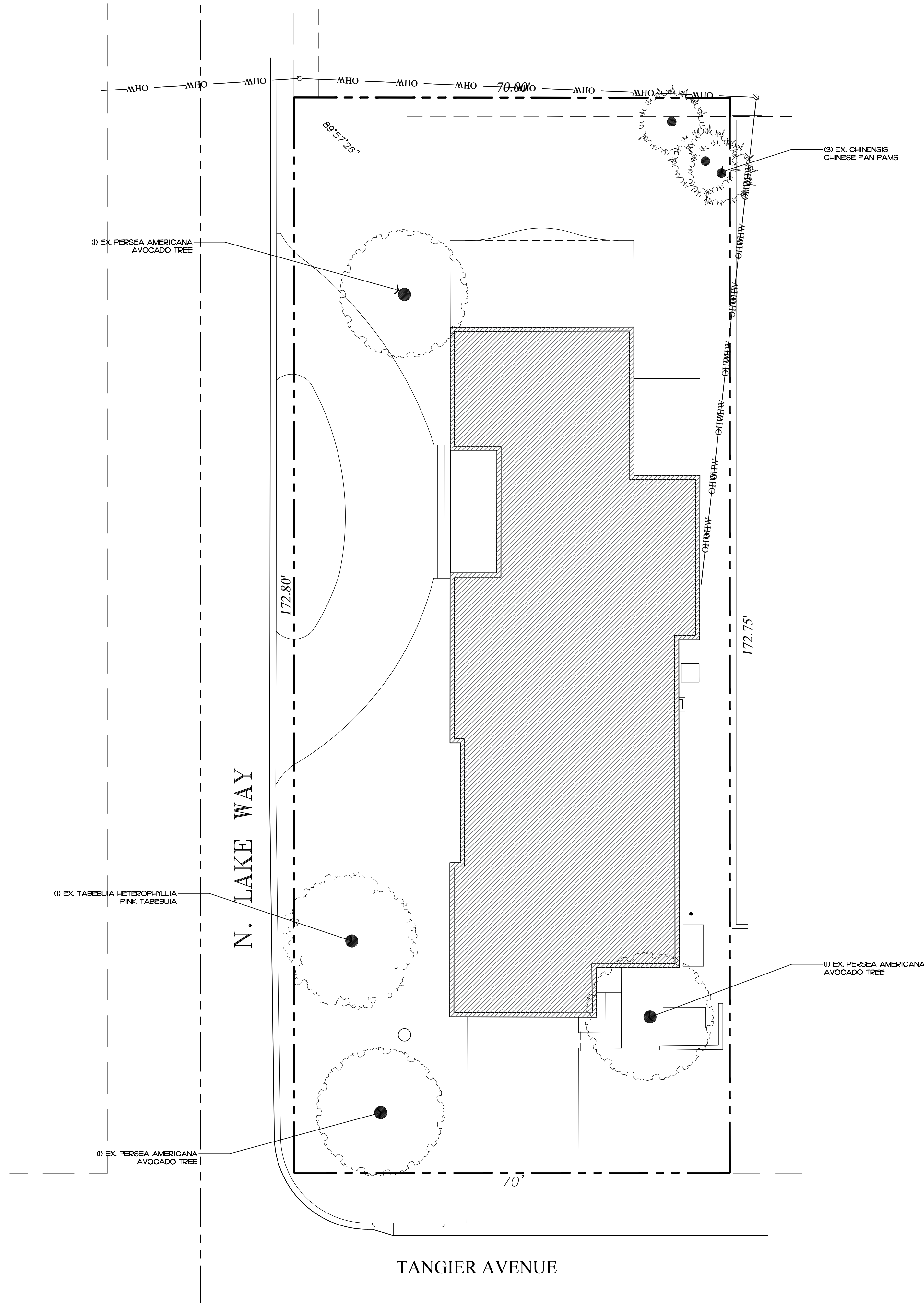


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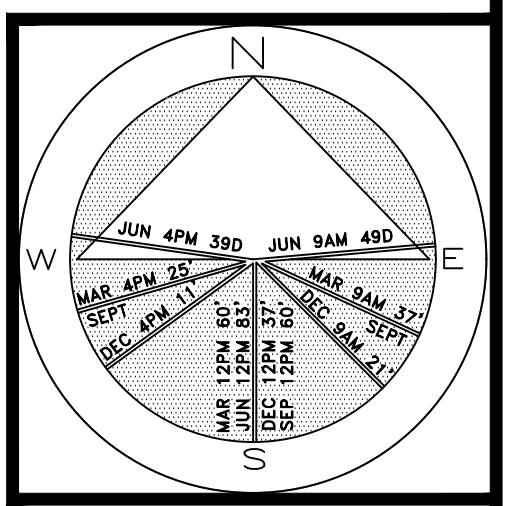
Existing Conditions / Vegetation Inventory

SCALE IN FEET 0' 10' 20' 30'

ARC-24-0023
ZON-24-0010

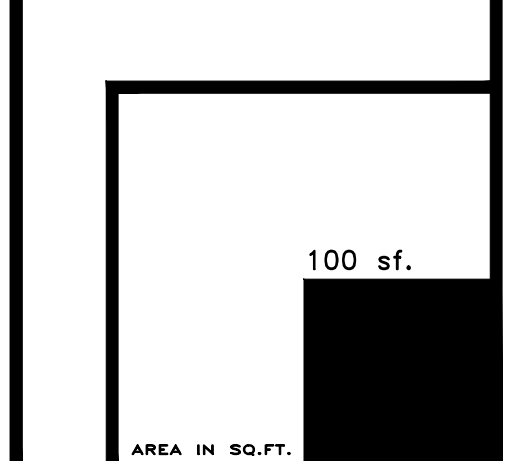
ENVIRONMENT
DESIGN
GROUP
139 North County Road 570-B Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residence
515 N Lake Way
Palm Beach

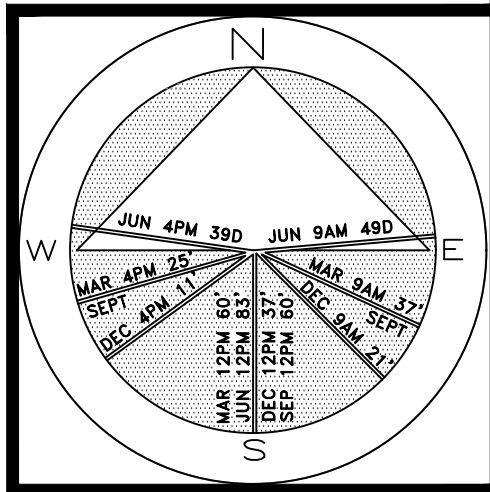


JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L1.0

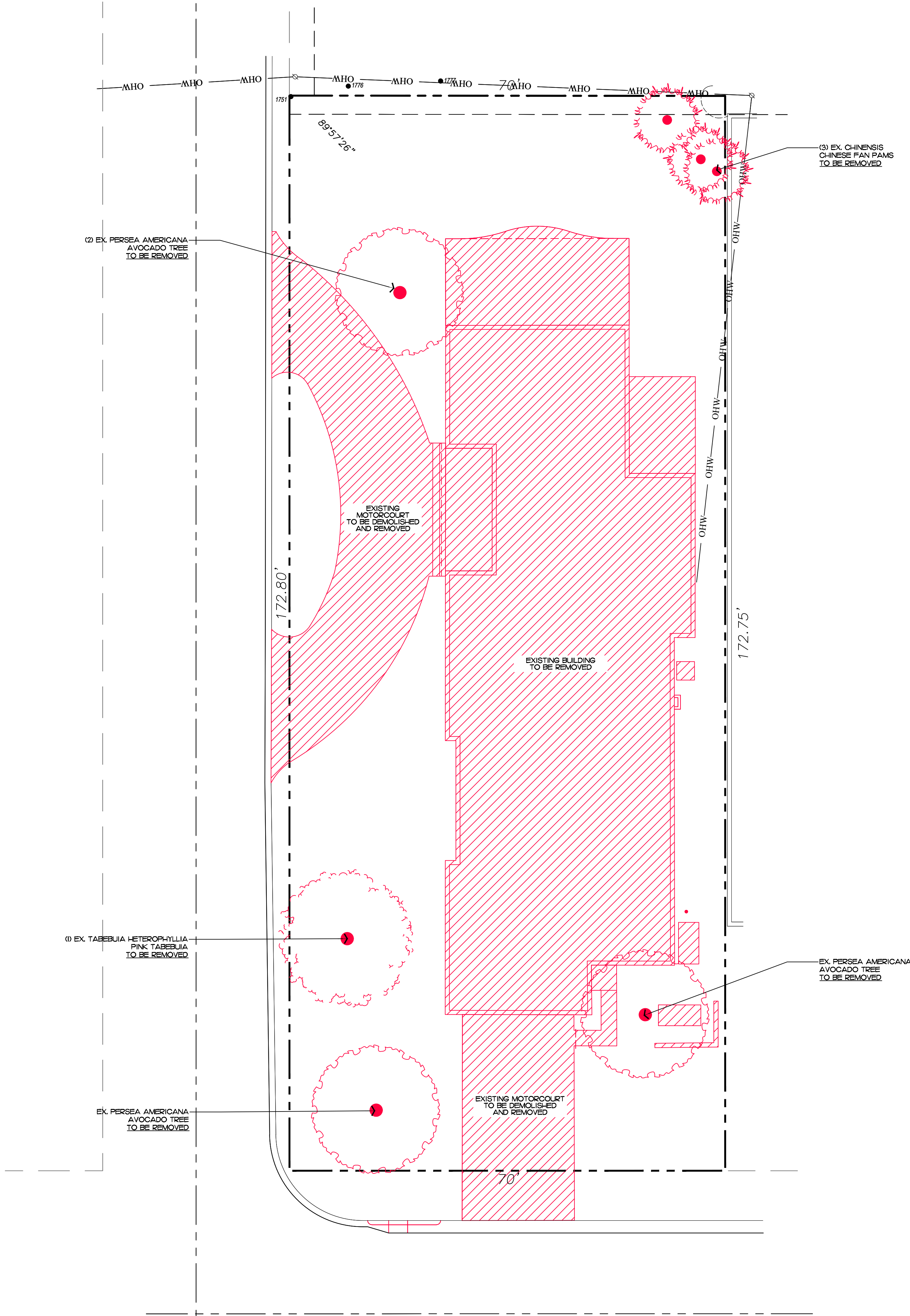
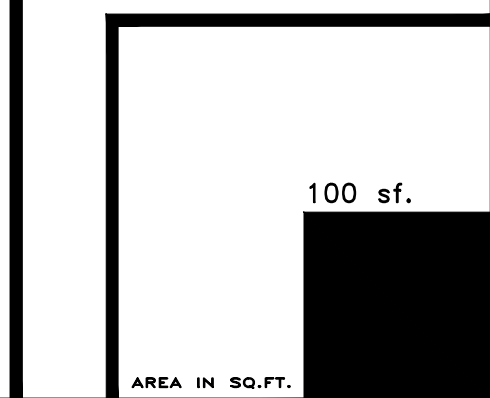


Private Residence
515 N Lake Way
Palm Beach



JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L2.0

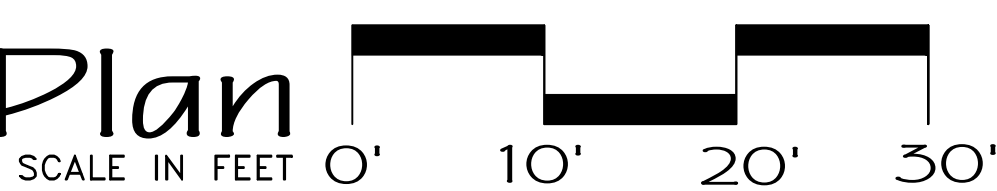


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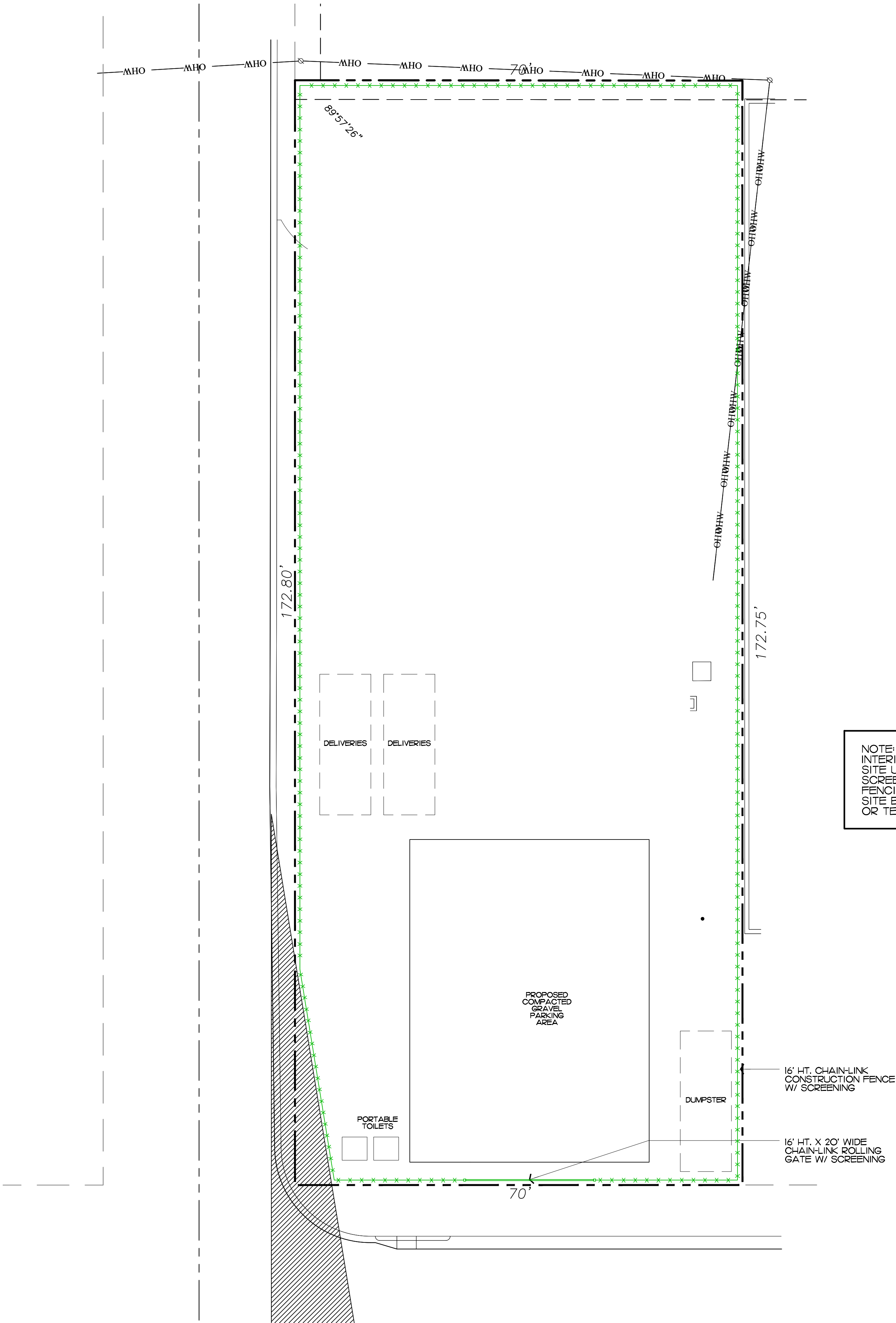
Demolition / Vegetation Action Plan



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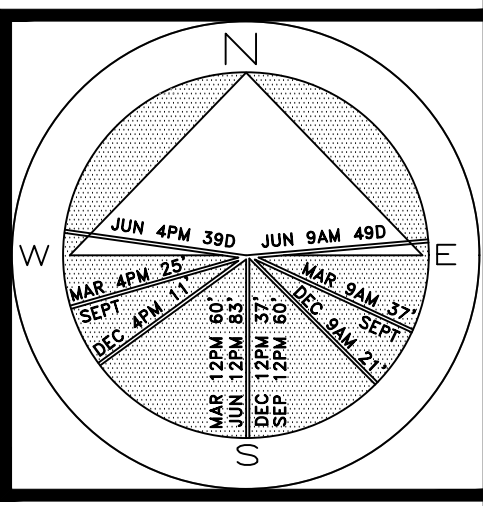


Staging & Screening Plan

SCALE IN FEET 0' 10' 20' 30'

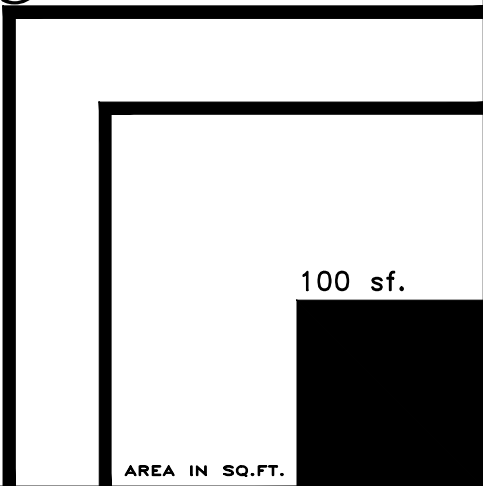
ARC-24-0023
ZON-24-0010

Private Residence
515 N Lake Way
Palm Beach



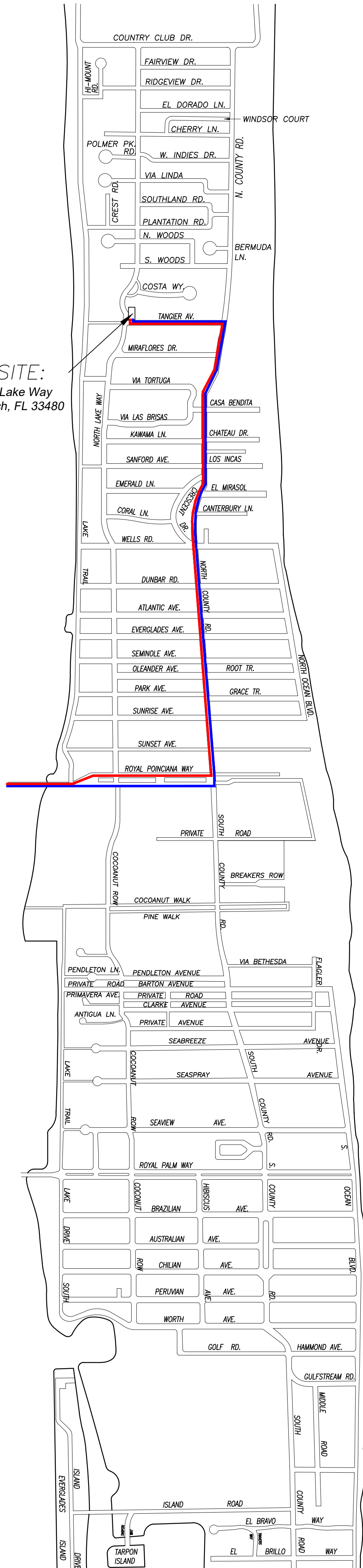
JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L3.0



**ENVIRONMENT
DESIGN
GROUP**
139 North County Road 570-B Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

SITE:
515 North Lake Way
Palm Beach, FL 33480

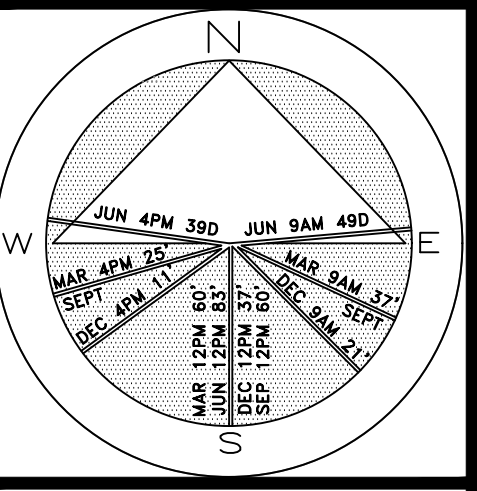


1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

CONCEPTUAL CONSTRUCTION SCHEDULE	
<ul style="list-style-type: none">MAY 15TH 2023 - TOWN COUNCILMAY 29TH 2023 - ARCOM MEETINGJUN-JUL 2023 - SUBMIT FOR PERMIT	
<ul style="list-style-type: none">1 MONTH -AUG 2023	<ul style="list-style-type: none">- MOBILIZATION & DEMOLITION OF EXISTING STRUCTURES
<ul style="list-style-type: none">2 MONTHS1.5 MONTHS2.5 MONTHS	<ul style="list-style-type: none">- SITE/BUILDING PREPARATION- FOUNDATION- BLOCK DELIVERIES & CONC. POURS
<ul style="list-style-type: none">1 MONTH	<ul style="list-style-type: none">- ROOF TRUSS DELIVERY AND SET TRUSSES
<ul style="list-style-type: none">1.5 MONTHS	<ul style="list-style-type: none">- WINDOW/DOOR DELIVERIES AND INSTALLATION
<ul style="list-style-type: none">.5 MONTH1.5 MONTHS2 MONTHS.5 MONTH6 MONTHS2 MONTHS	<ul style="list-style-type: none">- DRY-IN- INTERIOR FRAMING- ROUGH-IN- DRY WALL- FINISHES- LANDSCAPE & HARDSCAPE INSTALLATION
<ul style="list-style-type: none">2 MONTHS	<ul style="list-style-type: none">- FINAL INSPECTIONS
<ul style="list-style-type: none">+/-24 MONTHS	<ul style="list-style-type: none">- PROPOSED TOTAL CONSTRUCTION FOLLOWING BUILDING PERMIT

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE



JOB NUMBER: # 24016.00 LA
DRAWN BY: Sean Twomey

DATE: 12.03.2024

SHEET L4.0

ARC-24-0023
ZON-24-0010

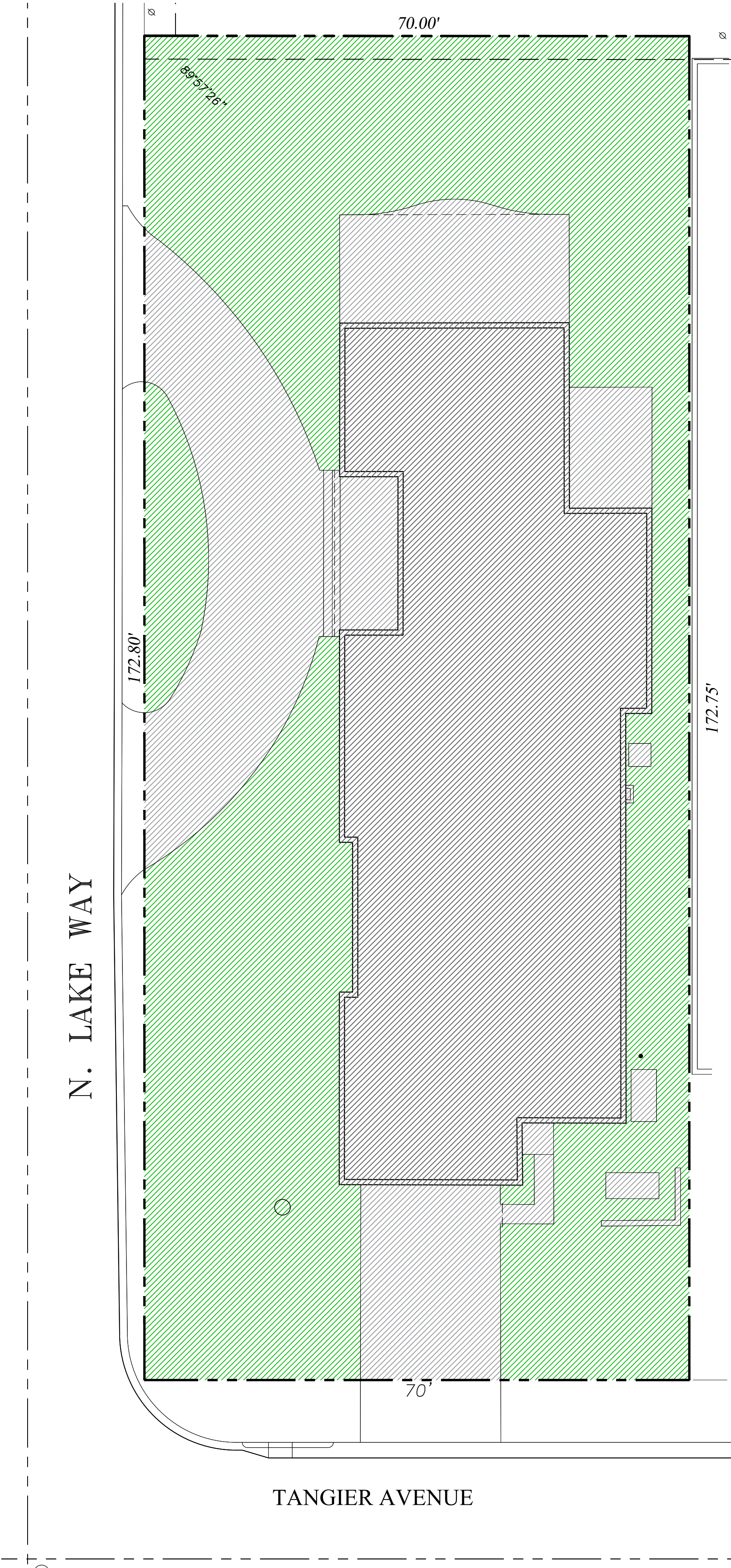
Truck Logistics Plan

SCALE: NOT TO SCALE

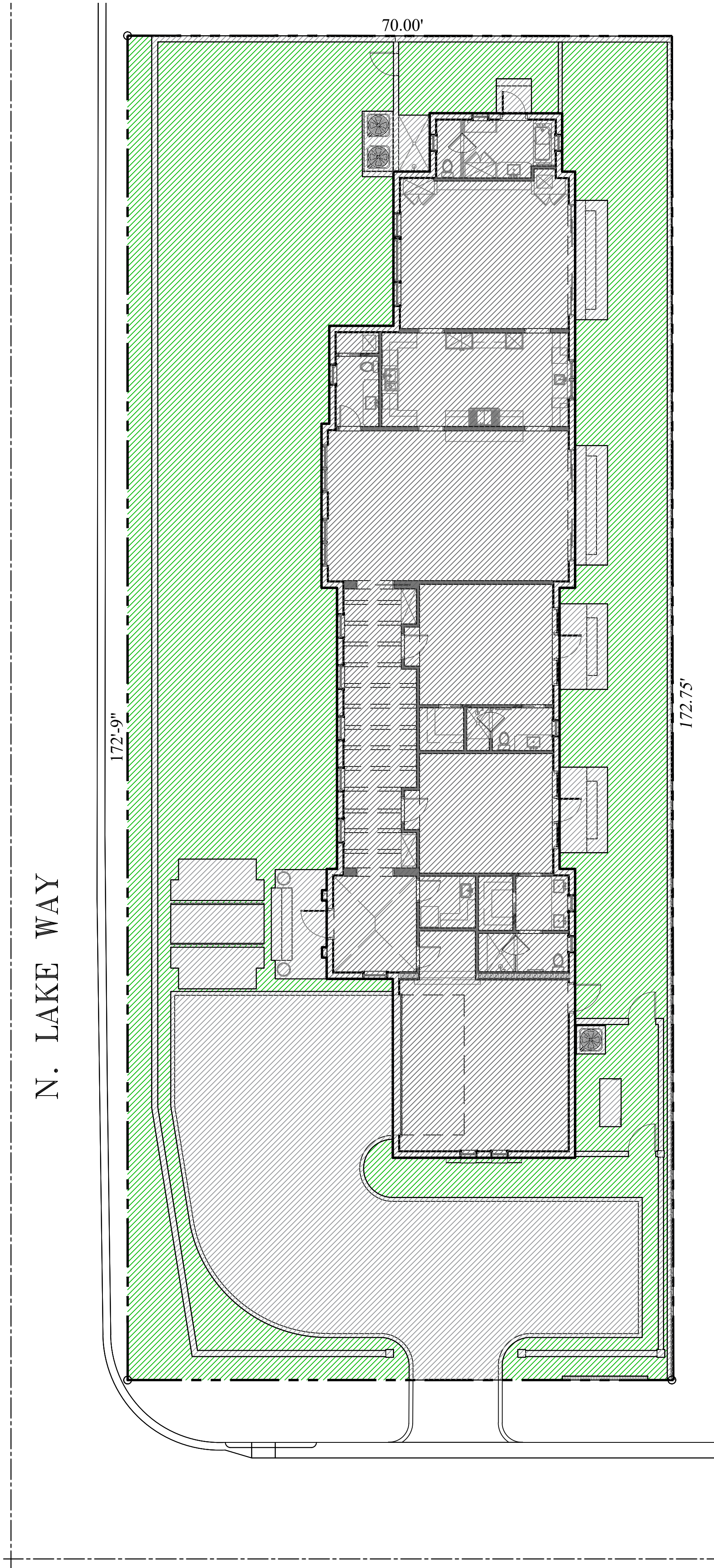
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Existing Lot Coverage Graphic



Proposed Lot Coverage Graphic

Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE
- PERVIOUS AREA / WATER FEATURE

Proposed Site Data

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE		R-B - LOW DENSITY RESIDENTIAL	R-B - LOW DENSITY RESIDENTIAL
LOT AREA	10,000 S.F. MINIMUM	12,108 S.F.	12,108 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 5,448 S.F.	49% 5,944 S.F.	46.0% 5,577 S.F.
FRONT YARD LANDSCAPE	MINIMUM 20% 2,191 S.F.	58.3% 3,194 S.F.	72.6% 3,139 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE 2,724 S.F.	62.8% 3,423 S.F.	62.8% 3,422 S.F.

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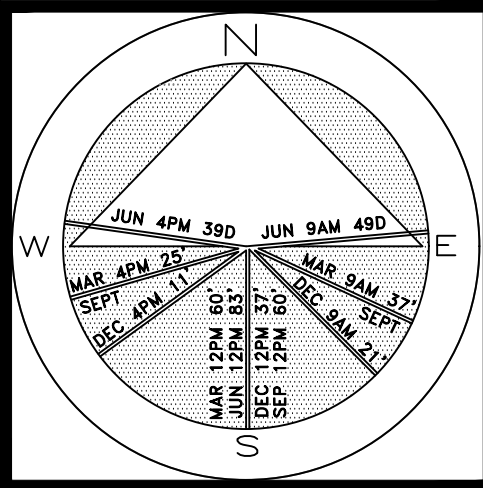
Site Calculation/Lot Coverage Graphics

ARC-24-0023
ZON-24-0010

SCALE IN FEET 0' 10' 20' 30'

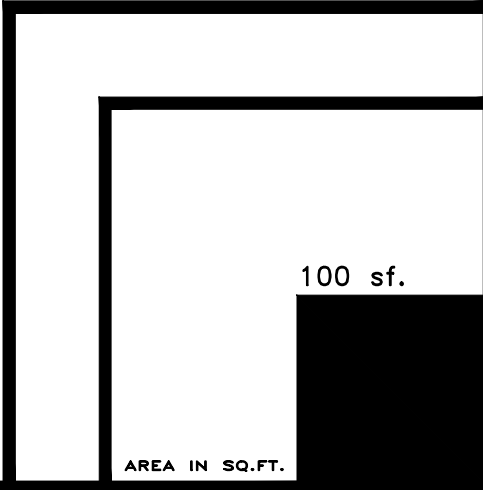
**ENVIRONMENT
DESIGN
GROUP**
139 North County Road 570-B Palm Beach, FL 33480
Phone 561.832.4000 Mobile 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residence
515 N Lake Way
Palm Beach

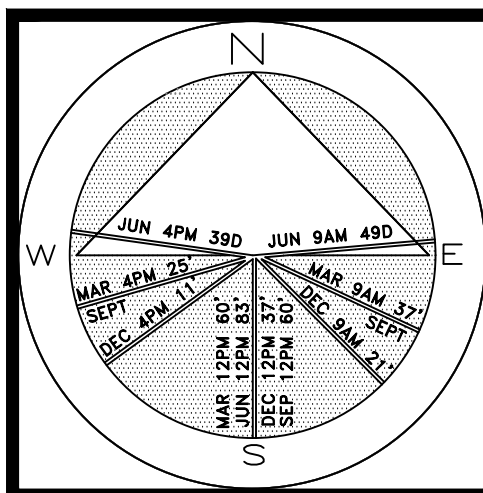


JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L5.1



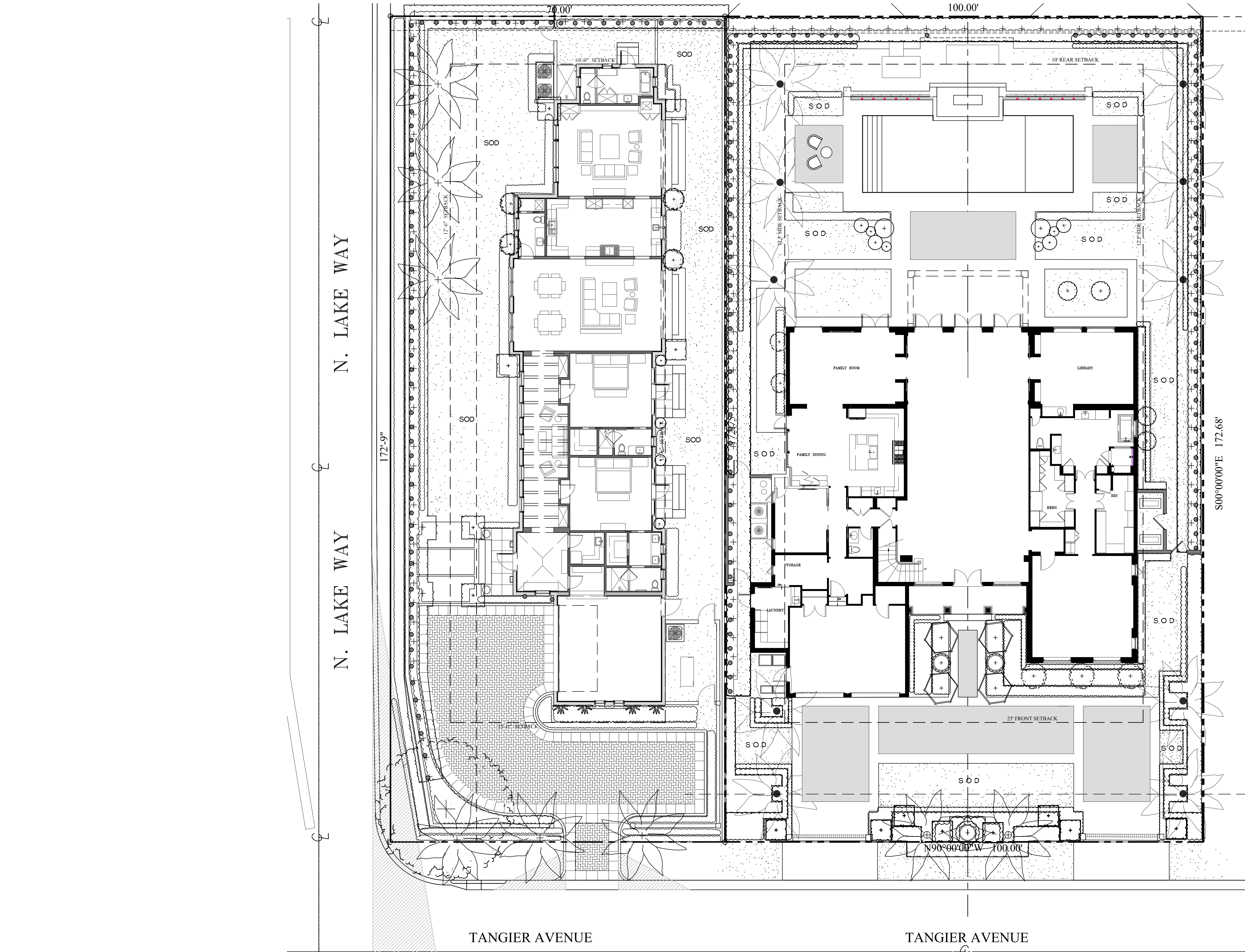
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SHEET L6.1

100 sf.
AREA IN SQ. FT.



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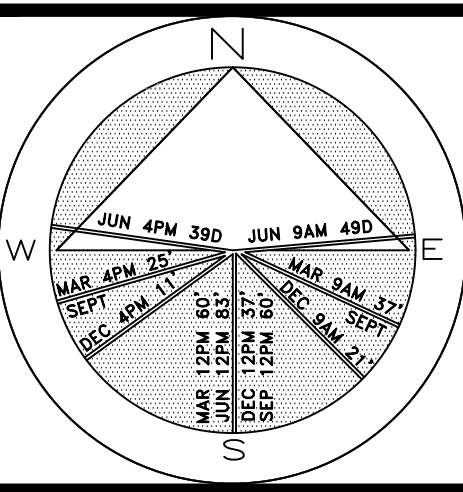
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515 N Lake Way & 273 Tangier Landscape

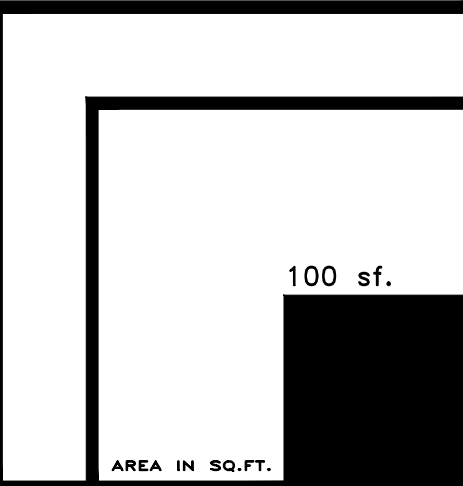
ARC-24-0023
ZON-24-0010
SCALE IN FEET 0' 10' 20' 30'

Private Residence
515 N Lake Way
Palm Beach



JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
Calisto Weigel
DATE: 12.03.2024

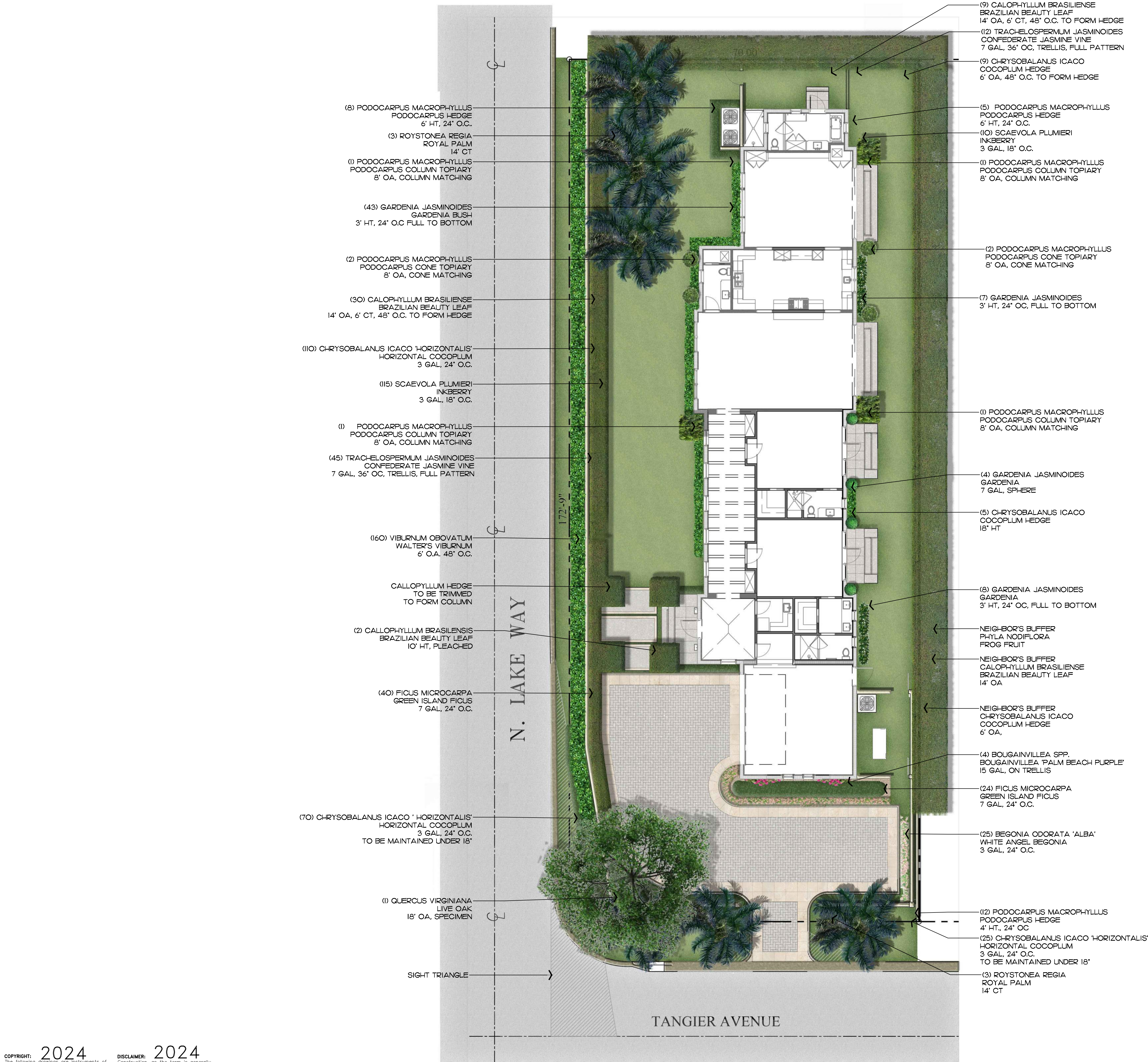
SHEET L6.2



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Rendered Landscape Plan

ARC-24-0023
ZON-24-0010
SCALE IN FEET 0' 10' 20' 30'

A
D
I
R
O
L
F



West Elevation



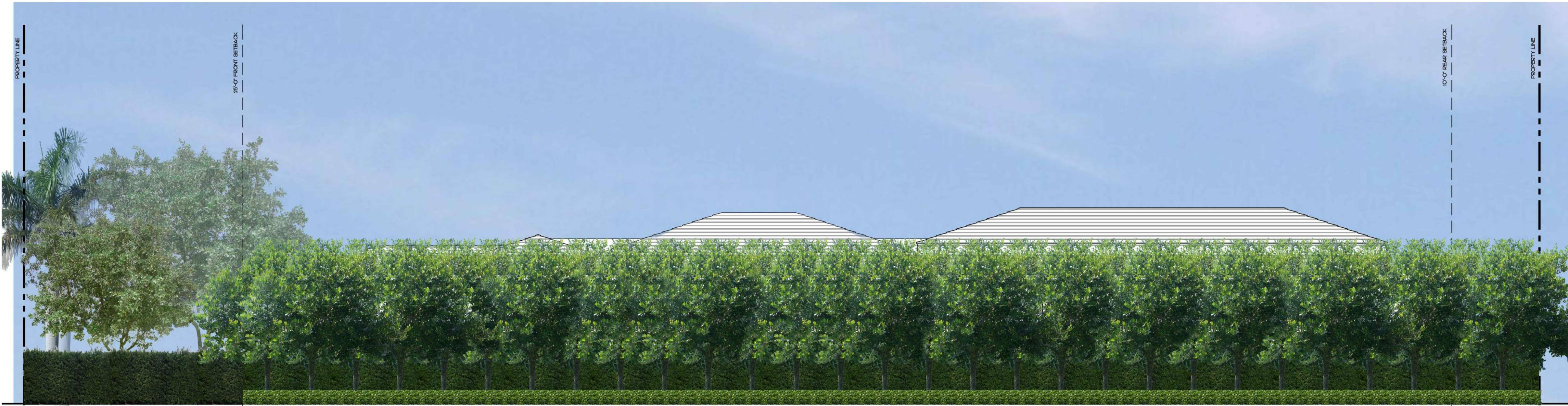
South Elevation

Private Residence
515 N Lake Way
Palm Beach

F L O R I D A

JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L7.0



East Elevation



North Elevation

Private Residence
515 N Lake Way
Palm Beach

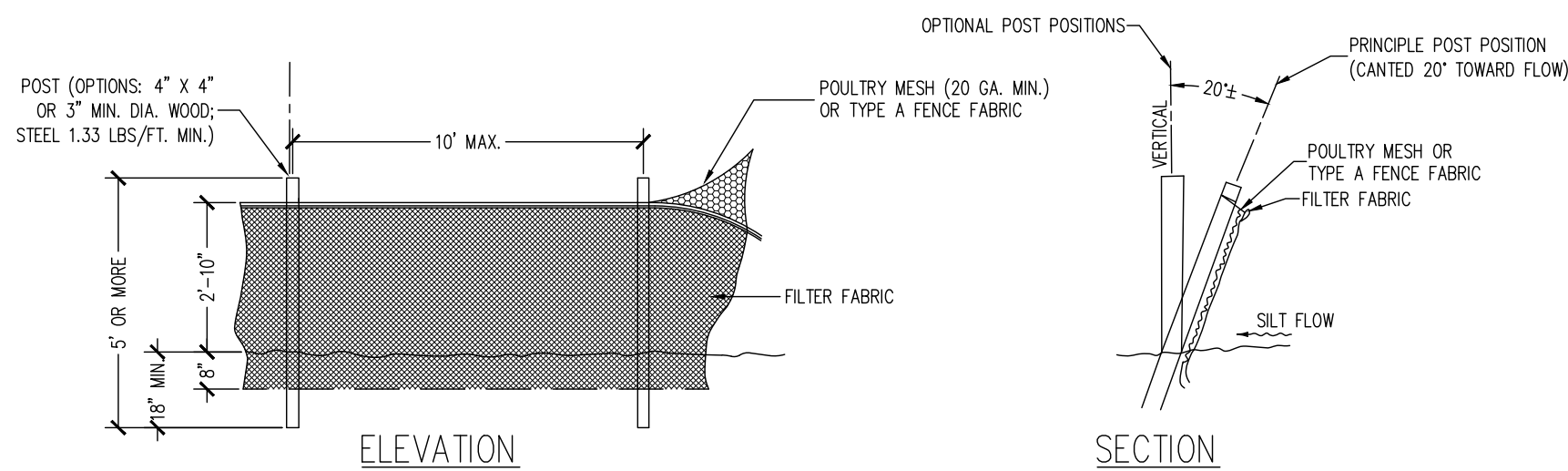
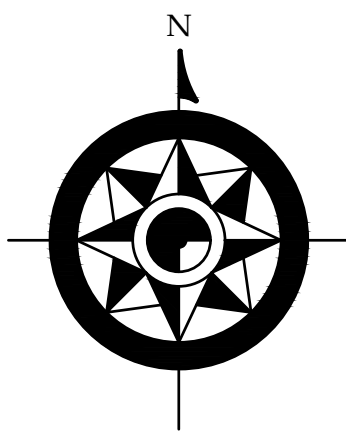
F L O R I D A

JOB NUMBER: # 24016.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 12.03.2024

SHEET L7.1

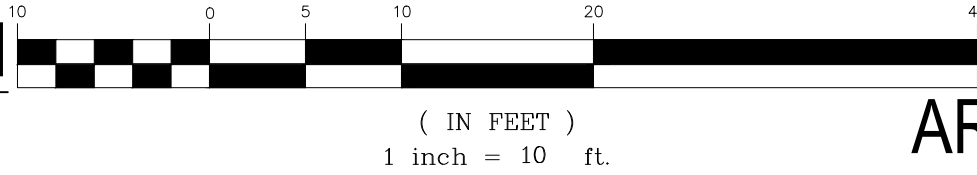
ARC-24-0023
ZON-24-0010

Site Elevations



SILT FENCE DETAIL
N.T.S.

EROSION CONTROL AND CONSTRUCTION STAGING PLAN

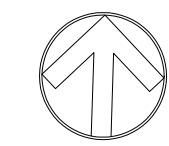
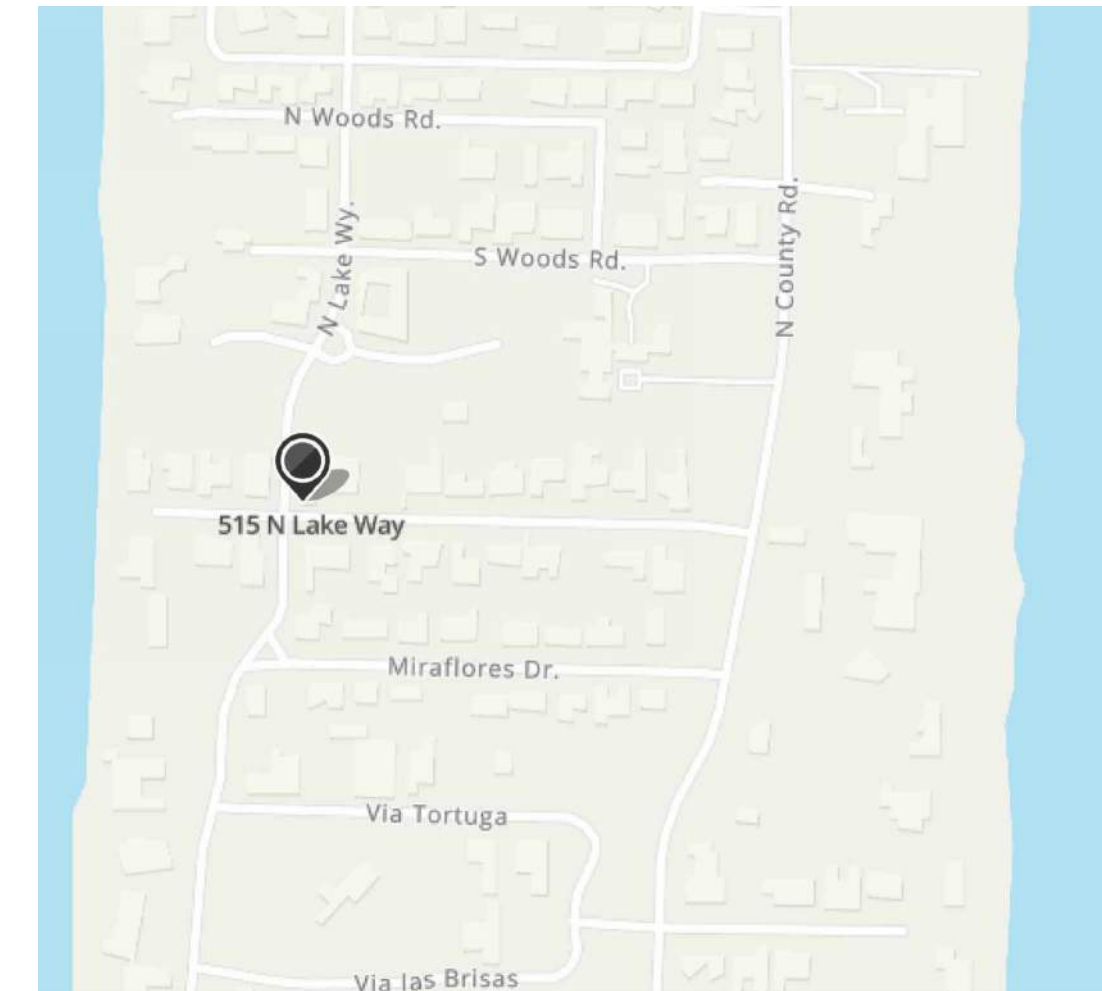


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LOCATION MAP
N.T.S.

LEGEND

- EXISTING ELEVATION PER WALLACE SURVEYING, INC. (NAVD)
- SILT FENCE
- CONSTRUCTION FENCE
- CONSTRUCTION STAGING AREA

NOTES:
1. ADDITIONAL SCREENING HEIGHTS MAY BE NEEDED BASED ON NEIGHBOR'S LINE OF SIGHT. A PERIMETER CONSTRUCTION FENCE NEEDS TO BE INSTALLED ON THE SIDE OF THE SITE WHERE SITE WORK IS PROPOSED.

Andre M
Webster

Digitally signed by
Andre M Webster
Date: 2024.10.25
11:29:58 -04'00'

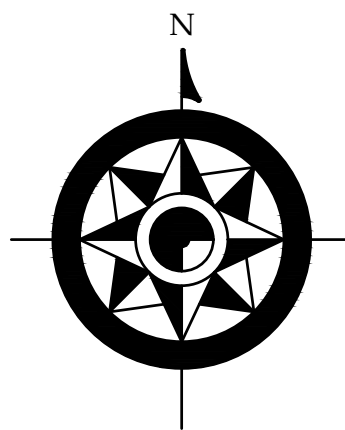
cec
CIVIL ENGINEERING CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398
www.cec-fl.com
andre@cec-fl.com

No.	Revisions:	Date:

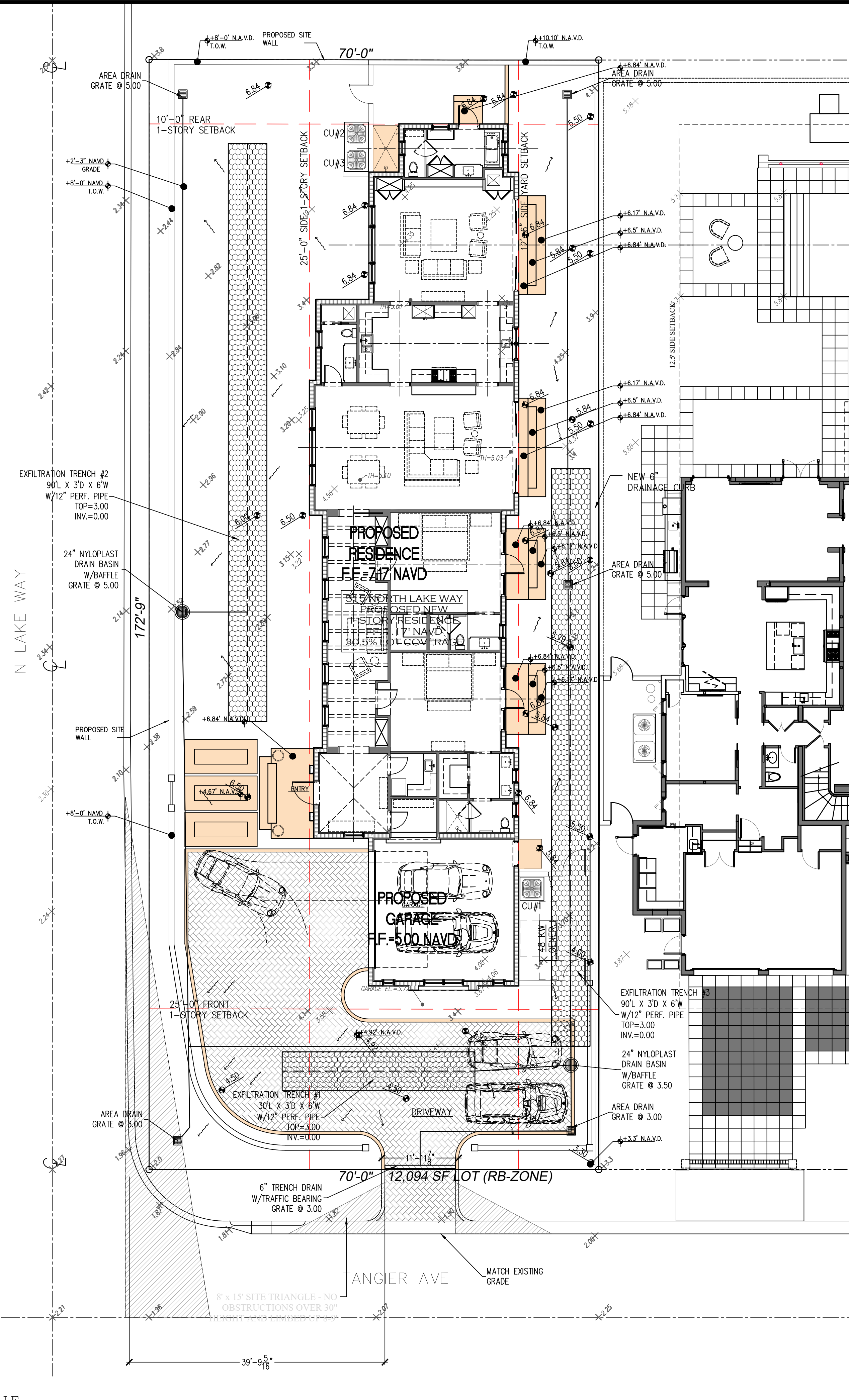
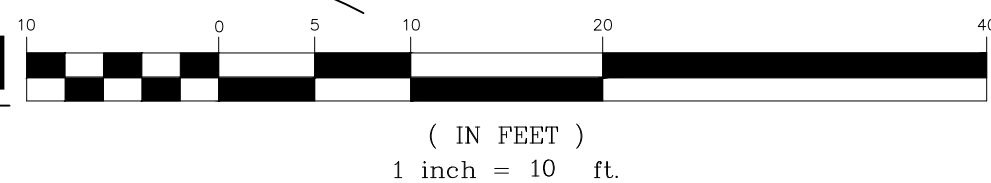
CIVIL PLANS FOR:
PROPOSED RESIDENCE
515 NORTH LAKE WAY
PALM BEACH, FLORIDA

Project #:	24-030
Issue Date:	03/01/24
Drawn By:	MAW
Chkd By:	AMW
Scale:	As Shown

PROFESSIONAL SEAL
ANDRE M. WEBSTER
No. 87358
STATE OF FLORIDA
P.E.
12/24/2018
SHEET TITLE
EROSION CONTROL
AND CONSTRUCTION
STAGING PLAN
SHEET NUMBER:
EC-1



DRAINAGE & GRADING PLAN



PROPOSED RESIDENCE
515 NORTH LAKE WAY
PALM BEACH, FLORIDA

STORMWATER MANAGEMENT CALCULATIONS

SITE PLAN DATA

Total Lot Area = 12,094 sq. ft. ±

Impervious Area
(footprint, drive, walkways, pool, decking) = 8,466 sq.ft. ±

Pervious Area = 3,628 sq.ft. ±

ESTIMATED RUNOFF VOLUME

Impervious Runoff Volume:
2" x 8,466 sq.ft. x 1 ft./12 in. = 1,411 cu.ft.

Pervious Runoff Volume:
0.4" x 3,628 sq.ft. x 1 ft./12 in. = 121 cu.ft.

Total Volume to be Retained = 1,532 cu.ft.

EXFILTRATION TRENCH #1

L = Total Length of Trench Provided = 30 ft

W = Trench Width = 6 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. per ft. of head

H2 = Depth to Water Table = 1.50 ft

DU = Non-Saturated Trench Depth = 1.50 ft

DS = Saturated Trench Depth = 1.50 ft

V = Volume Treated = 222 cu.ft.

EXFILTRATION TRENCH #2 & #3

L = Total Length of Trench Provided = 90 ft

W = Trench Width = 6 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. per ft. of head

H2 = Depth to Water Table = 1.50 ft

DU = Non-Saturated Trench Depth = 1.50 ft

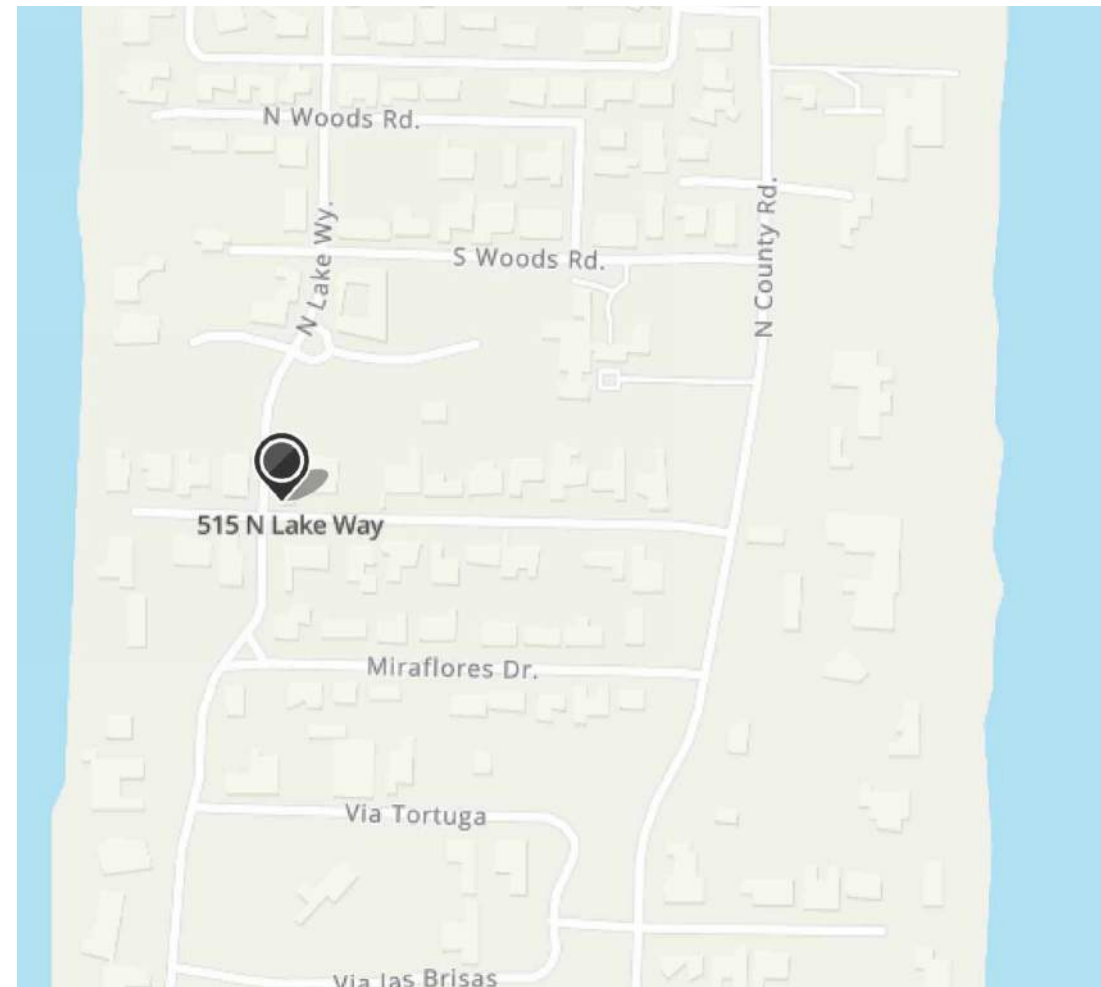
DS = Saturated Trench Depth = 1.50 ft

V = Volume Treated = 666 cu.ft.

RETENTION PROVIDED IN TRENCH = 1,554 cu.ft.



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LEGEND

- EXISTING ELEVATION PER WALLACE SURVEYING, INC. (NAVD)
- PROPOSED ELEVATION (NAVD)
- FLOW DIRECTION.
- DOWNSPOUT
- AREA DRAIN
- EXFILTRATION TRENCH
- NYLOPLAST DRAIN BASIN W/BAFFLE

- NOTES:
- SITE DRAINAGE PLAN TO MEET TOWN OF PALM BEACH STORMWATER REQUIREMENTS. DURING DETAILED CONSTRUCTION PLAN PREPARATION, ADDITIONAL DRAINAGE IMPROVEMENTS MAY BE INCORPORATED INTO THE SITE DRAINAGE PLAN FROM THAT SHOWN. IF NECESSARY, STEM WALLS OR OTHER ITEMS MAY BE REQUIRED ALONG THE PROPERTY LINES TO PREVENT RUNOFF ONTO ADJACENT PROPERTIES.
 - ALL PORTIONS OF EXFILTRATION TRENCHES ADJACENT TO PLANT MATERIAL HAVING AN INVASIVE ROOT SYSTEM SHALL BE PROTECTED WITH A ROOT BARRIER.

Andre M
Webster

Digitally signed by
Andre M Webster
Date: 2024.10.25
11:30:16 -04'00'

Civil Engineering Consulting, Inc.
CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398
www.cec-fl.com

No.	Revisions:	Date:

CIVIL PLANS FOR:
PROPOSED RESIDENCE
515 NORTH LAKE WAY
PALM BEACH, FLORIDA

Project #:	24-030
Issue Date:	03/01/24
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

Andre M. Webster, P.E.
Florida License No. 87358

SHEET TITLE
DRAINAGE & GRADING PLAN

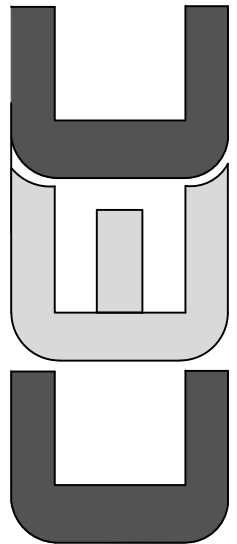
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ARC-24-0023



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Call before you dig.



CIVIL ENGINEERING CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398

andre@cec-fl.com

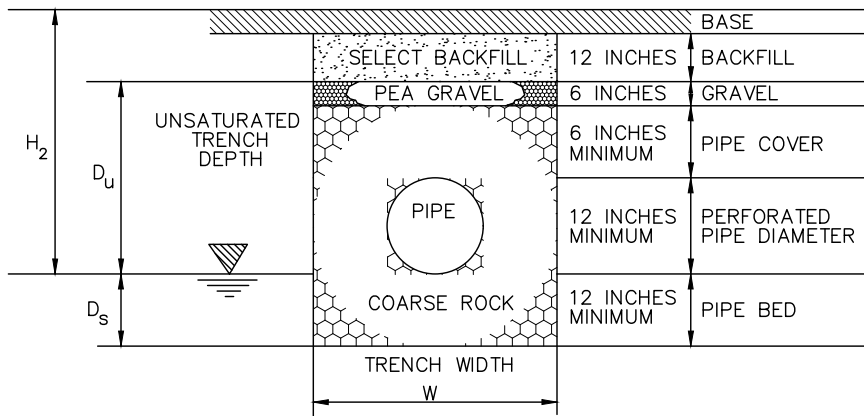
No:	Revisions:	Date:

CIVIL PLANS FOR:
PROPOSED RESIDENCE
515 NORTH LAKE WAY
PALM BEACH, FLORIDA

Project #:	24-030
Issue Date:	03/01/24
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

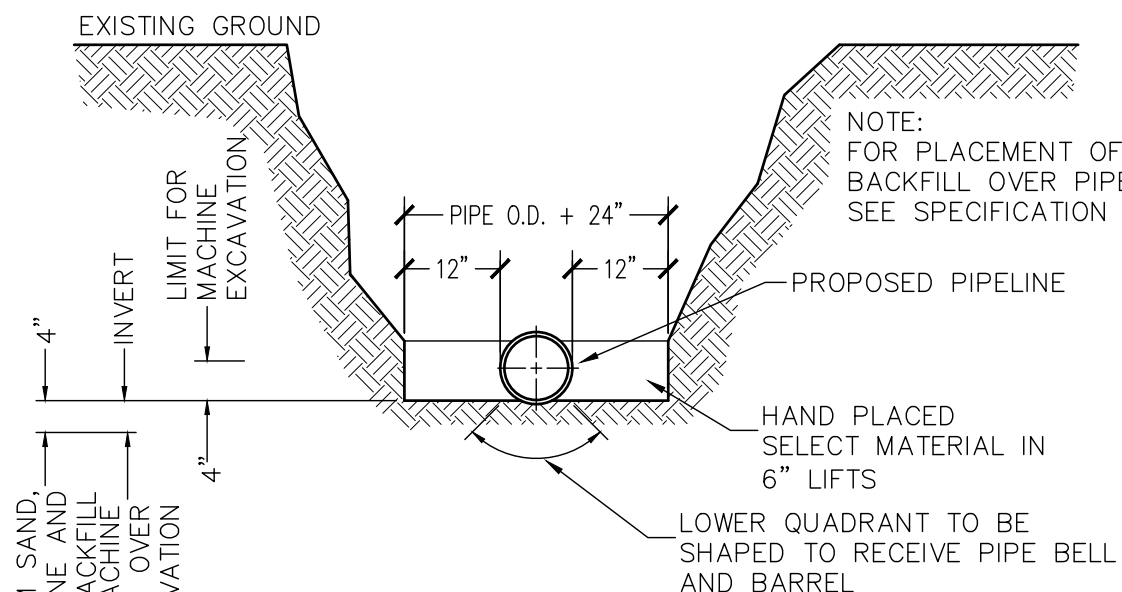
SHEET TITLE	DRAINAGE & GRADING DETAILS
SHEET NUMBER:	C-2

TYPICAL EXFILTRATION TRENCH



$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

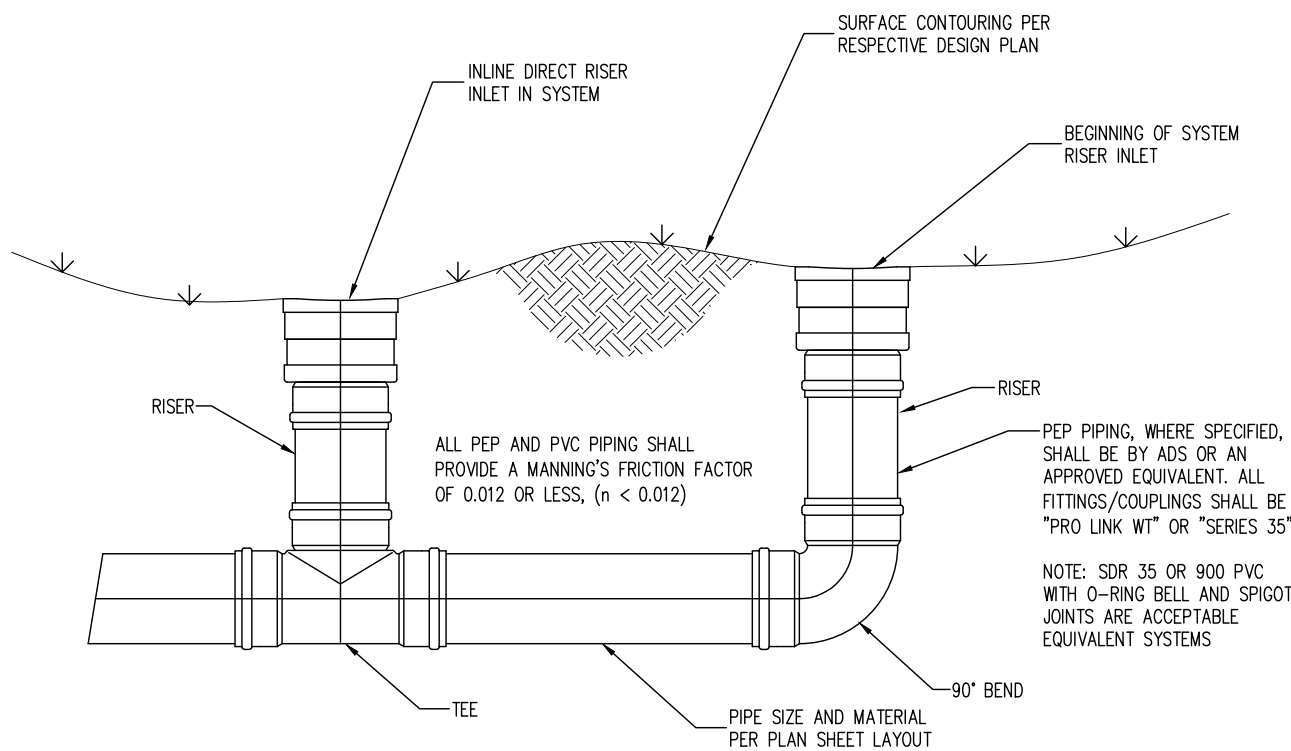
L = LENGTH OF TRENCH REQUIRED (FEET)
V = VOLUME TREATED (ACRE-INCHES)
W = TRENCH WIDTH (FEET)
K = HYDRAULIC CONDUCTIVITY (CFS/FT.² - FT.HEAD)
H₂ = DEPTH TO WATER TABLE (FEET)
D_u = NON-SATURATED TRENCH DEPTH (FEET)
D_s = SATURATED TRENCH DEPTH (FEET)



- EXCAVATION SIDE SLOPE SHORING, ETC. SHALL CONFORM TO O.S.H.A. STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHTS-OF-WAY AND 200' IN EASEMENTS.
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8"-7/8" SIZING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS, HARDPAN AND LARGER ROCKS SHALL BE REMOVED.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK, HARDPAN AND DEBRIS.
- SEE SEPARATE DETAIL FOR "PIPE INSTALLATION UNDER EXISTING PAVEMENT-OPEN CUT."

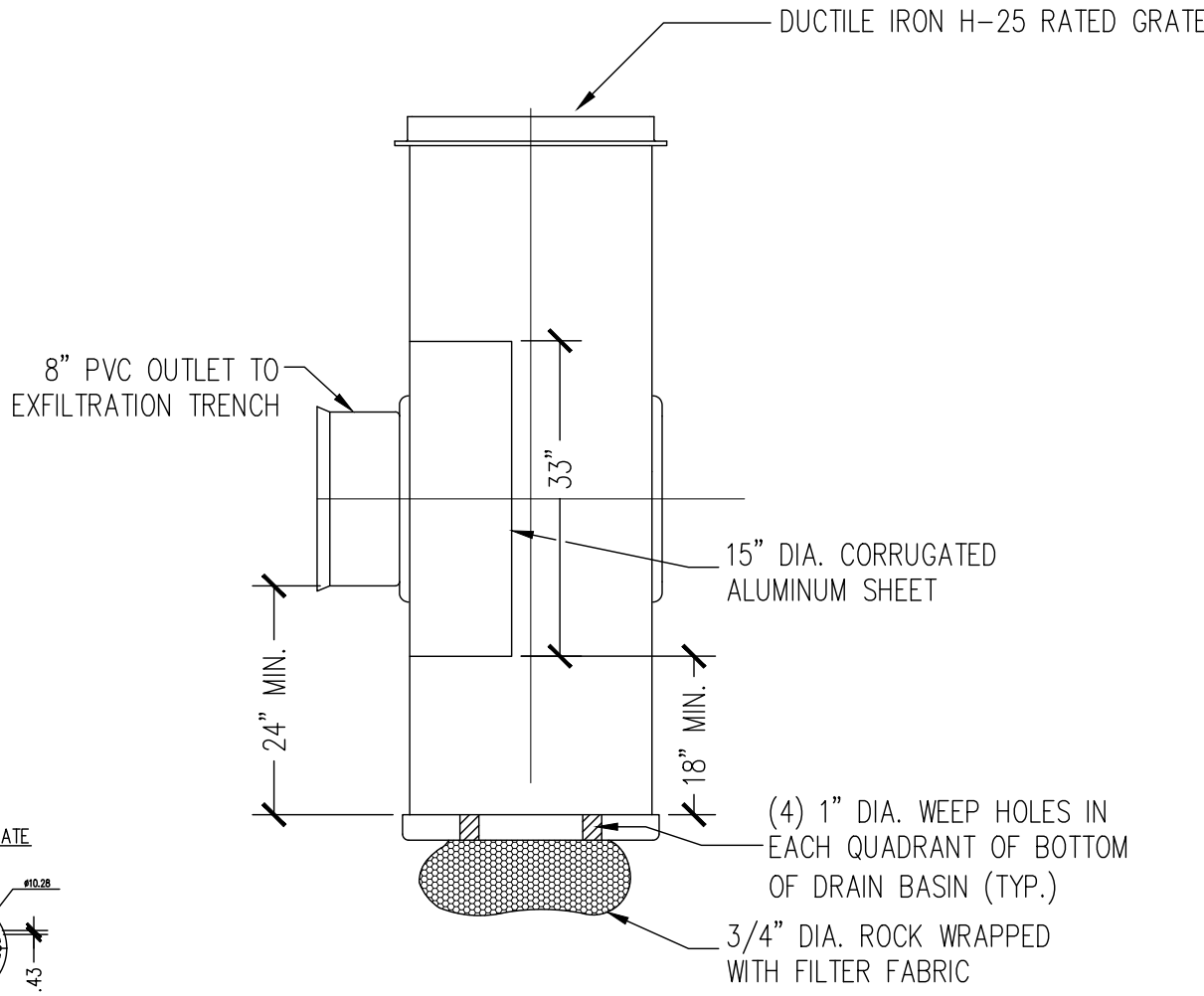
THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.

TRENCH AND BACKFILL DETAIL
N.T.S.



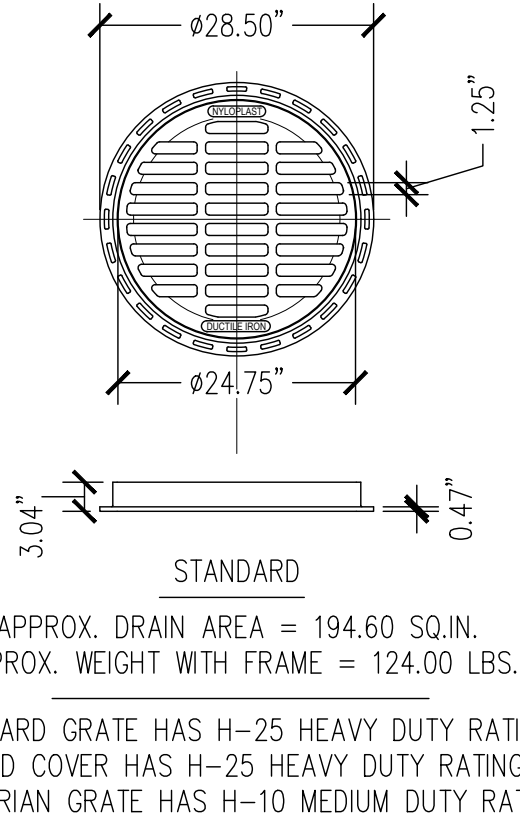
DIRECT RISER INLET: TYPICAL INSTALLATION
N.T.S.

24" NYLOPLAST DRAIN BASIN



NOTE:
INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET

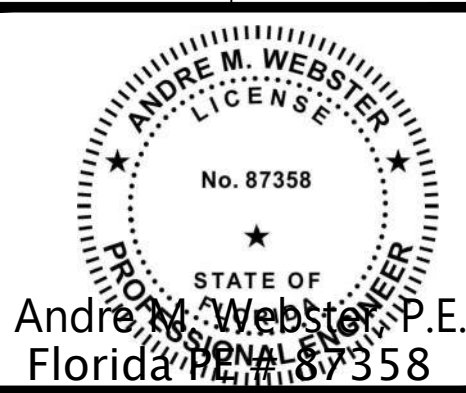
24" DUCTILE IRON GRATE



QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
MATERIAL: DUCTILE IRON
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST PRICE INCLUDES FRAME & GRATE/COVER

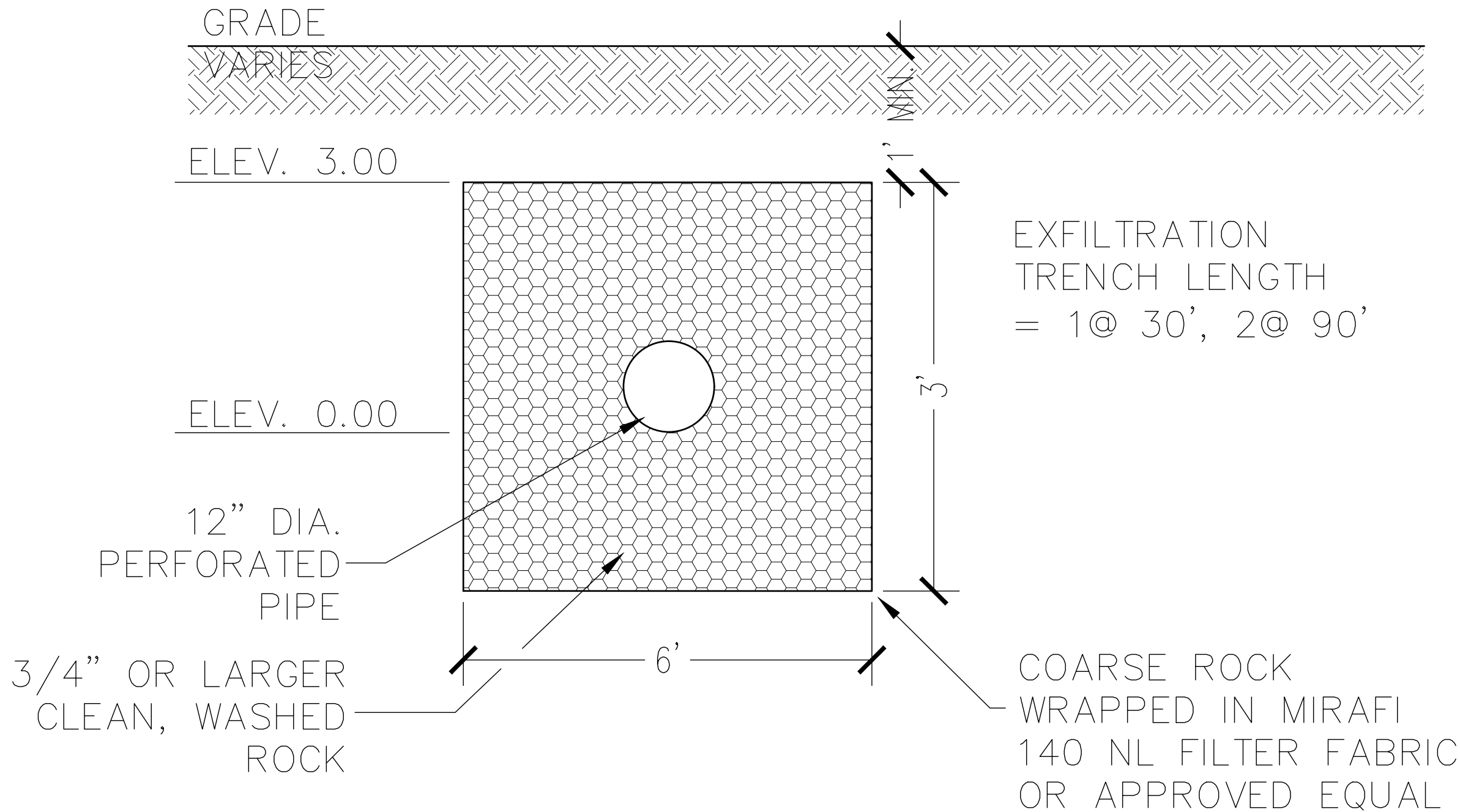
Andre M Webster

Digitally signed by
Andre M Webster
Date: 2024.10.25
11:30:34 -04'00'



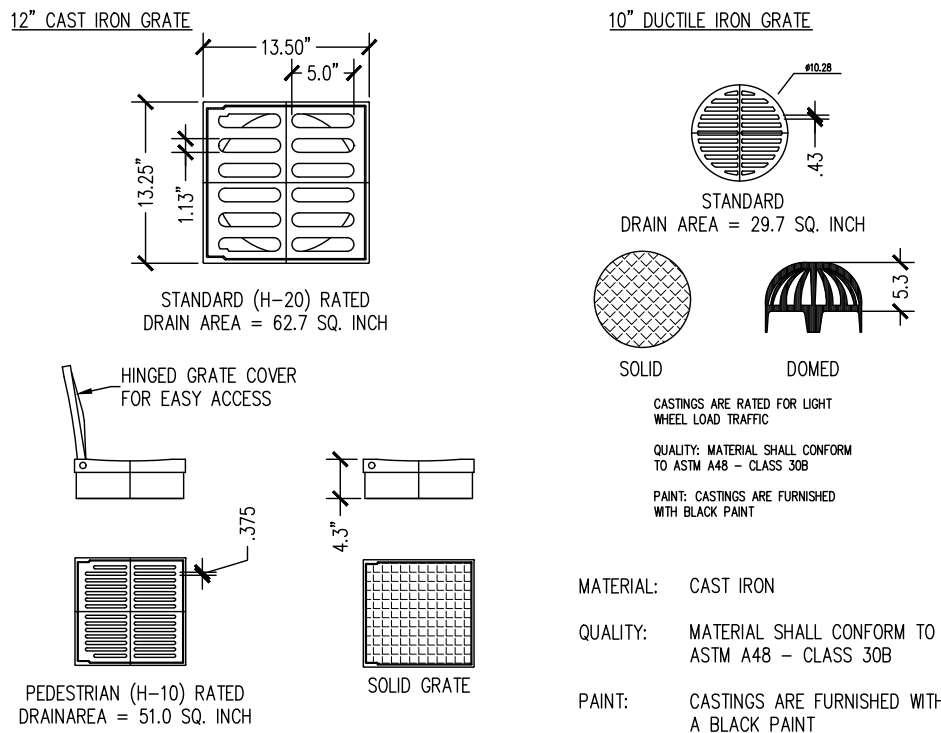
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EXFILTRATION TRENCH DETAIL

N.T.S.



NOTE:
TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT
PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL

AREA DRAIN DETAIL