



## Zoning Legend

PROPERTY ADDRESS	310 PLANTATION RD		
ZONING DISTRICT	R-B LOW DENSITY		
LOT AREA (SQ. FT.)	11,241 S.F.		
LOT WIDTH (W) & LOT DEPTH (D) (FT.)	SEE SURVEY		
STRUCTURE TYPE:	SINGLE FAMILY HOME		
FEMA FLOOD ZONE DESIGNATION:	FLOOD ZONE AE (EL 6)		
ZERO DATUM FOR POINT OF MEAS. (NAVD)	N/A		
CROWN OF ROAD (COR) (NAVD)			
	REQ'D / PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	30%	31%	31%
ENCLOSED SQUARE FOOTAGE	3,562 SF	3,562 SF	3,562 SF
FRONT YARD SETBACK (FT.)	25'	25'	25'
SIDE YARD SETBACK (WEST) (FT.)	15'	5'-11"	5'-11"
SIDE YARD SETBACK (EAST) (FT.)	15'	10'-0"	10'-0"
REAR YARD SETBACK (FT.)	15'	15'-11"	15'-11"
ANGLE OF VISION (DEG.)	100	100	100
BUILDING HEIGHT (FT.)	TBD	N/A	N/A
OVERALL BUILDING HEIGHT (FT.)	TBD	N/A	N/A
CUBIC CONTENT RATIO (CCR) (R-B ONLY)	3.98	N/A	N/A
MAX. FILL ADDED TO SITE (FT.)	.42'	N/A	4.4'**
FINISHED FLOOR ELEVATION (FFE) (NAVD)	9.90	9.90	9.90
BASE FLOOD ELEVATION (FFE) (NAVD)	N/A	N/A	N/A

## Landscape Legend

	REQ'D / PERMITTED	EXISTING	PROPOSED
LANDSCAPE OPEN SPACE (LOS) (SQ. FT. AND %)	45% MINIMUM 5,058 SF.	27.3% 3,075 SF.	27.7% 3,087 SF.
LOS TO BE ALTERED (SQ. FT. AND %)	XX	N/A	1,053 SF 9.3%
PERIMETER LOS (SQ. FT. AND %)	50% OF OPEN SPACE 2,529 SF	47% 2,382 SF	51% 2,548 SF
FRONT YARD LOS (SQ. FT. AND %)	40% MIN. 2,250 SF.	33.4% 835 SF.	33.4% 835 SF.
NATIVE TREES %	30%	100%	100%
NATIVE SHRUBS & VINES %	30%	100%	100%
NATIVE GROUNDCOVER %	30%	100%	100%

SEE OPEN SPACE CALCULATIONS PLAN FOR MORE INFORMATION

\*\*MAX FILL CALCULATION = (9.90 - 9.06)/2 = 0.42 FT.) THE PROPOSED IMPROVEMENTS REQUIRE 4.40' MAX FILL-THE ALLOWED .042+3.96' OF FILL RELIEF.  
\*\*MAX HEIGHT OF SITE WALL IN THE REAR AND SIDE YARD IS 7' HT. THE VARIANCE REQUEST IS FOR AN ADDITIONAL WALL HEIGHT INCREASE OF 1.4'.  
\*\*MAX HEIGHT FOR GENERATOR IS 7' HT. THE VARIANCE REQUEST IS FOR AN ADDITIONAL WALL HEIGHT INCREASE OF 1.4'.

## Private Residence 310 Plantation Ave Palm Beach

F L O R I D A

Application #: ARC-24-0088 /  
ZON-24-0054

Presentation Submittal  
Date of Presentation: 11.22.24

## Sheet Index

### Cover Sheet Survey

- L1.0 - Existing General Site Photos
- L2.0 - Existing Vegetation Inventory & Action Plan
- L3.0 - Demolition and Vegetation Action Plan
- L4.0 - Construction Screening & Staging Plan
- L5.0 - Truck Logistics Plan
- L6.0 - Site Plan
- L6.1 - Open Space Diagram
- L7.0 - Landscape Alteration Diagram

### L8.0 - Landscape Plan

### L8.1 - Plant Schedule

### L9.0 Details

### L9.1 Details

### L9.2 Cross Sections

### L10.0 - Plan Rendering

### L10.1 - Elevations

### L10.1 - Elevations

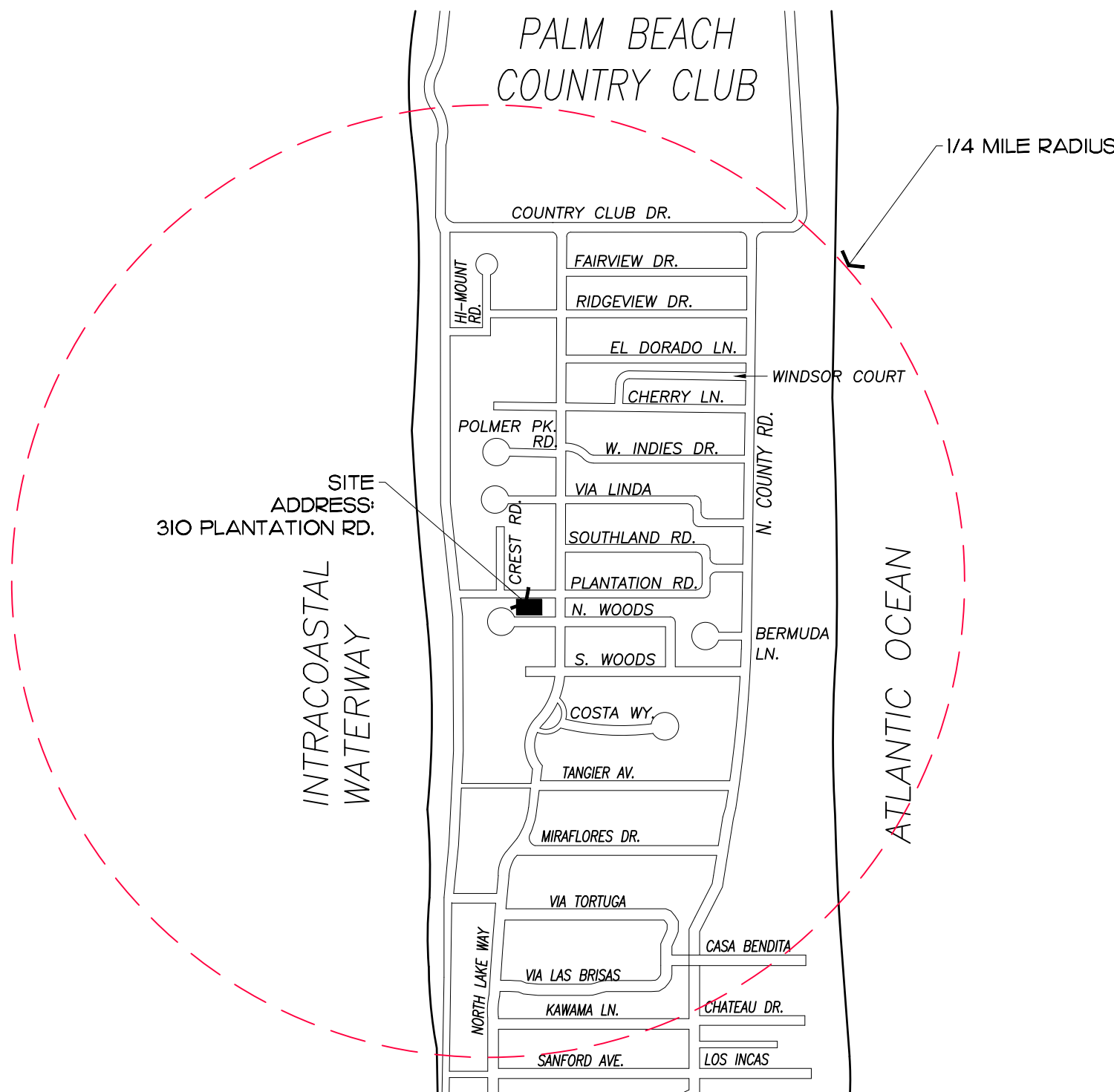
### L10.1 - Elevations

## Design Team/Consultants

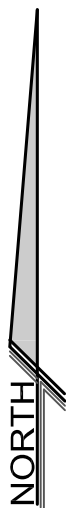
### Landscape Architects

ENVIRONMENT DESIGN GROUP  
139 NORTH COUNTY ROAD SUITE 20B  
PALM BEACH, FL 33480  
561.832.4600

WWW.ENVIRONMENTDESIGNGROUP.COM



## Vicinity/Location Map



**SURVEY NOTES:**

1. Lands shown hereon reflect all pertinent easements and/or rights of way contained in Commonwealth Land Title Insurance Company, Commitment for Title Insurance; Order Number: PG582309314; Commitment Date: October 3, 2023 at 08:00 AM; See "Notes on Schedule B2 Title Exceptions".
2. Area of subject property = 11,241 square feet (0.2581 acres).
3. No underground improvements located.
4. Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Distances are plat and measured unless otherwise shown.
5. This firm's "Certificate of Authorization" number is "LB 6838".
6. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  - a) ORIGINATING BENCHMARK = LEICA GLOBAL POSITIONING SYSTEM.
  - b) = EXISTING ELEVATION (NAVD 88 TYPICAL).

**NOTES ON SCHEDULE B2 TITLE EXCEPTIONS:**

- 1-5. **Standard exceptions, not plottable.**
6. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of East Shore Addition, recorded in Plat Book 21, Page 14, of the Public Records of Palm Beach County, Florida. **Affects the subject property. All pertinent matters are plotted hereon.**
7. Terms, conditions and provisions of Underground Easement in favor of Florida Power & Light Company, Bellsouth Telecommunications, LLC, Comcast Corporation and the Town of Palm Beach recorded in Official Records Book 32669, Page 879 in the Public Records of Palm Beach County, Florida. (as to subject property). **Affects the subject property and is plotted hereon.**
8. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements. **Not plottable.**

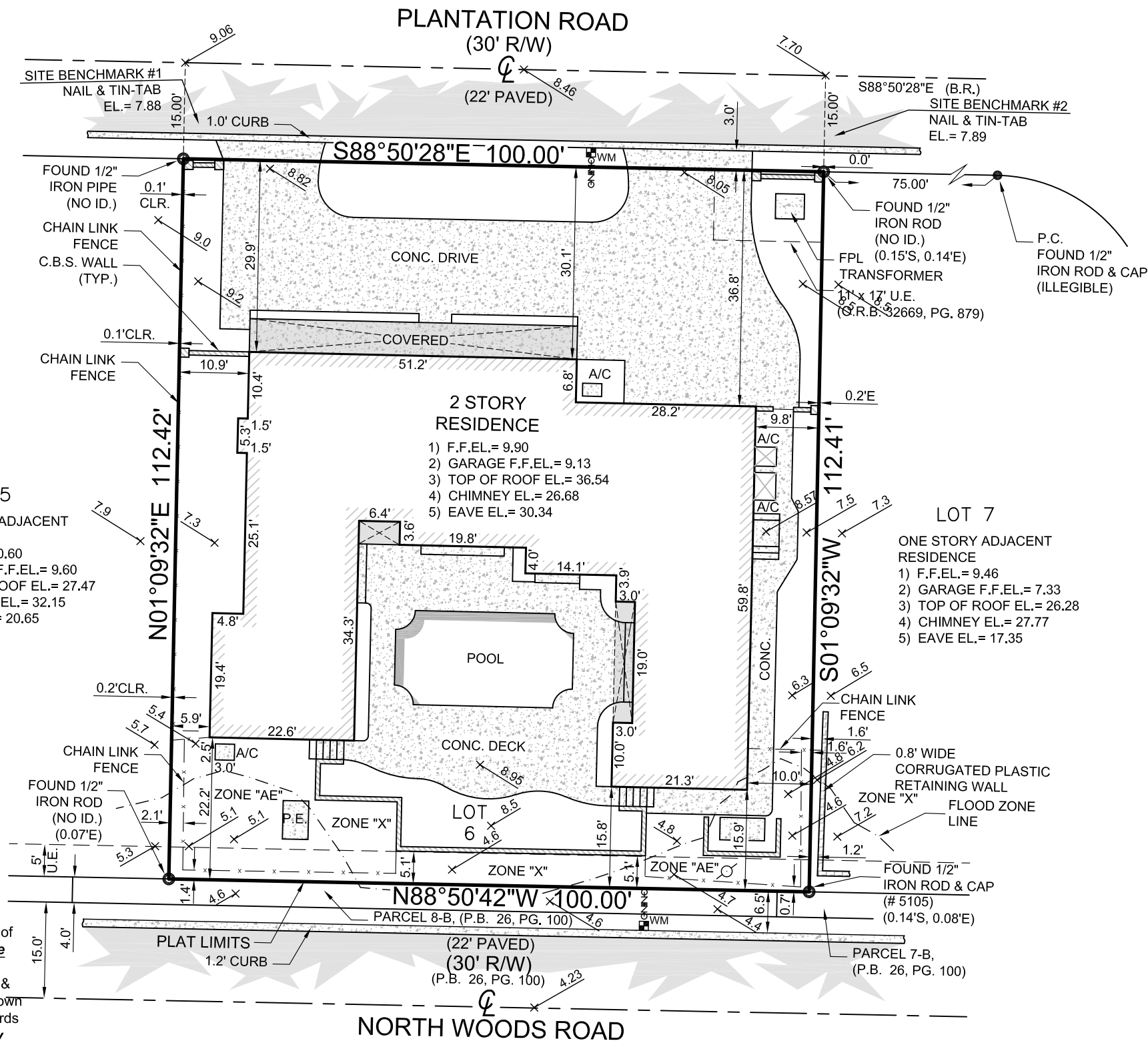
**LEGEND:**

CALC.	= CALCULATED	(P)	= PLAT	P.I.	= POINT OF INTERSECTION		= ASPHALT PAVEMENT
C.B.S.	= CONCRETE BLOCK STRUCTURE	R	= RADIUS	P.O.C.	= POINT OF COMMENCEMENT		= CONCRETE FLATWORK
CONC. MON.	= CONCRETE MONUMENT	Δ	= CENTRAL "DELTA" ANGLE	P.O.B.	= POINT OF BEGINNING		= PAVER BRICK FLATWORK
CONC.	= CONCRETE	L	= ARC LENGTH	R/W	= RIGHT OF WAY		= WOOD POWER POLE
D.E.	= DRAINAGE EASEMENT	CH.B.	= CHORD BEARING	— x — x —	= CHAIN LINK FENCE		= WATER METER
U.E.	= UTILITY EASEMENT	N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM	— □ — □ —	= WOOD FENCE		= FIRE HYDRANT
P.E.	= POOL EQUIPMENT	O.R.B.	= OFFICIAL RECORD BOOK	— ○ — ○ —	= METAL FENCE		= CATCH BASIN
F.F.EL.	= FINISHED FLOOR ELEVATION	P.B.	= PLAT BOOK	— — — — —	= CENTERLINE		= SANITARY MANHOLE
EL.	= ELEVATION	P.C.	= POINT OF CURVATURE	— — — — —	= EASEMENT		
(B.R.)	= BEARING REFERENCE	P.T.	= POINT OF TANGENCY	— — — — —	= COVERED		
(D)	= DEED	P.R.C.	= POINT OF REVERSE CURVATURE	— — — — —	= OVERHEAD LINES		
(M)	= MEASURED	P.C.C.	= POINT OF COMPOUND CURVATURE	— — — — —	= LOT TIE		

**LOT 5**

**ONE STORY ADJACENT RESIDENCE**

- 1) F.F.EL.= 10.60
- 2) GARAGE F.F.EL.= 9.60
- 3) TOP OF ROOF EL.= 27.47
- 4) CHIMNEY EL.= 32.15
- 5) EAVE EL.= 20.65



**REVISIONS:**


**CERTIFIED TO:** John J. Burns, III ; ; Bank of America, N.A., its successors and/or assigns, as their interest may appear; Commonwealth Land Title Insurance Company; Trident Title, a division of LandCastle Title Group, LLC  
**PROPERTY ADDRESS:** 310 Plantation Road , Palm Beach , FL 33480  
**FLOOD ZONE:** X & AE (120220-12099C0581F 10/05/2017)  
**DESCRIPTION:** Lot 6, East Shore Addition, according to the Plat thereof, as recorded in Plat Book 21, Page 14, Public Records of Palm Beach County, Florida.

This survey is not valid without embossed surveyor's seal and/or an authenticated electronic signature and authenticated electronic seal.

Registered Land Surveyor, Florida Certificate No. MICHAEL J. MILLER #4034

CRD. FILE Y231105

SCALE:	1" = 20'	<b>MILLER LAND SURVEYING</b> 1121 LAKE AVENUE LAKE WORTH BEACH, FLORIDA 33460 PHONE: (561) 586-2669 - FAX: (561) 582-0151 www.millersurveying.com e-mail: orders@millersurveying.com	REF:	C86/1 F41/65 F44/64	F-49/7 O-65/36
DRAWN BY:	PICARD		PREV.	Y150125 Y201208 Y230593	Y231105
FIELD WK:	M.M. / B.M.		JOB NO'S.	Y230593	
DATE:	07/19/2024		JOB NO.	Y240675	
			<b>S - 47,445 - D</b>		





Existing North Elevation



Existing North Elevation



Existing East Buffer



Existing South Buffer



Existing South Buffer



Existing Pool Deck



Existing South Buffer



Existing West Buffer

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
310 Plantation Rd  
Town of Palm Beach

JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman

DATE: 09.09.2024

SHEET L1.0

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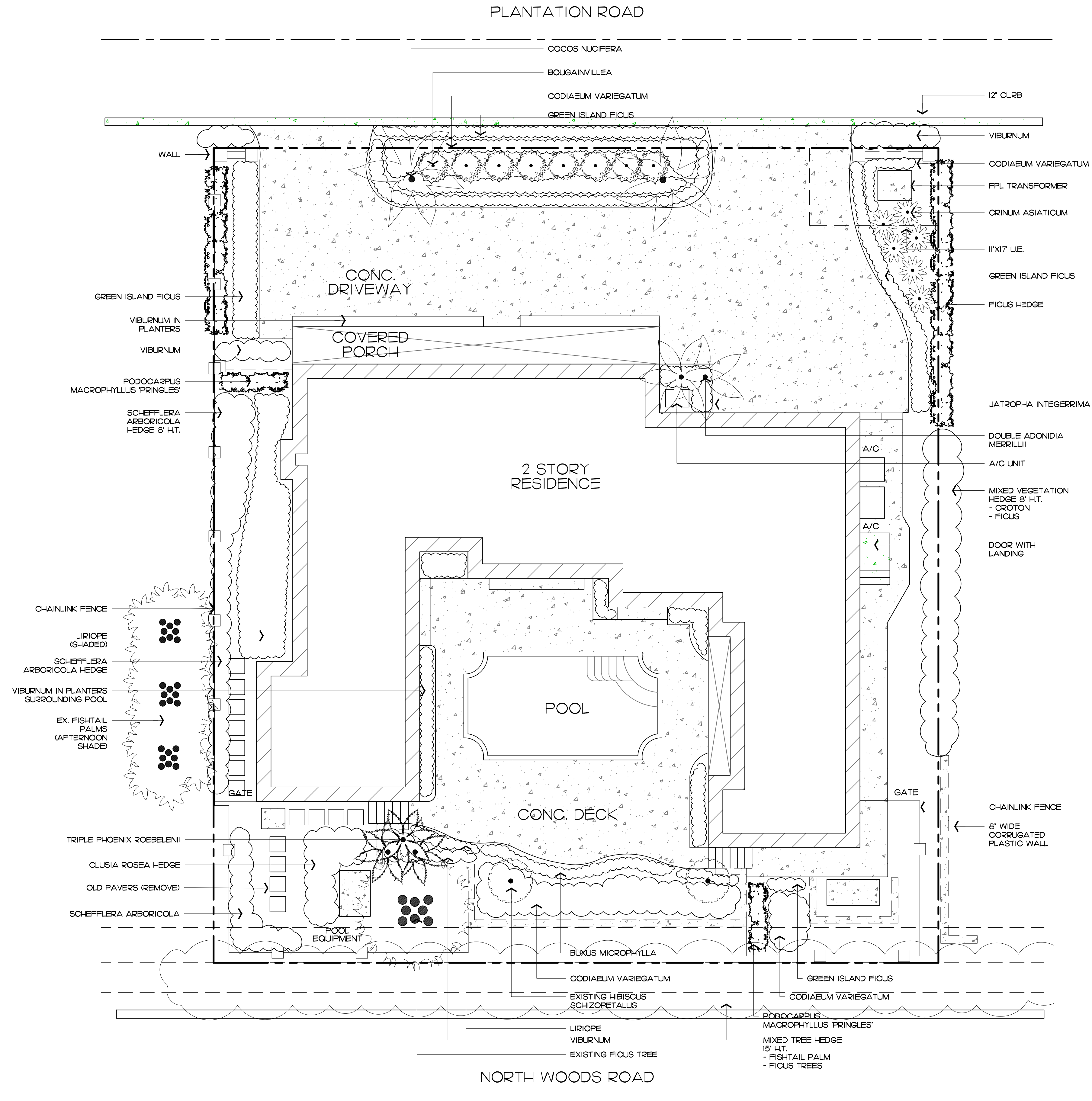
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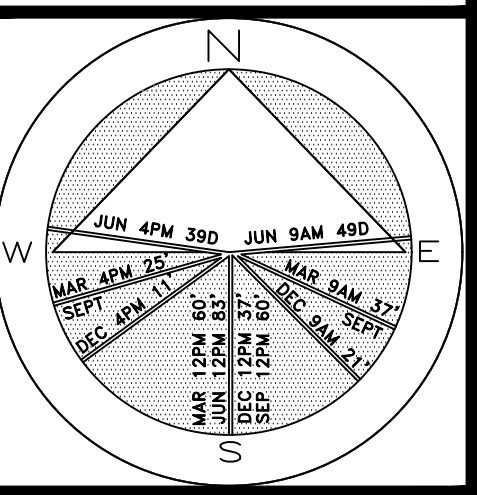
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Existing Landscape Buffer Images





Private Residence  
310 Plantation Rd  
Town of Palm Beach

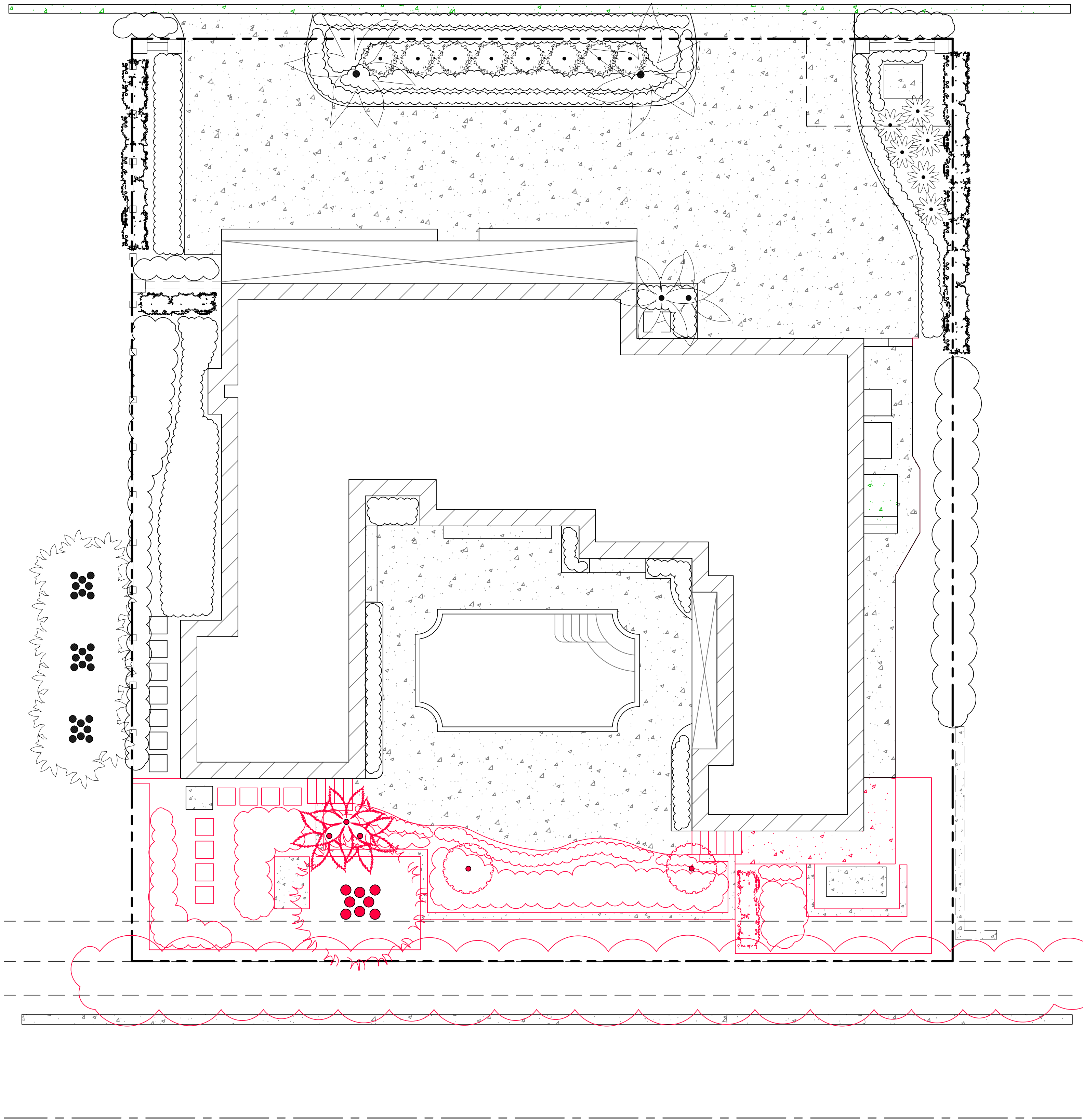


JOB NUMBER: # 24074.00 LA  
DRAWN BY: Holly Lohman

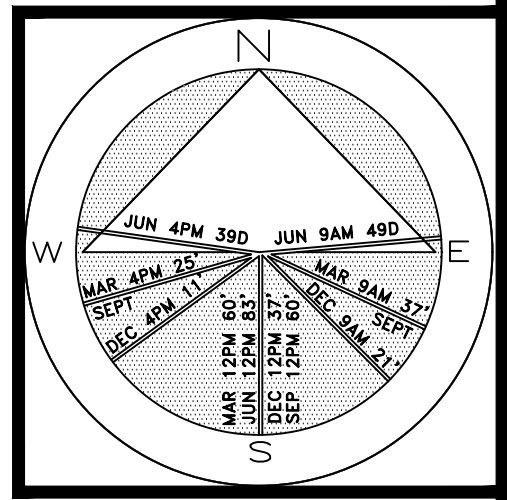
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SHEET L2.0





Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Kerlinaelle Dorinvil  
DATE: 08.08.2024

SHEET L3.0

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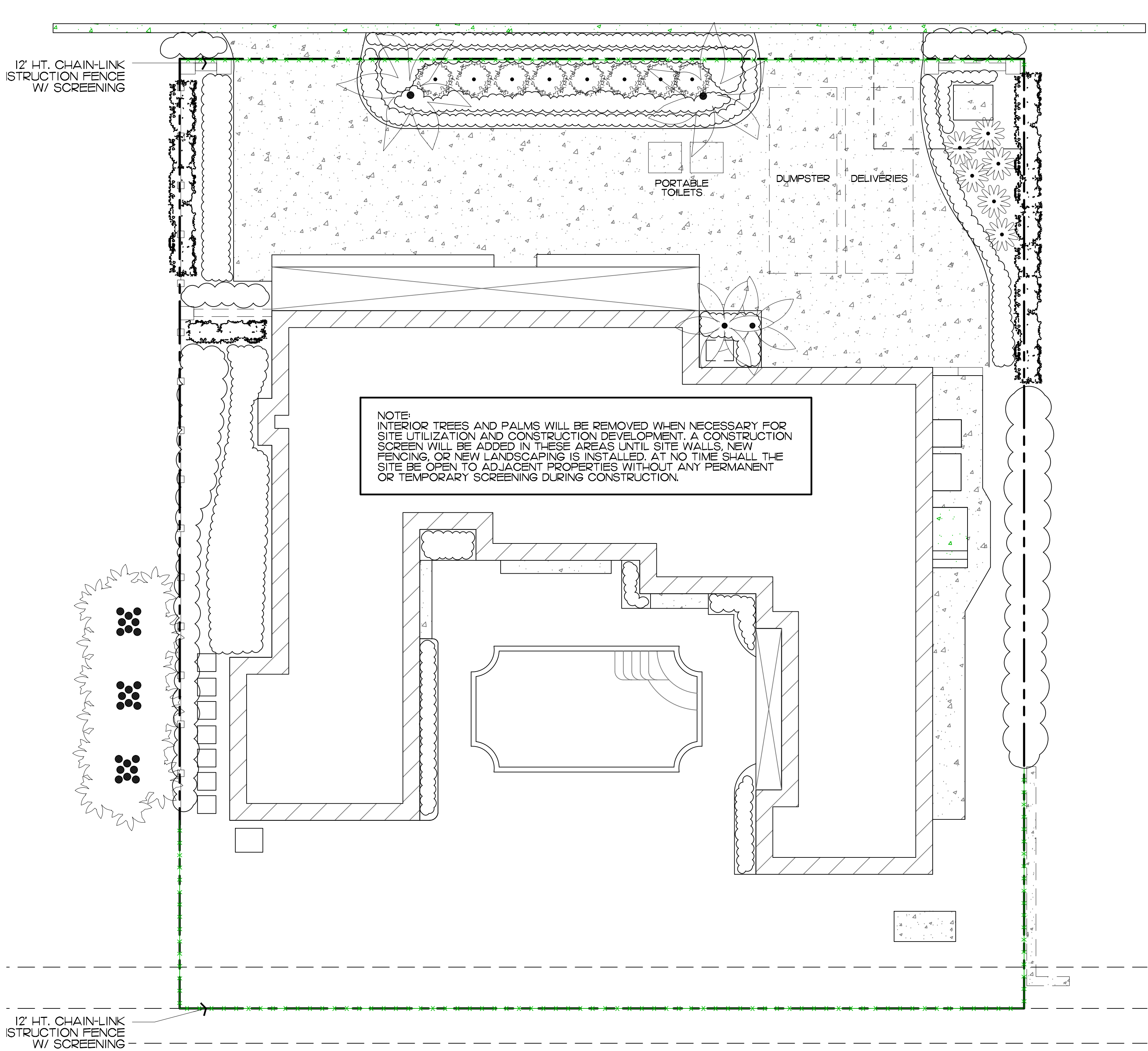
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Demolition Plan  
SCALE IN FEET 0' 8' 16' 24'

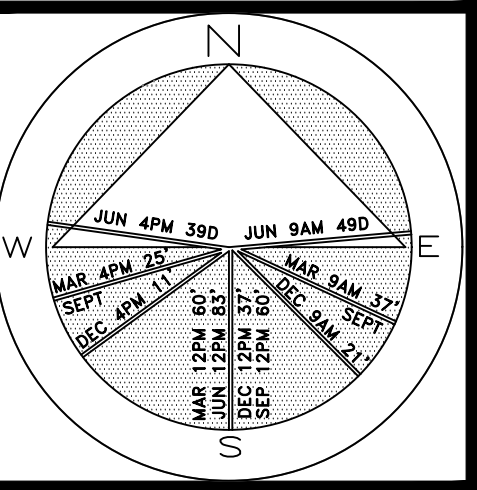
64 sf.

AREA IN SQ.FT.





Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L5.0

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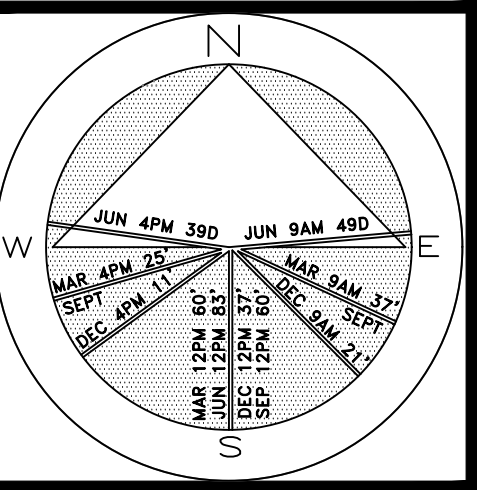
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Construction Staging Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.





JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman  
DATE: 08.08.2024

SHEET L4.0

64 sf.

AREA IN SQ.FT.



# 1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

## SCHEDULE:

MONTH 1: DEMOLITION AND CLEANUP  
(3 - 5 DAYS)

LARGEST TRUCK ->  
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE



Materials:



POOL DECK SURFACING

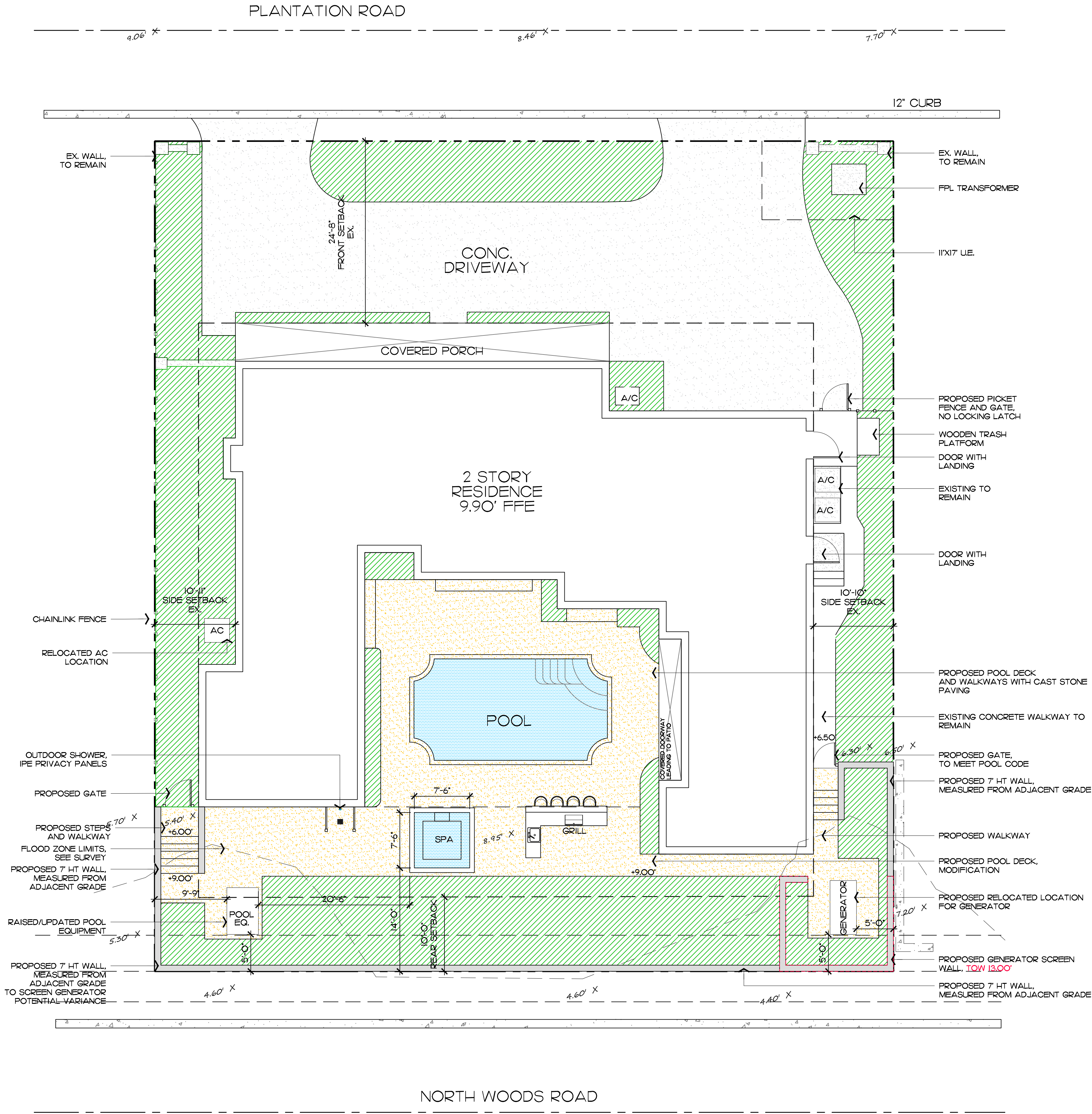
Proposed Site Data

DESCRIPTION	REQUIRED		EXISTING		PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL		R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		11,241 S.F.		11,241 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	5,058 S.F.	27.3%	3,075 S.F.	27.7%	3,087
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	2,250 S.F.	33.4%	835 S.F.	33.4%	835 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	2,529 S.F.	47%	2,382 S.F.	51%	2,548 S.F.

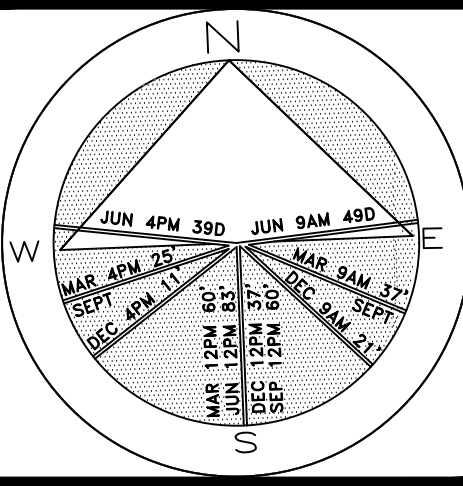
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**2024**  
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OF FLORIDA, INC.



Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman

DATE: 09.09.2024

SHEET L6.0

Site Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.



Variance Request

\* Maximum Lot Fill Allowed  
(9.90 FFE - 9.06 CROWN  
OF ROAD)/2 = 0.42 ft. MAX  
FILL ALLOWED.

\* Max wall and generator height  
in rear and side yard increase  
of 1.4' above adjacent grade.

Proposed Site Data

DESCRIPTION	REQUIRED		EXISTING		PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL		R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		11,241 S.F.		11,241 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	5,058 S.F.	27.3%	3,075 S.F.	27.7%	3,087
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	2,250 S.F.	33.4%	835 S.F.	33.4%	835 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	2,529 S.F.	47%	2,382 S.F.	51%	2,548 S.F.

Legend

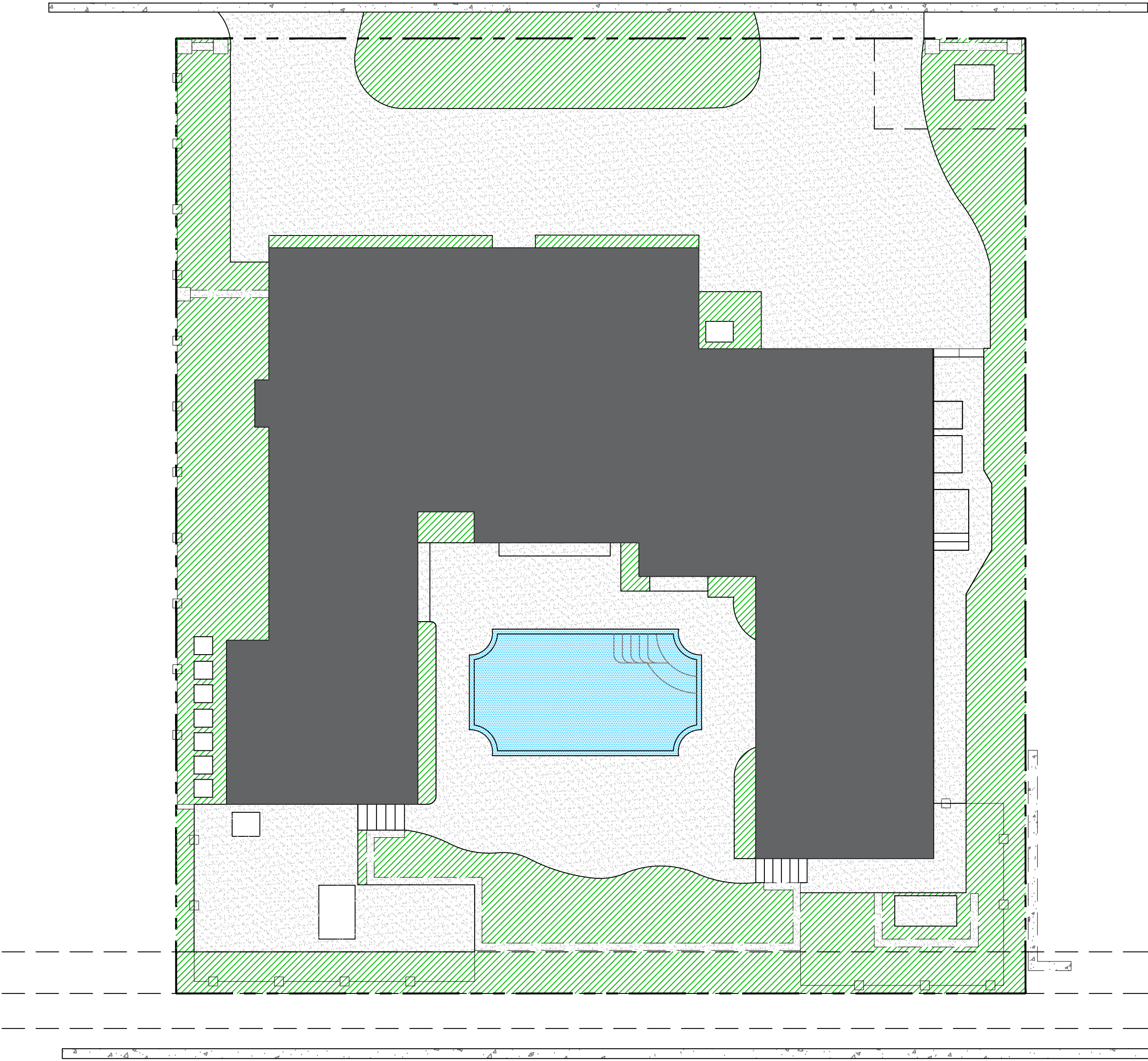
- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- IMPERVIOUS AREA (WATER)
- PERVIOUS AREA / OPEN SPACE

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

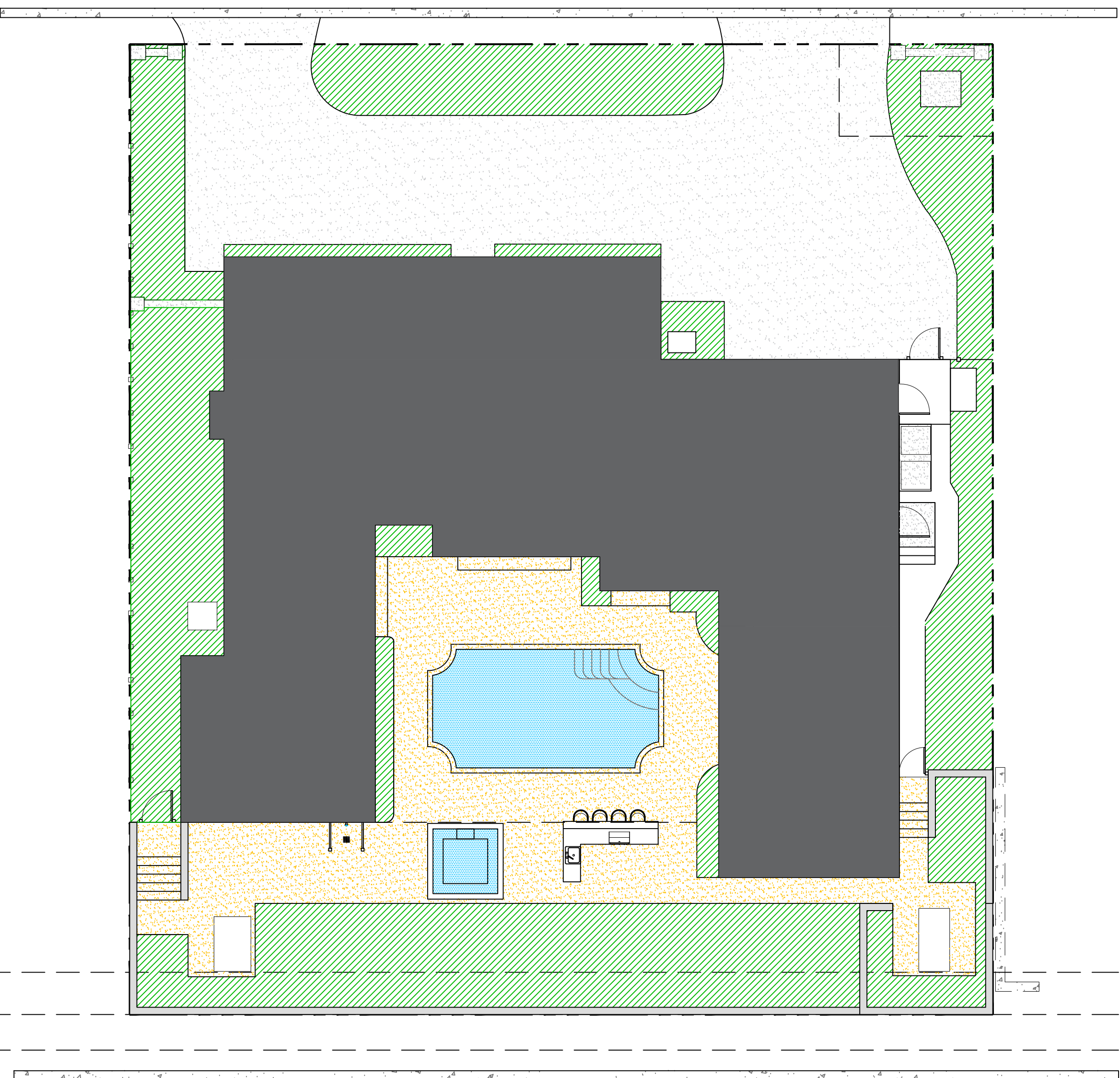
Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com



Existing Lot Coverage Graphic

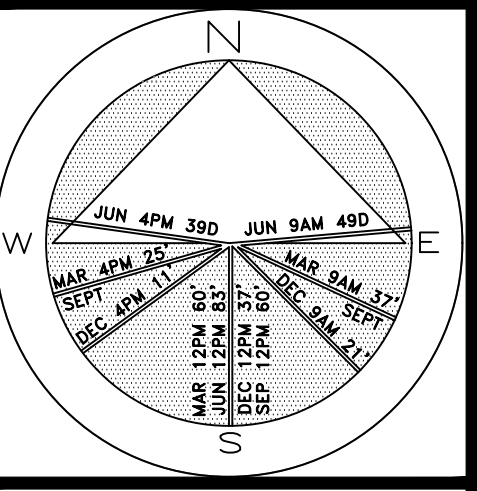
- IMPERVIOUS AREA (HOUSE/STRUCTURE) - 3,562 SF / 31%
- IMPERVIOUS AREA (HARDSCAPE) - 4,350 SF / 38.7%
- IMPERVIOUS AREA (WATER) - 335 SF / 3%
- PERVIOUS AREA / OPEN SPACE - 3,075 SF / 27.3%



Proposed Lot Coverage Graphic

- IMPERVIOUS AREA (HOUSE/STRUCTURE) - 3,562 SF / 31%
- IMPERVIOUS AREA (HARDSCAPE) - 4,338 SF / 38.3%
- IMPERVIOUS AREA (WATER) - 390 SF / 3%
- PERVIOUS AREA / OPEN SPACE - 3,087 SF / 27.7%

Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Dustin Mizell  
DATE: 09.09.2024

SHEET L6.1

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Open Space Diagrams

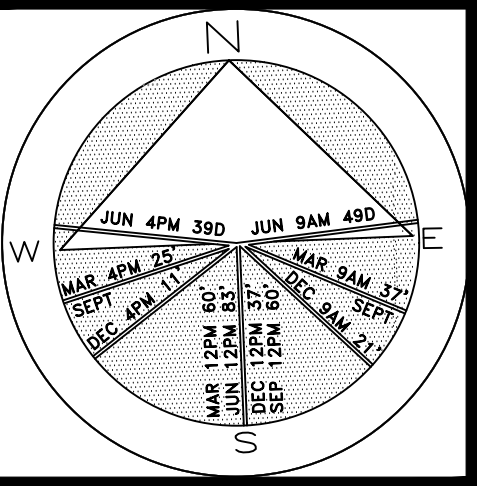
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ.FT.



Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L7.0

64 sf.

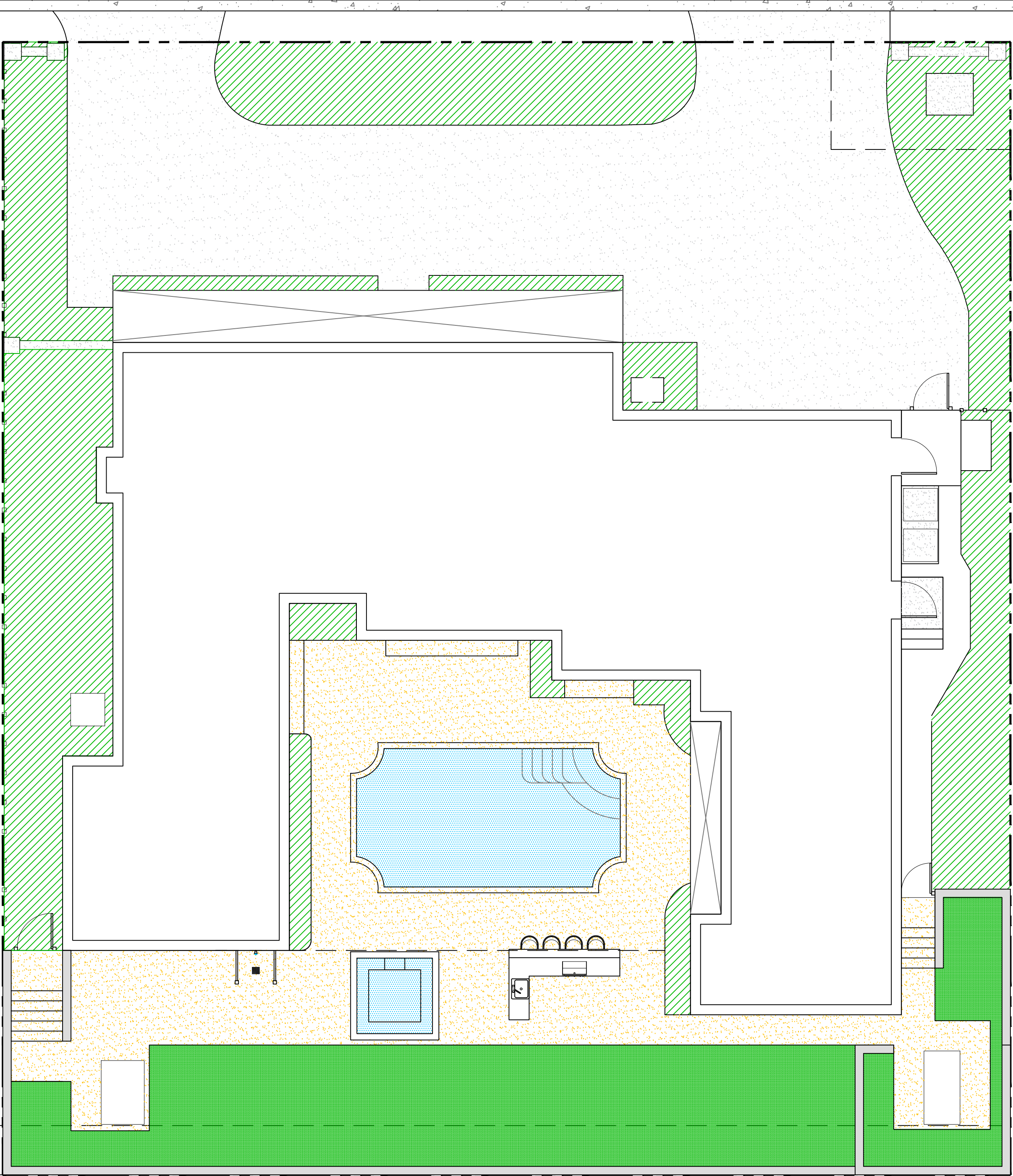
AREA IN SQ.FT.

PLANTATION ROAD

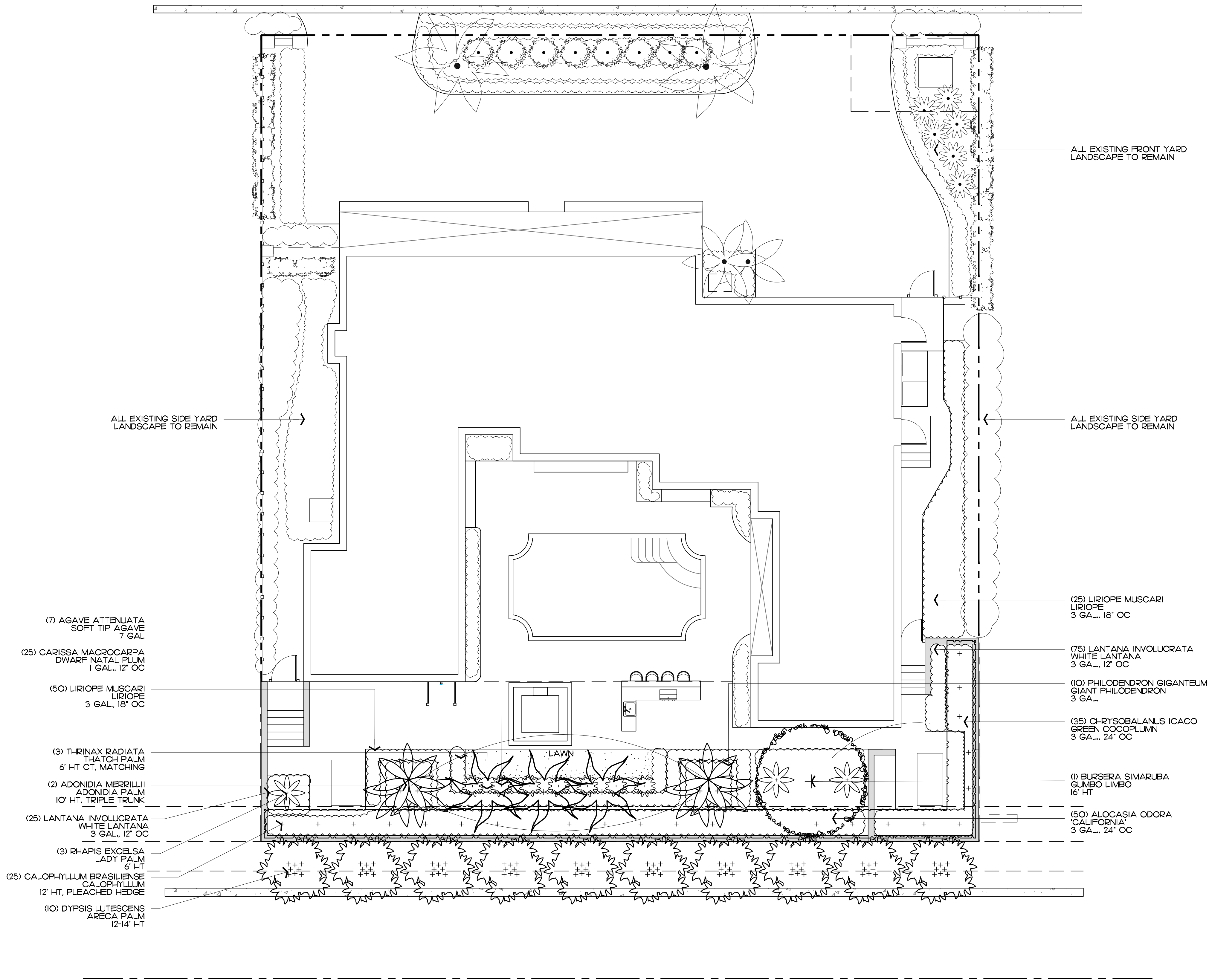
NORTH WOODS ROAD

Landscape Alteration Calculations

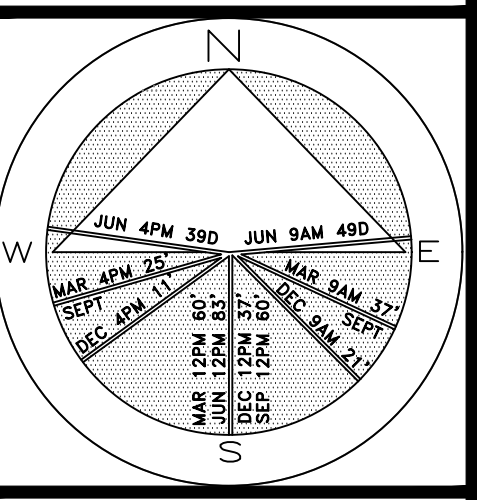
	TOTAL LANDSCAPE OPEN SPACE	3,087 SF.
	EXISTING SITE LANDSCAPING TO BE ALTERED (34.1% OF THE EXISTING OPEN SPACE AND 9.3% OF THE SITE)	1,053 SF.







Private Residence  
310 Plantation Rd  
Town of Palm Beach



JOB NUMBER: # 24074.00 LA  
DRAWN BY: Dustin Mizell

DATE: 09.09.2024

SHEET L8.0

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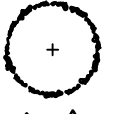


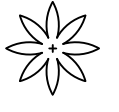
Landscape Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.


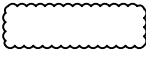

AREA IN SQ.FT.



Trees & Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ADONIIDIA MERRILLII ADONIDIA PALM	2	10' HT, TRIPLE TRUNK	NO
	BURSERA SIMARUBA GUMBO LIMBO TREE	1	18' X 18' SPECIMEN	YES
	DYPSIS LUTESCENS ARECA PALM	10	12-14' HT	NO
	THRINAX RADIATA FLORIDA THATCH PALM	3	6' CT HT, MATCHING	YES
	RHAPIS EXCELSA LADY PALM	3	6' HT	NO
TOTAL TREES: NATIVE SPECIES:		1 1 (100%)		



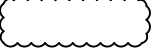
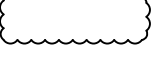
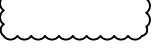
Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CARISSA MACROCARPA DWARF NATAL PLUM	25	1 GAL, 12" OC	NO
	LANTANA INVOLUCRATA WHITE LANTANA	100	3 GAL, 12" OC	YES
	LIRIOPE MUSCARI LIRIOPE	50	3 GAL, 18" OC	NO
TOTAL: NATIVE SPECIES:		175 100 (59%)		

Lawn & Mulch

PLANT NAME	QTY.	DESCRIPTION
DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	AGAVE ATTENUATA SOFT TIP AGAVE	7	7 GAL	NO
	ALOCASIA ODORA 'CALIFORNIA' DWARF ELEPHANT EAR	50	3 GAL 12" OC	NO
	CALOPHYLLUM BRASILIENSE CALOPHYLLUM	25	12' HT, PLEACED HEDGE	NO
	CHRYSOBALANUS ICACO GREEN COCOPLUM	35	3 GAL 24" OC	YES
	PHILODENDRON GIGANTEUM GIANT ELEPHANT EAR	10	3 GAL	NO
TOTAL: NATIVE SPECIES:		117 35 (30%)		

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5920-8  
Phone: 561.832.4600

Palm Beach, FL 33480  
Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

Dustin@environmentdesigngroup.com

Private Residence  
310 Plantation Rd  
Town of Palm Beach

A  
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R  
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JOB NUMBER: # 24074.00 LA  
DRAWN BY: Dustin Mizell  
DATE: 09.09.2024

SHEET L8.1

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DISCLAIMER:

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Plant Schedule





Site Wall / Generator Section

## Front Gate Elevation Detail

### Rear Gate Elevation Detail

**2024**

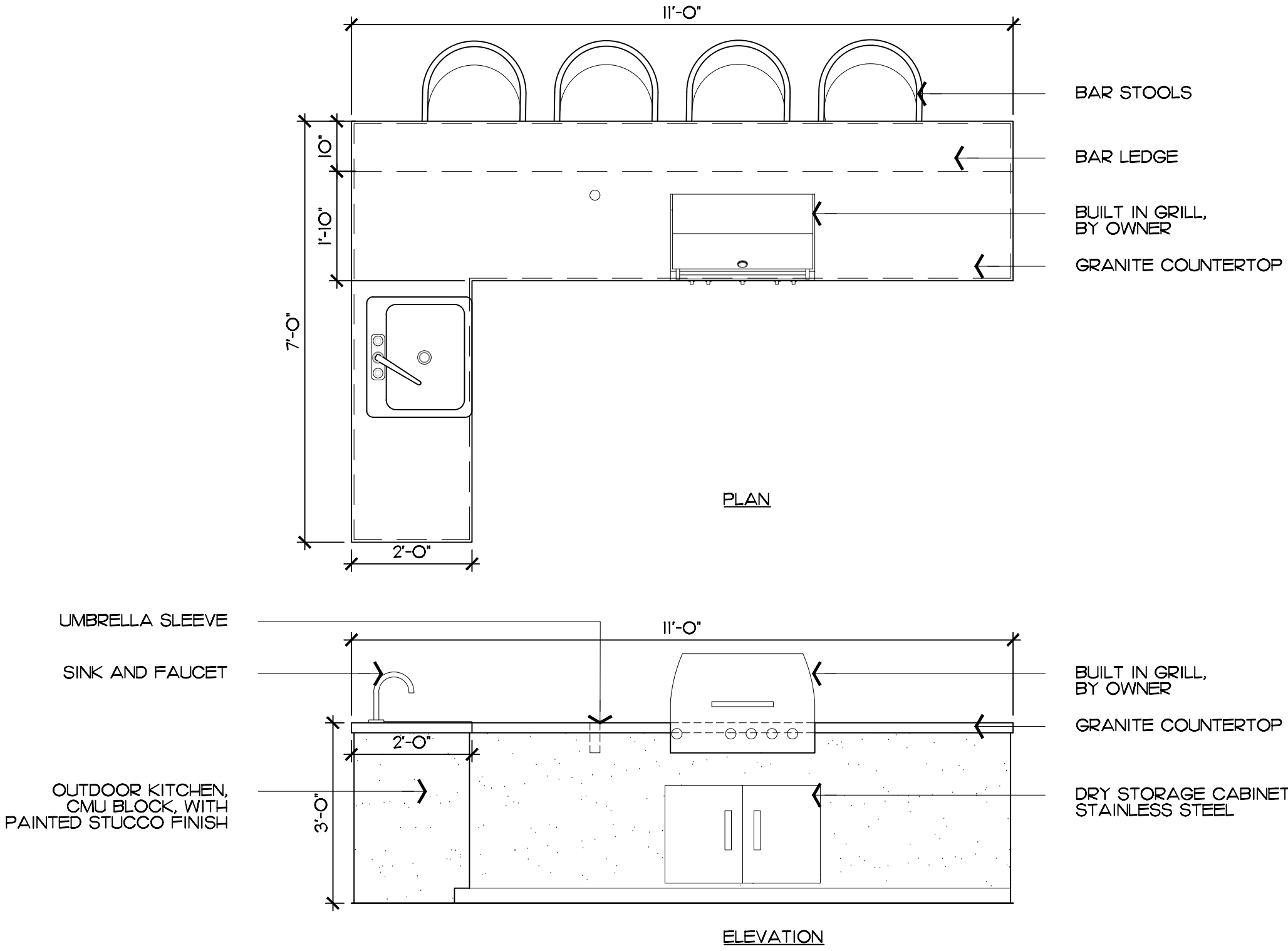
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## Details

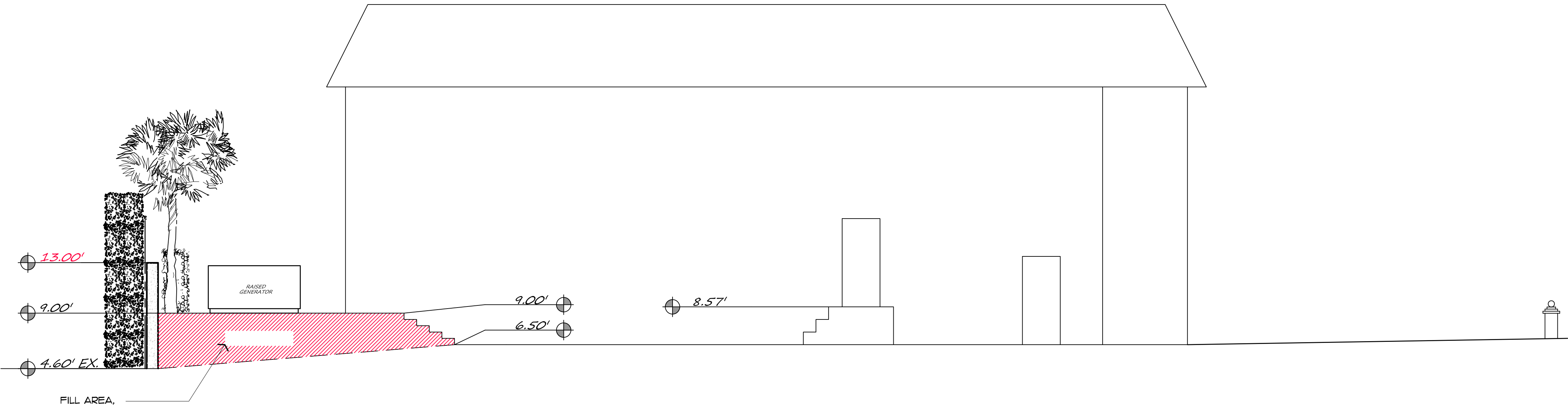




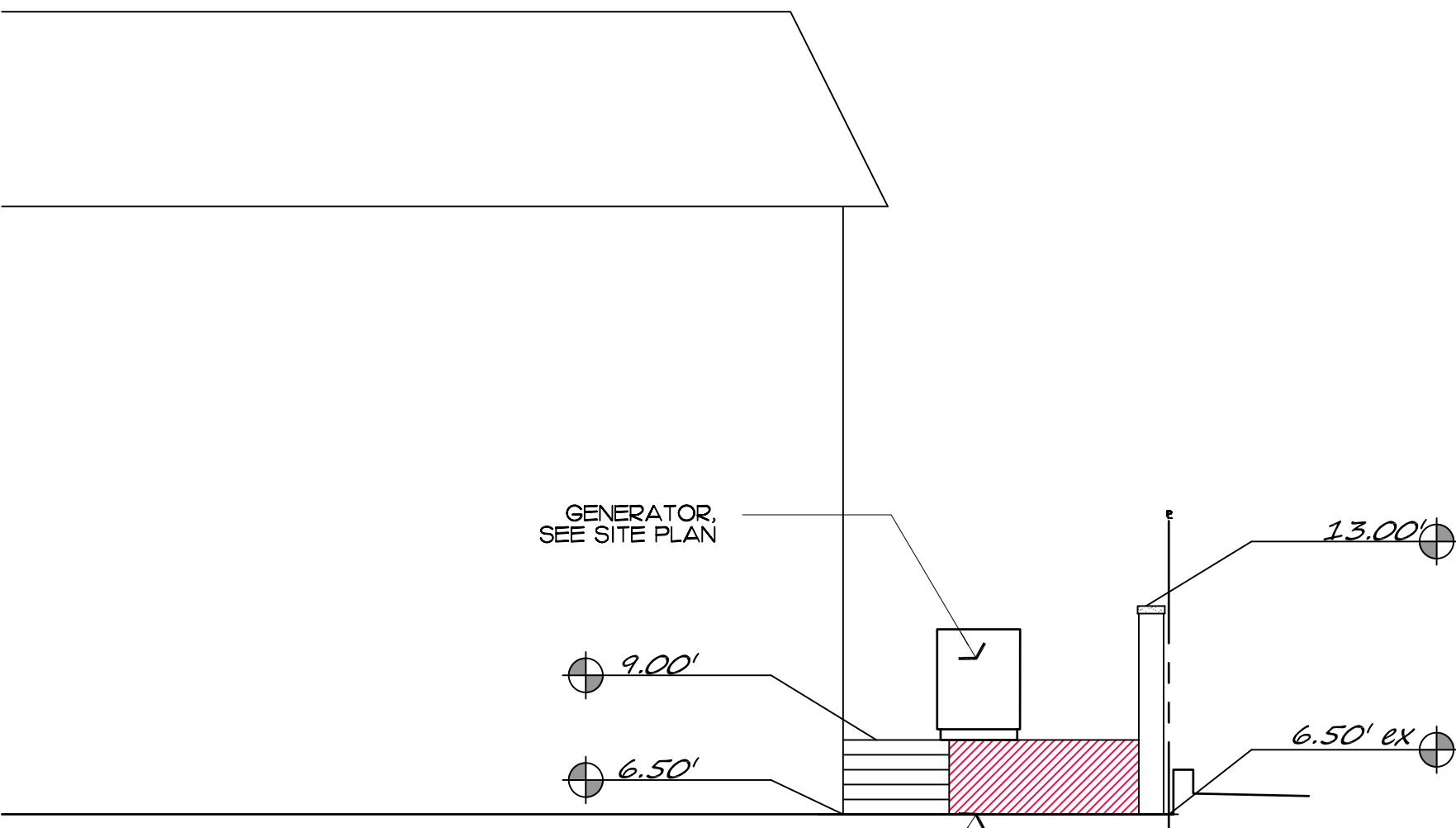
## Front Gate Elevation Detail

SCALE: 1/2"=1'-0"

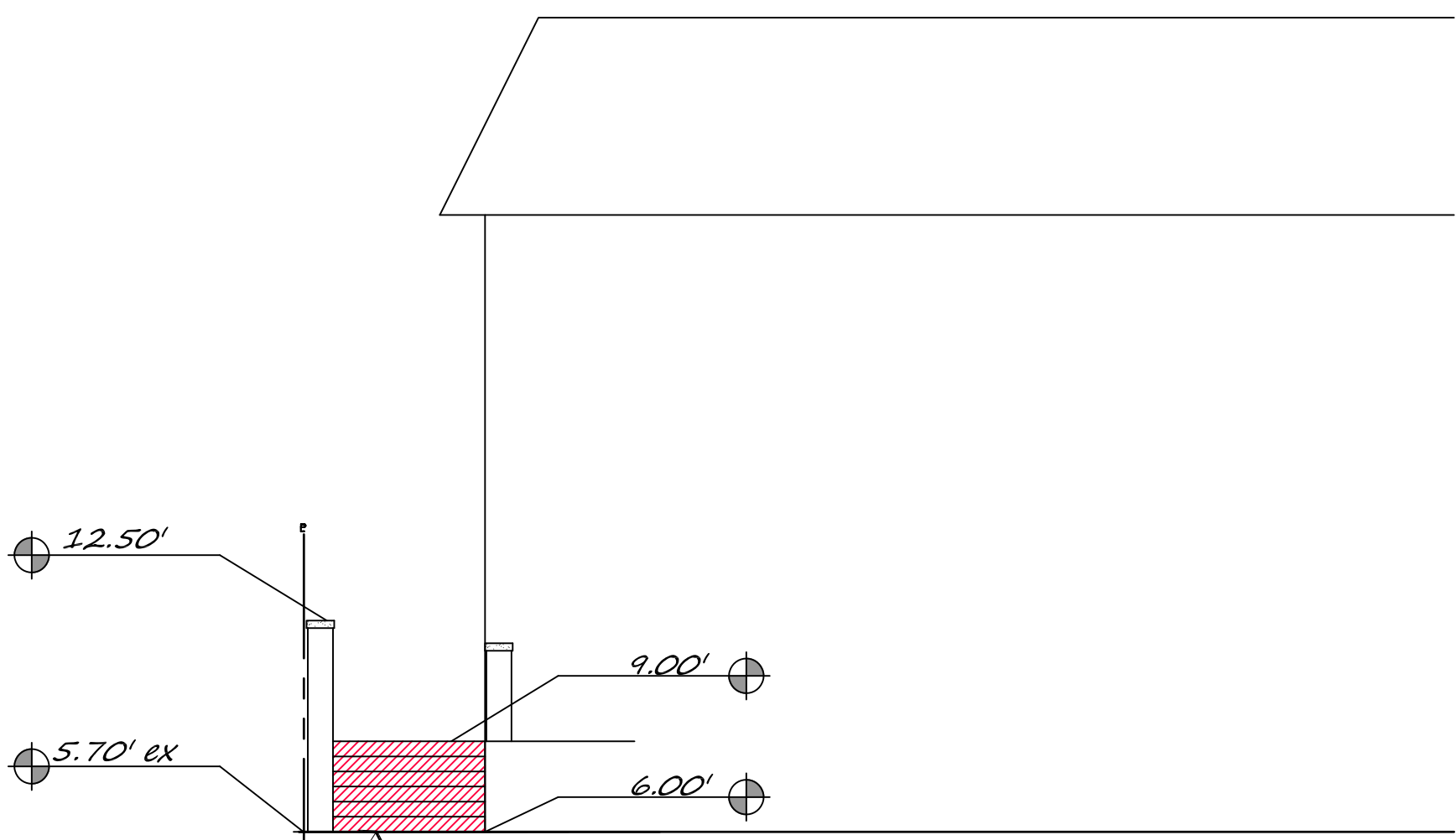




South Section  
SCALE: 3/16"=1'-0"



East Section  
SCALE: 3/16"=1'-0"



West Section  
SCALE: 3/16"=1'-0"

\*\*MAX FILL CALCULATION = (9.90 - 9.06)/2 = 0.42 FT.) THE PROPOSED IMPROVEMENTS REQUIRE 4.40" MAX FILL. MAX FILL NEEDED - .042 ALLOWABLE=3.98' VARIANCE RELIEF REQUEST.

Private Residence  
310 Plantation Rd  
Town of Palm Beach

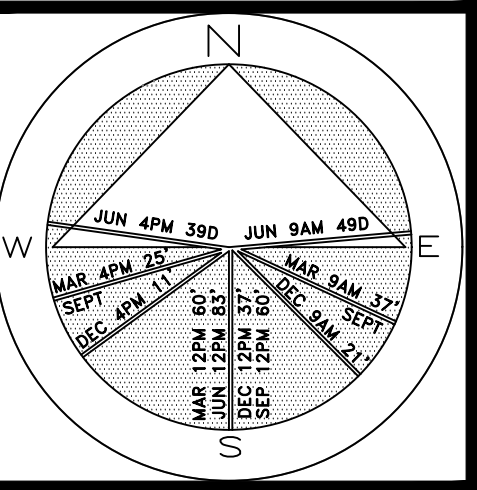
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DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L9.2

Cross Sections

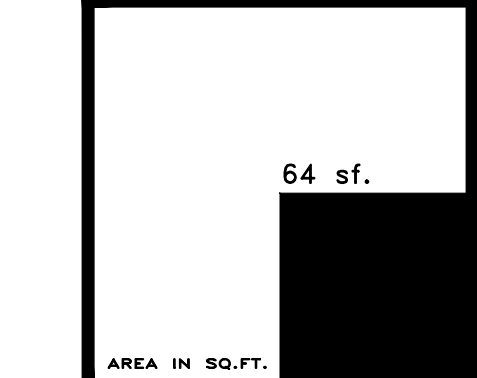


Private Residence  
310 Plantation Rd  
Town of Palm Beach

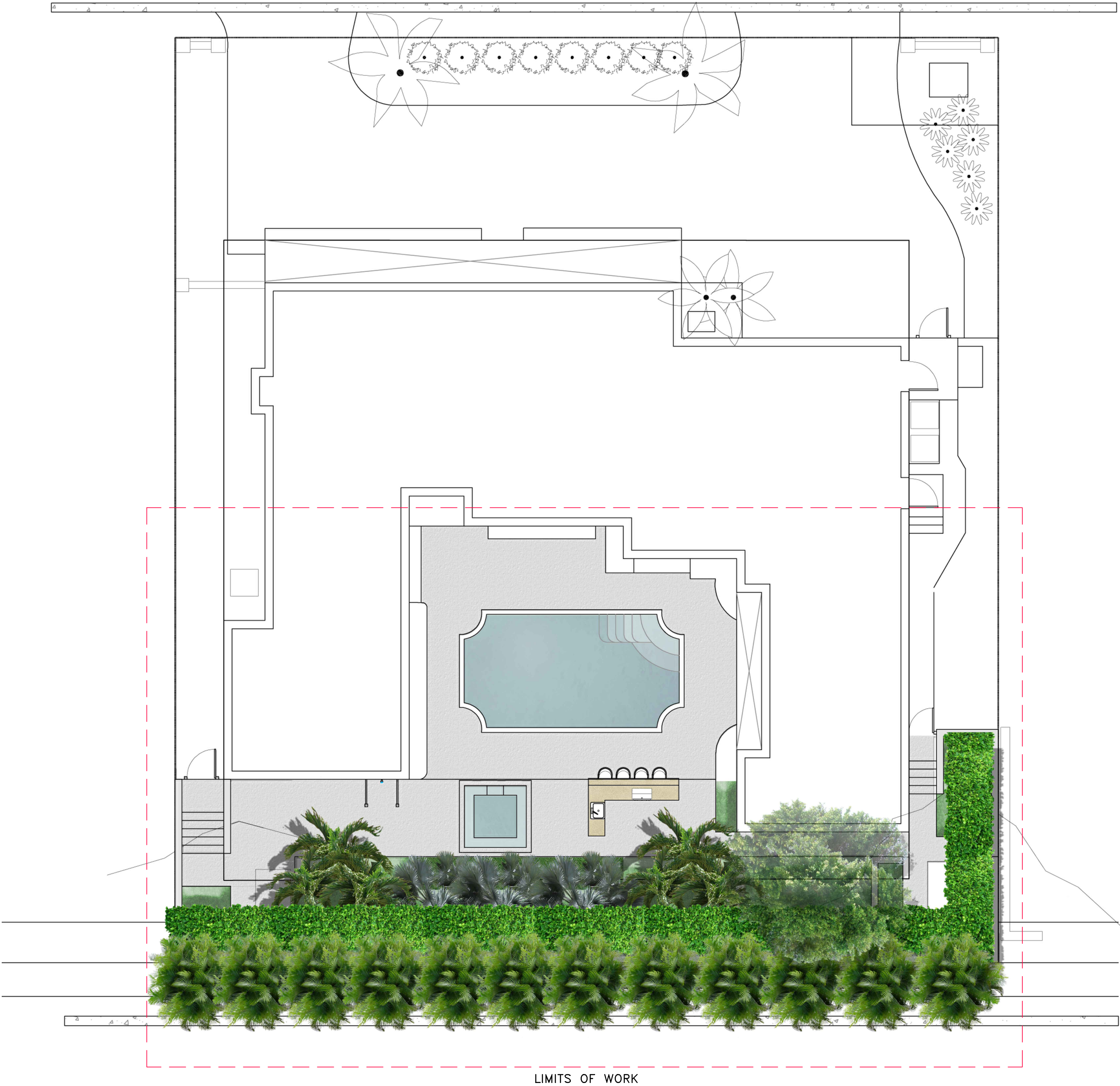


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DATE: 09.09.2024

SHEET L10.0



AREA IN SQ.FT. 64



LIMITS OF WORK

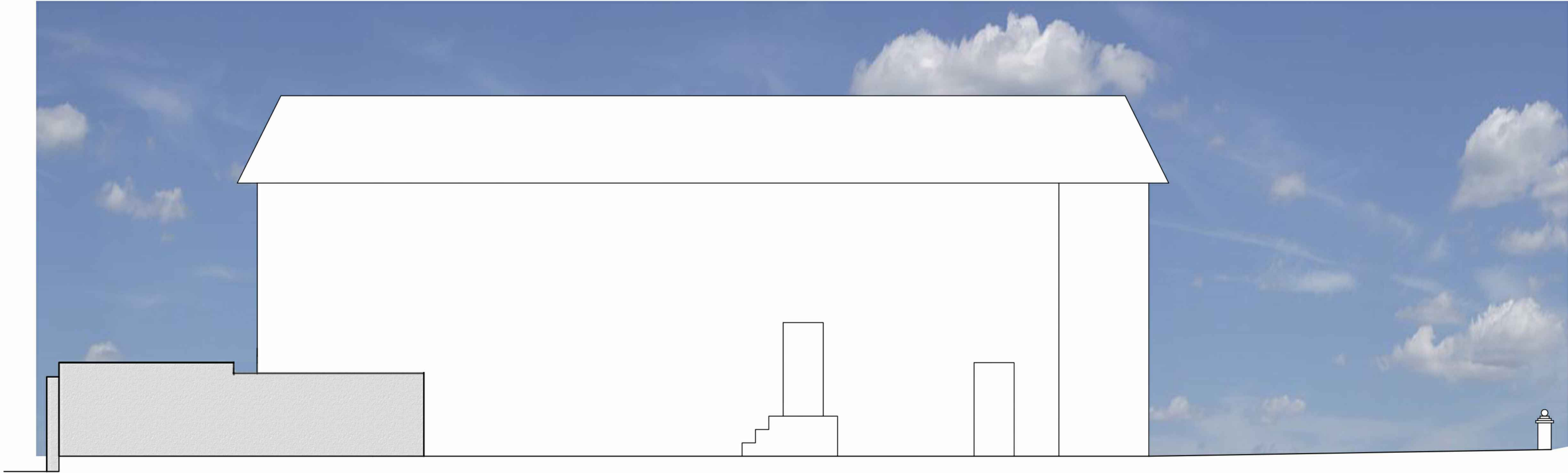
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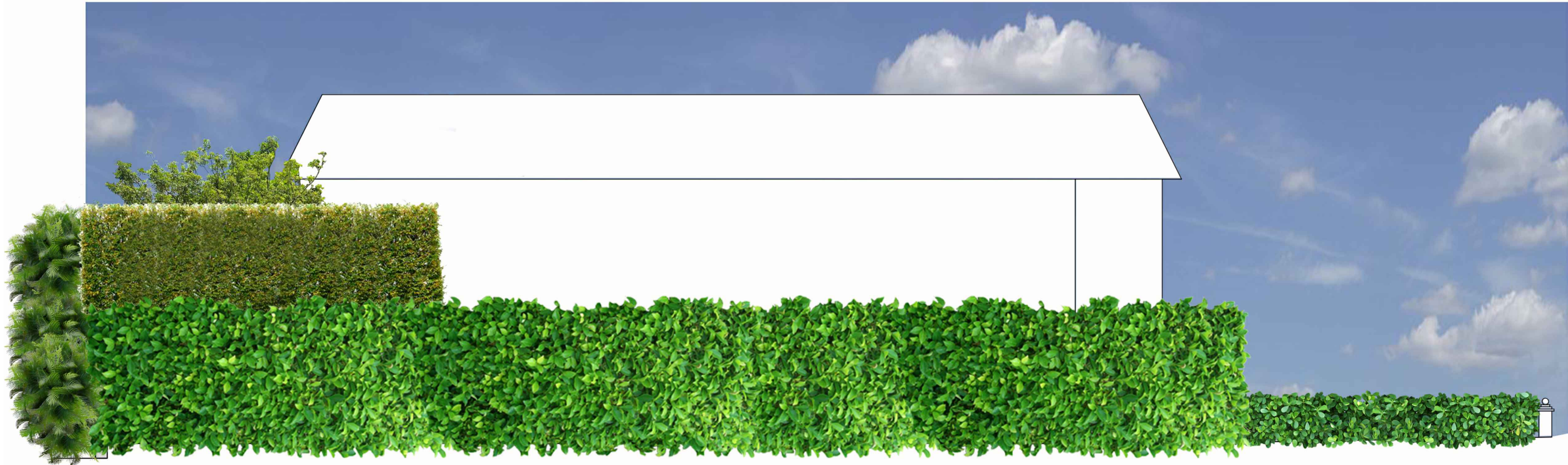
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Rendered Landscape Plan





East Elevation - With out Landscape



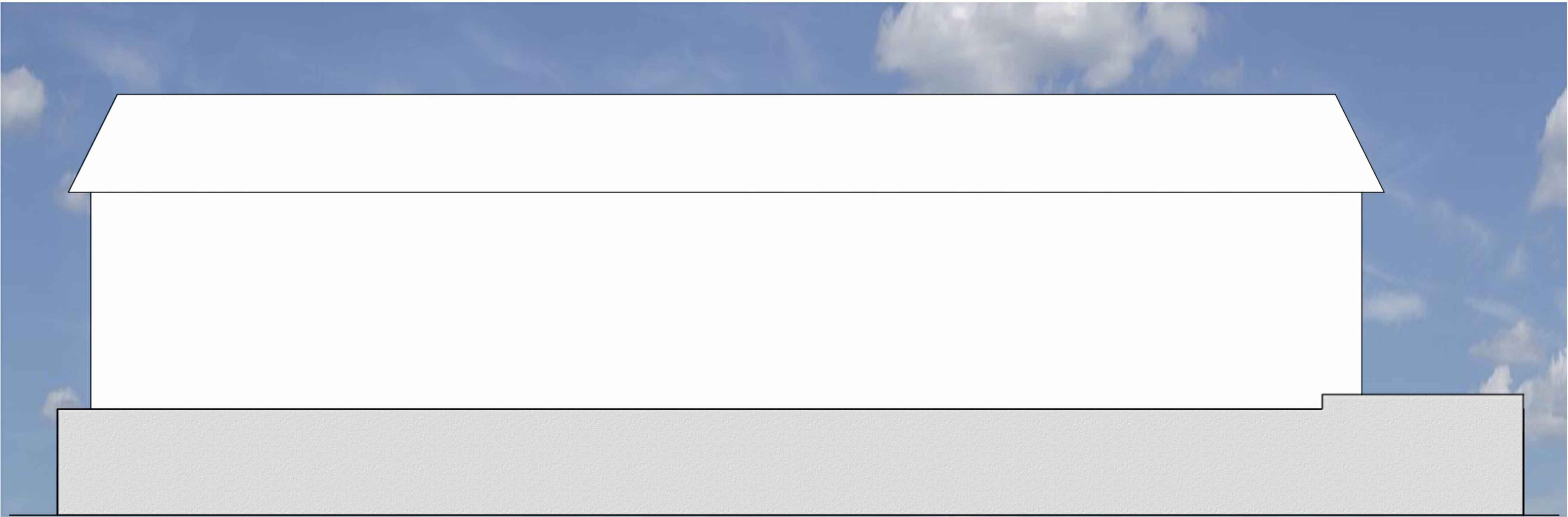
East Elevation - With Landscape

Private Residence  
310 Plantation Rd  
Town of Palm Beach

JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L10.1





South Elevation - With out Landscape



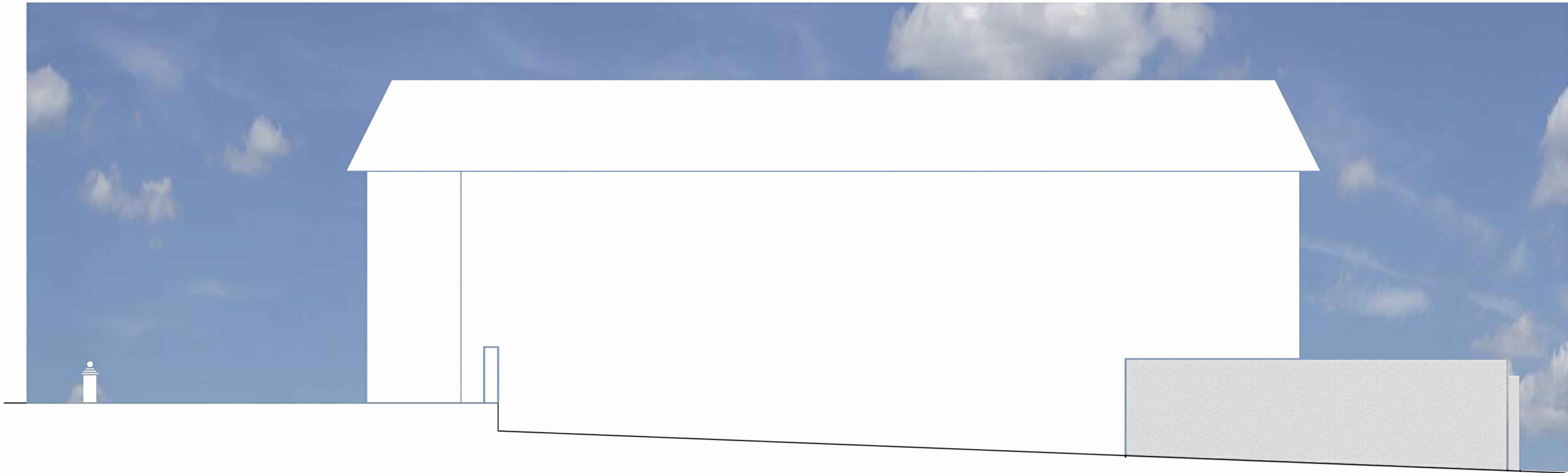
South Elevation - With Landscape

Private Residence  
310 Plantation Rd  
Town of Palm Beach

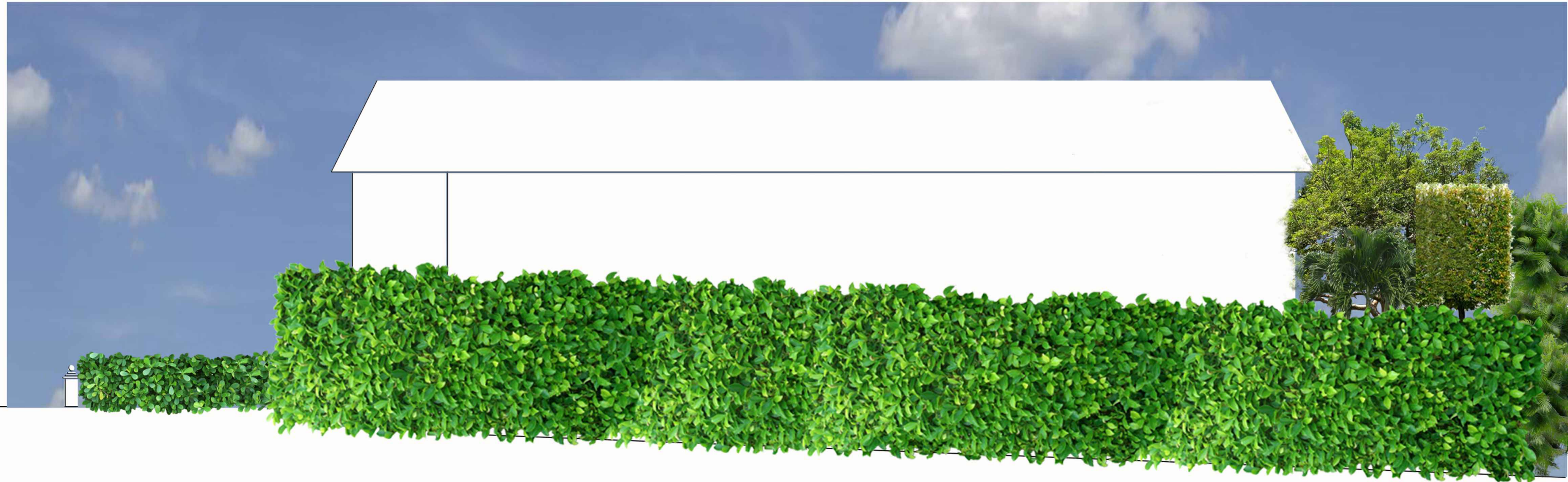
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DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L10.2





West Elevation - With out Landscape



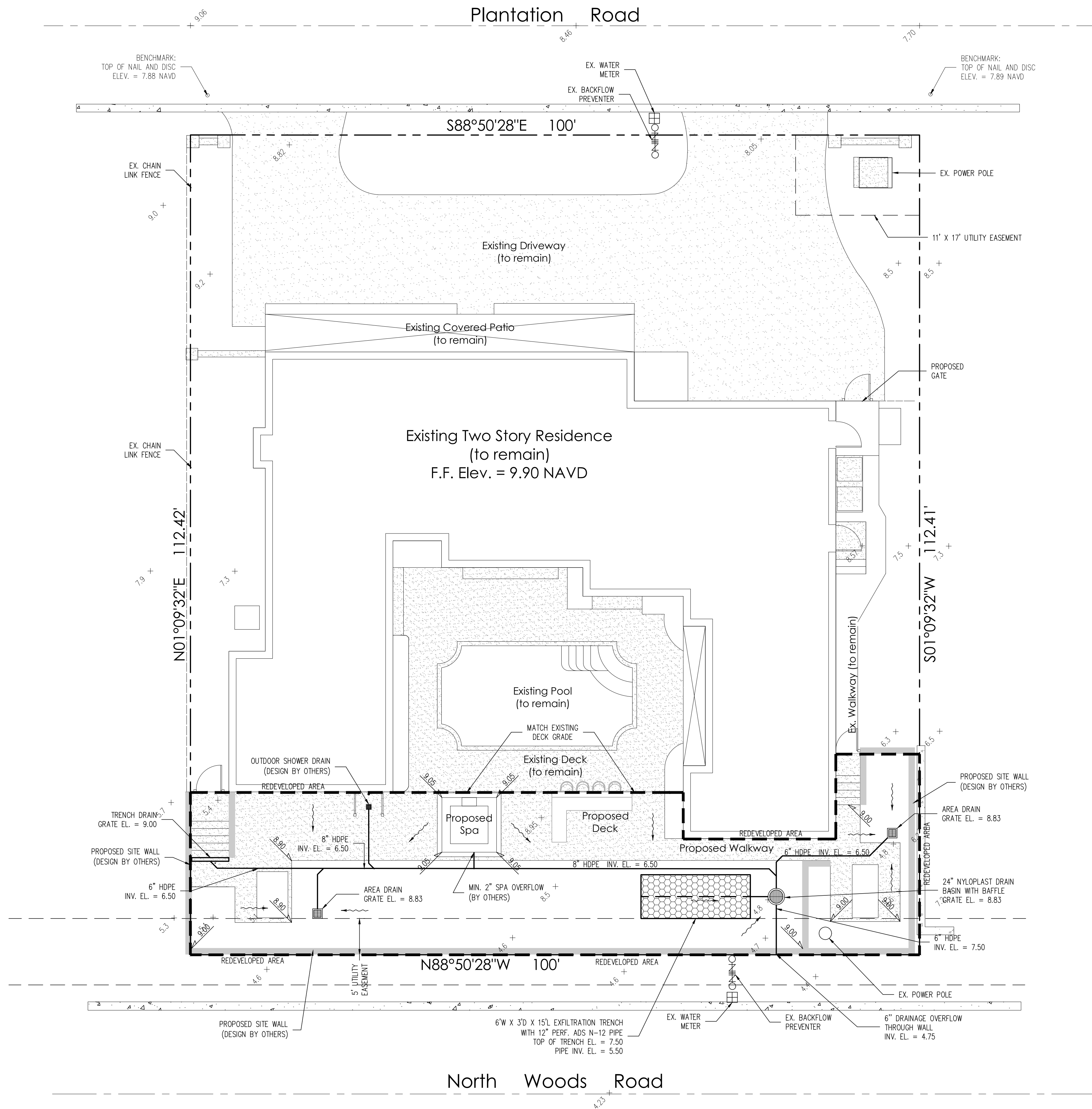
West Elevation - With Landscape

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310 Plantation Rd  
Town of Palm Beach

JOB NUMBER: # 24074.00 LA  
DRAWN BY: Matt Jackman  
DATE: 09.09.2024

SHEET L10.3





### STORMWATER RETENTION CALCULATIONS

#### A. SITE INFORMATION

Total Property Area = 11,241 sq.ft.

Basin Area = 2,153 sq.ft.

Drainage Area Impervious Surface = 1,014 sq.ft.

Drainage Area Pervious Surface = 1,139 sq.ft.

#### B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ( $Q=CIA$ )

where:

$C = 1.0$  (Impervious surface)

$C = 0.2$  (pervious surface)

$I = 2$  in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2 \text{ in/hr} \times 1,014 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 169 \text{ cu.ft.}$

Pervious Runoff Volume:

$0.2 \times 2 \text{ in/hr} \times 1,139 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 38 \text{ cu.ft.}$

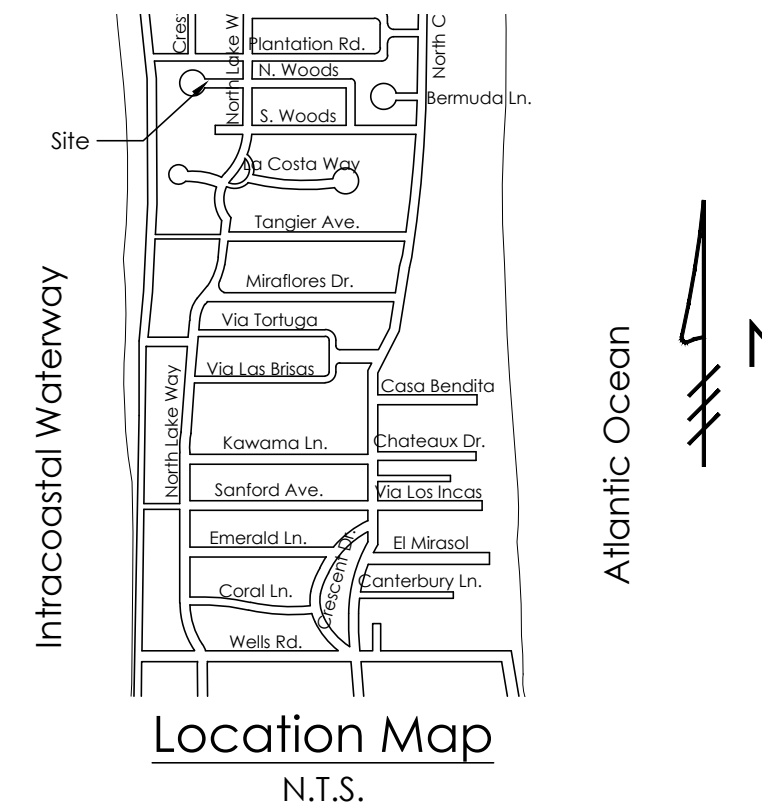
Total Volume to be Retained = 207 cu.ft.

#### C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	15	ft
W	=	Trench Width	=	6	ft
K	=	Hydraulic Conductivity	=	0.00005	cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	3.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	308	cu.ft.

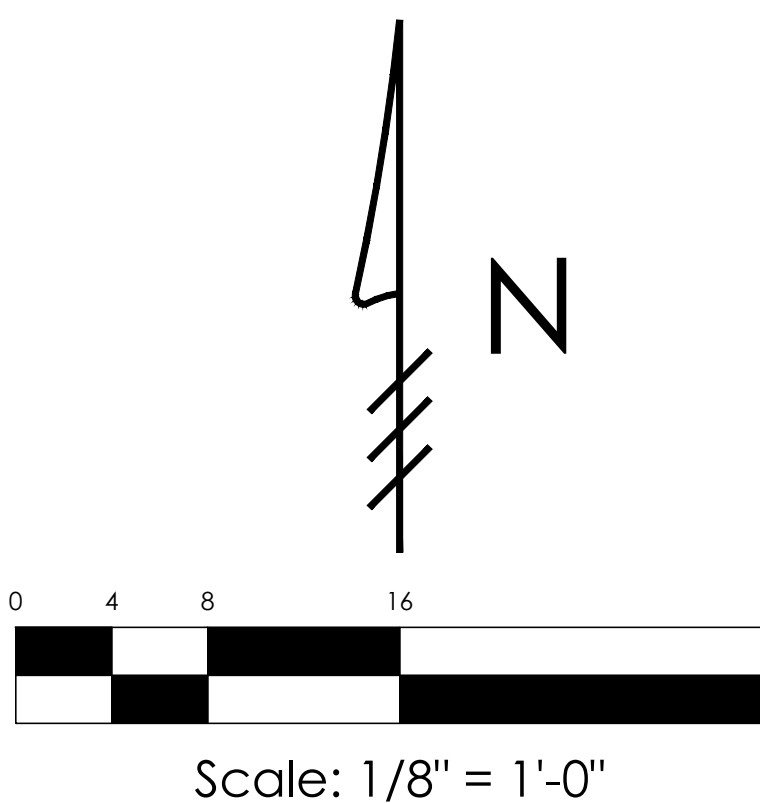
### Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



### Legend

- EXISTING ELEVATION PER MILLER LAND SURVEYING (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



**GRUBER CONSULTING ENGINEERS**

2475 Mercer Avenue, Suite 305

West Palm Beach, FL 33401

☎ 561.312.2041

✉ office@gruberengineers.com

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**SUNSHINE STATE ONE**  
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Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Site Grading & Drainage Plan For:  
**PROPOSED RENOVATION**  
310 Plantation Road  
Palm Beach, Florida

#### PROJECT INFORMATION:

Project No.	2024-0076
Issue Date	09/20/2024
Scale	1/8" = 1'-0"

#### REVISIONS:

1	
2	
3	
4	
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**CHAD M. GRUBER**  
FLORIDA P.E. NO. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

#### SHEET NUMBER:

**C-1**

Plan Background from Hardscape Plan  
by Environment Design Group  
Received 9/20/24

ARC-24-0088

ZON-24-0054

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