



KIRCHHOFF & ASSOCIATES
ARCHITECTS

LETTER OF INTENT
RENOVATION TO EXISTING
ONE-STORY CABANA STRUCTURE
AT 150 S OCEAN BOULEVARD
COA-24-0020

Please find for review the attached drawings for our project at 150 South Ocean in the R-B Zoning District Palm Beach. The site has an existing two-story main residence with both an attached and a detached one-story cabana structure. Our project proposal is to remove two existing wood paneled doors on the attached cabana, which are replicas of the original doors, and replace with them with glazed doors. Please note the following:

A) LANDMARKS PRESERVATION COMMISSION 54-122 & 54-161

- (a) As applicable to the scope of work, the following aspects of new construction shall be visually compatible with the buildings and environment with which the new construction is visually related:
 - (1) The height, the gross volume, and the proportion between width and height of the facade;
 - (2) The proportions and relationships between doors and windows;
 - (3) The rhythm of solids to voids created by openings in the facade;
 - (4) The materials used in the facade;
 - (5) The texture inherent in the facade;
 - (6) The colors, pattern and trim used in the facade; and
 - (7) The design of the roof.
- (b) Existing rhythm created by existing building masses and space between them should be preserved. No change to opening sizes.
- (c) The landscape plan should be sensitive to the individual building and its occupants and needs and should be visually compatible with the buildings and environment with which it is visually related. No change to the landscaping.
- (d) A new street facade should blend directionally with other buildings with which it is visually related; which is to say, when adjacent buildings have a dominant horizontal or vertical expression, that expression should be carried over in the new facade. No change to street facades.
- (e) Architectural details should be incorporated as necessary to relate the new with the old and to preserve and enhance the inherent architectural characteristics of the area. New doors to match existing doors on-site.

1. Exemplifies or reflects the broad cultural, political, economic or social history of the nation, state, county or town.
2. Is identified with historic personages or with important events in national, state or local history.
3. Embodies distinguishing characteristics of an architectural type or is a specimen inherently valuable for the study of a period, style, method of construction or use of indigenous materials or craftsmanship.
4. Is representative of the notable work of a master builder, designer or architect whose individual ability has been recognized or who influenced his age.

B) ARCOM 18-205

Not applicable.

C) ARCOM 18-206 – CRITERIA FOR DEMOLITION PERMIT

Not needed for this application.

D) SITE PLAN REVIEW 134-329

Not needed for this application.

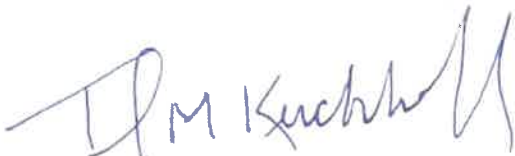
E) VARIANCES

Not needed for this application.

F) OTHER

Not applicable.

Sincerely,

A handwritten signature in blue ink, appearing to read 'T M Kirchhoff', is written over a horizontal line.

Thomas M Kirchhoff
Principal Architect