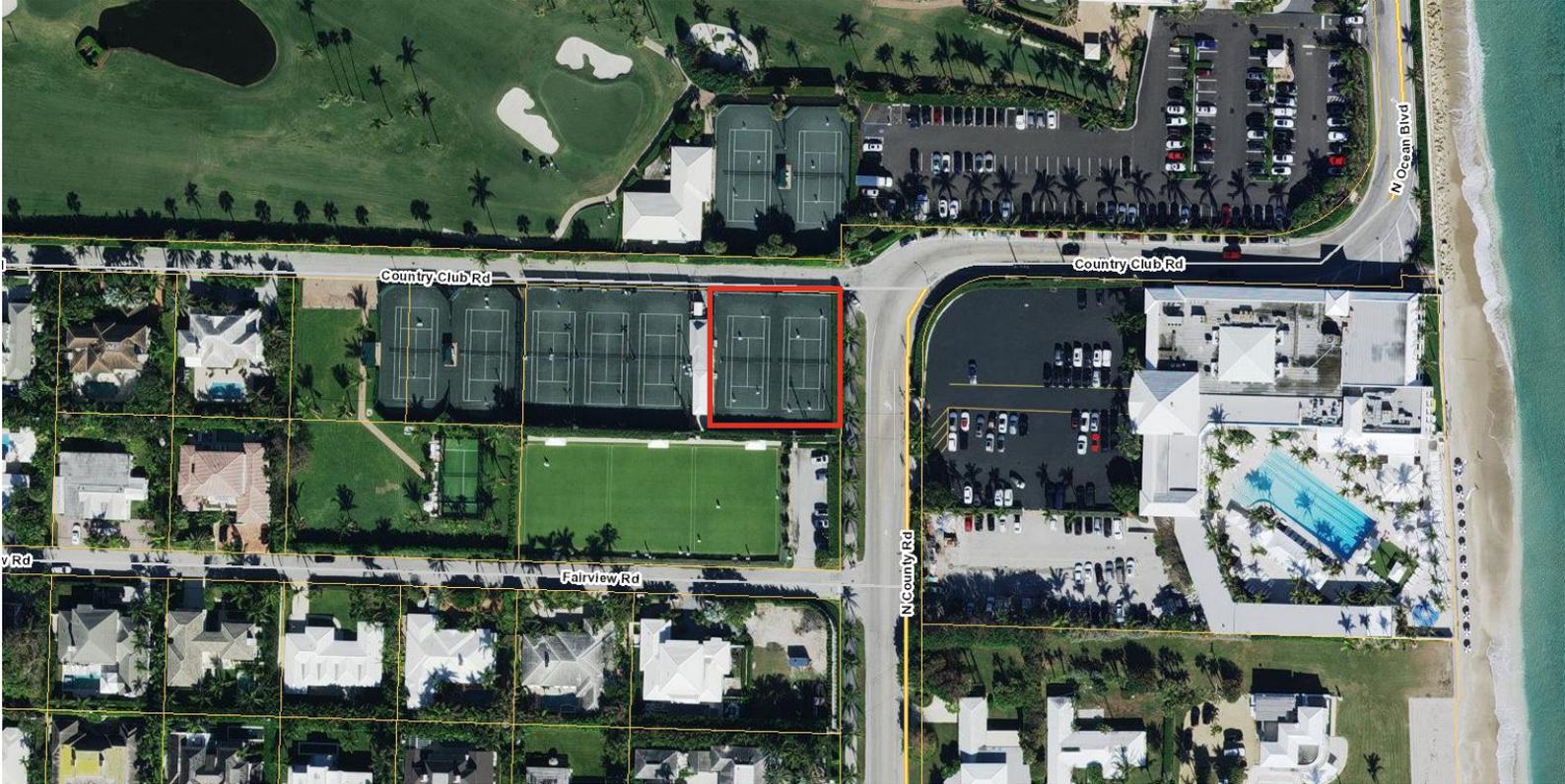


THE BEACH CLUB

755 NORTH COUNTY ROAD
PALM BEACH, FL 33480



NEW LIGHTING - EAST TENNIS COURTS TOWN COUNCIL SUBMITTAL

ZON-24-0
PROJECTED TOWN COUNCIL HEARING DATE:
NOVEMBER 13, 2024


KOCHMAN & ZISKA LLC

THE BEACH CLUB
755 NDRTH COUNTY RDAD
PALM BEACH, FL 33480

=====
=====

9/25/2024

COVER SHEET

AS NOTED

CV



EXISTING TENNIS COURT WITHOUT LIGHTS



EXISTING LIGHTS ON TRIPLE COURTS

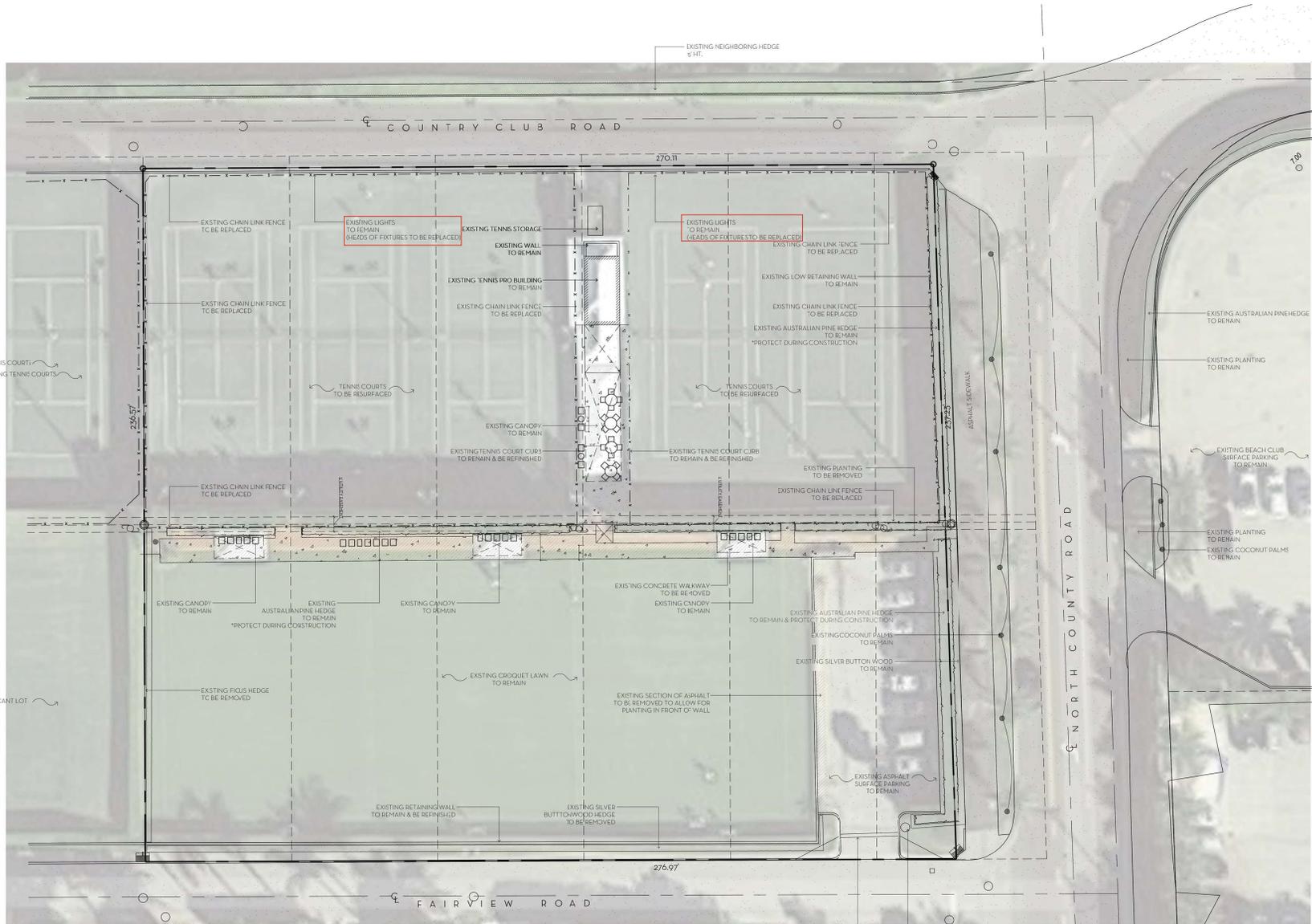


EXISTING ELECTRICAL PANEL



EXISTING LIGHTS ON TRIPLE COURTS

EXISTING SITE PHOTOS



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

TENNIS COURT SITE PLAN
BEACH CLUB
755 NCR, PALM BEACH, FL

SCALE: 1/4" = 1'-0"

15 MAY 2015



NIEVERA WILLIAMS
DESIGN

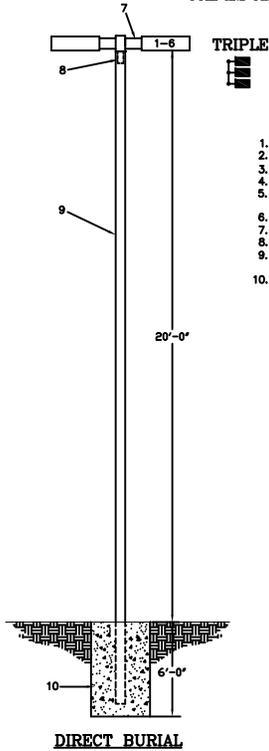
223 Sunset Avenue
Suite 150
Palm Beach, Florida 33460
P: 561-659-2820
F: 561-659-2113

NIEVERA@WILLIAMS.COM

R1

STRUCTURAL SUPPORT FOR TRIPLE LMI-TLL SERIES LED LUMINAIRE

DESIGN WIND LOAD = 170 M.P.H. Exp. CAT D
 RISK CAT. II F.B.C. 2020
 SINGLE HSG FIXTURE EPA (SQ. FT.) = 0.9
 POLE WEIGHT = 120 LBS.
 (6061 T6 ALUMINUM ALLOY)
 FIXTURE WEIGHT = 43 LBS.
 POLE AND FIXTURE WEIGHT = 249 LBS.

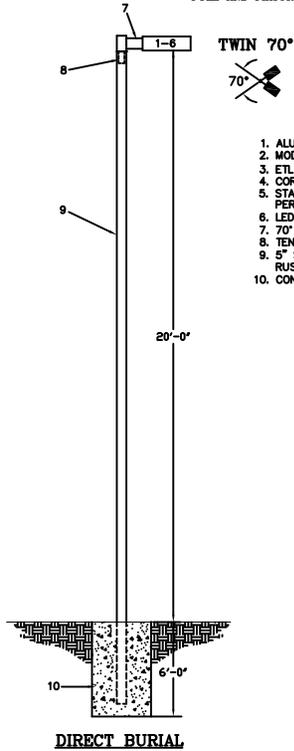


SPECIFICATIONS

1. ALUMINUM HOUSING
2. MODULAR LED SYSTEM
3. ETL LISTED FOR WET LOCATIONS(IP64)
4. CORROSION RESISTANT GREEN E-COAT LAYER
5. STATE OF THE ART UV STABILIZED ACRYLIC HIGH PERFORMANCE REFRACTIVE OPTICAL ASSEMBLIES
6. LED POWER SUPPLY CONFORMS TO UL8750 STANDARDS.
7. 70° ALUMINUM BRACKET.
8. TENON, SUP-FIT MOUNT (3-1/2" x 6").
9. 5" STRAIGHT ROUND ALUMINUM POLE .250" THK. D.O.T. RUSTPROOF POWDER COAT PAINTED.
10. CONCRETE FOUNDATION 18" x 18" x 6'

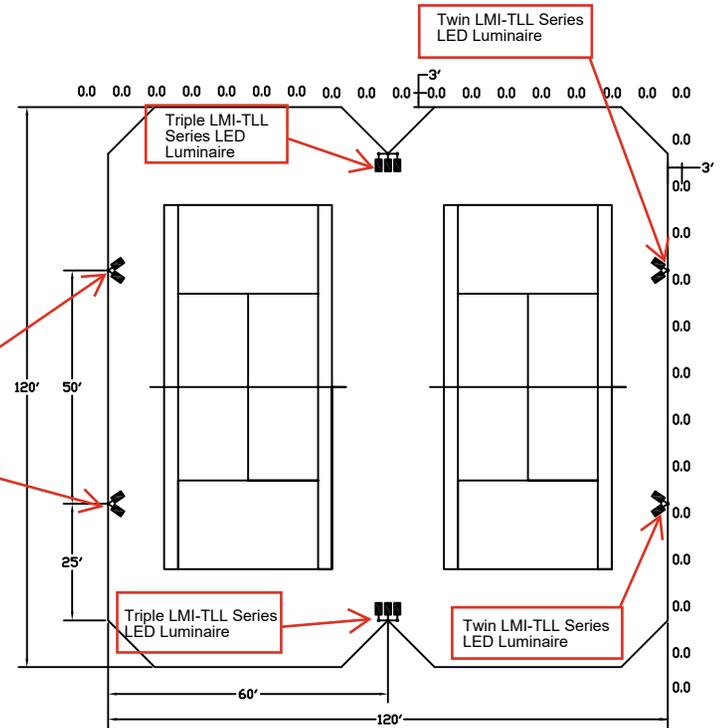
STRUCTURAL SUPPORT FOR TWIN 70° LMI-TLL SERIES LED LUMINAIRE

DESIGN WIND LOAD = 170 M.P.H. Exp. CAT D
 RISK CAT. II F.B.C. 2020
 SINGLE HSG FIXTURE EPA (SQ. FT.) = 0.9
 POLE WEIGHT = 120 LBS.
 (6061 T6 ALUMINUM ALLOY)
 FIXTURE WEIGHT = 43 LBS.
 POLE AND FIXTURE WEIGHT = 206 LBS.



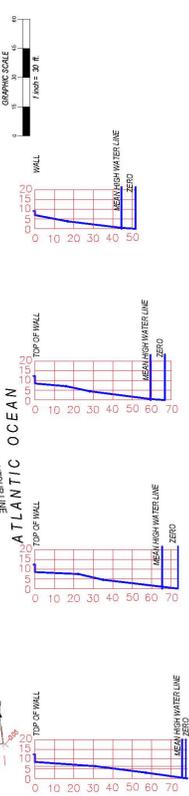
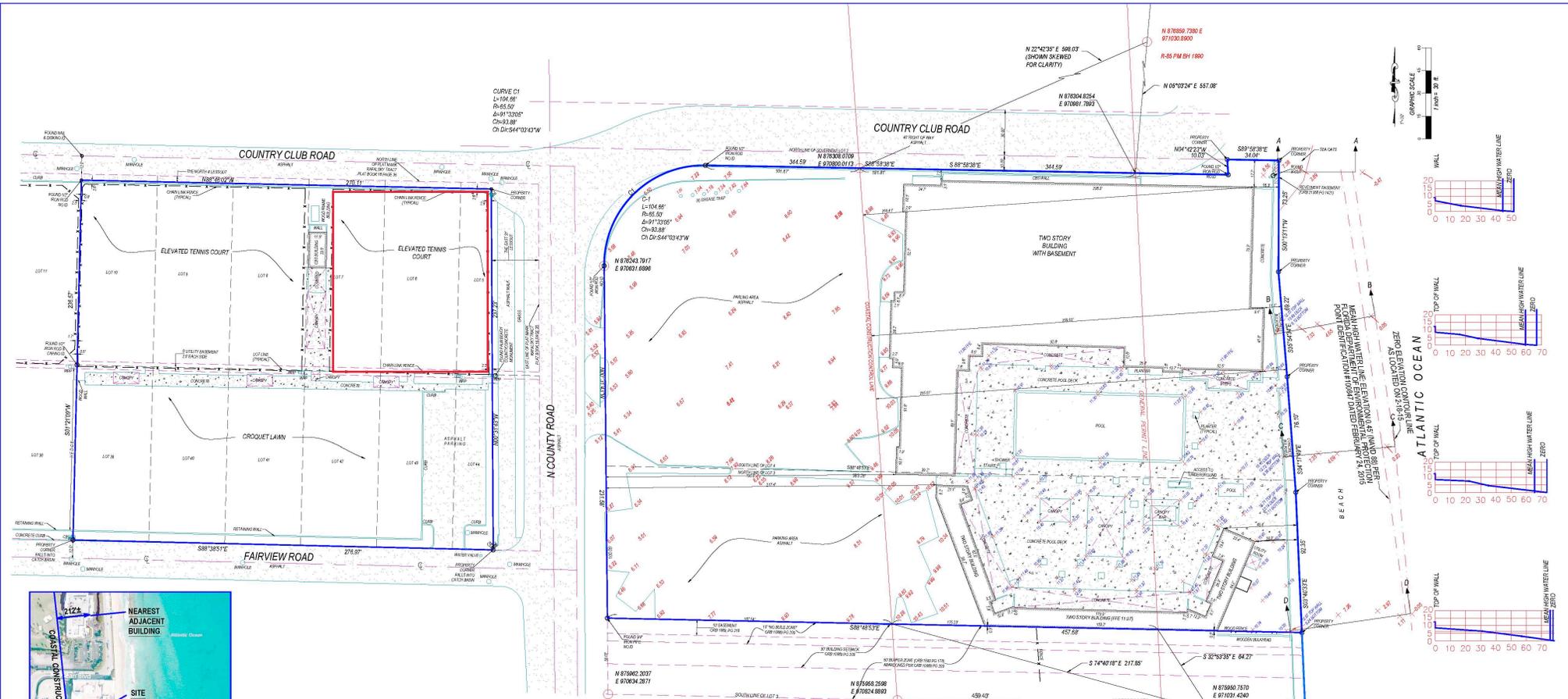
SPECIFICATIONS

1. ALUMINUM HOUSING
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3. ETL LISTED FOR WET LOCATIONS(IP64)
4. CORROSION RESISTANT GREEN E-COAT LAYER
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9. 5" STRAIGHT ROUND ALUMINUM POLE .250" THK. D.O.T. RUSTPROOF POWDER COAT PAINTED.
10. CONCRETE FOUNDATION 18" x 18" x 6'



Lite Maintenance Inc.
 2071 N.W. 29th Street
 Oakland Park, FL. 33311
 Tel. 954-486-0111
 Fax 954-486-0440
 Email: litemaintenance@yahoo.com

DRAWN DWG		The Beach Club	
DATE: 02-10-24		755 North County Road	
SCALE: N.T.S.		Palm Beach, Florida 33480	
DATE:	DRAWN:	REV. #	REVISION DESCRIPTION*
		09-14-2024	REVISED DESIGN WIND LOAD BOTH POLES



ADDRESS
755 NORTH COUNTY ROAD
PALM BEACH, FL 33400

FLOOD ZONE: "C"
Panel No: 120220 0001C
Date: SEPTEMBER 30, 1982

CERTIFIED TO:

1. THE BEACH CLUB INC., A FLORIDA CORPORATION
2. WELLS FARGO BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR
3. LESLIE ROBERT EVANS AND ASSOCIATES, PA
4. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

LEGAL DESCRIPTION:
LOTS 3, LESS THE SOUTH 50 FEET THEREOF, AND ALL OF LOT 4, REPLAT OF OCEAN FRONT, MARK RAFALSKY TRACT, ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIVIL COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 16, PAGE 35, AND
LOT 5, LESS THE EAST 31' AND THE NORTH 4' THEREOF, LOTS 6, 7, 8, 9 AND 10, LESS THE NORTH 4' THEREOF, LOTS 39, 40, 41, 42, 43 AND 44, LESS THE EAST 31' OF LOT 44, MARK RAFALSKY TRACT, ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIVIL COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 11, PAGE 51.

TITLE COMMITMENT REVIEW
THIS OFFICE HAS REVIEWED THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S ALTA 2008 OWNERS POLICY, FILE NO. 14101205 KD2 REVISION B, AGENT FILE NO. 3801.101, EFFECTIVE DATE: NOVEMBER 14, 2014, AND ALL PLOTTABLE SURVEY MATTERS ARE DEPICTED. SCHEDULE B EXCEPTIONS:
1 THROUGH 7, STANDARD EXCEPTIONS, NOT SURVEY RELATED, NOT DEPICTED.
8 MATTERS OF THE PLAT OF MARK RAFALSKY TRACT, ALL MATTERS OF PLAT ARE DEPICTED WITHOUT COMMENT.
9 MATTERS OF THE REPLAT OF OCEAN FRONT MARK RAFALSKY TRACT, ALL MATTERS OF PLAT ARE DEPICTED WITHOUT COMMENT.
10 AGREEMENT WITH TOWN OF PALM BEACH IN ORB 1880 PAGE 178 AND ORB 10699 PAGE 209, DEPICTED "NO BUILD ZONE" AND BUILDING SETBACKS ON SOUTH OF PROPERTY.
11. RESTRICTIONS IN DEED BOOK 7068 PAGE 1632, PROHIBITS RESIDENTIAL USE, NOT A SURVEY MATTER, NOT DEPICTED.
12. MATTERS IN THE DECLARATION IN ORB 12201 PAGE 185, PROHIBITS RESIDENTIAL USE, NOT A SURVEY MATTER, NOT DEPICTED.
13. EASEMENT IN ORB 21358 PG 1421, DEPICTED IN NORTHEAST OF PROPERTY.
14. UNITY OF TITLE IN ORB 22976 PG 677, NOT A SURVEY MATTER, NOT DEPICTED.
15. COASTAL CONSTRUCTION CONTROL LINE, DEPICTED.
16. ALL RIGHTS OF THE UNITED STATES GOVERNMENT, NOT A SURVEY MATTER, NOT DEPICTED.
17. INTENTIONALLY DELETED.
18. PUBLIC BEACH RIGHTS, NOT A SURVEY MATTER, NOT DEPICTED.
19. RIGHTS TO SUBMERGED LANDS, NOT A SURVEY MATTER, NOT DEPICTED.
20. RIPARIAN AND LITTORAL RIGHTS, NOT A SURVEY MATTER, NOT DEPICTED.

OWNERSHIP AND ENCUMBRANCE REVIEW
THIS OFFICE HAS FURTHER REVIEWED THE LESLIE R. EVANS & ASSOCIATES OWNERSHIP AND ENCUMBRANCE REPORT DATED NOVEMBER 14TH, 2014, AND THERE ARE NO PLOTTABLE SURVEY MATTERS CONTAINED THEREIN.



ABBREVIATIONS

- C CENTERLINE
- CB CATCH BASIN
- CBH MANHOLE
- WPP WOOD POWER POLE
- ES ELECTRIC SERVICE
- WPT WOODPILE
- CLF CHAIN LINK FENCE
- WTF WOOD FENCE
- CONC CONCRETE
- FO FOUND
- COV COVERED
- WM WATER METER
- CSB CONCRETE BLOCK STRUCTURE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT

S14100865	ADD ELEVATIONS	JPM	CD	02-18-15
	NEW TITLE	--	MEL	12-04-14
	COMMENTS	--	MEL	12-04-14
	ADD WORK	JH	CD	12-02-14
	BOUNDARY SURVEY	JH	CD	11-07-14
	PURPOSE	FIELD	DHRT	DATE

SURVEYORS' NOTES:

1. I HEREBY CERTIFY this survey meets Minimum Technical Standards pursuant to Section 472.027, Florida Statutes.
2. The survey map and report and the copies thereof are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
3. Underground or obscured improvements were not located.
4. Dimensions are record and field unless otherwise noted.
5. Stated dimensions take precedence over scaled dimensions.
6. This firm's Certificate of Authorization Number is LB 6788.
7. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
8. Survey subject to reservations, restrictions, easements and rights-of-way of record.
9. Unless a Title Review, Commitment Review, or Ownership and Encumbrance Review is present on the face of this document, this survey has been completed in the absence of a title insurance policy.
10. Location map is gleaned from online mapping sites and is only approximate.
11. Bearings shown hereon are based on state plane coordinates and reference record monumentation for coastal control.

SIGNED: *Mark D. Lano* DATE: 02-18-15
MARK D. LANO, STATE LICENSE NO. 12518
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 5119

BOUNDARY SURVEY
PM SURVEYING
LICENSED BUSINESS No. 6788

4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764
FAX 561-478-1094

Please visit us on the web @ www.pmsurveying.net