A-121
SCALE AS NOTED	
BY MC, MRM	

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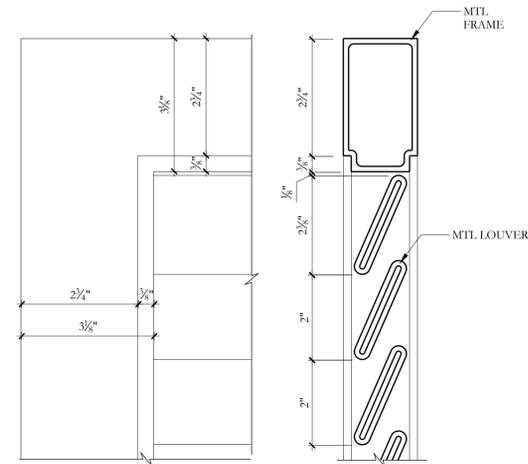
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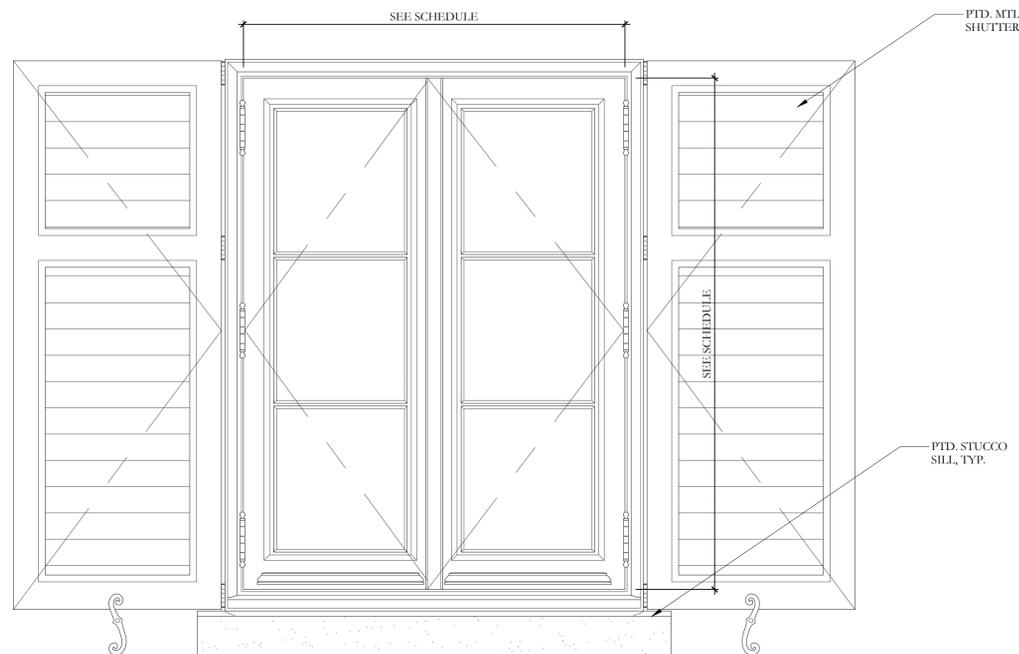
1 TYP. INSWING CASEMENT W/ WINDOW GUARD - FIRST FLOOR
1-1/2" = 1'-0"

NOTE:
GROUND FLOOR WINDOWS TO BE DRY FLOODPROOFED AND DESIGNED IN ACCORDANCE WITH ASCE 24.

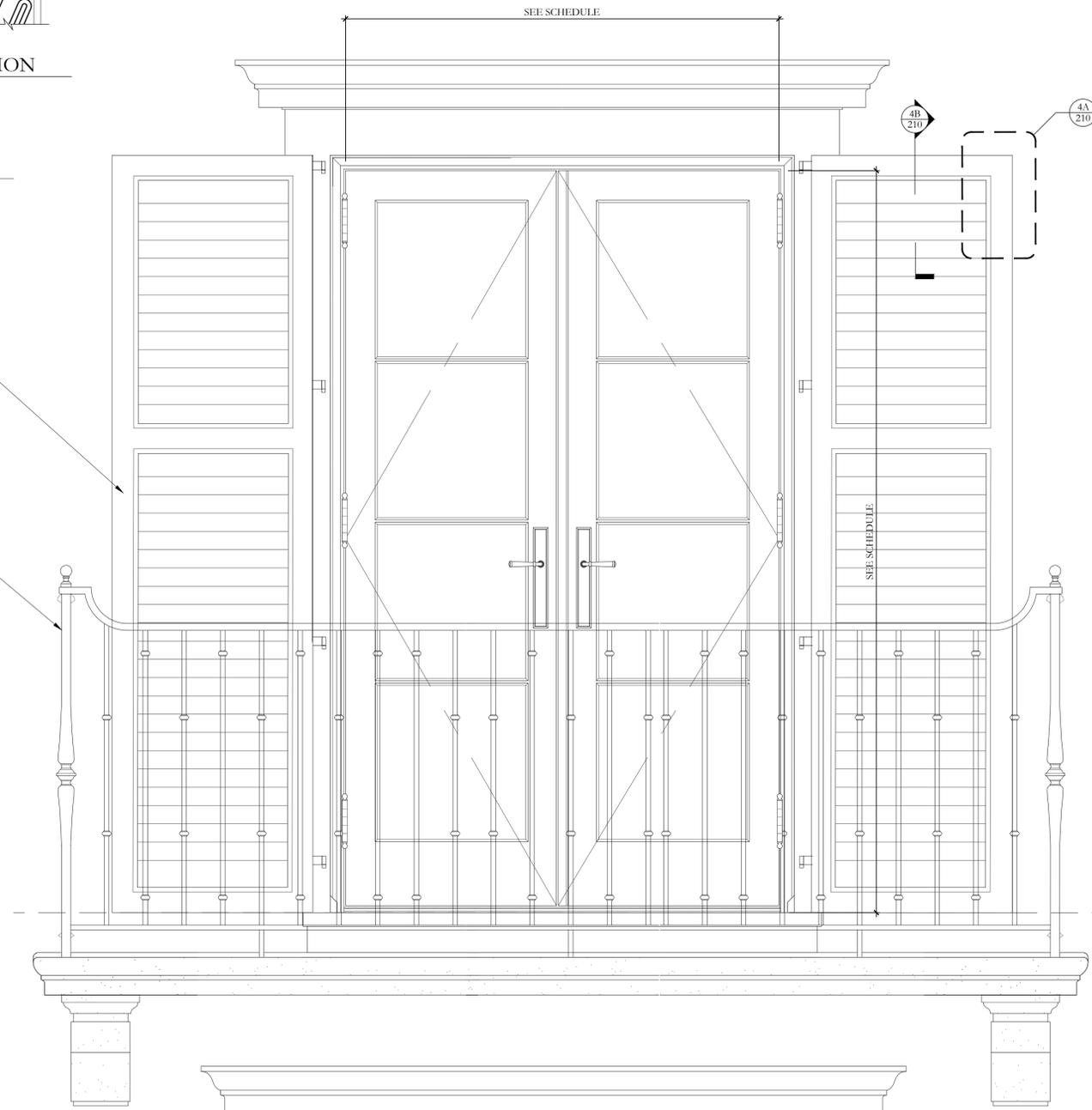


A ELEVATION B SECTION

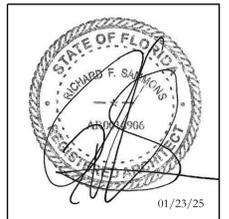
4 TYP. SHUTTER DTLS.
6" = 1'-0"



2 TYP. OUTSWING CASEMENT - SECOND FLOOR
1-1/2" = 1'-0"



3 TYP. OUTSWING DOUBLE DOOR, SHUTTER & BALCONY RAIL DETAIL
1-1/2" = 1'-0"



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ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED DETAILS
WINDOWS & DOORS

DATE
10/9/2024

SHEET NO

SCALE
AS NOTED

A-210

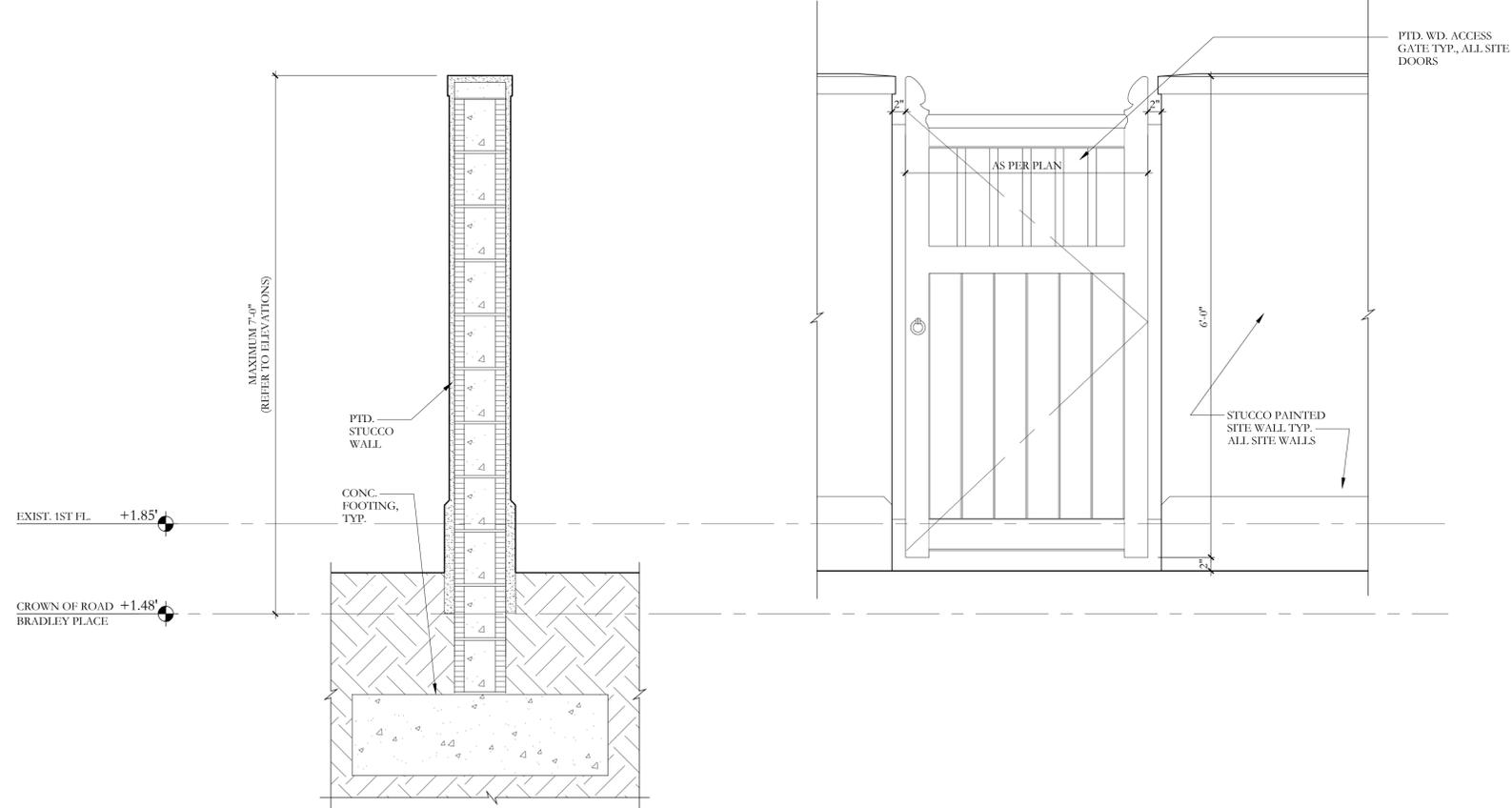
BY
MC



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LICENSE NO. AA28000848

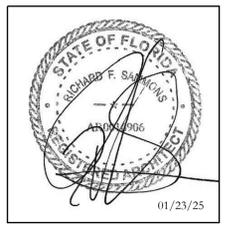
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1 TYP. SITE WALL SECTION
1"=1'-0"

2 SITE WALL GATE DTL., TYP.
1"=1'-0"



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FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED DETAILS
SITE WALLS & GATE

DATE 10/9/2024	SHEET NO A-211
SCALE AS NOTED	
BY MC, MRM	


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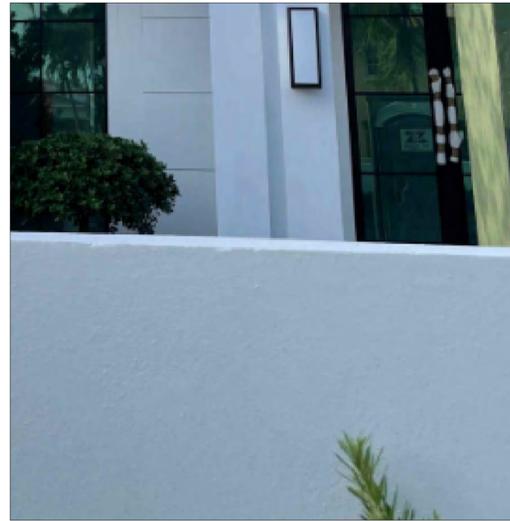
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PAINTEd STUCCO WALLS
 FARROW & BALL - WIMBORNE WHITE 239



DOORS, WINDOWS & SHUTTERS
 FARROW & BALL - OFF-BLACK NO. 57 - GLOSS, OR EQUIV.



SITE WALL(S)
 PAINTED STUCCO - FARROW & BALL - POINTING



CORAL STONE PAVERS
 COURTYARDS



CLAY TILE ROOF
 TYPICAL TERRA COTTA



METAL BALCONY RAIL
 FARROW & BALL - OFF-BLACK NO. 57 - GLOSS, OR EQUIV.



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FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
 PALM BEACH, FLORIDA 33480

SHEET TITLE
 MATERIALS & COLORS
 PALETTE

DATE	SHEET NO A-220
SCALE AS NOTED	
BY MC	



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1 PROPOSED PERSPECTIVE - NO LANDSCAPE
NTS



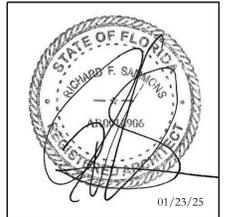
3 PROPOSED PERSPECTIVE - NO LANDSCAPE
NTS



2 PROPOSED PERSPECTIVE - WITH LANDSCAPE
NTS



4 PROPOSED PERSPECTIVE - WITH LANDSCAPE
NTS



RICHARD F. SAMMONS
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ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED RENDERS

DATE 10/9/2024	SHEET NO V-1
SCALE AS NOTED	
BY MC, MRM	



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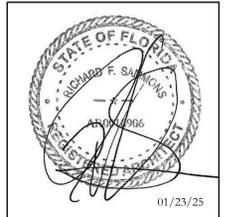
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1 PROPOSED PERSECTIVE - NO LANDSCAPE
NTS



2 PROPOSED PERSECTIVE - WITH LANDSCAPE
NTS



RICHARD F. SAMMONS
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PLACE**
PALM BEACH, FLORIDA 33480

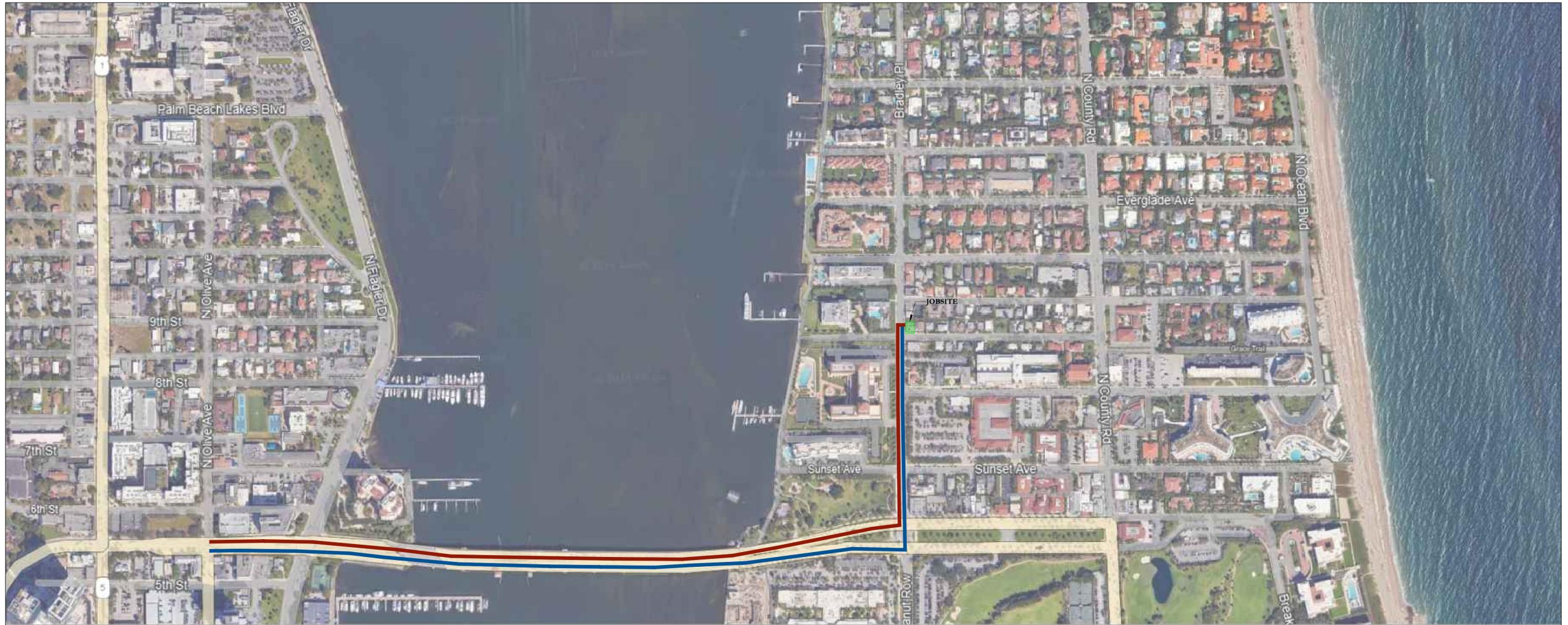
SHEET TITLE
PROPOSED RENDERS

DATE 10/9/2024	SHEET NO V-2
SCALE AS NOTED	
BY MC, MRM	



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1 PROPOSED TRUCK INGRESS/EGRESS ROUTES MAP
N.T.S.

*NOTE: SEE SEPARATE CSP SHEET IN LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

CONSTRUCTION SCREENING NOTES:

HEIGHTS OF PERIMETER 90% OPAQUE SCREENING NEEDS TO BE SUFFICIENT TO SHIELD ADJACENT RESIDENTS FROM CONSTRUCTION, INCLUDING ONES ACROSS THE STREET. (SUGGESTIVE TO ONE'S LINE OF SIGHT AND CANNOT OBSTRUCT SAFE SIGHT TRIANGLE ACCESS.

MAXIMUM VEHICLE SIZE ABLE TO BE ACCOMMODATED ON SITE:
FULL SEMI-TRUCK W/53-FOOT TRAILER (I.E. FULL RANGE OF TRUCK SIZES)

ALL DURATIONS ARE APPROXIMATE BASED ON PROJECTS OF SIMILAR SCALE AND SCOPE

REVISED SCHEDULE TO BE PROVIDED IN FINAL SUBMISSION

ESTIMATE OF NUMBER OF TRUCKS VISITING JOBSITE OVER LIFE OF PROJECT:

$$\begin{aligned} & 5 \text{ WORKING DAYS/WEEK (AVG.)} \\ & \times 50 \text{ WORK WEEKS/YEAR (AVG.)} \\ & \times 1 \text{ YEAR (12-MO.) SCHEDULE (PROPOSED)} \\ & = \mathbf{250 \text{ TOTAL WORK DAYS (PROPOSED)}} \end{aligned}$$

$$\begin{aligned} & 7 \text{ TRUCKS/DAY (AVG.)} \\ & \times 2 \text{ TRIPS/DAY (INGRESS \& EGRESS)} \\ & = \mathbf{14 \text{ TRUCK TRIPS/DAY (AVG.)}} \end{aligned}$$

$$\begin{aligned} & 250 \text{ TOTAL WORK DAYS (PROP.)} \\ & \times 14 \text{ TRUCK TRIPS/DAY (AVG.)} \\ & = \mathbf{3,500 \text{ TOTAL TRUCK TRIPS OVER LIFE OF PROJECT (EST.)}} \end{aligned}$$

ROUGH SCHEDULE OF CONSTRUCTION W/MAJOR CONSTRUCTION BENCHMARKS:

TASK:	DURATION (IN MONTHS):
SITE PREPARATION:	1
FOUNDATION:	1
BLOCK DELIVERIES & CONCRETE POURS:	2
ROOF TRUSS DELIVERIES & TRUSS SETTING:	1
WINDOW/DOOR DELIVERIES & INSTALLATION:	0.5
DRY-IN:	0.5
INTERIOR FRAMING:	1
ROUGH-IN:	1
DRY WALL:	1
FINISHES:	1
LANDSCAPE/HARDSCAPE INSTALLATION:	1
FINAL INSPECTIONS:	1
TOTAL PROPOSED CONSTRUCTION TIME (FOLLOWING ISSUANCE OF BUILDING PERMIT):	12 mos.



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

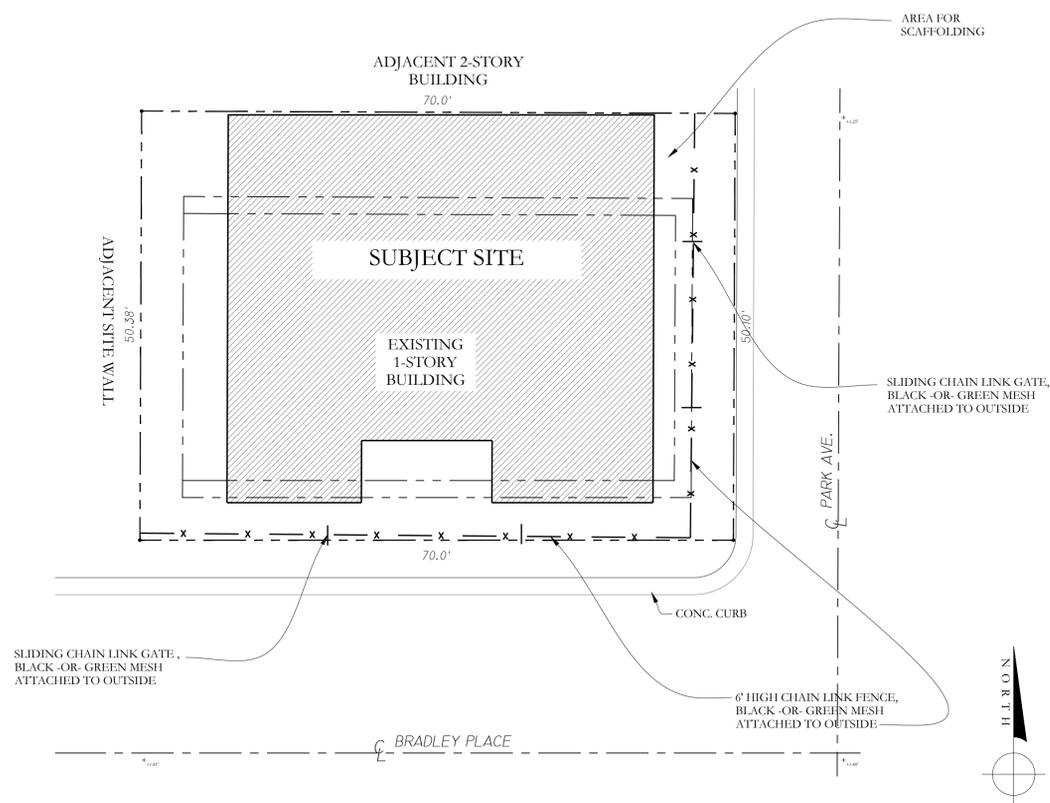
SHEET TITLE
TRUCK LOGISTICS PLAN & SCHEDULE OF CONSTRUCTION

DATE	10/9/2024	SHEET NO	T-1
SCALE	AS NOTED		
BY	MC, MRM		



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1 PROPOSED CSP SITE PLAN
1"=10'-0"

NOTES:

1. CONSTRUCTION SCREENING NEEDS TO ACCOMMODATE THE WORK ON THE SECOND FLOOR AND SHIELD ACTIVITY FROM VIEW. THE HEIGHT OF PERIMETER 90% OPAQUE SCREENING NEEDS TO BE SUFFICIENT TO SHIELD ADJACENT RESIDENTS FROM CONSTRUCTION, INCLUDING ONES ACROSS THE STREET.
2. SUGGESTED HEIGHTS 6- TO 8-FOOT FOR ONE-STORY, 16- TO 18-FOOT FOR TWO-STORY
3. HEIGHTS ARE SUBJECTIVE TO ONE'S LINE OF SIGHT AND CANNOT BE WITHIN A SAFE SIGHT TRIANGLE.
4. CONTRACTORS TO INSTALL SCAFFOLDING TO MEET THIS REQUIREMENT.



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
CONSTRUCTION
SCREENING PLAN

DATE 1"=10'-0"	SHEET NO CSP-1
BY MC	



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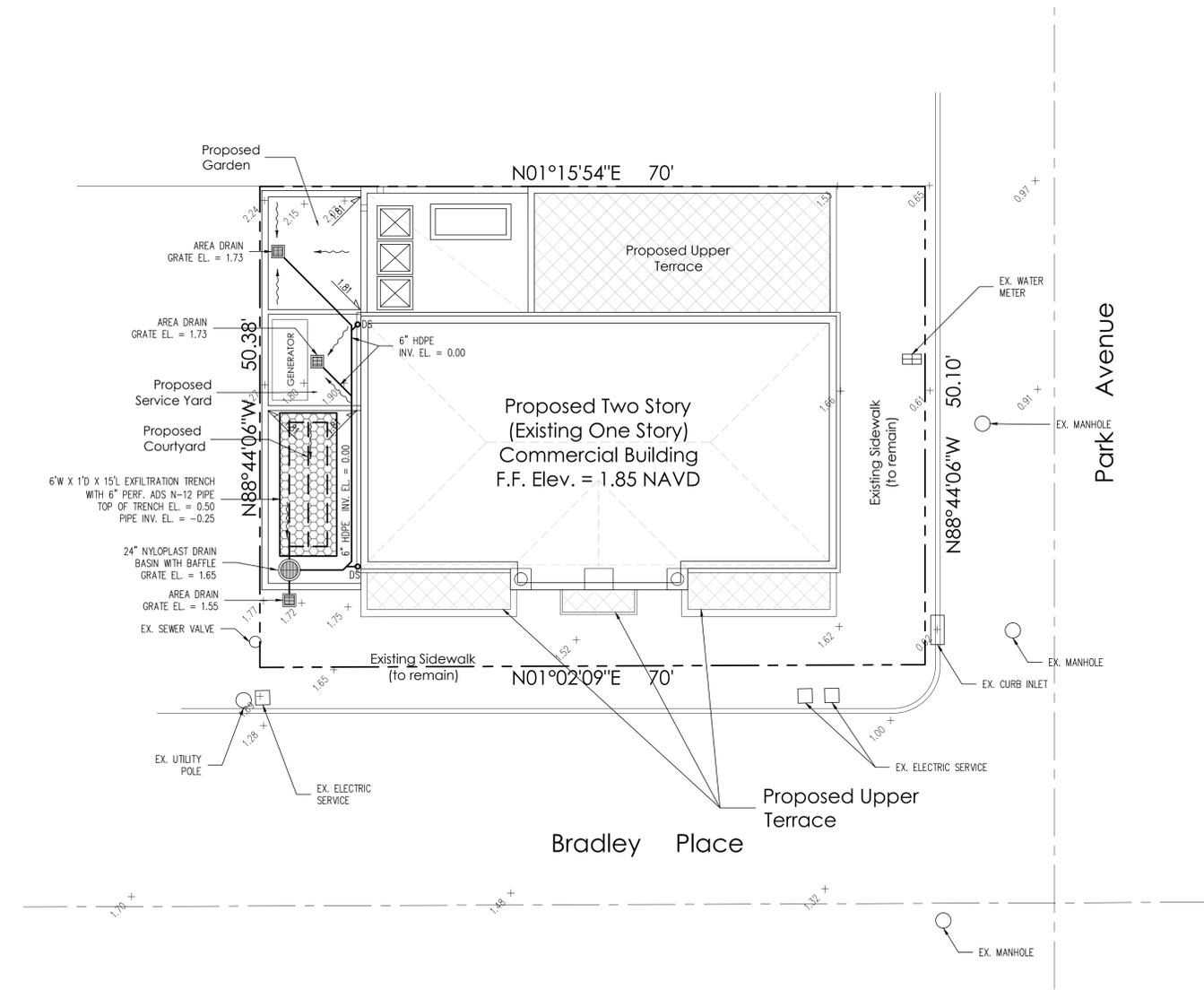
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GRUBER CONSULTING ENGINEERS

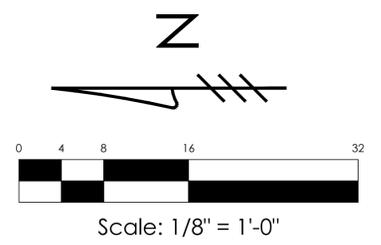
2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401
561.312.2041
office@gruberengineers.com

48 HOURS BEFORE DIGGING.
CALL 1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.
Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.



Legend

- EXISTING ELEVATION PER GT SURVEYOR SERVICES (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION
Total Property Area = 3,534 sq.ft.
Drainage Area Impervious Surface = 3,122 sq.ft.
Drainage Area Pervious Surface = 412 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME
The retention volume is estimated using the Rational Method (Q=CIA) where:
C = 1.0 (impervious surface)
C = 0.2 (pervious surface)
i = 2 in/hr
Impervious Surface Runoff Volume:
1.0 x 2 in/hr x 3,122 sq.ft. x 1 ft./12 in. = 520 cu.ft.
Pervious Runoff Volume:
0.2 x 2 in/hr x 412 sq.ft. x 1 ft./12 in. = 14 cu.ft.
Total Volume to be Retained = 534 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	15	ft
W	=	Trench Width	=	6	ft
K	=	Hydraulic Conductivity	=	0.00005	cts/sq.ft./ft. of head
H2	=	Depth to Water Table	=	0.05	ft
DU	=	Un-Saturated Trench Depth	=	0.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	0.3	cu.ft.

Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.

Conceptual Site Grading & Drainage Plan For:
PROPOSED RENOVATION
 175 Bradley Place
 Palm Beach, Florida

PROJECT INFORMATION:
Project No. 2024-0105
Issue Date 01/21/2025
Scale 1/8" = 1'-0"

REVISIONS:

1	
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CHAD M. GRUBER
FLORIDA P.E. NO. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a 3HA authentication code. Printed copies of this document are not considered signed and sealed and the 3HA authentication code must be verified on any electronic copies.

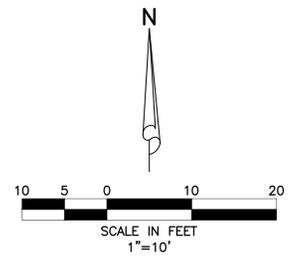
SHEET NUMBER:

Plan Background from Site Plan by Fairfax & Sammons Architects P.C.
Received 11/11/24
ARC-24-0111
ZON-24-0067
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C-1



LOCATION MAP
NOT TO SCALE



LEGEND

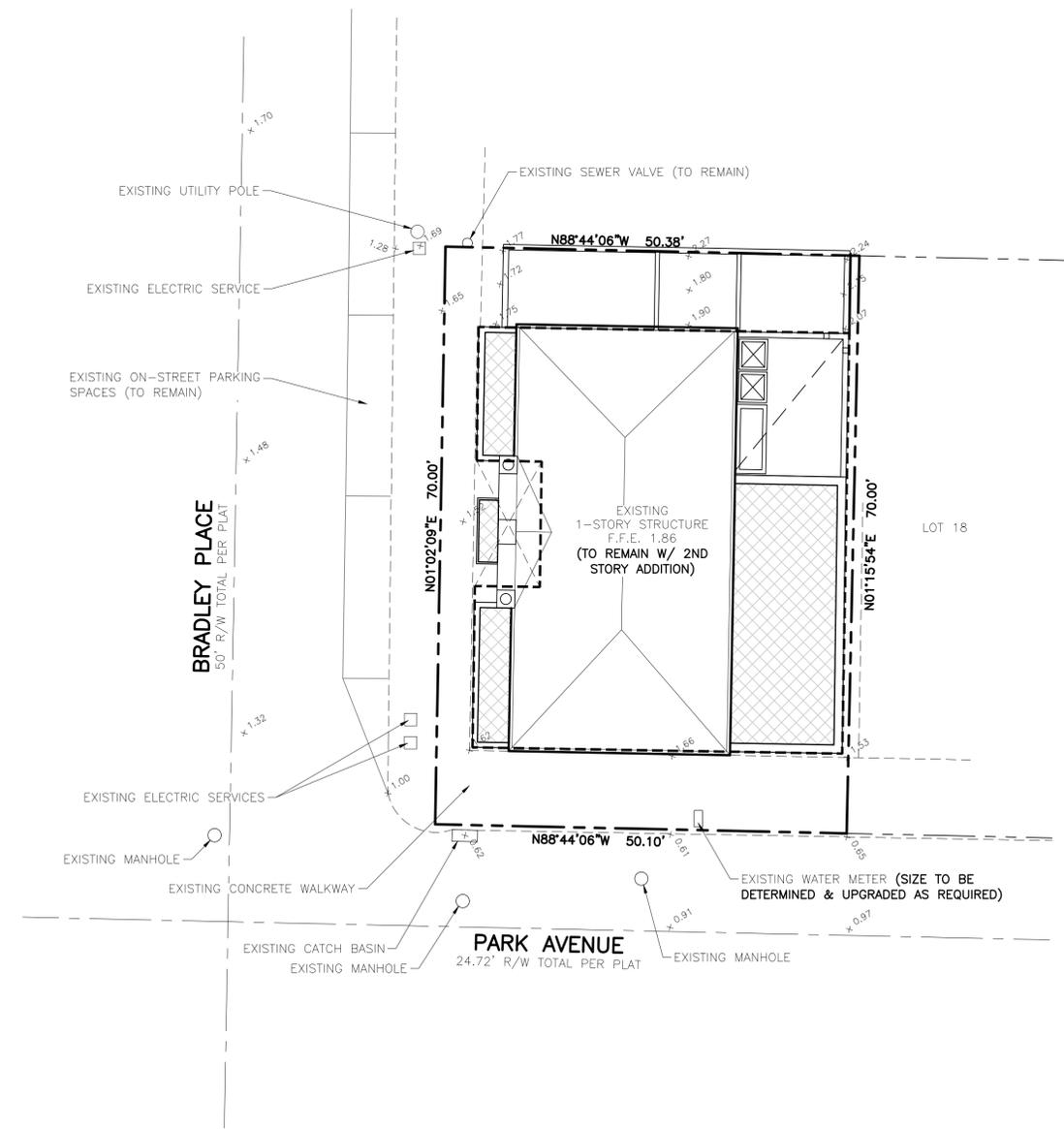
- EXISTING GRADE ELEVATION
- PROPOSED PATIO (SEE ARCH. PLANS FOR DETAILS)

NOTES:

- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST PALM BEACH, THE TOWN OF PALM BEACH AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES, DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 6.) FIRE DEPARTMENT LOCKING CAPS WILL BE REQUIRED ON THE FIRE DEPARTMENT CONNECTION.

LAND USE AREAS:

BUILDING:	2,296 S.F.
IMPERVIOUS:	707 S.F.
PERVIOUS:	514 S.F.
TOTAL SITE:	3,517 S.F.



NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY GT SURVEYOR SERVICES, INC. (561) 753-0353.


 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DANIEL W. COLE, P.E. ON 1/24/2025.
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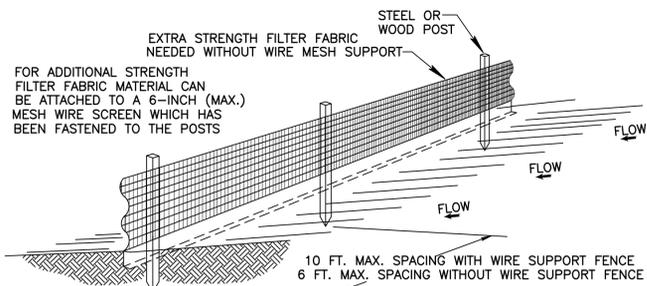
REVISIONS	


 2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
 Authorization # 3452 | 561.478.7848

DESIGN D.C.	DRAWN D.B.	CHECKED	APPROVED	DATE
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175 BRADLEY PLACE
 SECTION 15, TOWNSHIP 43S., RANGE 43E.
 TOWN OF PALM BEACH, FLORIDA
**CONCEPTUAL PAVING, DRAINAGE,
 WATER AND WASTEWATER PLAN**

JOB NO. 24-164	DRAWING NO. 24164C01	SHEET 1 OF 1
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SILT FENCE INSTALLATION DETAIL
NOT TO SCALE.

SILT FENCE NOTES:

- 1.) THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- 2.) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3.) POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- 4.) A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- 5.) WHEN STANDARD STRENGTH FILTER FABRIC IS USED. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 6.) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 7.) THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 8.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS AND CONSTRUCTION SEQUENCING.

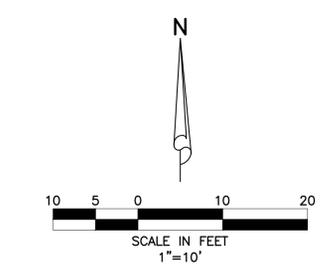
POLLUTION PREVENTION NOTES:

- 1.) THIS PLAN SHOULD BE USED AS A GUIDE, A COMPLETE STORMWATER POLLUTION PLAN SHOULD BE DEVELOPED BY THE CONTRACTOR TO MEET OR EXCEED F.D.E.P. REQUIREMENTS.
- 2.) CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO DIRT BE TRACKED OFF-SITE OR LEAVES THE SITE BY WIND, RUNOFF, OR OTHER MEANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL N.P.D.E.S. REQUIREMENTS INCLUDING FILING OF N.O.I., MONITORING REPORTS AND N.O.T.
- 4.) POLLUTION PREVENTION MEASURES SHALL CONSIST OF, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. CONSTRUCT WASHROCK PAD AT ALL POINTS EGRESS FOR WASHDOWN OF TRUCK TIRES.
 - B. CONSTRUCT EROSION CONTROL FENCE AND/OR TURBIDITY SCREENS ALONG PROPERTY LINES AS NEEDED.
 - C. NO AREA SHALL BE LEFT BARREN OR SUBJECT TO EROSION DURING CONSTRUCTION. SEEDING AND MULCHING IS REQUIRED FOR ANY AREAS ANTICIPATED TO BE BARREN DURING CONSTRUCTION FOR MORE THAN 15 DAYS.
 - D. TURBIDITY BARRIERS TO BE UTILIZED AT PROJECT OUTFALL.
 - E. OTHER MEASURES AS DIRECTED BY THE ENGINEER OR THE TOWN OF PALM BEACH.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL POLLUTION PREVENTION REQUIREMENTS. FOR AFFECTED AREAS GREATER THAN 1 ACRE, COMPLIANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) THE FOLLOWING:
 - A. PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IN ACCORDANCE WITH THE D.E.P. "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" (D.E.P. DOCUMENT NO. 62-621.300(4)(A))
 - B. SUBMITTAL OF THE NOTICE OF INTENT (N.O.I.) TO THE D.E.P.
 - C. MAINTENANCE AND INSPECTION OF THE ELEMENTS OF THE S.W.P.P.P.
 - D. MAINTENANCE OF RECORDS (INSPECTION REPORTS, N.O.I, S.W.P.P.P., ETC.)
 - E. SUBMITTAL OF THE NOTICE OF TERMINATION TO THE D.E.P. AT THE CONCLUSION OF THE PROJECT.
- 6.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS & CONSTRUCTION SEQUENCING.



LOCATION MAP

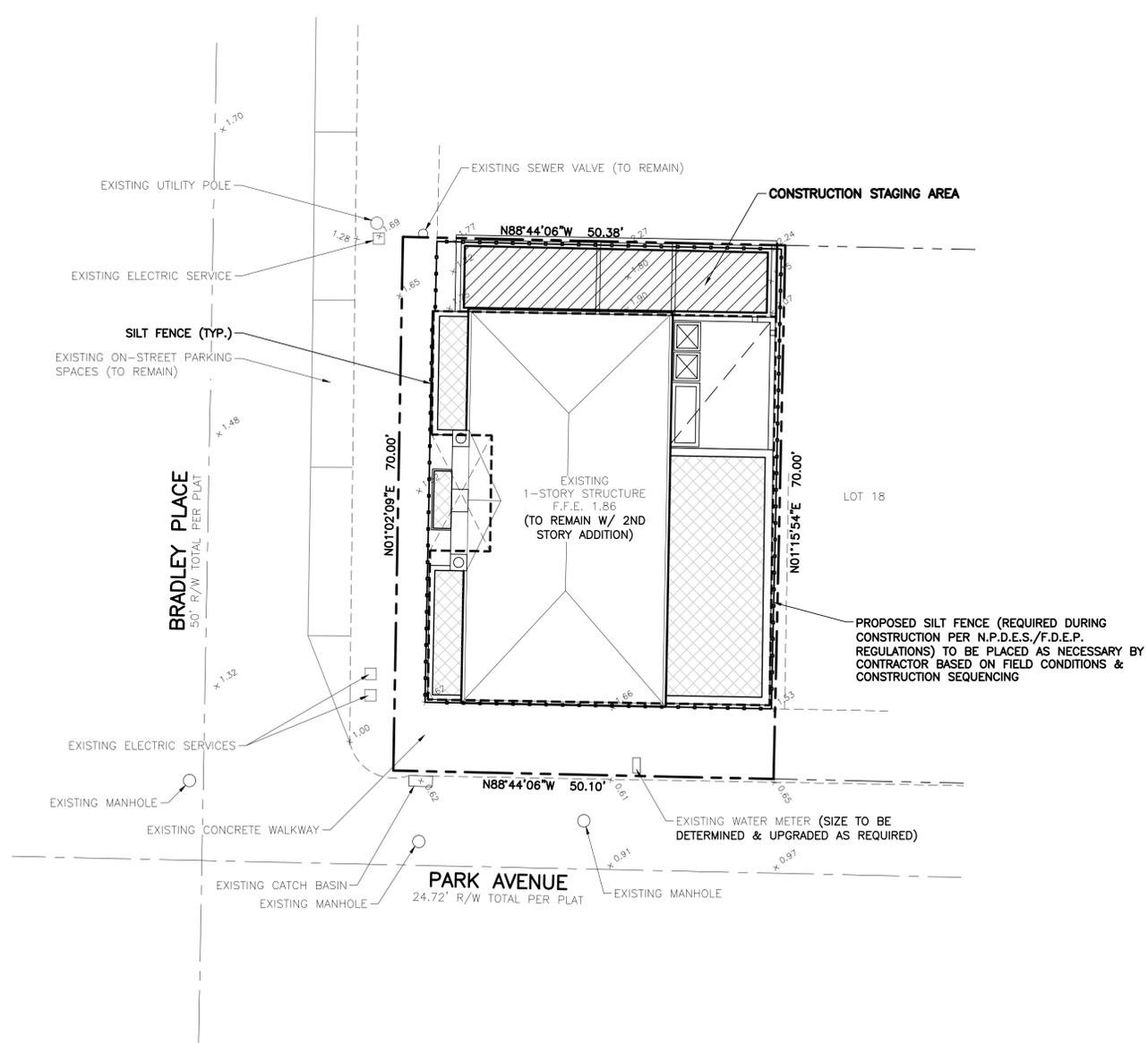
NOT TO SCALE



LEGEND

- SILT FENCE
- CONSTRUCTION STAGING AREA

NOTE:
EXISTING DRIVES AND PARKING AREAS TO BE USED FOR CONSTRUCTION STAGING. UPON FUTURE REMOVAL OF EXISTING DRIVES, WASHROCK CONSTRUCTION ENTRANCE(S) MAY BE REQUIRED.



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REVISIONS	
DESIGN	D.C.
DRAWN	D.B.
CHECKED	
APPROVED	
DATE	

SIMMONS & WHITE
2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

DESIGN	DRAWN	CHECKED	APPROVED	DATE
D.C.	D.B.			

175 BRADLEY PLACE
SECTION 15, TOWNSHIP 43S., RANGE 43E.
TOWN OF PALM BEACH, FLORIDA
CONSTRUCTION STAGING AND
POLLUTION PREVENTION PLAN

JOB NO.	DRAWING NO.	SHEET	OF
24-164	24164Z01	1	1