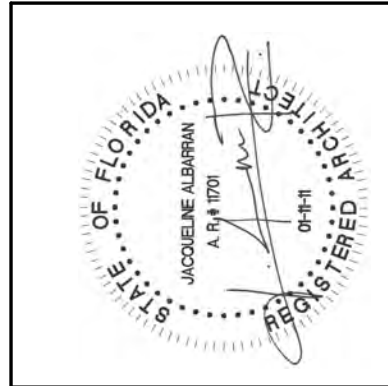




FINAL SUBMITTAL ARC-24-0011 ZON-24-0006
HEARING: ARCOM 06-26-24 TOWN COUNCIL 07-10-24

WORTH AVENUE VENTURES LLC
1741 SOUTH OCEAN BLVD.
PALM BEACH, FL



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:

SHEET NUMBER:
DATE:
05-10-24
JOB #
0496

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

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CIVIL

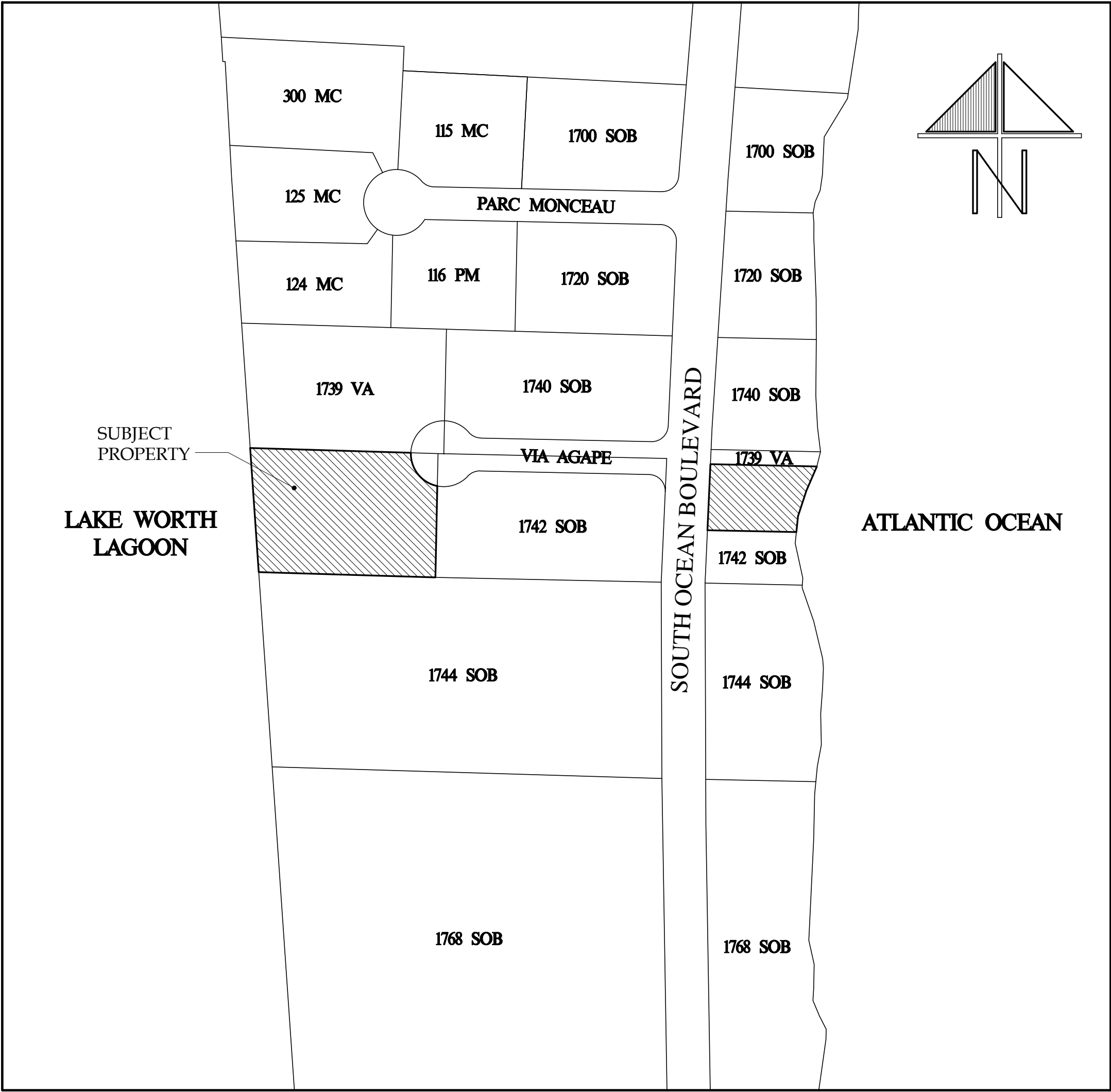
- C1– SITE GRADING AND DRAINAGE PLAN

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- S1– SCREENING PLAN
- TL1– TRUCK LOGISTICS PLAN

SURVEY

BOUNDARY, TOPOGRAPHIC AND EASEMENT SURVEY



PLOT PLAN
SCALE: N.T.S.

ARCHITECT

SKA Architect + Planner
Attn: Jacqueline Albarran
324 Royal Palm Way Suite 227
Palm Beach, FL 33480
(561) 655–7676

CONSULTING ARCHITECT

The Sustainable Architect
Attn: Nora Wheat
(646) 286–5456

LANDSCAPE ARCHITECT

SMI Landscape Architecture Inc.
Attn: Jorge Sanchez
140 Royal Palm Way Suite 206
Palm Beach, FL 33480
(561) 655–9006

STRUCTURAL ENGINEER

Botkin, Parssi & Associates Inc.
Attn: Fatih Acikgoz
2749 Exchange Court
West Palm Beach, FL 33409
(561) 965–1957

CIVIL ENGINEER

Gruber Consulting Engineers, Inc.
Attn: Chad Gruber
2465 Mercer Ave. Ste 206
West Palm Beach, FL 33401
(561) 312–2041

MEP ENGINEER

Jones and Conde LLC
Attn: David Jones
4440 PGA Boulevard
Palm Beach Gardens, FL 33410
(561) 309–9017

CONSULTING SURVEYORS

Wallace Surveying
5553 Village Blvd.
West Palm Beach, FL 33407
(561) 640–4551

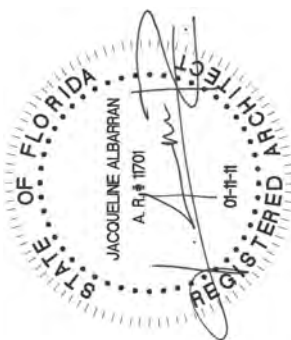
SCOPE OF WORK

WE ARE PROPOSING THE FOLLOWING ALTERATIONS TO THE EXISTING 2–STORY SINGLE FAMILY RESIDENCE:

- A SECOND FLOOR ADDITION ON THE SOUTH SIDE OF THE HOME WILL BE REMOVED.
- A NEW SECOND FLOOR WILL BE ADDED OVER THE CENTRAL PORTION OF THE HOME.
- THE INTERIOR OF THE HOUSE WILL BE RENOVATED AT THE FIRST AND SECOND FLOORS.
- ALL WINDOWS AND DOORS WILL BE REPLACED WITH NEW IMPACT–RATED UNITS.
- AT THE REAR OF THE HOUSE, WE ARE PROPOSING TO ADD A COVERED TERRACE AND PERGOLA, A PORTION OF THE COVERED TERRACE WILL REQUIRE A LOT COVERAGE VARIANCE.
- DUE TO REMOVAL OF MORE THAN 50% OF THE EXISTING ROOF, AN EXISTING FRONT–YARD SETBACK AND AN EXISTING SOUTH SIDE–YARD SETBACK WILL REQUIRE VARIANCES.
- THE POOL WILL BE REDUCED IN SIZE AND THE LANDSCAPING WILL BE UPGRADED. ALTHOUGH THE AMOUNT OF HARDSCAPE IS BEING REDUCED, A LANDSCAPE OPEN SPACE VARIANCE WILL BE REQUIRED, DUE TO REMOVAL OF MORE THAN 50% OF THE EXISTING ROOF.

Line 0	ZONING LEGEND		
1	PROPERTY ADDRESS	1741 SOUTH OCEAN BLVD, PALM BEACH, FL	
2	ZONING DISTRICT	R–A	
3	LOT SIZE (SQ. FT.)	21,268 SQ. FT.	
4	LOT WIDTH (W) & DEPTH (D)	125' +/- (W) & 166' +/- (D)	
5	STRUCTURE TYPE	SINGLE–FAMILY	
6	FEMA FLOOD ZONE DESIGNATION	FLOOD ZONE AE & X	
7	ZERO DATUM FOR POINT OF MEAS. (NAVD)	16.03' NAVD	
8	CROWN OF ROAD (COR) (NAVD)	14.53' NAVD (HIGHEST POINT IN CUL–DE–SAC CIRCLE)	
9		REQUIRED/ALLOWED	EXISTING PROPOSED
10	LOT COVERAGE (SQ. FT.)	5,317.00 (25%)	5,266.78 (24.76%) 5,389.09 (25.34%)*
11	ENCLOSED SQUARE FOOTAGE		6,323.9 8,544.37
12	FRONT YARD SETBACK (1 STORY/2 STORY)	35.0'/35.0'	30.2'/62.2' 30.2'/47.3'
13	SIDE YARD SETBACK (1 STORY)	15.0' MIN.	15.7' (N) N/A (S) 15.7' (N) 15.9' (S)
14	SIDE YARD SETBACK (2 STORY)	15.0' MIN.	N/A (N) 14.3' (S) N/A (N) 14.3' (S)
15	REAR STREET YARD SETBACK	15.0' MIN.	58.75' 45.22'
16	ANGLE OF VISION	N/A	N/A N/A
17	BUILDING HEIGHT	25.0'	20.32' 25.0'
18	OVERALL BUILDING HEIGHT	30.0'	25.22' 28.17'
19	CUBIC CONTENT RATIO	N/A	N/A N/A
20	MAX. AMOUNT OF FILL ADDED TO SITE		NONE
21	FINISH FLOOR ELEVATION (FFE) (NAVD)		17.2' 17.2'
22	BASE FLOOD ELEVATION (BFE) (NAVD)	7.0'	7.0' 7.0'
23	LANDSCAPE OPEN SPACE (LOS)	10,634 (50%)	8,338.0 (39.21%) 9,735.0 (45.77%)
24	PERIMETER (LOS)	1,853 (50%)	3,705 (92.0%) 3,263 (88.0%)
25	FRONT YARD (LOS)	1,665 (45%)	1,665 (45%) 1,665 (45%)
26	NATIVE PLANT SPECIES %	30%	
			32%

* PROPOSED LOT COVERAGE DOES NOT INCLUDE THE 217.37 SQ. FT. PERGOLA. ADDITIONAL 3% (638 SQ. FT.) IS ALLOWED.



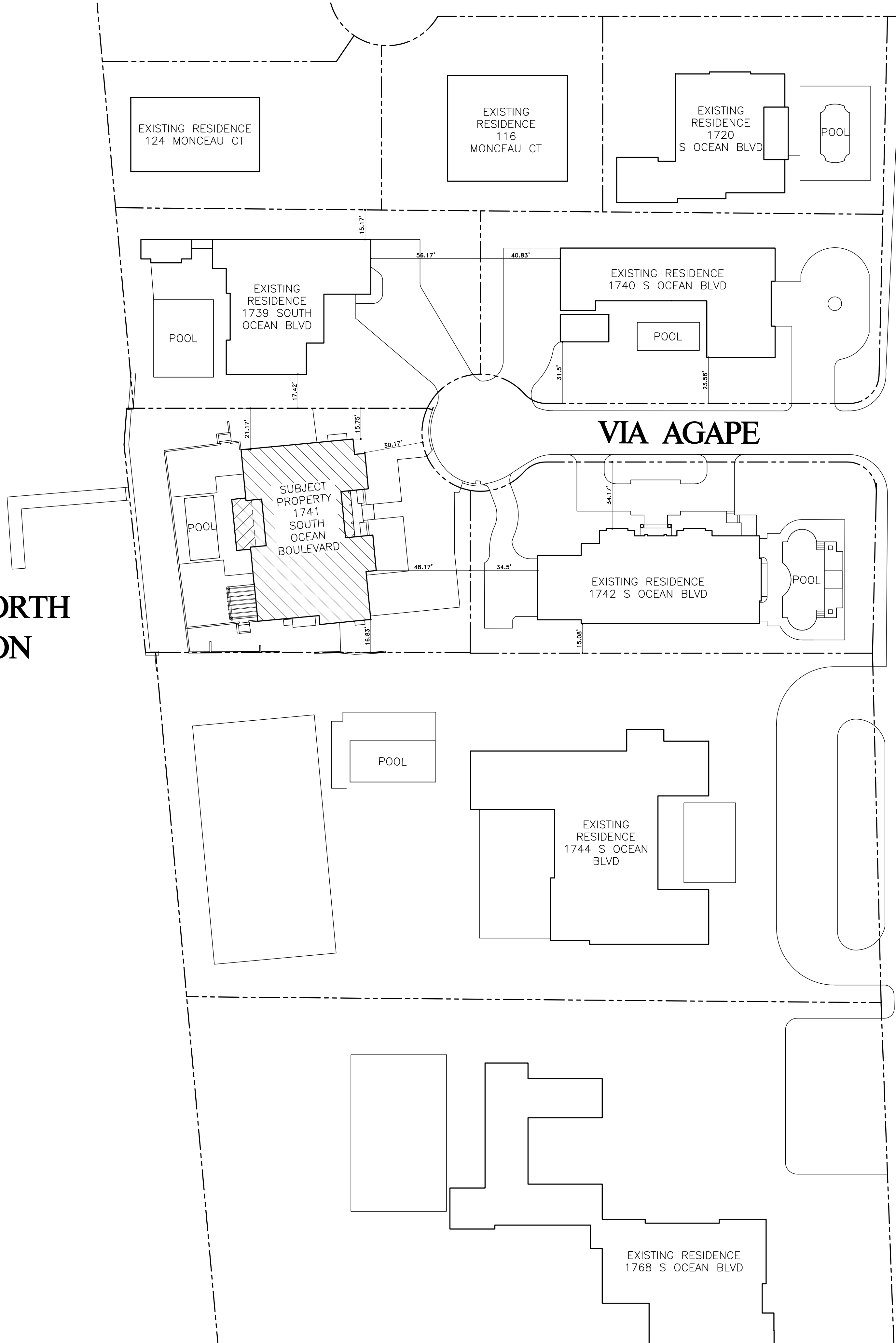
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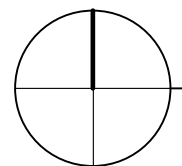
SKA
S
WORTH AVE. VENTURES LLC RESIDENCE
1741 SOUTH OCEAN BOULEVARD, PALM BEACH, FLORIDA

DATE:
05–10–24

LAKE WORTH
LAGOON



ATLANTIC
OCEAN



PROPOSED NEIGHBORING PROPERTIES MAP

SCALE: 1/32" = 1'-0"

WORTH AVENUE VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA

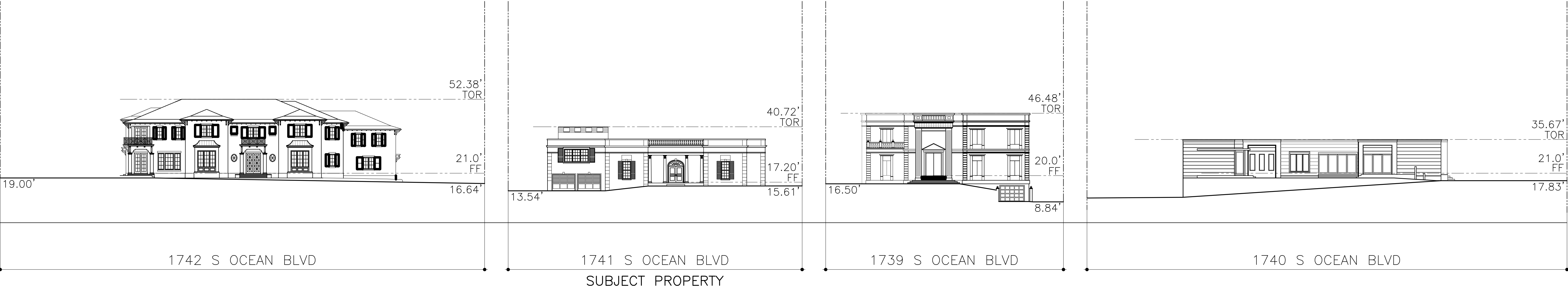


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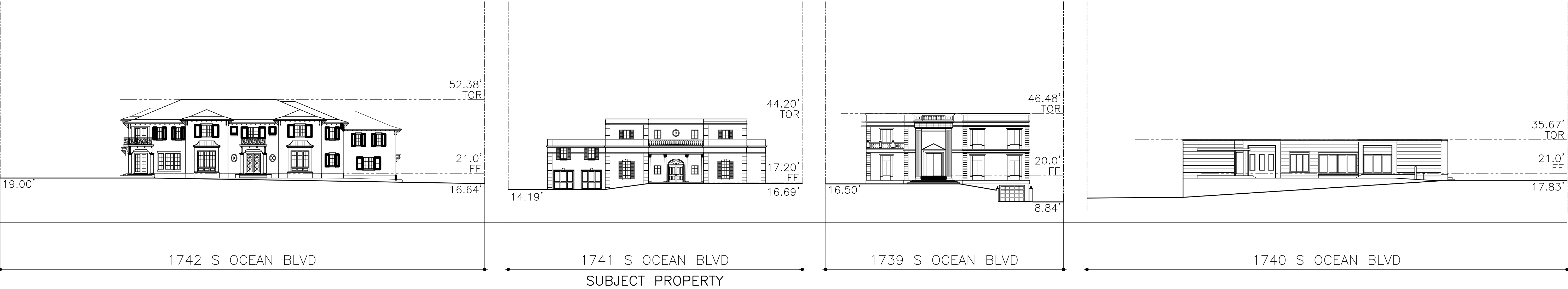
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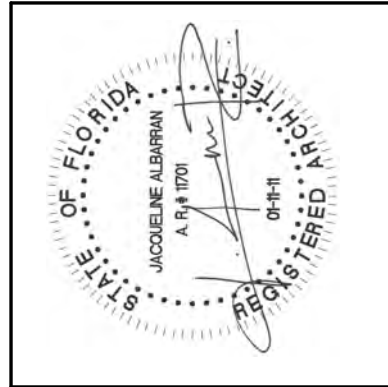
EXISTING STREETScape VIA AGAPE
SCALE: 3/64" = 1'-0"



PROPOSED STREETScape VIA AGAPE
SCALE: 3/64" = 1'-0"

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SKA ARCHITECT + PLANNER
324 ROY PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

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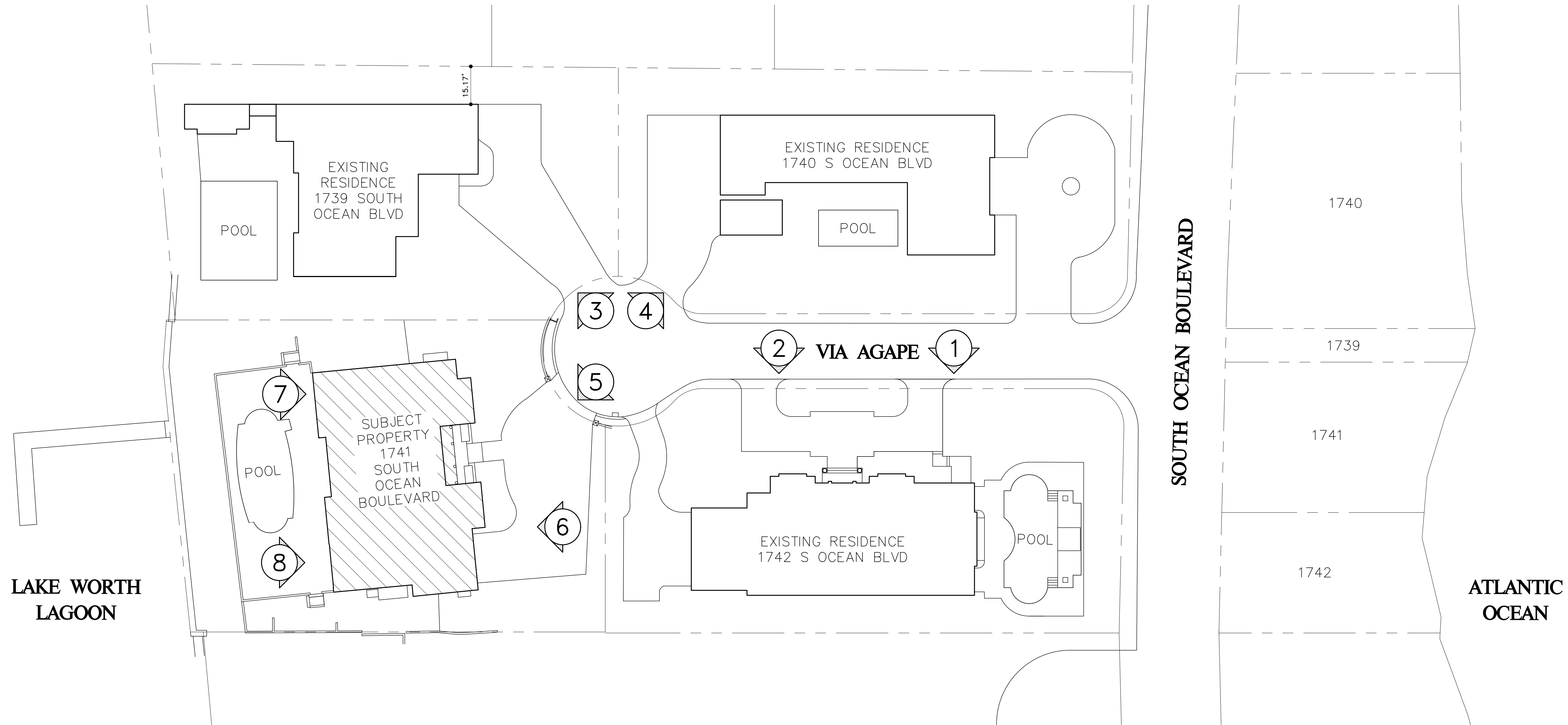
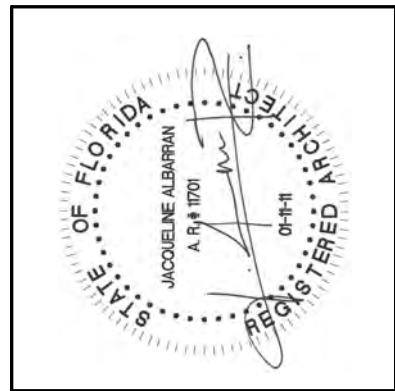


PHOTO KEY PLAN
SCALE: 3/32"=1'-0"

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1 - 1742 S. Ocean Blvd



2 - 1742 S. Ocean Blvd

NEIGHBORING PROPERTIES



3 - 1739 S. Ocean Blvd



4 - 1740 S. Ocean Blvd



5 - East Elevation



6 - East Elevation

SUBJECT PROPERTY



7- West Elevation



8- West Elevation



9 – South Side of Garage



10- North Elev. Looking West

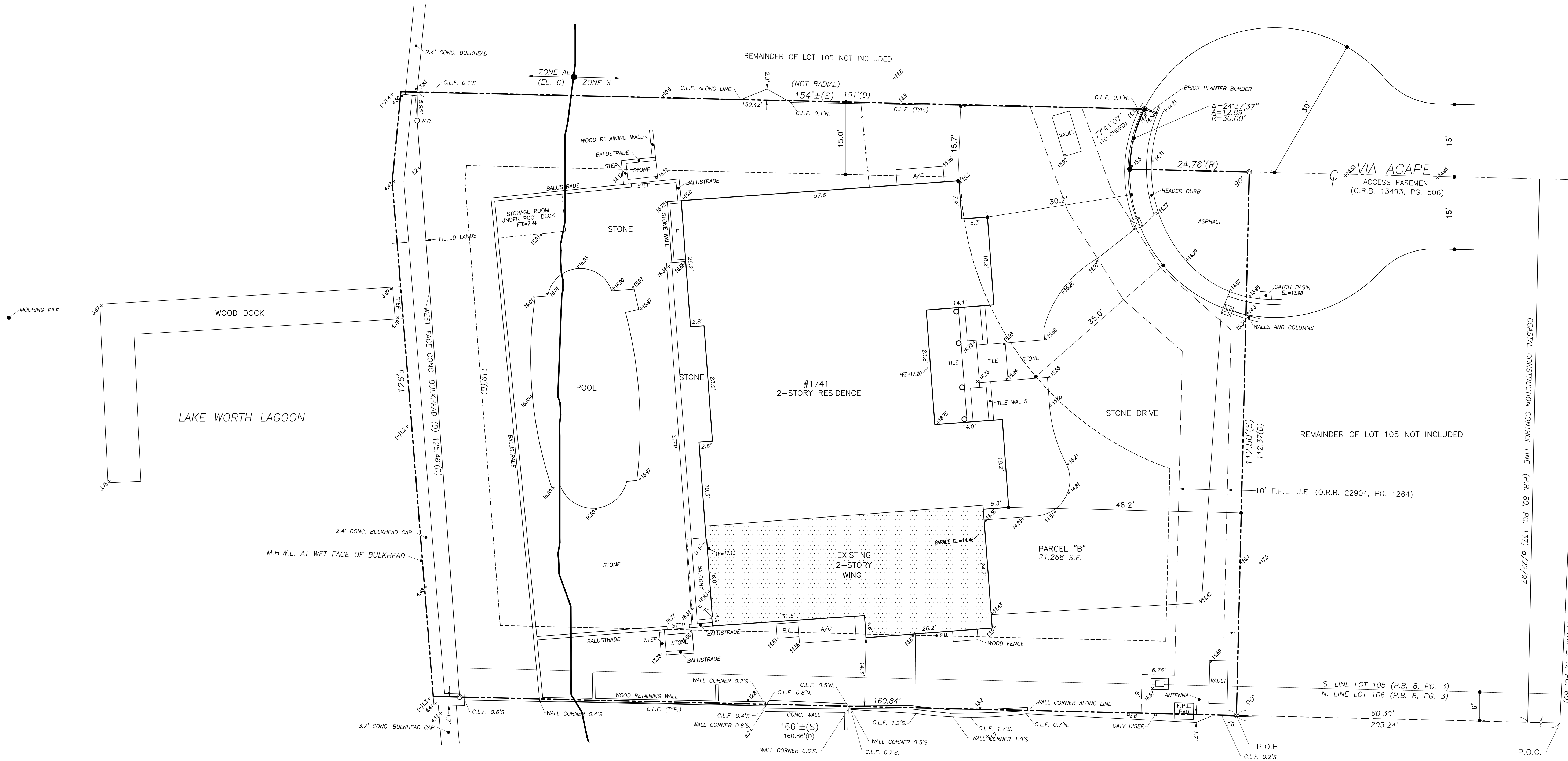


11- South Elev. Looking West



12 – North Elevation

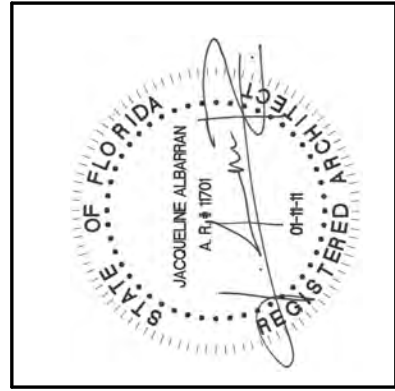
**SUBJECT
PROPERTY**



EXISTING SITE PLAN
SCALE: 3/32"=1'-0"

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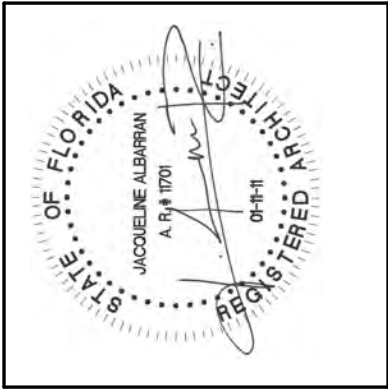
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REGISTERED ARCHITECT 11701

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0496

SKA
ARCHITECT + PLANNER
324 ROY PALMWAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

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1741 SOUTH OCEAN BLVD.
PALM BEACH, FL

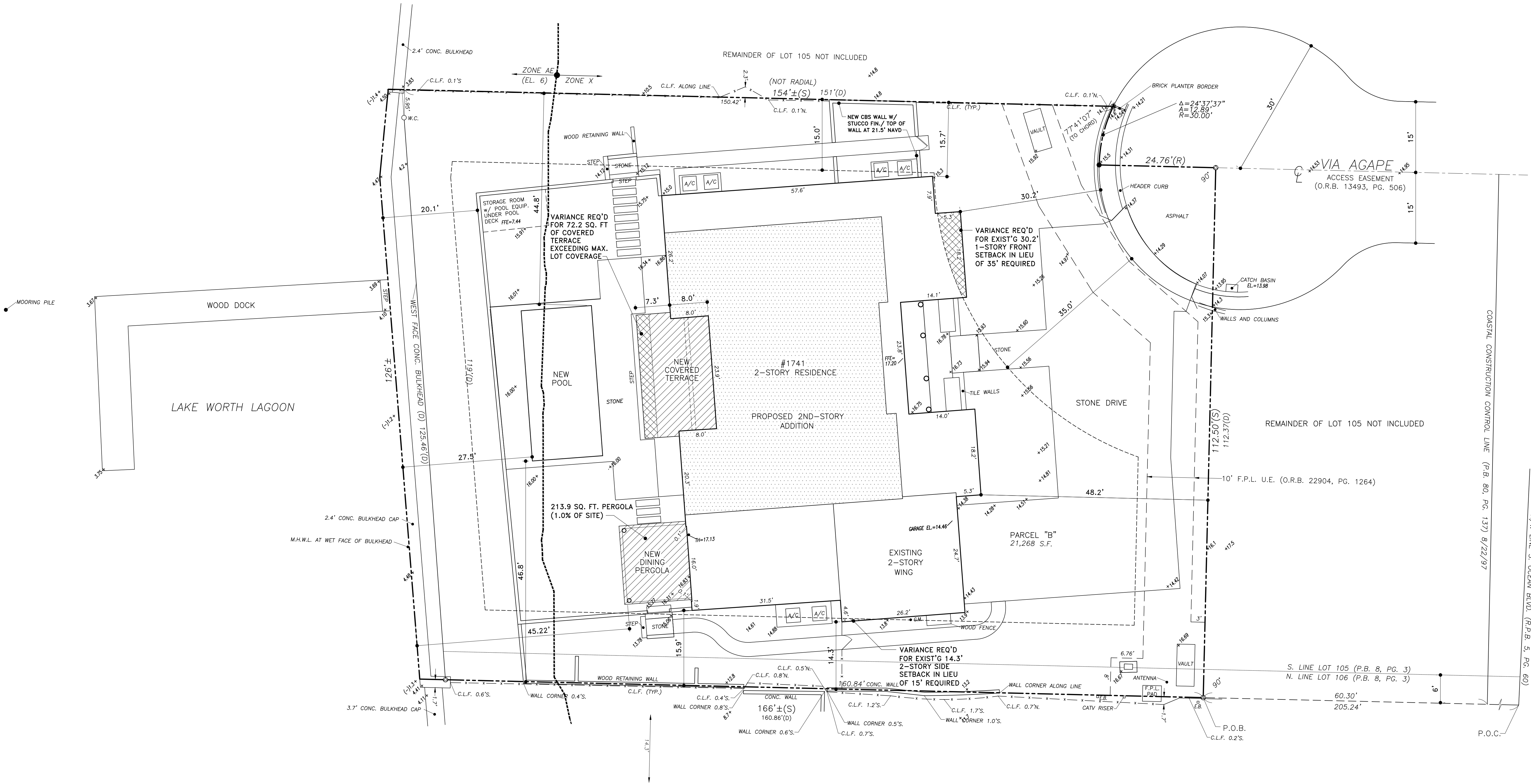


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LOT CALCULATIONS						
ZONING DISTRICT RA	REQUIRED/ALLOWED		EXISTING		PROPOSED	
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE
LOT COVERAGE	5,316.88 MAX.	25.00% MAX.	5,266.78	24.76%	5,389.09	25.34%
HARDSCAPE	—	—	7,662.75	36.03%	6,143.44	28.89%
LANDSCAPE	10,833.77 MIN.	50.00% MIN.	8,338.0	39.21%	9,735.0	45.77%
TOTAL LOT	21,267.53	100.0 %	21,267.53	100.0 %	21,267.53	100.0 %
FRONT YARD LANDSCAPING	1,665.00	45.00% MIN.	1,665.00	45.00%	1,665.00	45.00%

* PROPOSED LOT COVERAGE DOES NOT INCLUDE THE 217.37 SQ. FT. PERGOLA (3% OVER MAXIMUM OR 638 SQ. FT. ALLOWED)

PROPOSED SITE PLAN
SCALE: 3/32"=1'-0"

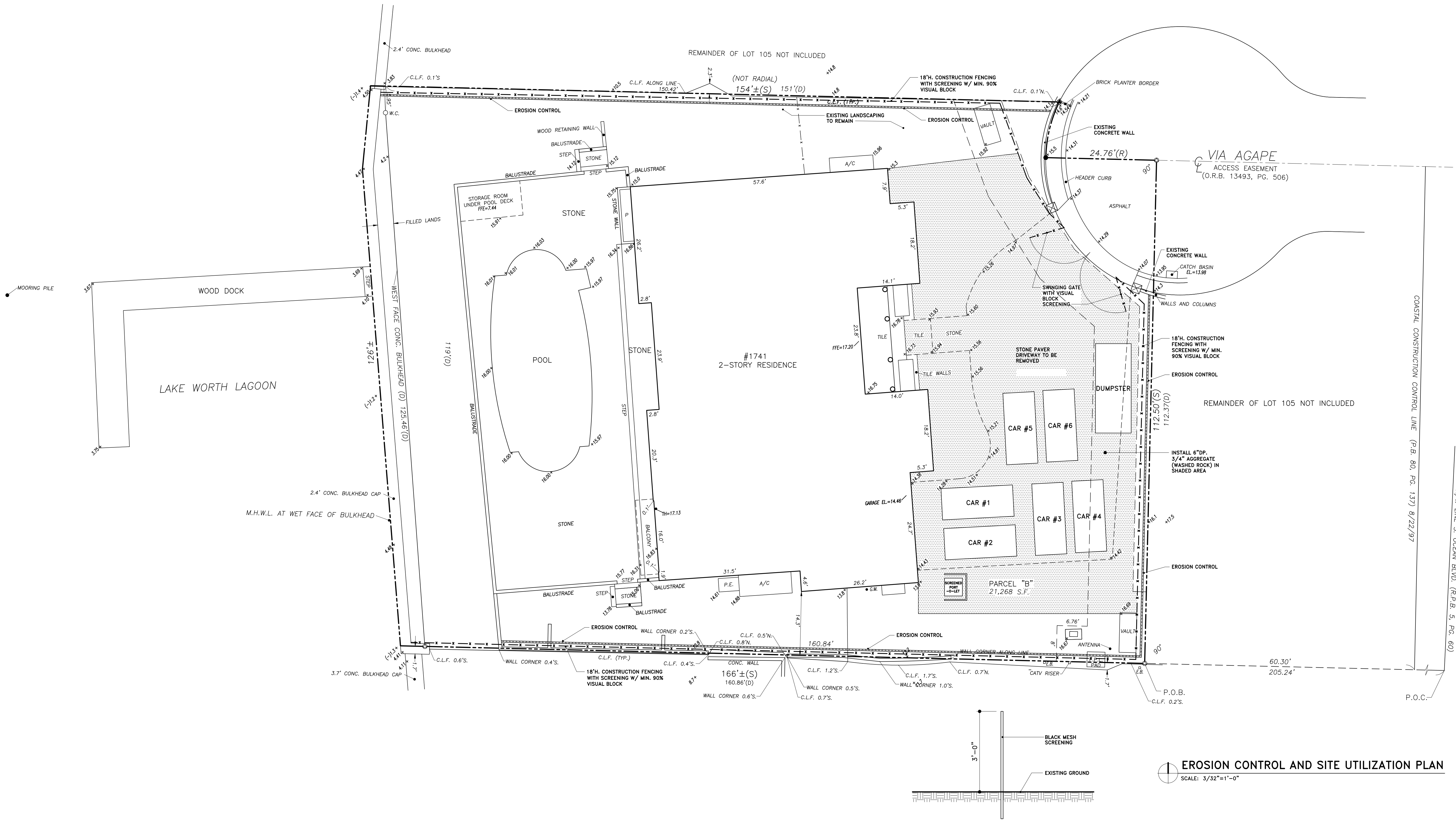
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REGISTERED ARCHITECT 11701

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05-10-24
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EROSION CONTROL DETAIL

GENERAL EROSION CONTROL NOTES:

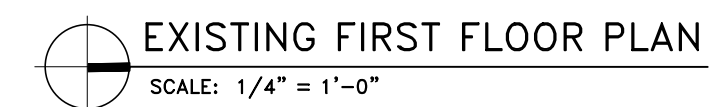
- EROSION CONTROL TO BE ACCORDING TO TOWN CODE CH. 66 S. 66-443.
- CONSTRUCTION MATERIAL STORAGE AND PARKING TO BE ACCORDING TO "RIGHT OF WAY" STAND. MANUAL, PAGE XII.2
- LANDSCAPING TO MEET TOWN CODES WITH RESPECT TO PLANTINGS IN "RIGHT OF WAY", EASEMENTS AND/OR SIGHT TRIANGLES.
- LANDSCAPING WILL CONFORM TO GRADING DRAINAGE RETENTION.
- EXISTING FENCING AND HEDGES TO REMAIN DURING CONSTRUCTION

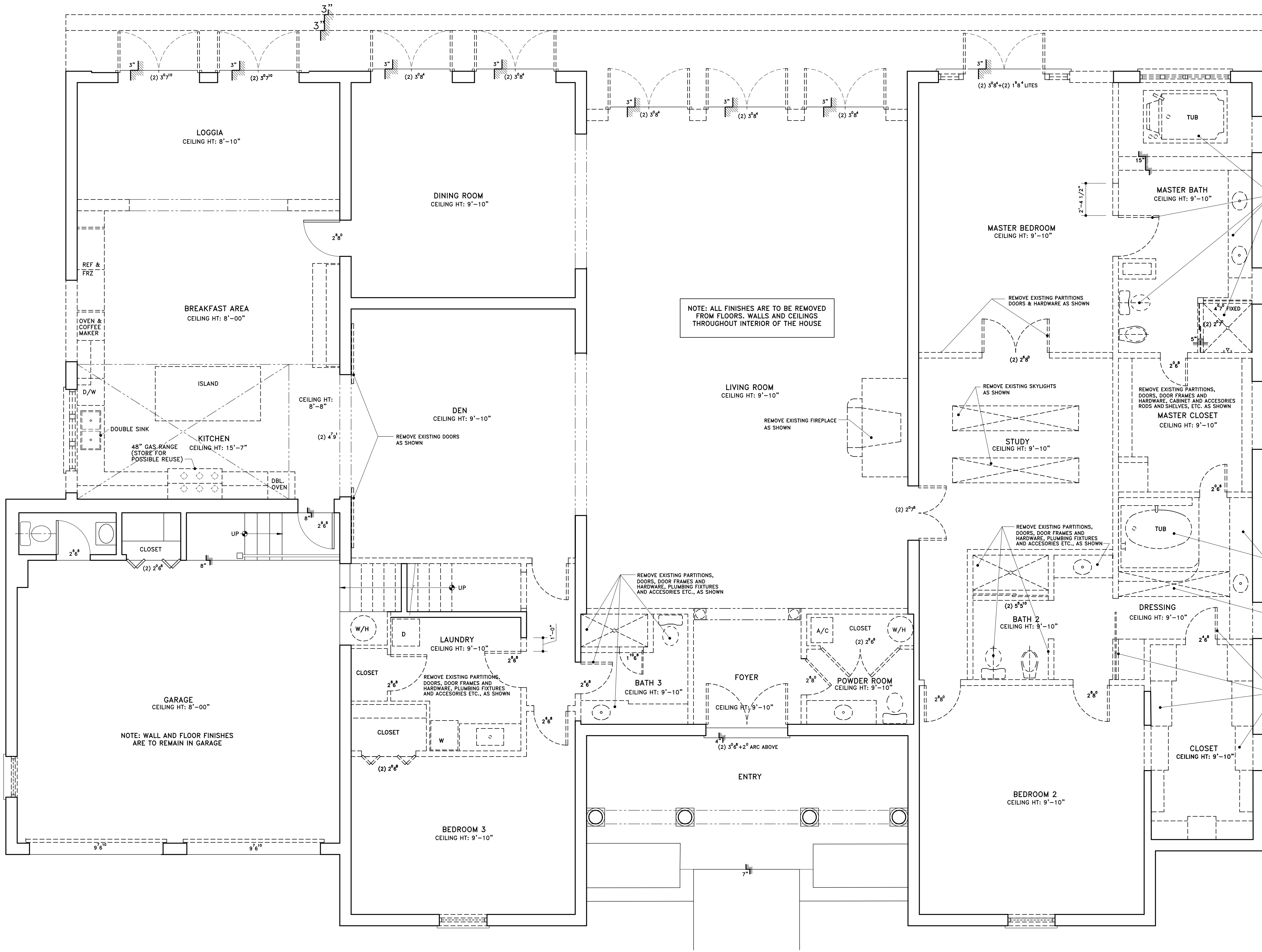
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WORTH AVENUE VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



496





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LEGEND
— EXISTING WALLS TO REMAIN
--- TO BE REMOVED
- - - ELEMENTS ABOVE

NOTES:
THE G.C. SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
SHORE-UP AND SECURE ALL STRUCTURAL COMPONENTS OF THE AREA TO BE REMOVED OR ALTERED.
REMOVE ALL ABANDONED ELECTRICAL WIRING BACK TO MAIN PANEL OR ACCESSIBLE JUNCTION BOX.

REMOVE EXISTING PARTITION, DOORS, DOOR FRAMES AND HARDWARE, PLUMBING FIXTURES AND ACCESSORIES, AS SHOWN

MASTER BATH
CEILING HT: 9'-10"

MASTER BEDROOM
CEILING HT: 9'-10"

REMOVE EXISTING PARTITIONS, DOORS & HARDWARE AS SHOWN

(2) 2'6"

REMOVE EXISTING SKYLIGHTS AS SHOWN

STUDY
CEILING HT: 9'-10"

(2) 2'7"

REMOVE EXISTING PARTITIONS, DOORS, DOOR FRAMES AND HARDWARE, PLUMBING FIXTURES AND ACCESSORIES ETC., AS SHOWN

BATH 2
CEILING HT: 9'-10"

DRESSING
CEILING HT: 9'-10"

REMOVE EXISTING PARTITIONS, DOORS, DOOR FRAMES AND HARDWARE, PLUMBING FIXTURES AND ACCESSORIES ETC., AS SHOWN.

REMOVE EXISTING SKYLIGHT AS SHOWN

REMOVE EXISTING PARTITIONS, DOORS, DOOR FRAMES AND HARDWARE, CABINETS AND ACCESSORIES, SHELVES ETC., AS SHOWN

REMOVE BLOCK AT NEW WINDOW LOCATIONS (TYPICAL)

NOTE: ALL FINISHES ARE TO BE REMOVED FROM FLOORS, WALLS AND CEILINGS THROUGHOUT INTERIOR OF THE HOUSE

LIVING ROOM
CEILING HT: 9'-10"

REMOVE EXISTING FIREPLACE AS SHOWN

REMOVE EXISTING PARTITIONS, DOORS, DOOR FRAMES AND HARDWARE, PLUMBING FIXTURES AND ACCESSORIES ETC., AS SHOWN

BATH 3
CEILING HT: 9'-10"

FOYER
CEILING HT: 9'-10"

POWDER ROOM
CEILING HT: 9'-10"

(2) 3'6" + 2' ARC ABOVE

ENTRY

BEDROOM 2
CEILING HT: 9'-10"

BEDROOM 3
CEILING HT: 9'-10"

REMOVE EXISTING PARTITIONS, DOORS, DOOR FRAMES AND HARDWARE, PLUMBING FIXTURES AND ACCESSORIES ETC., AS SHOWN

(2) 2'6"

CLOSET
CEILING HT: 9'-10"

CLOSET
CEILING HT: 9'-10"

GARAGE
CEILING HT: 8'-00"

NOTE: WALL AND FLOOR FINISHES ARE TO REMAIN IN GARAGE

BREAKFAST AREA
CEILING HT: 8'-00"

KITCHEN
CEILING HT: 15'-7"

DOUBLE SINK

48" GAS RANGE (STORE FOR POSSIBLE REUSE)

DBL. OVEN

D/W

REF & FRZ

ISLAND

UP

CLOSET

(2) 2'6"

8"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

2'6"

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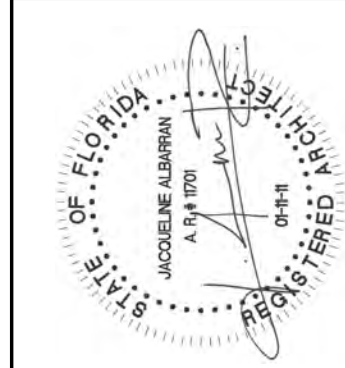
2'6"

2'6"

2'6"

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA

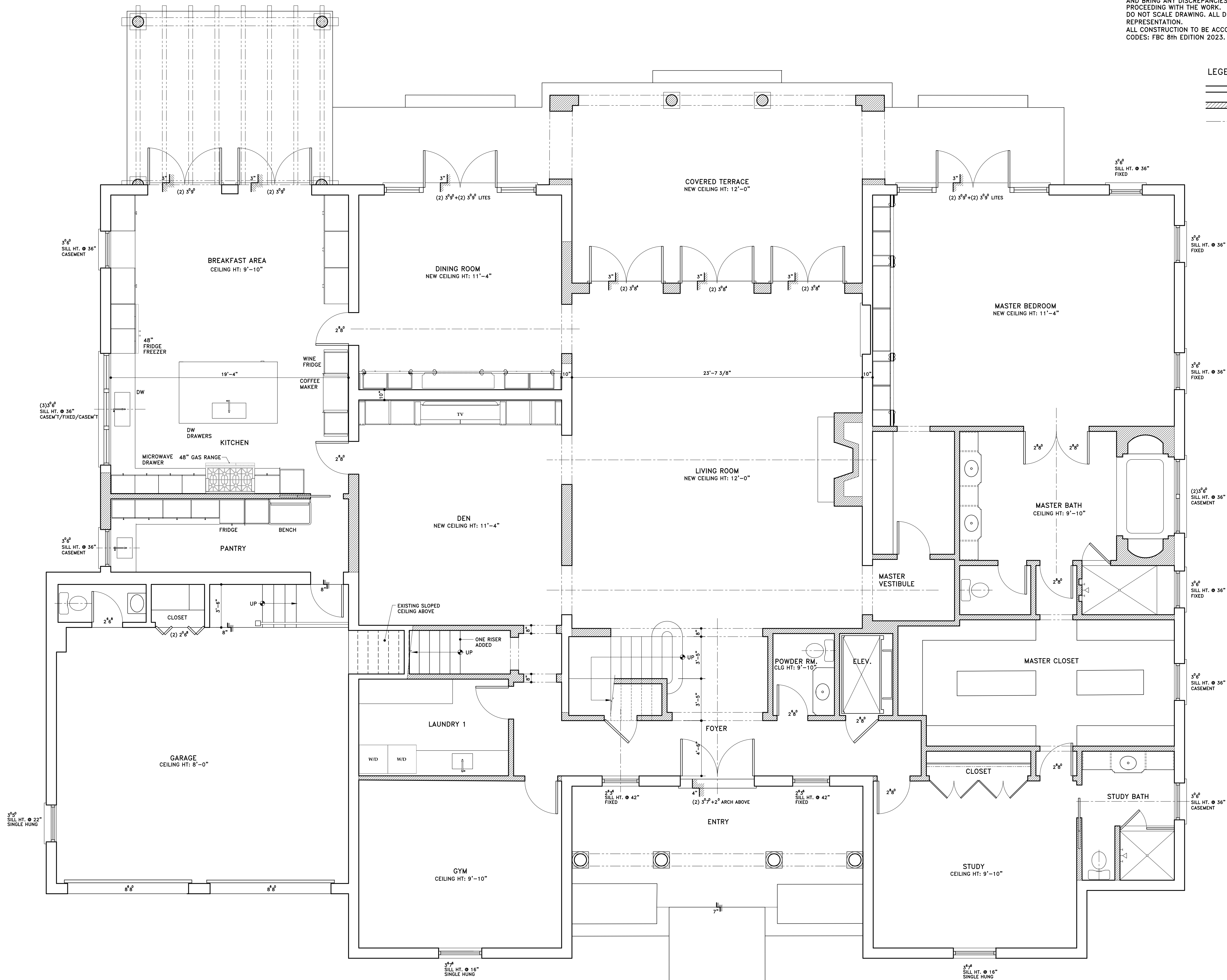


JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:	
1	
△	
△	
△	

SHEET NUMBER:	
A5.2	
DATE:	05-10-24
JOB #	0496

SKA
SKA ARCHITECT + PLANNER
324 BOWEN BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533



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LEGEND
EXISTING WALLS TO REMAIN
NEW WALLS
ELEMENTS ABOVE

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676

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PALM BEACH, FLORIDA

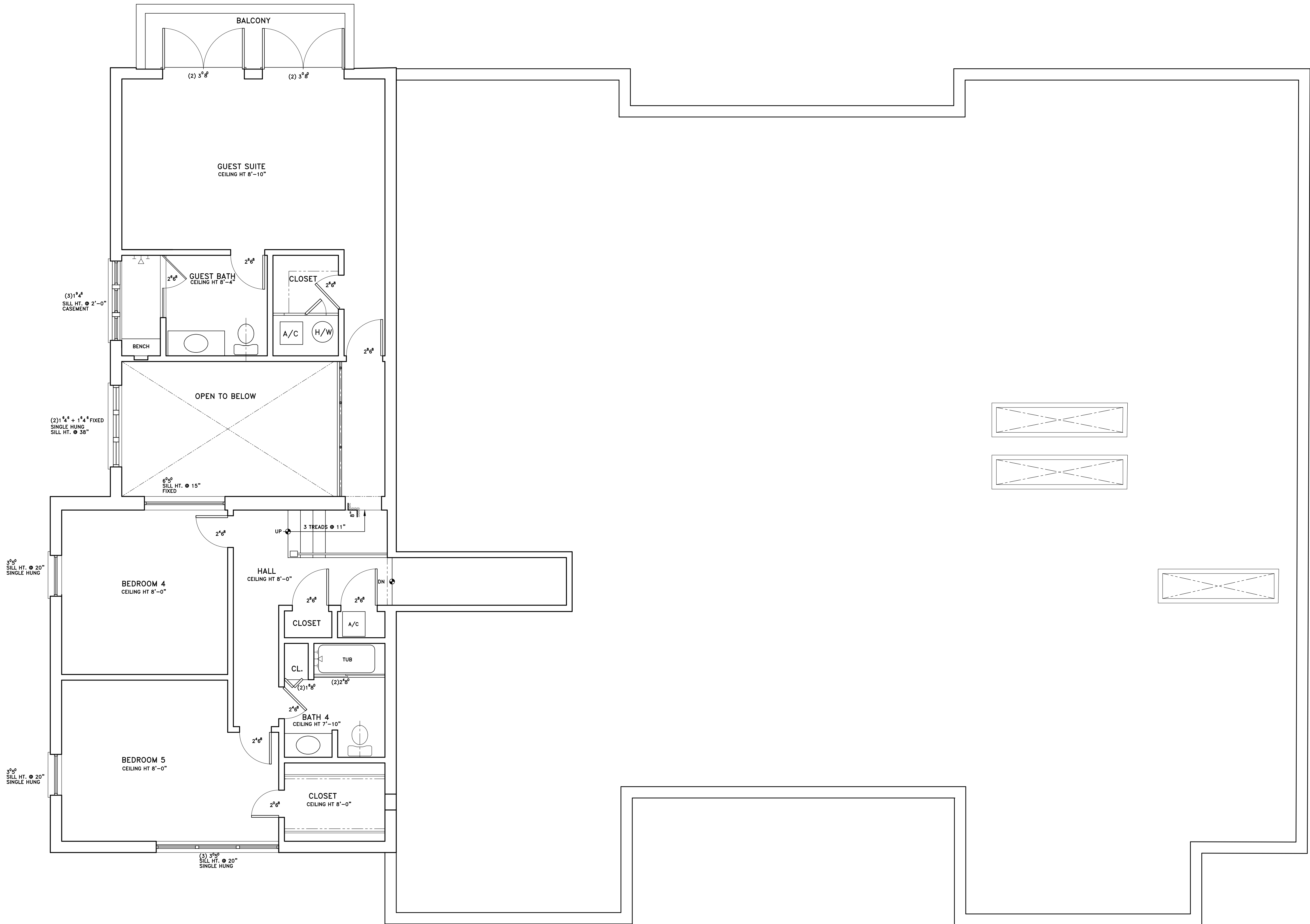


JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

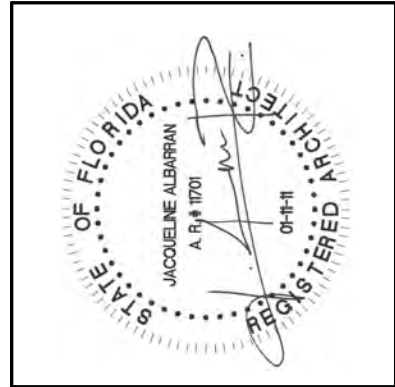
REVISIONS:
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SHEET NUMBER:
A6
DATE: 05-10-24
JOB # 0496

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

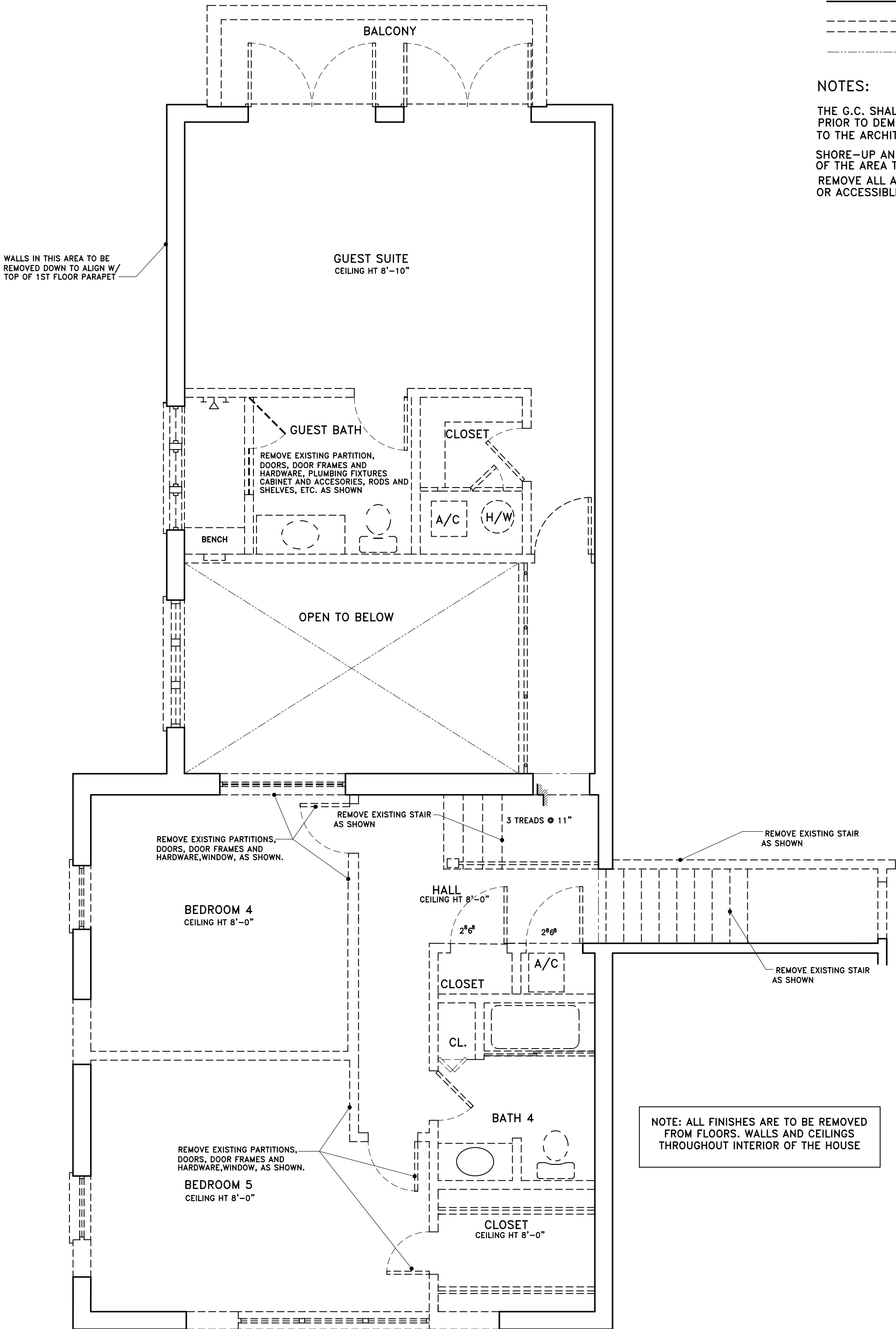
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DATE:	05-10-24
JOB #	0496

GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

- LEGEND
- EXISTING WALLS TO REMAIN
 - TO BE REMOVED
 - ELEMENTS ABOVE

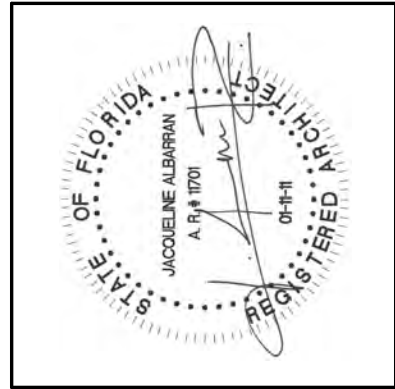
NOTES:
THE G.C. SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
SHORE-UP AND SECURE ALL STRUCTURAL COMPONENTS OF THE AREA TO BE REMOVED OR ALTERED.
REMOVE ALL ABANDONED ELECTRICAL WIRING BACK TO MAIN PANEL OR ACCESSIBLE JUNCTION BOX.



SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

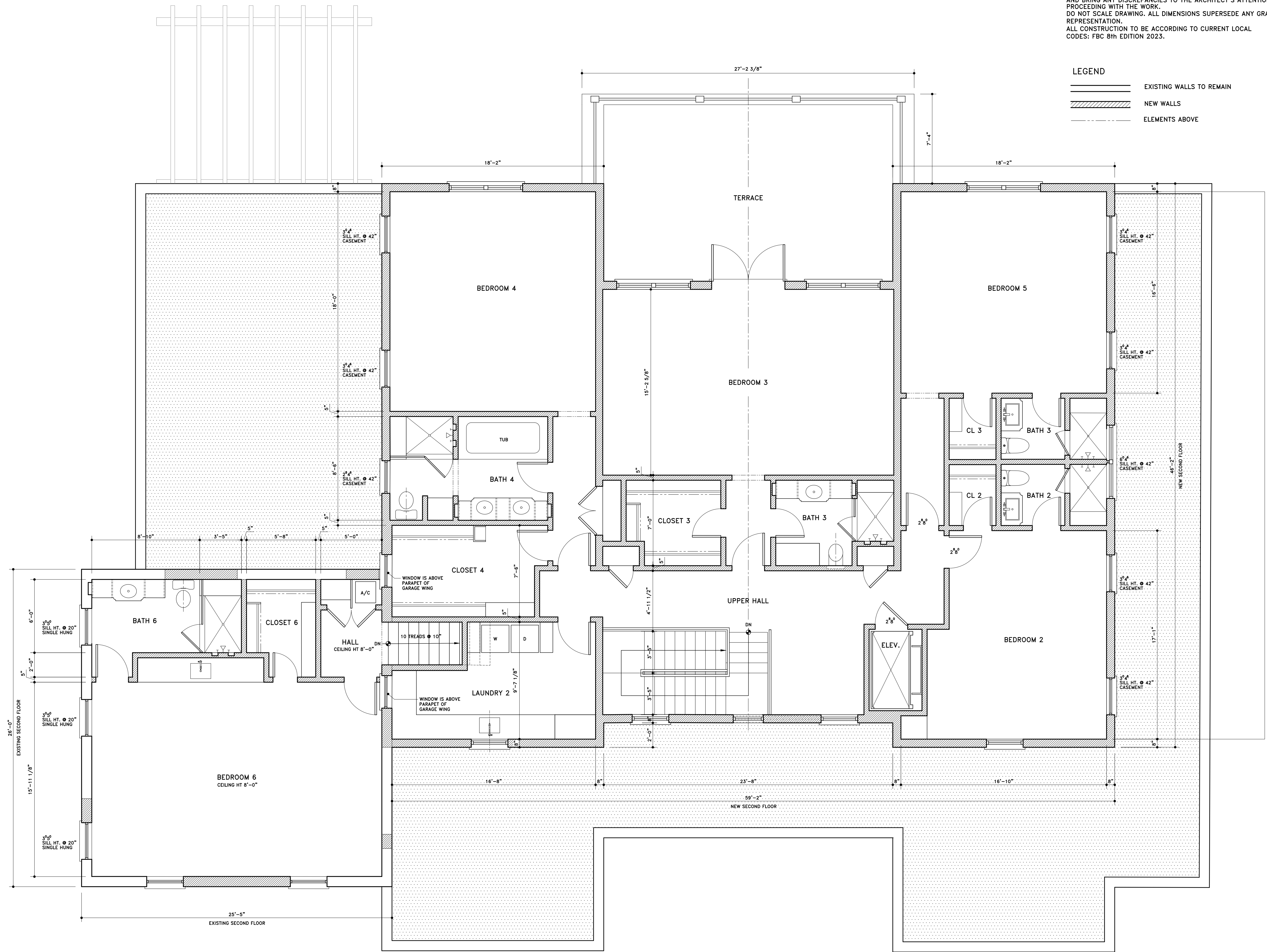
SKA
SKA ARCHITECT + PLANNER
324 BOWEN BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

WORTH AVENUE VENTURES LLC
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PALM BEACH, FLORIDA



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SHEET NUMBER:	
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DATE:	05-10-24
JOB #	0496



GENERAL NOTE:
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DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

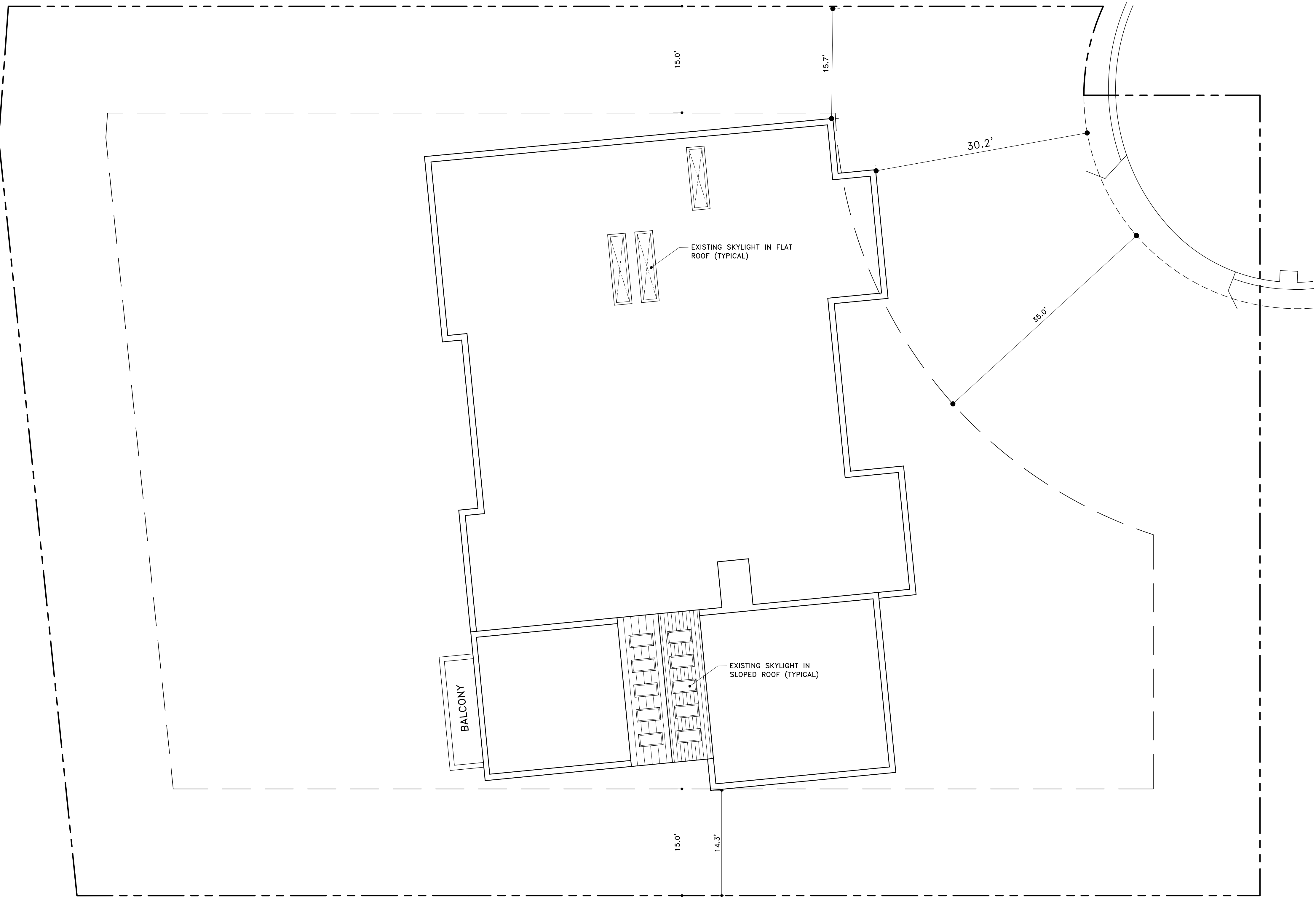
LEGEND
EXISTING WALLS TO REMAIN
NEW WALLS
ELEMENTS ABOVE

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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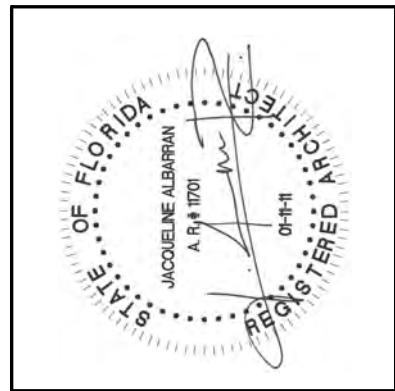
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DATE:	05-10-24
JOB #	0496



EXISTING ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023

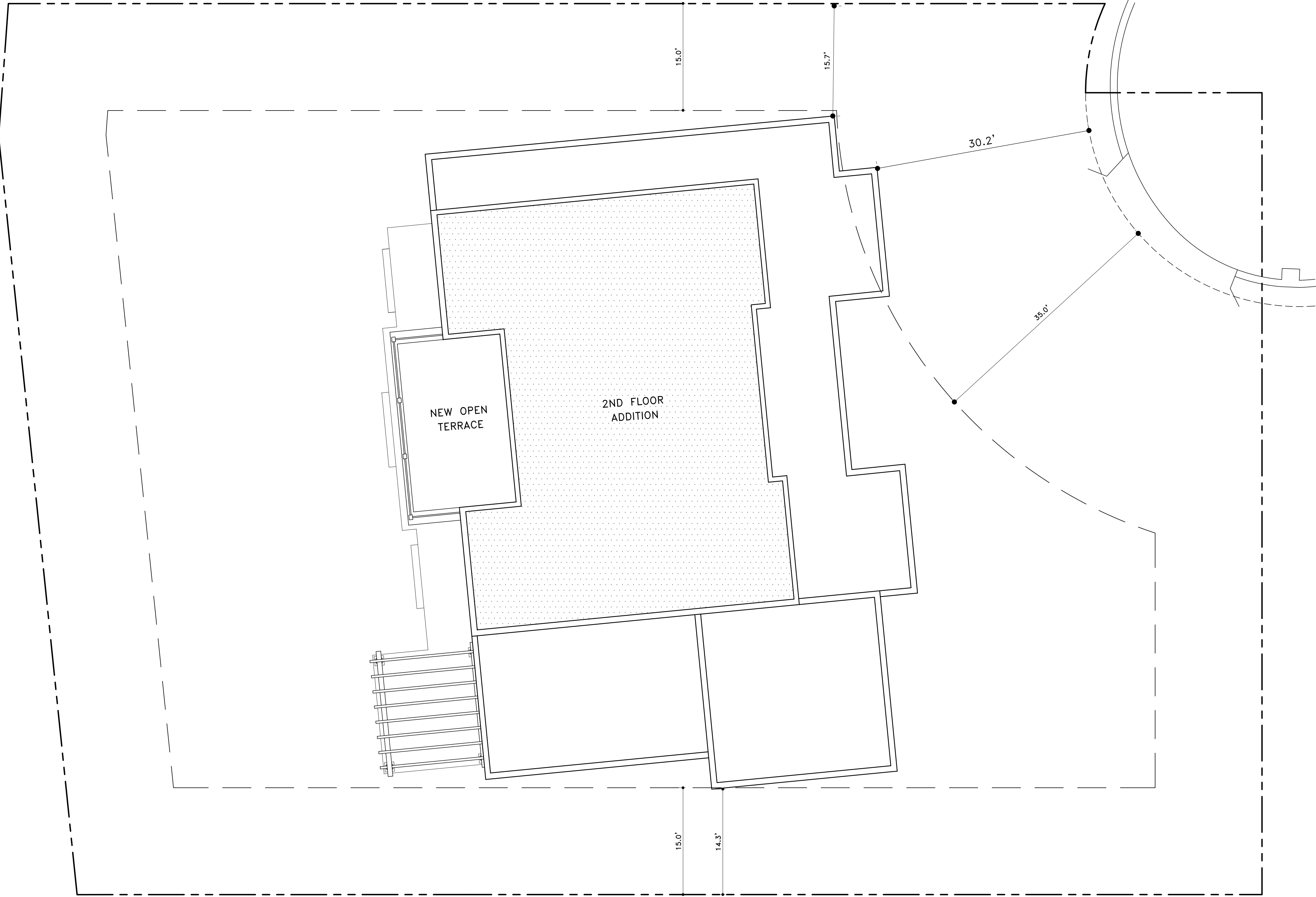
WORTH AVENUE VENTURES LLC
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SHEET NUMBER:	
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DATE:	05-10-24
JOB #	0496

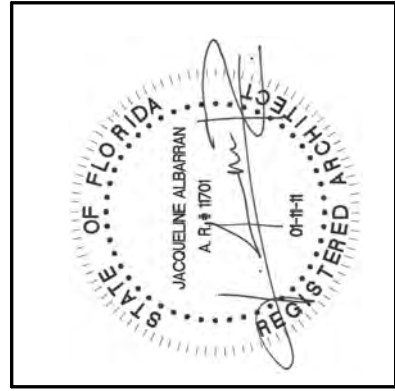
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324 ROYAL PALM BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL 561.655.7676 FAX 561.655.5553




 **PROPOSED ROOF PLAN**
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023

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1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



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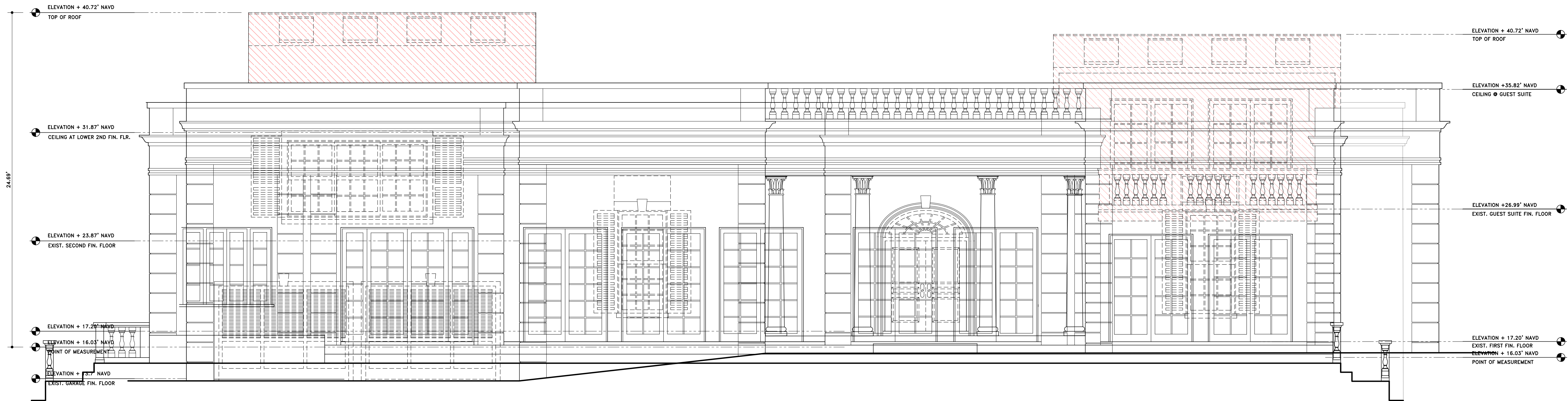
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DATE:	05-10-24
JOB #	0496

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ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL 561.655.7676 FAX 561.655.5533

GENERAL NOTE:
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GRAPHIC SCALE DRAWING: ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

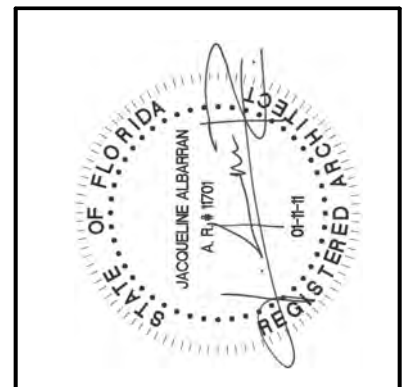


DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"

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324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
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1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

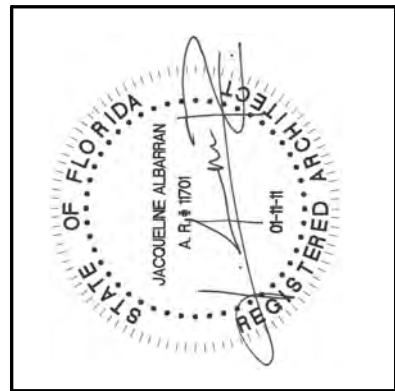
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DATE:	04052024
JOB #	0496

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

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TEL 561.655.7676 FAX 561.655.5533

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PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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DATE:	05-10-24
JOB #	0496



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES & MATERIALS: STUCCO, PAINTED BENJAMIN MOORE DECORATOR'S WHITE OC-149.

WINDOW FRAME MATERIAL, COLOR, MUNTIN PROFILE, GLAZING TYPE: PINE, PAINTED, BENJAMIN MOORE DECORATOR'S WHITE OC-149, OGEE 3/4" MUNTIN PROFILE, TRIPLE-PANE HURRICANE IMPACT CLEAR GLASS.

WINDOW SHUTTER COLOR: BENJAMIN MOORE MIDSUMMER-NIGHT 2134-20.

ROOF MATERIAL & COLOR: FLAT BUILT-UP GRAVEL & TAR ROOF WITH WHITE COOL ROOF RELECTIVE COATING.

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DATE:	05-10-24
JOB #	0496

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

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SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL 561.653.6766 FAX 561.653.3533

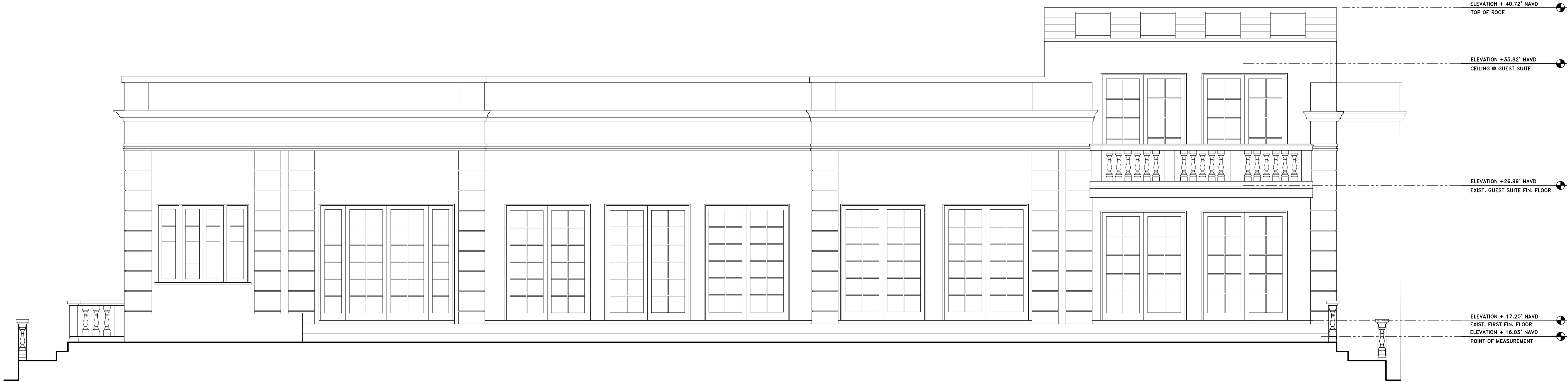
WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



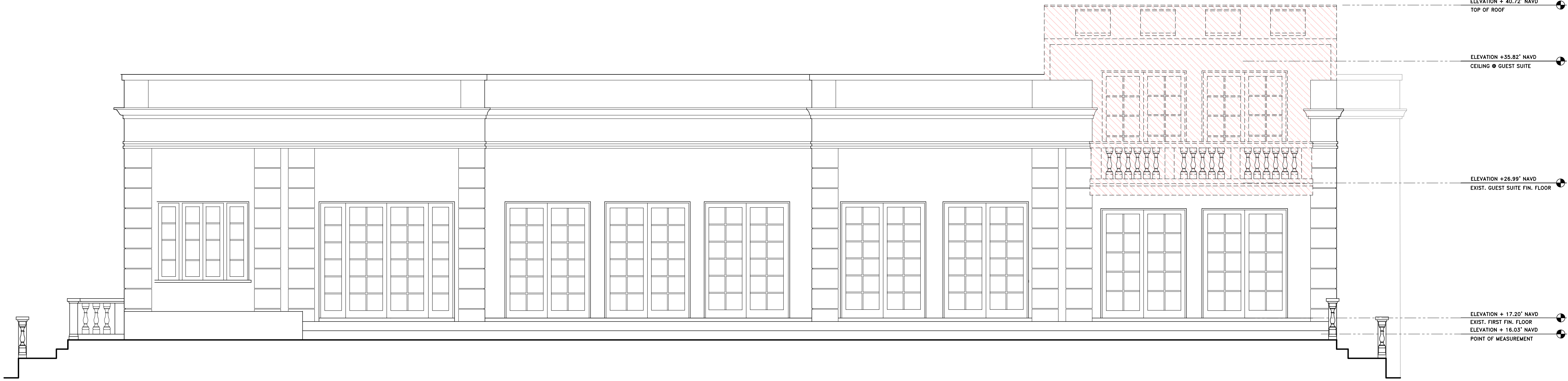
JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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DATE:	05-10-24
JOB #	0496



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

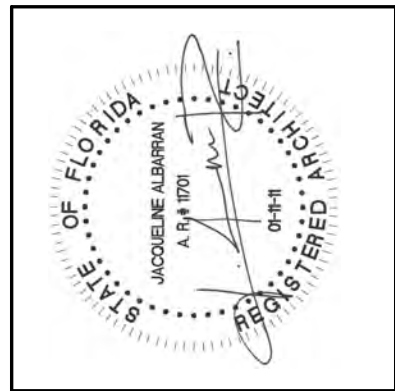


WEST ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
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SKA ARCHITECT + PLANNER
324 ROYAL PALM BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL 561.655.7676 FAX 561.655.5533

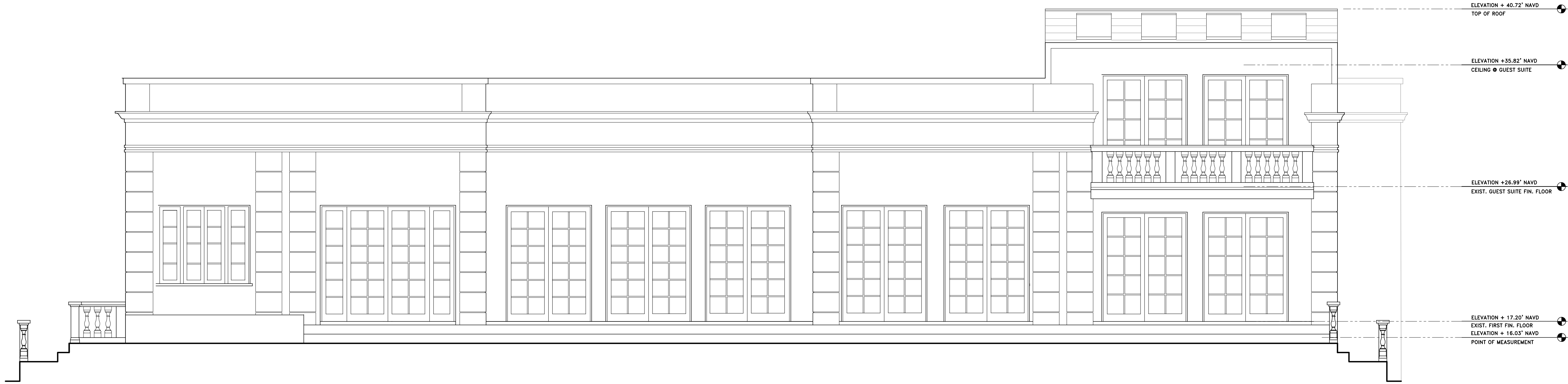
WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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DATE:	05-10-24
JOB #	0496



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW
IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES & MATERIALS: STUCCO, PAINTED BENJAMIN MOORE DECORATOR'S WHITE OC-149.

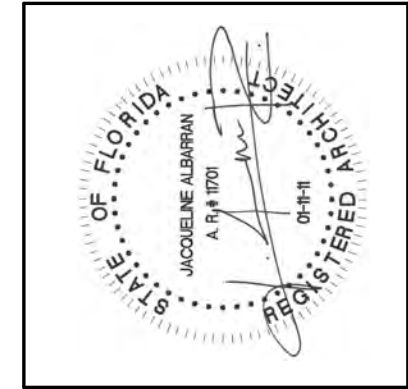
WINDOW FRAME MATERIAL, COLOR, MUNTIN PROFILE, GLAZING TYPE: PINE, PAINTED, BENJAMIN MOORE DECORATOR'S WHITE OC-149, OGEE 3/4" MUNTIN PROFILE, TRIPLE-PANE HURRICANE IMPACT CLEAR GLASS.

WINDOW SHUTTER COLOR: BENJAMIN MOORE MIDSUMMER-NIGHT 2134-20.

ROOF MATERIAL & COLOR: FLAT BUILT-UP GRAVEL & TAR ROOF WITH WHITE COOL ROOF RELECTIVE COATING.

NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW
IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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DATE:	05-10-24
JOB #	0496



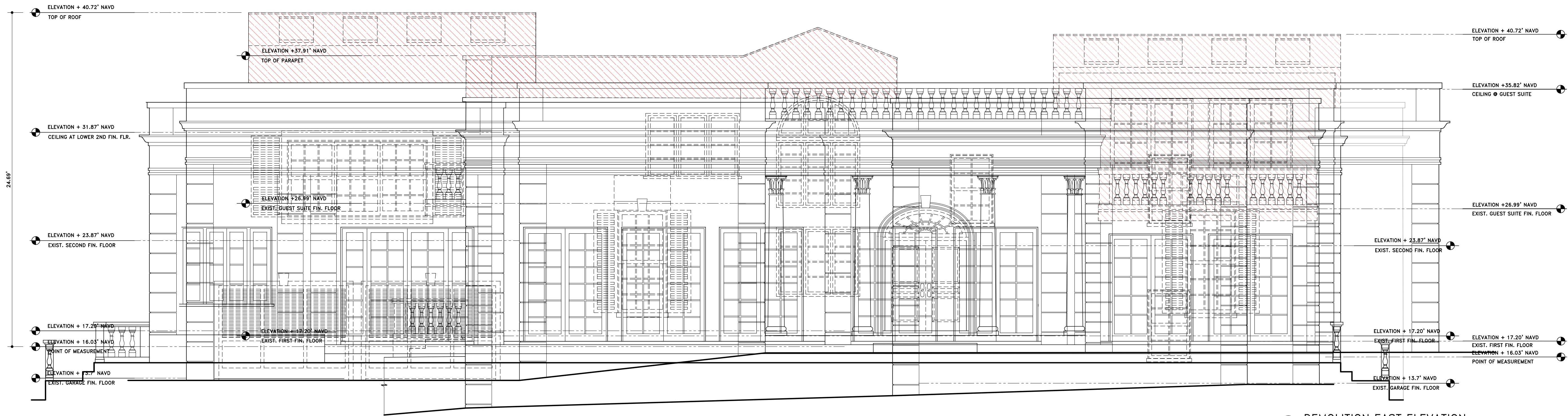
GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



DEMOLITION EAST ELEVATION

SCALE: 1/4" = 1'-0"

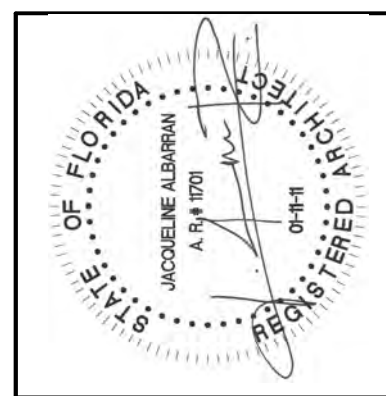
DEMOLITION SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

DEMOLITION WEST ELEVATION

SCALE: 1/4" = 1'-0"

WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:

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SHEET NUMBER:

A13.1a

DATE:

040520-24

JOB #

0496

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL 561.653.6776 FAX 561.653.3533

GENERAL NOTE:
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EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

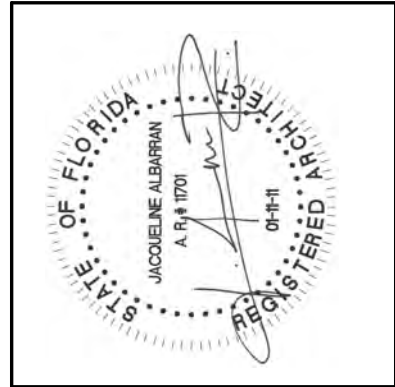


NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM BLVD., SUITE 227, PALM BEACH, FLORIDA 33480
TEL: 561.655.7676 FAX: 561.655.5533

WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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SHEET NUMBER:	
A13.1b	
DATE:	05-10-24
JOB #	0496



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES & MATERIALS: STUCCO, PAINTED BENJAMIN MOORE DECORATOR'S WHITE OC-149.

WINDOW FRAME MATERIAL, COLOR, MUNTIN PROFILE, GLAZING TYPE: PINE, PAINTED, BENJAMIN MOORE DECORATOR'S WHITE OC-149, OGEE 3/4" MUNTIN PROFILE, TRIPLE-PANE HURRICANE IMPACT CLEAR GLASS.

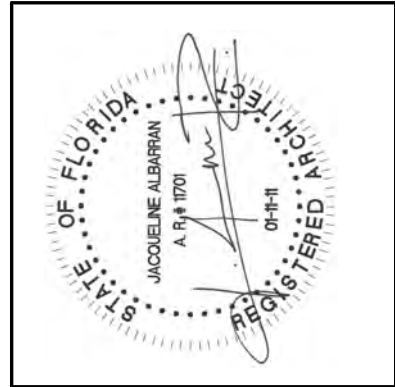
WINDOW SHUTTER COLOR: BENJAMIN MOORE MIDSUMMER-NIGHT 2134-20.

ROOF MATERIAL & COLOR: FLAT BUILT-UP GRAVEL & TAR ROOF WITH WHITE COOL ROOF RELECTIVE COATING.

NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PALM BEACH, FLORIDA

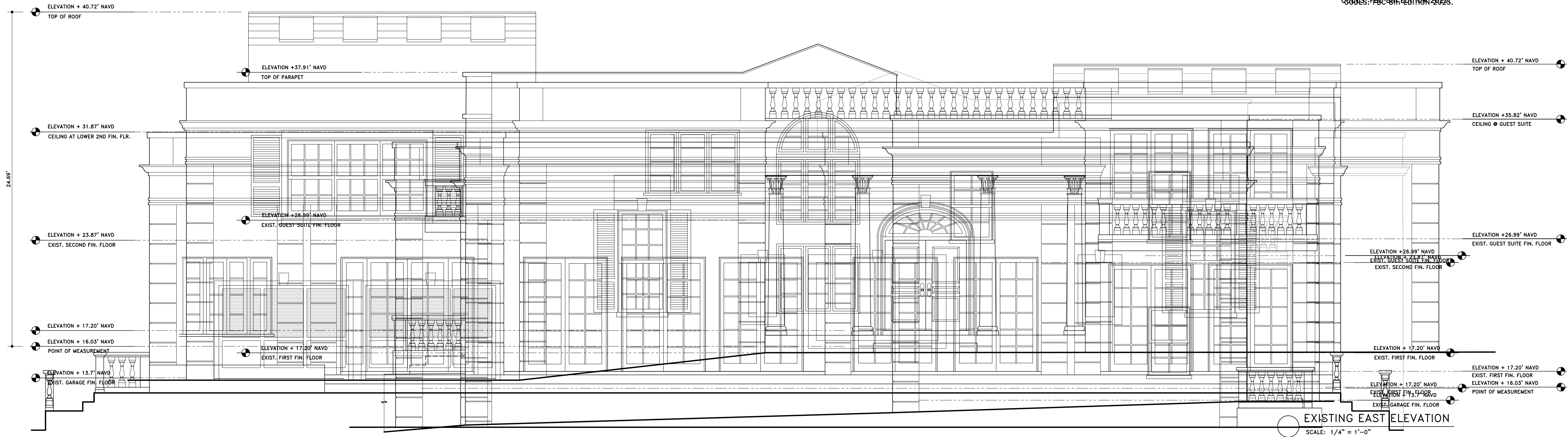


JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

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JOB #	0496

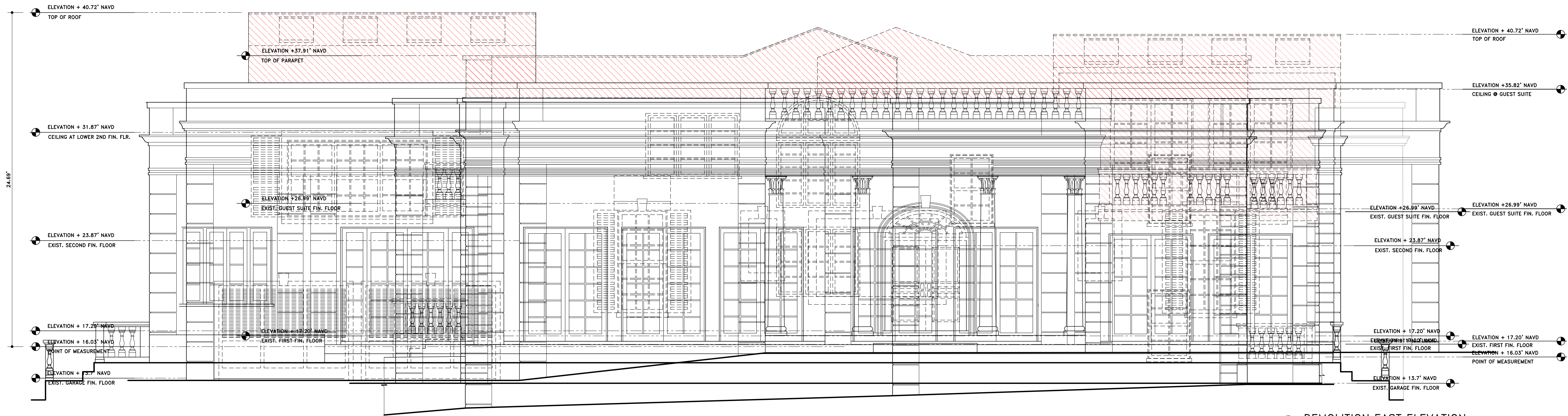
GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATIONS OF THE EXISTING BUILDING WITH THE ARCHITECT'S ATTENTION BEFORE ANY CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES, FBC 9th EDITION, 2007S.



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



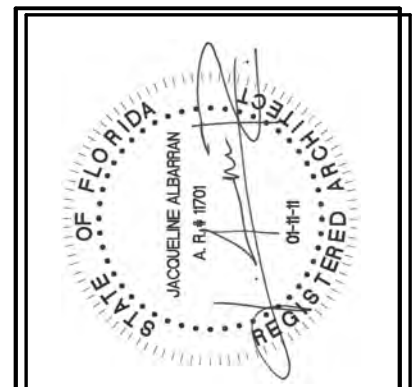
DEMOLITION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION NORTH ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION WEST ELEVATION
SCALE: 1/4" = 1'-0"

SKA
ARCHITECT & PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA 33480
TEL: 561.855.7676 FAX: 561.855.3555

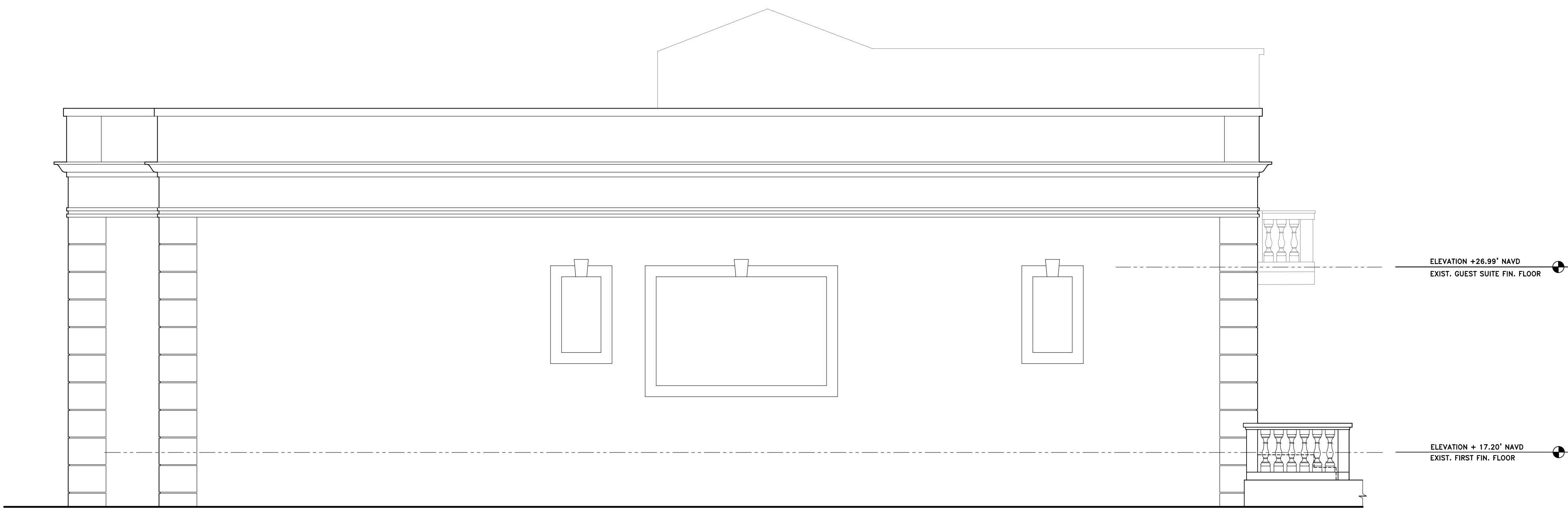
WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARMAN, P.A.
REGISTERED ARCHITECT 117701

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DATE: 004089024	
JOB # 0406	



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:	
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SHEET NUMBER:	
A14.1b	
DATE:	05-10-24
JOB #	0496



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



NOTE: ALL WINDOWS AND EXTERIOR DOORS ARE NEW IMPACT-RATED WOOD UNITS, UNLESS OTHERWISE NOTED

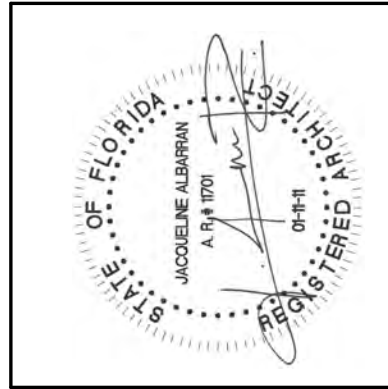
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES & MATERIALS: STUCCO, PAINTED BENJAMIN MOORE DECORATOR'S WHITE OC-149.

WINDOW FRAME MATERIAL, COLOR, MUNTIN PROFILE, GLAZING TYPE: PINE, PAINTED, BENJAMIN MOORE DECORATOR'S WHITE OC-149, OGEE 3/4" MUNTIN PROFILE, TRIPLE-PANE HURRICANE IMPACT CLEAR GLASS.

WINDOW SHUTTER COLOR: BENJAMIN MOORE MIDSUMMER-NIGHT 2134-20.

ROOF MATERIAL & COLOR: FLAT BUILT-UP GRAVEL & TAR ROOF WITH WHITE COOL ROOF RELECTIVE COATING.



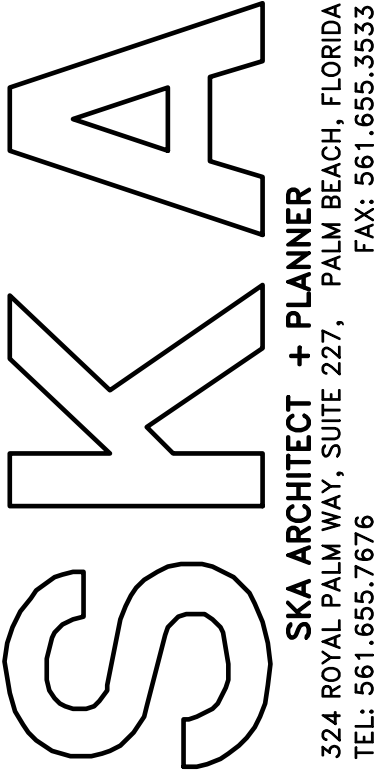
JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:	
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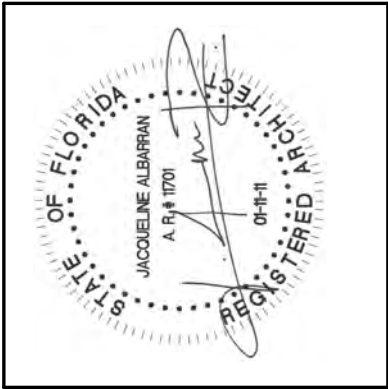
SHEET NUMBER:	
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DATE:	05-10-24
JOB #	0496



GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.



WORTH AVE. VENTURES LLC
1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

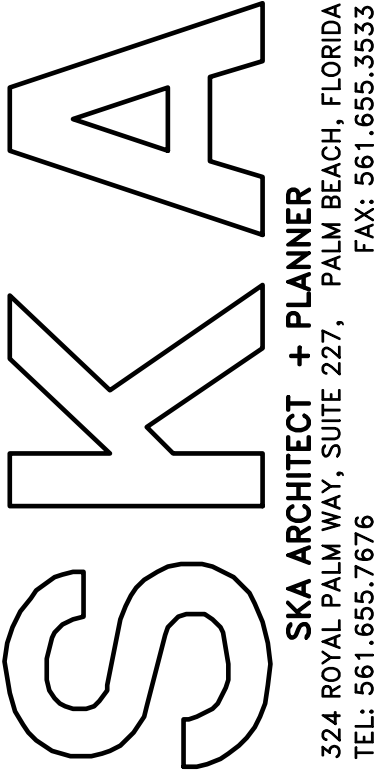
REVISIONS:	
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PERSPECTIVE OF EAST ELEVATION

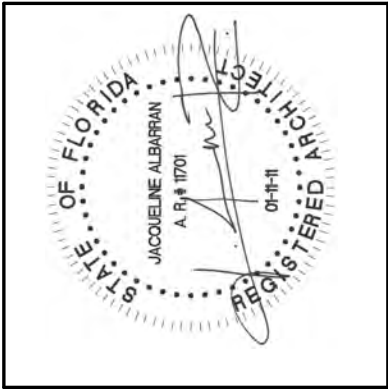
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A15.1	
DATE:	05-10-24
JOB #	0496



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1741 SOUTH OCEAN BOULEVARD
PALM BEACH, FLORIDA

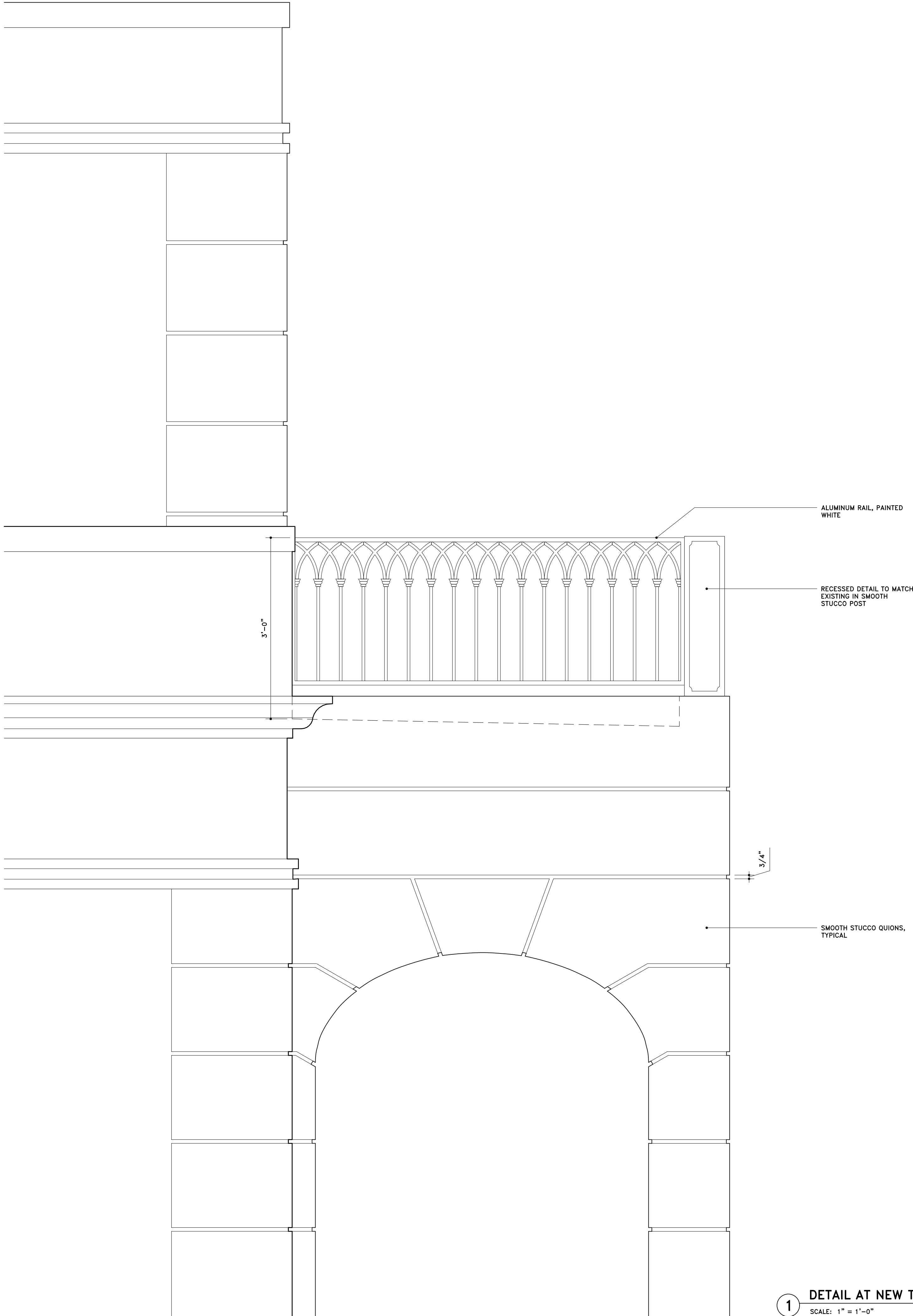


JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

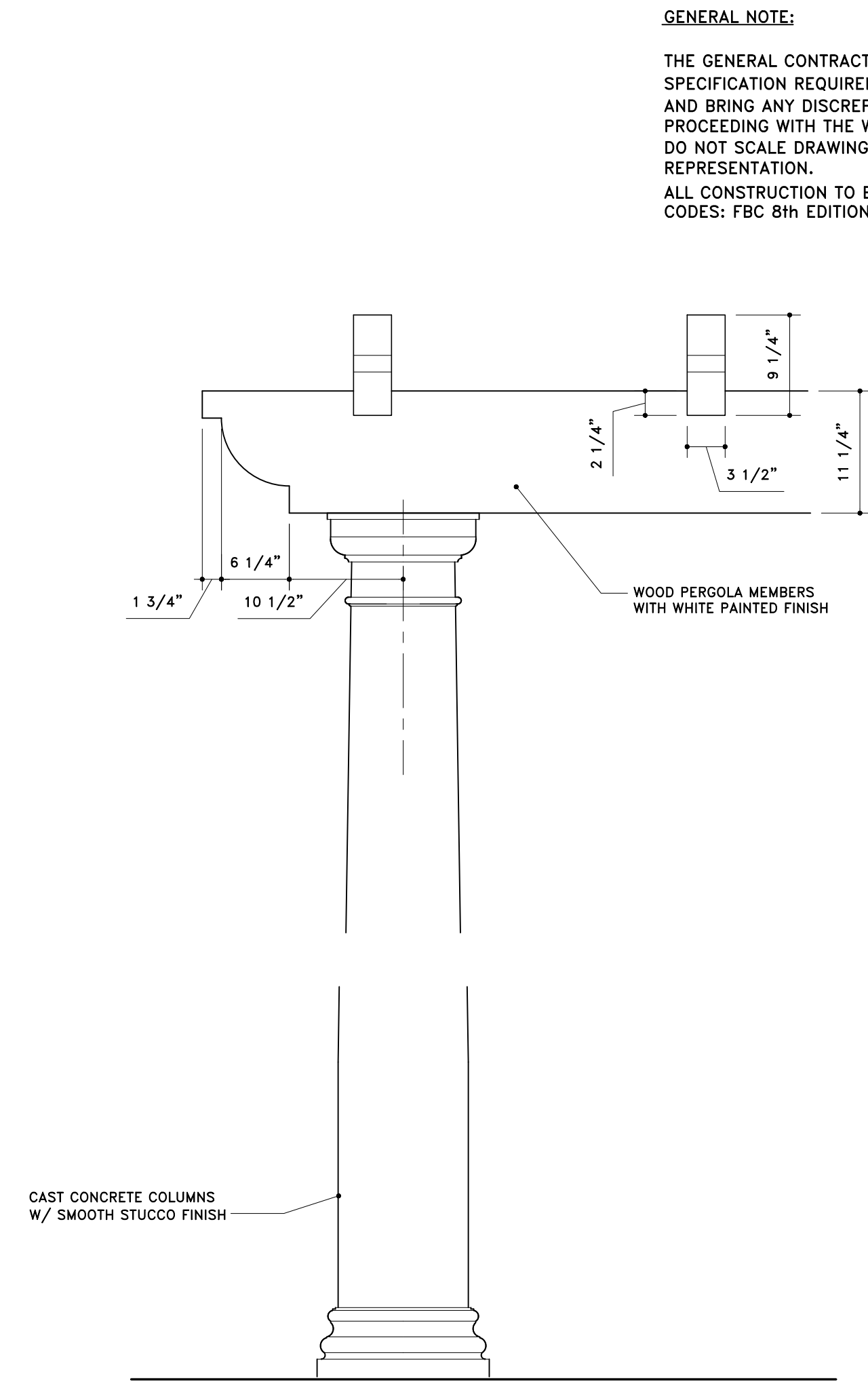
REVISIONS:	
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PERSPECTIVE OF WEST ELEVATION

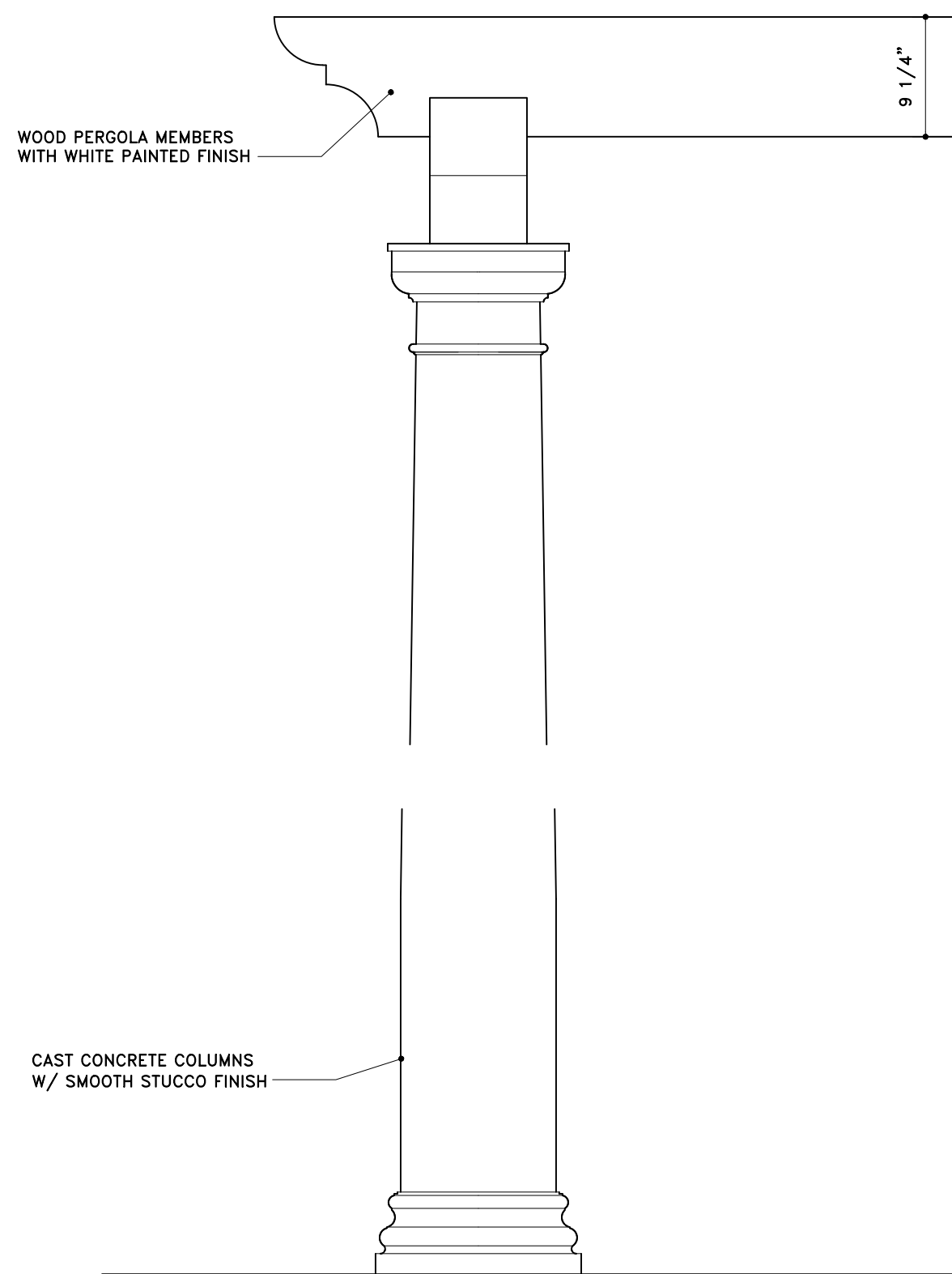
SHEET NUMBER:	
A15.2	
DATE:	05-10-24
JOB #	0496



1 DETAIL AT NEW TERRACE
SCALE: 1" = 1'-0"



2 DETAIL AT PERGOLA-FRONT VIEW
SCALE: 1" = 1'-0"



3 DETAIL AT PERGOLA-SIDE VIEW
SCALE: 1" = 1'-0"

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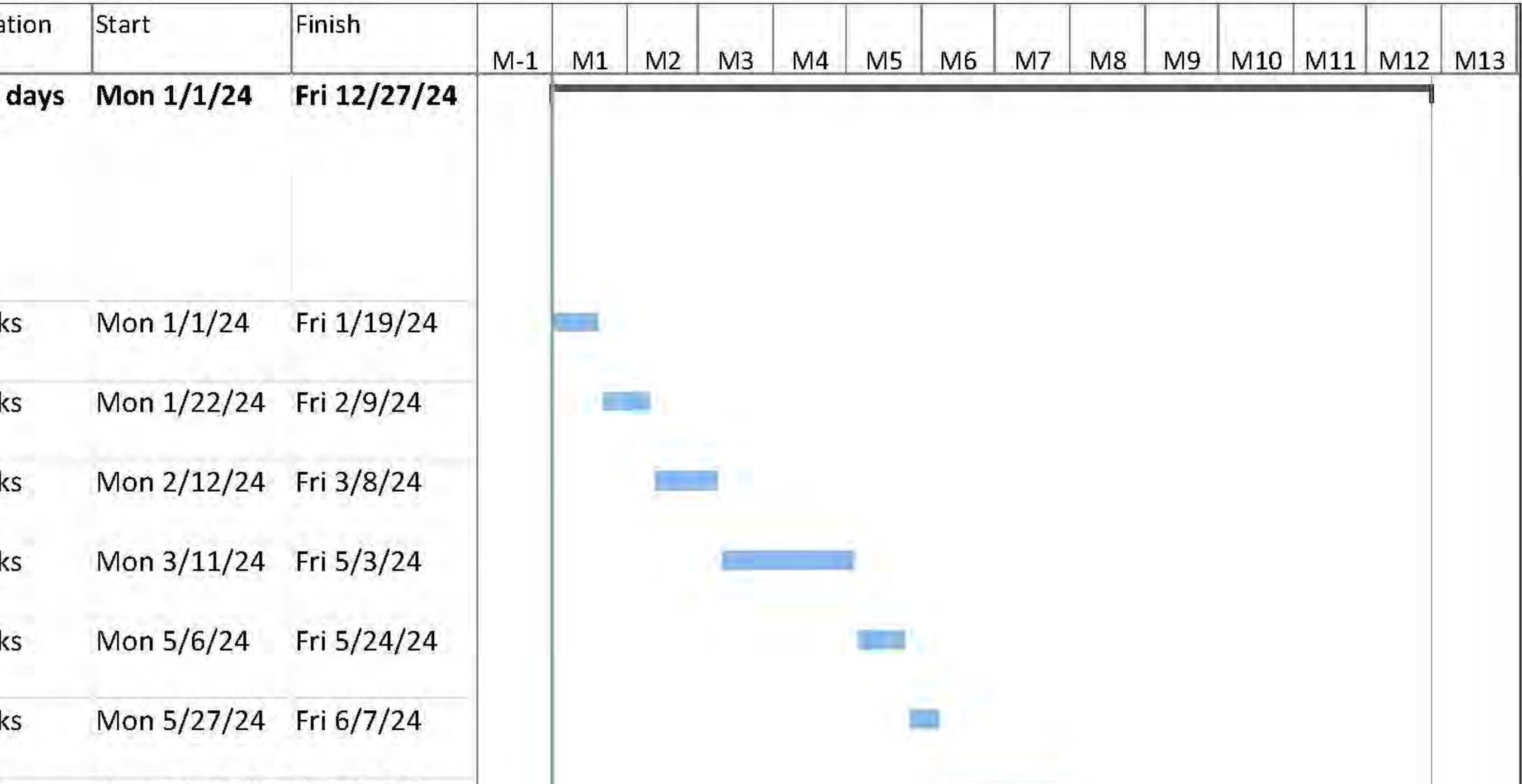
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PALM BEACH, FLORIDA



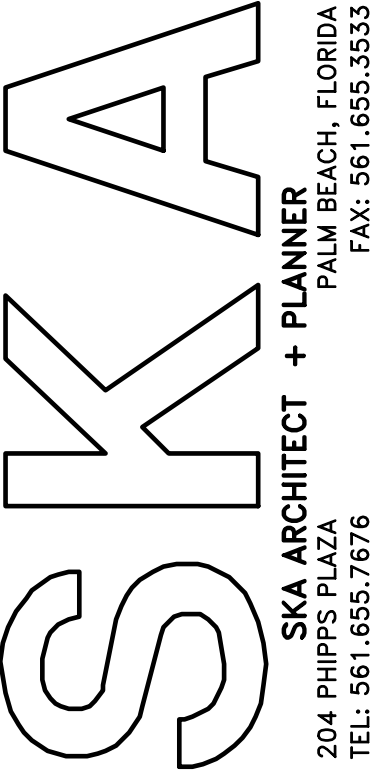
REVISIONS:	
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SHEET NUMBER:	
A16	
DATE:	05-10-24
JOB #	0496

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.5553



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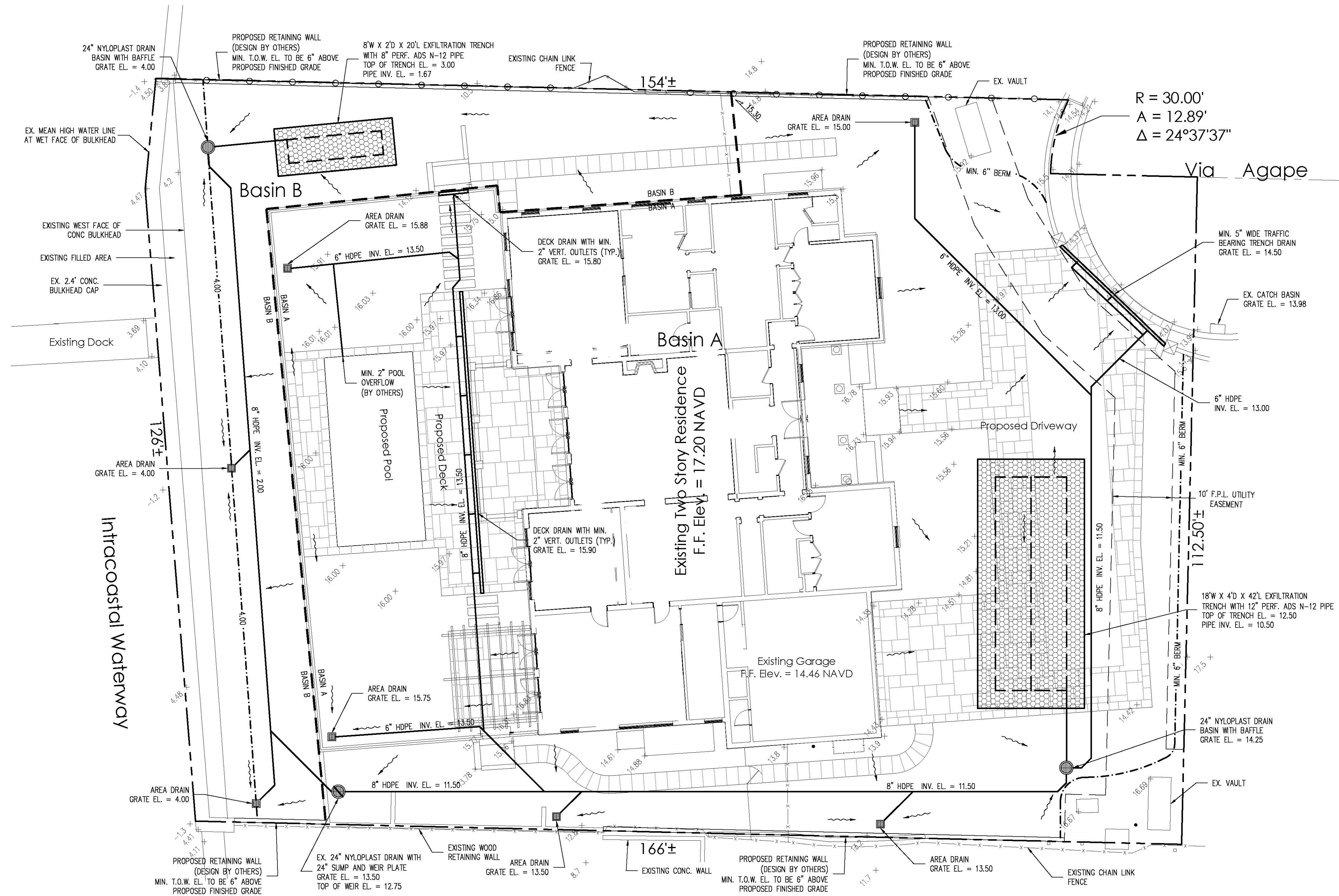
WORTH AVENUE VENTURES LLC
1741 SOUTH OCEAN BLVD.
PALM BEACH, FL



REVISIONS:
1

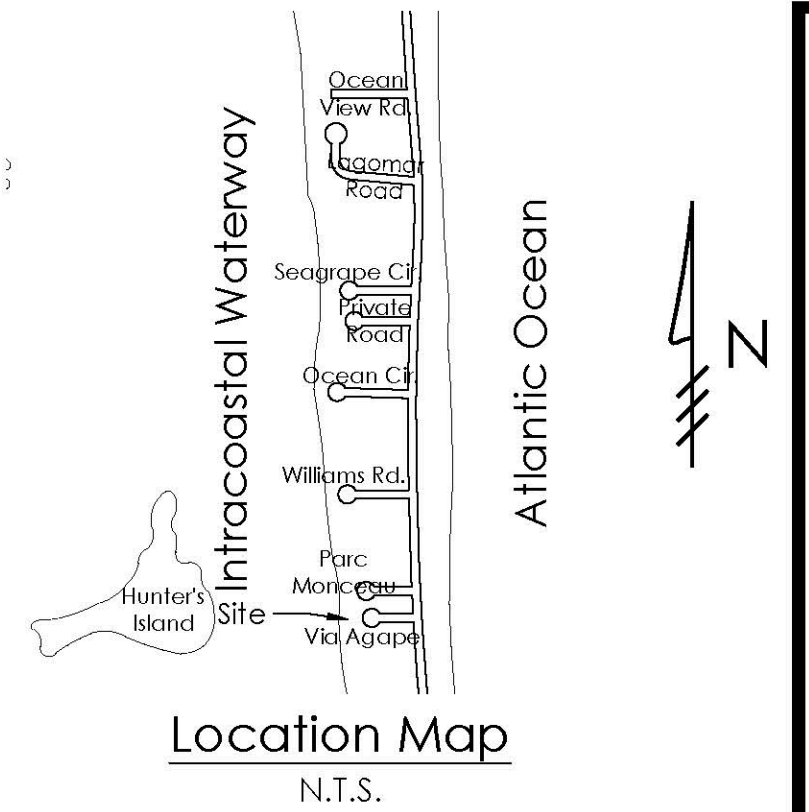
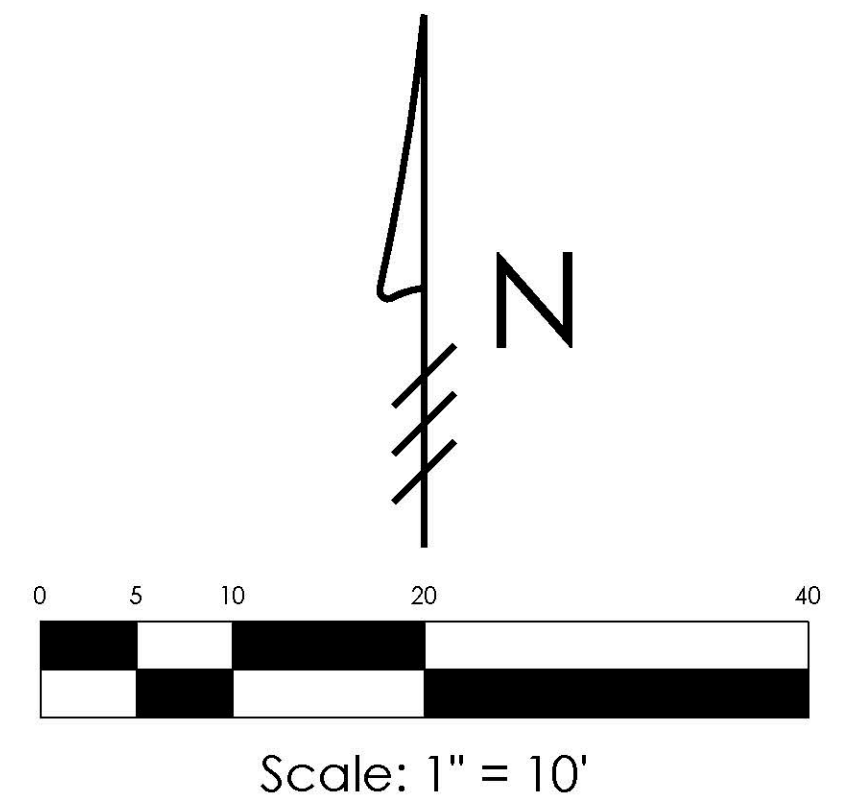
LOGISTICS PLAN AND CONSTRUCTION TIMELINE
NO SCALE

SHEET NUMBER:
LP1
DATE:
05-10-24
JOB #
0496



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



STORMWATER RETENTION CALCULATIONS (Basin A)

A. SITE INFORMATION

Total Property Area = 21,268 sq.ft.

Proposed Drainage Area = 20,501 sq.ft.

Proposed Basin Area = 16,721 sq.ft.

Drainage Area Impervious Surface = 12,021 sq.ft.

Drainage Area Pervious Surface = 4,700 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CIA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 12,021 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 2,004 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 4,700 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 157 \text{ cu.ft.}$

Total Volume to be Retained = 2,161 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	42	ft
W	=	Trench Width	=	18	ft
K	=	Hydraulic Conductivity	=	0.00005	cts/sq.ft./ft. of head
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	4.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft

V	=	Volume Treated	=	2,593	cu.ft.
---	---	----------------	---	-------	--------

STORMWATER RETENTION CALCULATIONS (Basin B)

A. SITE INFORMATION

Total Property Area = 21,268 sq.ft.

Proposed Drainage Area = 20,501 sq.ft.

Proposed Basin Area = 3,780 sq.ft.

Drainage Area Impervious Surface = 394 sq.ft.

Drainage Area Pervious Surface = 3,386 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CIA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 394 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 66 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 3,386 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 113 \text{ cu.ft.}$

Total Volume to be Retained = 179 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	20	ft
W	=	Trench Width	=	8	ft
K	=	Hydraulic Conductivity	=	0.00005	cts/sq.ft./ft. of head
H2	=	Depth to Water Table	=	2.50	ft
DU	=	Un-Saturated Trench Depth	=	1.50	ft
DS	=	Saturated Trench Depth	=	0.50	ft

V	=	Volume Treated	=	222	cu.ft.
---	---	----------------	---	-----	--------

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

Plan Background from Hardscape
Plan by SMI Landscape Architecture
Received 4/10/24

ARC-24-001
ZON-24-006

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GRUBER CONSULTING ENGINEERS

2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401

561.312.2041
office@gruberengineers.com

48 HOURS BEFORE DIGGING,
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.

Contractor is responsible for
obtaining location of existing
utilities prior to commencement
of construction activities.

WORTH AVENUE VENTURES, LLC

Conceptual Site Grading & Drainage Plan For:

1741 South Ocean Boulevard
Palm Beach, Florida

PROJECT INFORMATION:

Project No.	2024-0002
Issue Date	05/10/2024
Scale	1" = 10'

REVISIONS:

1	
2	
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4	
5	
6	
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10	
11	
12	

CHAD M. GRUBER
FLORIDA P.E. NO. 57466

Digitally
signed by
Chad M.
Gruber
Date:
2024.05.08
17:31:26
-04'00'

This item has been electronically
signed and sealed by Chad M. Gruber
on the date adjacent to the seal using
a SHA authentication code.
Printed copies of this document are
not considered signed and sealed and
the SHA authentication code must be
verified on any electronic copies.

SHEET NUMBER:

C-1

Worth Avenue Ventures LLC

1741 South Ocean Blvd.
Palm Beach, FL 33480

SHEET INDEX

Cover	
Site Plan	L1.1
Site Comparison Plan	L1.1a
Hardscape Layout Plan	L1.2
HS Details and Materials	L2.1
Planting Plan	L3.1
Planting Details	L3.2
Planting Specifications	L3.3
Native Calculations	N-1
West/East Elevation View	E-1
North/South Elevation View	E-2
Pre-Demolition Plan	D-1
Post Demolition Plan	D-2
Screening Plan	S-1
Truck Logistics	TL-1

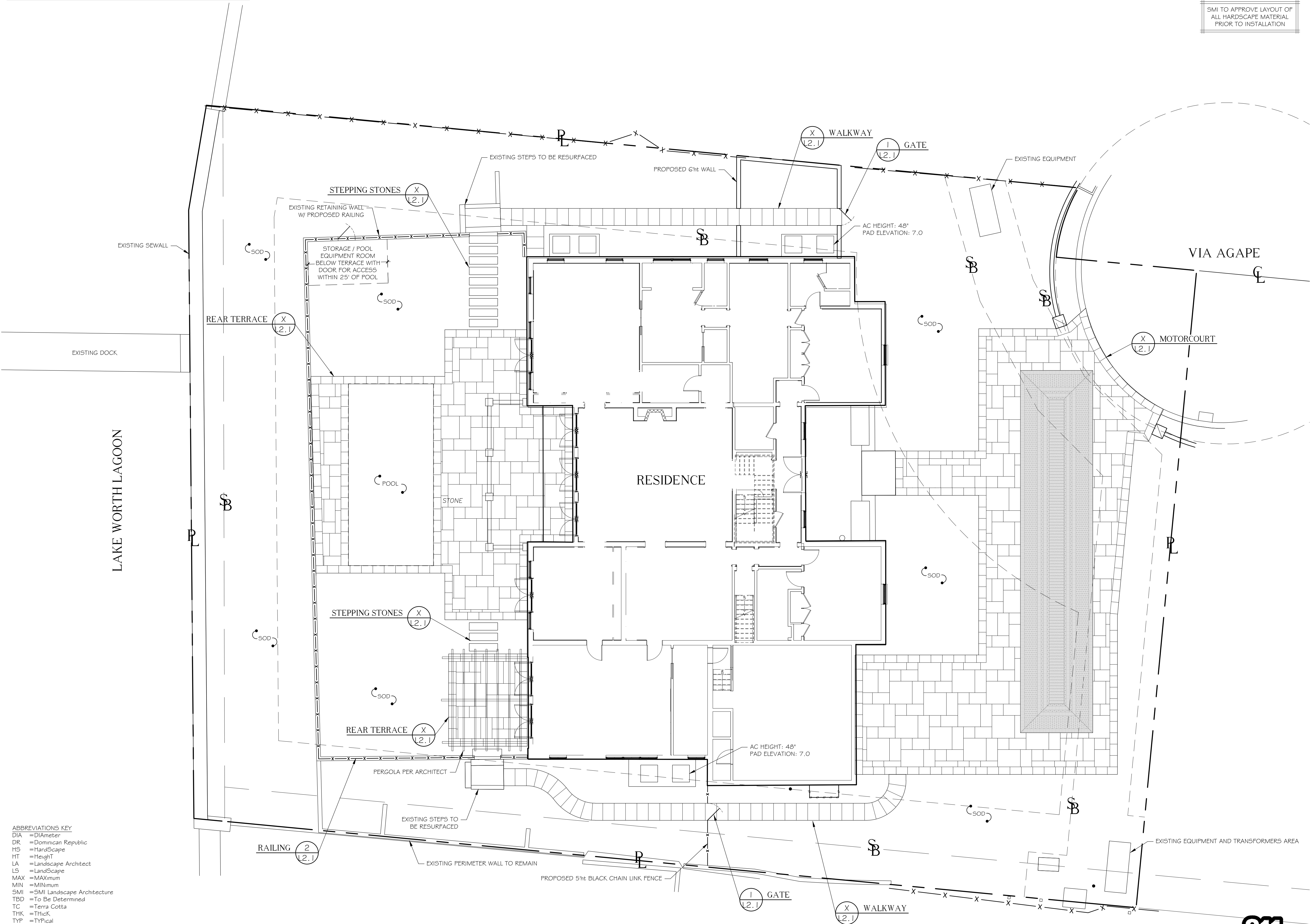
S M I

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: smila@bellsouth.net www.smila.net
FL registration #223

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
TYP = TYPICAL

GRADING
BOG = BOTTOM OF STEPS
ELEV = ELEVATION
FFE = FINISHED FLOOR ELEVATION
TOS = TOP OF STEPS
TOW = TOP OF WALL



Know what's below
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Palm Beach, FL 33480

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NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST 3' BELOW GRADE TO ALLOW FOR PLANTINGS / ROOT BALLS
-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP

REVISIONS	DATE	DESCRIPTION
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Preliminary

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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Site Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L1.1 SHEET 1 OF 3	
05/10/24		

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Palm Beach, FL 33480



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2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP

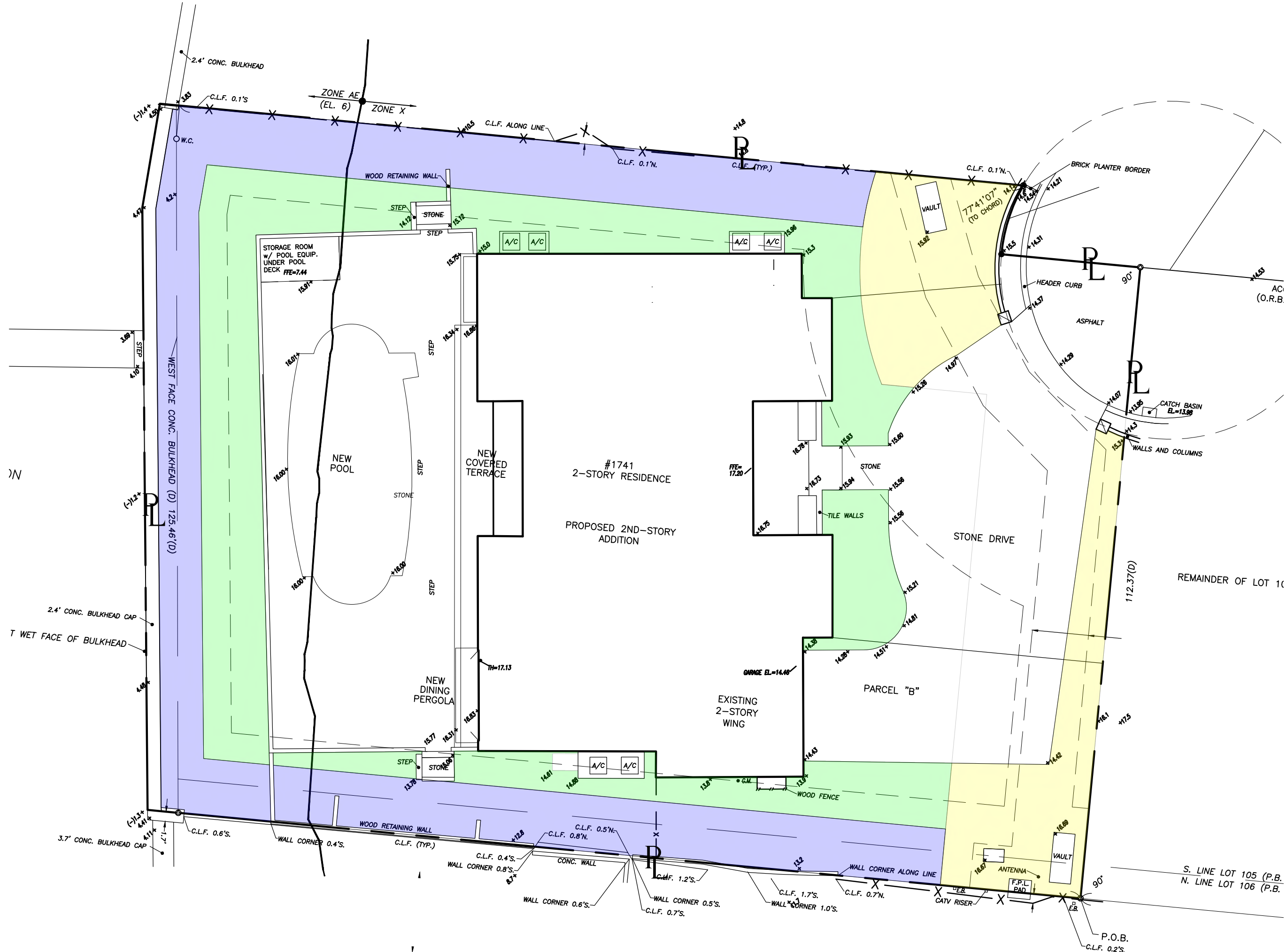
△	DATE	DESCRIPTION
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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Site Comparison Plan		
SCALE N.T.S	PROJECT NUMBER: 2401	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L1.1a SHEET 1a OF 3	



EXISTING SITE PLAN

Existing Color Key

- Existing Site Pervious
- Existing Front Yard Pervious
- Existing Perimeter Pervious

Area Calculations:
All units in square feet, unless noted otherwise

R-A District	Required		Existing		Proposed	
	Square Footage	Percentage	Square Footage	Percentage	Square Footage	Percentage
Open space/Pervious	8,388 or exist	50% or existing	8,388	39%	9,735	46%
Front Yard Pervious	1,665	45% or existing	1,665	45%	1,665	45%
Perimeter openspace	1,853	50% of all required open space shall be within 10' of the property line	3,705	92%	3,263	88%
Hardscape			7,751	35%	6,546	31%
House			5,129	24%	5,389	25%
Total Lot			21,268	100%	21,268	100%

PROPOSED SITE PLAN

Proposed Color Key

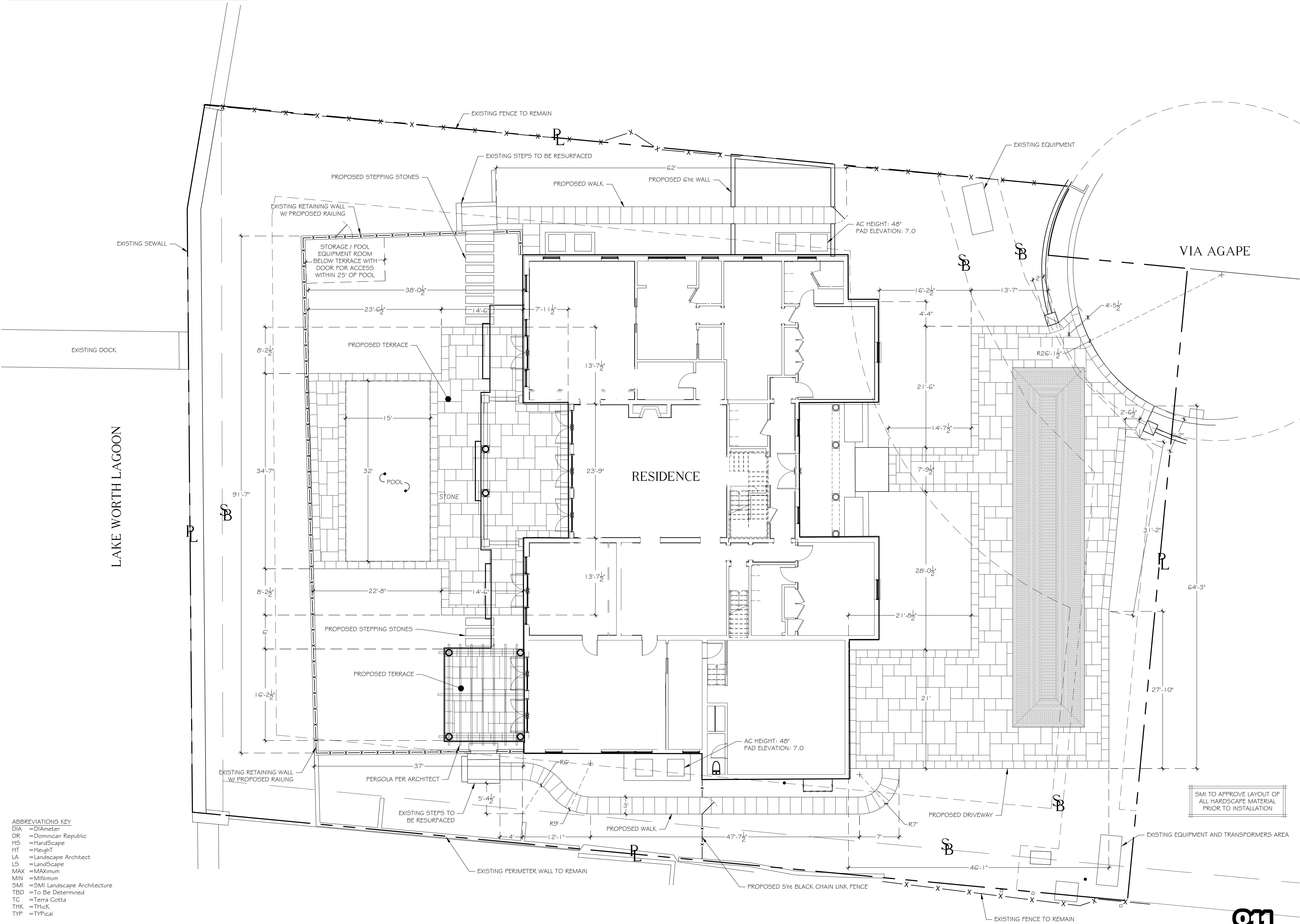
- Site Pervious
- Front Yard Pervious
- Perimeter Pervious



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BOG = BOTTOM OF STEPS
ELEV = ELEVATION
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TOS = TOP OF STEPS
TOW = TOP OF WALL

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3	04.29.2024	SECOND SUBMITTAL
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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Hardscape Layout Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L1.2	
	SHEET 3 OF 3	



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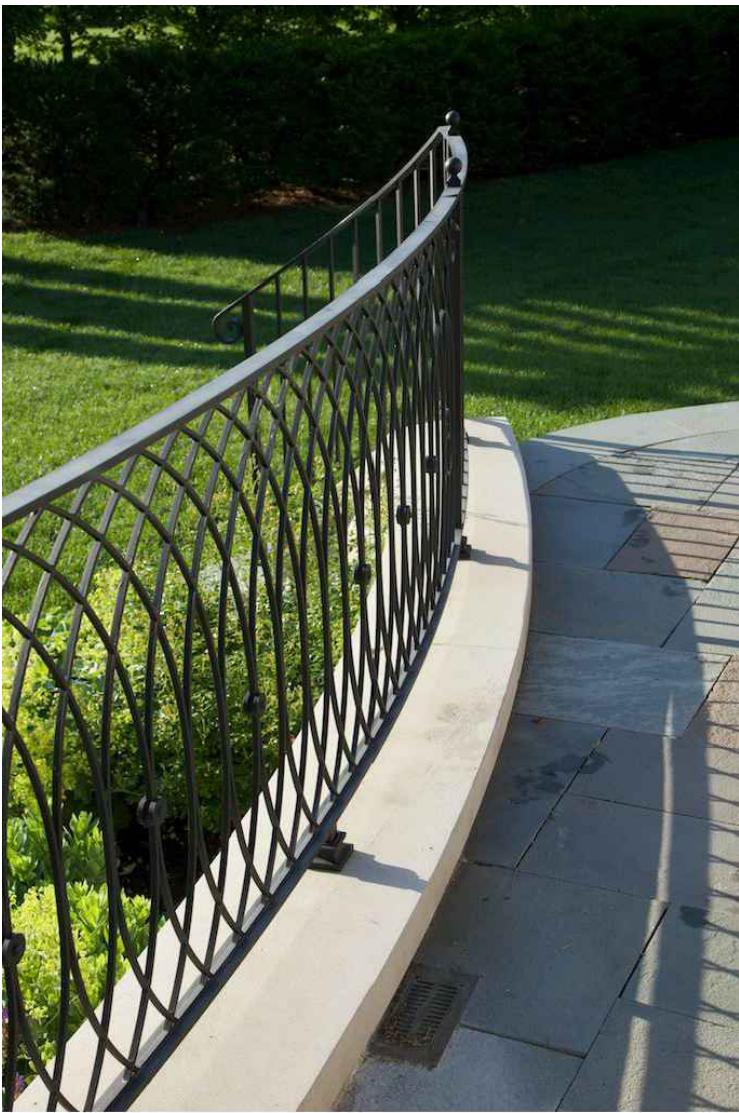
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TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



MOTORCOURT: LIMESTONE & PEBBLE INLAY



TERRACES & WALKWAY: LIMESTONE



RAILINGS AND GATES:
ALUMINUM POWDER COATED
(TEXTURED BLACK)

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Palm Beach, FL 33480

HARDSCAPE MOCK-UPS TO BE APPROVED
BY OWNER / LA PRIOR TO INSTALLATION

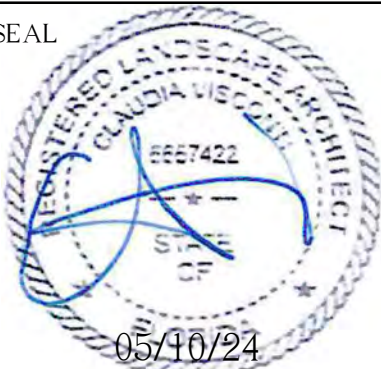
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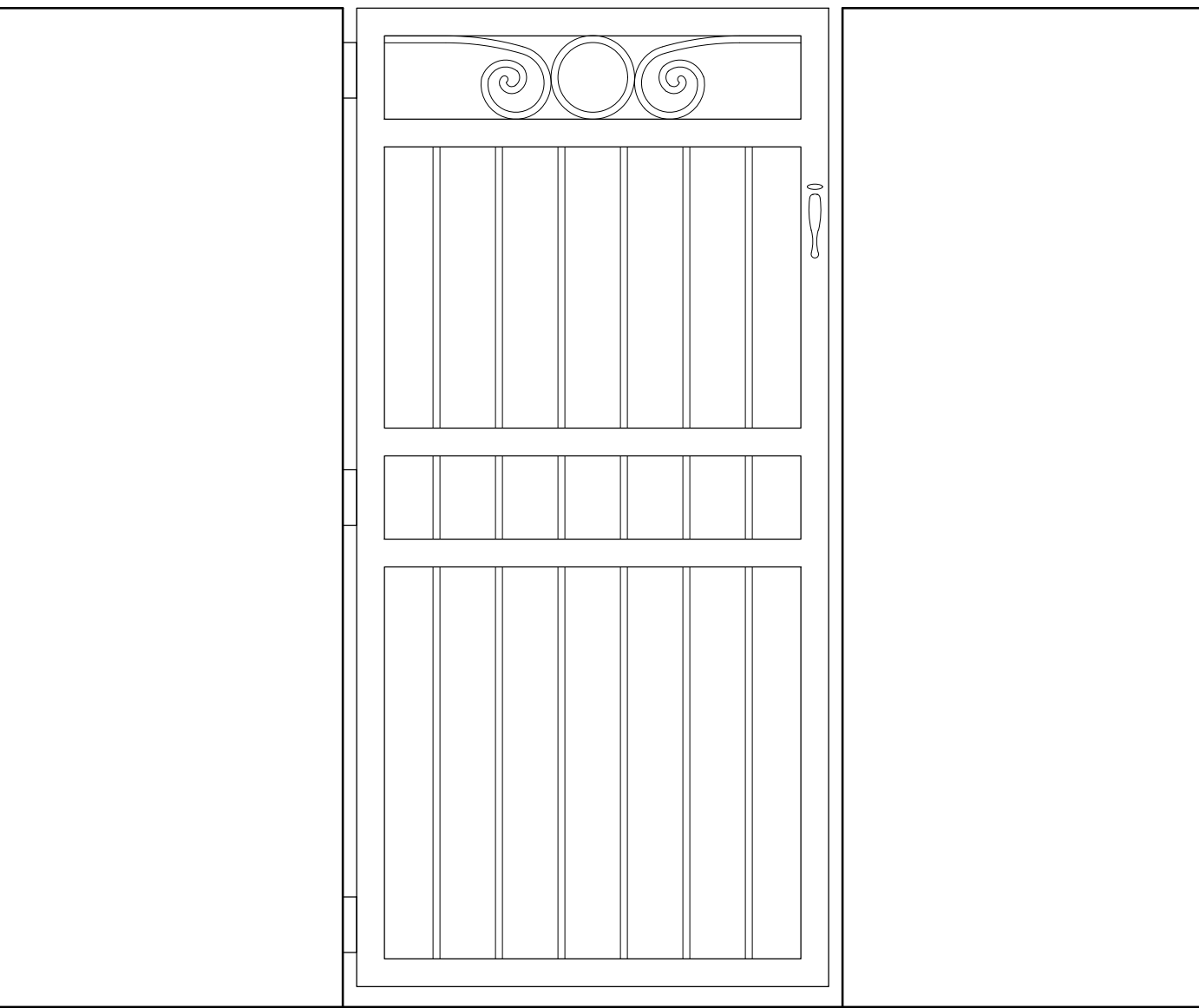
REVISIONS	DATE	DESCRIPTION
		Preliminary

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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Hardscape Details and Materials		
SCALE As Noted	PROJECT NUMBER: 2401	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L2.1 SHEET 1 OF 1	

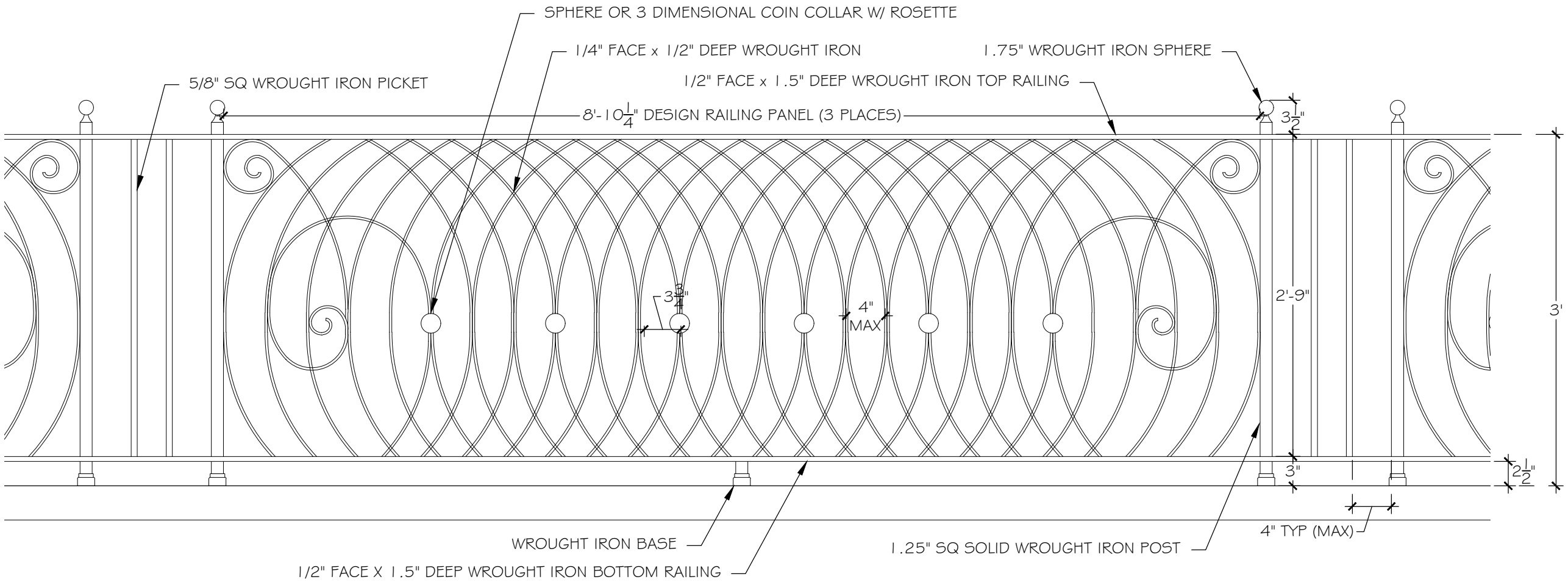
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THK =THick
TYP =TYPical

GRADING
BOG =Bottom Of Steps
ELEV =ELEVation
FFE =Finished Floor Elevation
TOS =Top Of Steps
TOW =Top Of Wall



NOTES:
-GATE TO BE SELF CLOSING & SELF LATCHING PER STATE CODE
-54" MINIMUM DISTANCE FROM BOTTOM OF GATE TO BOTTOM OF LATCH
-GATES TO MEET ALL APPLICABLE POOL BARRIER CODES

1 GATE DETAIL
SCALE: 1" = 1'-0"



2 RAILING DETAIL
SCALE: 1" = 1'-0"



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THK =THick
TYP =TYPical

GRADING
BOG =Bottom Of Steps
ELEV =ELEVation
FFE =Finished Floor Elevation
TOS =Top Of Steps
TOW =Top Of Wall

NOTE TO PROJECT MANAGER:
DETERMINE WHETHER TO USE AUTO OR
MANUAL VALVE FOR LOW WATER REFILL

LATELY WE HAVE RELIED ON PROFESSIONALS FOR FOUNTAIN FUNCTION DESIGN. INVARIABLY THERE HAVE BEEN TOTALLY WRONG ON 2 COUNTS:

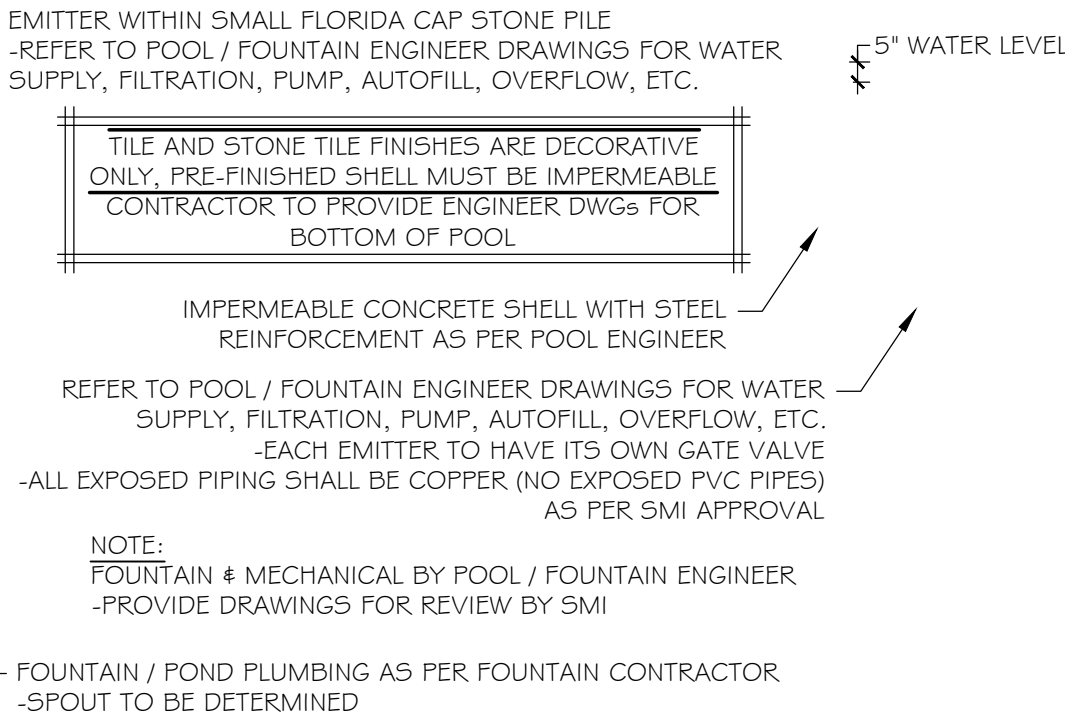
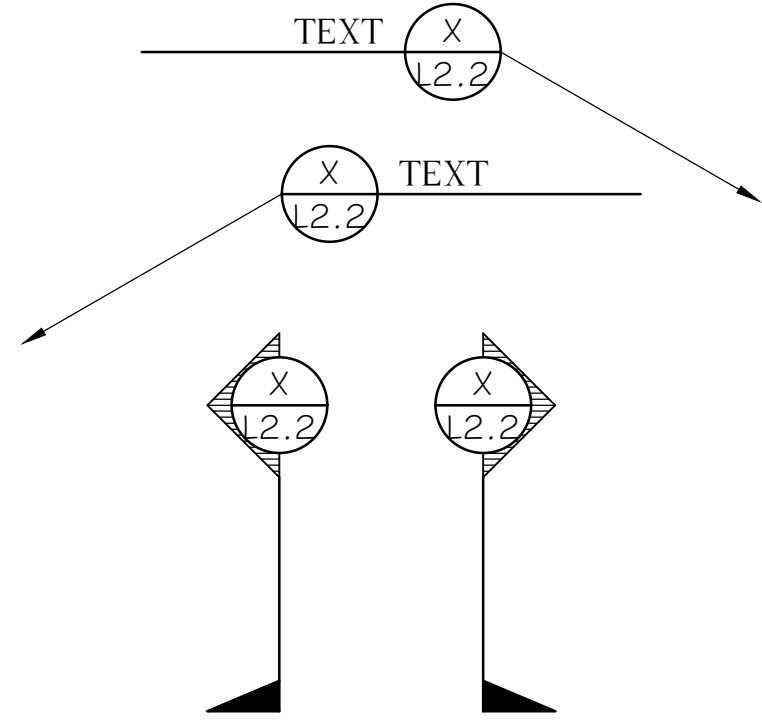
- * PUMPS ARE OVERSIZED FOR THE AMOUNT OF WATER FLOW WE WANT.
 - * VALVES FOR CONTROLLING WATER FLOW ARE LOUSY. THEY NEED TO BE METAL BALL VALVES.
- PLEASE BE AWARE OF THIS FOR ANY FUTURE WORK.

FOUNTAIN / POND NOTES:

- ALL TILE AND STONE TILE ARE DECORATIVE ONLY. SHELL MUST BE IMPERMEABLE PRIOR TO INSTALLATION OF FINISH MATERIAL.
- ALL MASONRY MATERIAL SHALL BE COMPATIBLE WITH FOUNTAIN / POND CONDITIONS.
- ALL DRAWINGS TO BE ENGINEERED. ENGINEER DRAWINGS PREVAIL FOR CONSTRUCTION.
- CONFIRM OVERFLOW VALVE TYPE (MANUAL OR AUTOMATIC) WITH SMI PRIOR TO INSTALLATION.
- ALL GROUT COLORS TO BE SELECTED BY SMI & APPROVED BY OWNER.
- ENGINEER DWGS. MUST BE PRESENTED TO SMI FOR REVIEW OF OVERALL AESTHETIC DESIGN INTENT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATION, & SET BACKS PRIOR TO CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH ALL APPLICABLE STATE & LOCAL CODES WHETHER INDICATED HERE OR NOT. WHERE COMPLIANCE REQUIRES SUBSTANTIAL DEVIATION FROM THE DESIGN INTENT, AS SHOWN ON THE CONTRACT DRAWINGS, MODIFICATIONS MUST BE REVIEWED BY THE SMI.
- OBTAIN NECESSARY SUB-SURFACE INFORMATION. EXCAVATE & REMOVE ALL MUCK & OTHER UNACCEPTABLE MATERIAL & REPLACE W/ GOOD CLEAN STRUCTURALLY SOUND FILL MATERIAL. PROVIDE DE-WATERING AS NECESSARY.
- OBTAIN ALL NECESSARY PERMITS AS PER STATE & LOCAL CODES.
- INFORMATION SHOWN IS SCHEMATIC IN NATURE. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. FOUNTAIN / POND STRUCTURE & ALL EQUIPMENT SHALL BE WARRANTEED UNDER CONTRACTORS WARRANTY FOR ONE FULL YEAR FOR PARTS & LABOR.
- TO BE INSTALLED BY LOCAL & STATE LICENSED POOL CONTRACTOR
- PROVIDE OPERATION AND MAINTENANCE MANUALS TO OWNER UPON COMPLETION OF WORK & ACCEPTANCE BY OWNER
- ALL EQUIPMENT AND EXPOSED PIPING SHALL BE CLEARLY LABELED W/ PERTINENT DATA SUCH AS, BUT NOT LIMITED TO: PUMP & FILTER SPECIFICATIONS, PIPE SIZE, USE & FLOW DIRECTION, ETC.
- ALL EXPOSED PIPING SHALL BE COPPER (NO EXPOSED PVC PIPES).
- LOCATE PUMP AND ALL MECHANICAL EQUIPMENT PER OWNERS DIRECTION.
- LOCATE CONTROLS FOR LIGHTS, AND FOUNTAINS INSIDE HOUSE PER OWNERS DIRECTION.
- PITCH FLOOR OF BASIN TO DRAIN
- OVERFLOW DRAIN BY CONTRACTOR TO BE APPROVED BY SMI.
- CONTRACTOR TO INSTALL WATER LEVELER.
- INSTALL ADJUSTMENT VALVE IN VISIBLE LOCATION.

- ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI
- CONTRACTOR TO PROVIDE ENGINEER DWGS FOR POOL TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI
- REFER TO POOL ENGINEER DRAWINGS FOR WATER SUPPLY, FILTRATION, PUMP, AUTOFILL, OVERFLOW, ETC.
- ANY/ALL EXPOSED FOUNTAIN PIPE TO BE COPPER
- POOL CONTRACTOR TO WATERPROOF ALL POOL SHELL PRIOR TO INSTALLATION OF SHELL FINISH MATERIAL

2 FOUNTAIN DETAIL
1.2.2 SCALE: 1" = 1'-0"



REINFORCED CONCRETE
-CONTRACTOR TO PROVIDE ENGINEERING
DRAWINGS FOR SPECIFICATIONS

SMI needs to know and approve the waterworks
to be used. Avoid submersible pumps and
pumps that are over-sized for the fountain

Worth
Avenue
Ventures LLC

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Palm Beach, FL 33480

HARDSCAPE MOCK-UPS TO BE APPROVED
BY OWNER / LA PRIOR TO INSTALLATION

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including the copyright for these drawings. These
drawings shall not be used by the recipients or others
except by agreement in writing and with appropriate
compensation, waiver of claims, and indemnification
to SMI Landscape Architecture, LLC.

NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST
3' BELOW GRADE TO ALLOW FOR PLANTINGS /
ROOT BALLS
-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED
BY SMI OR IF REQUIRED BY MUNICIPALITY

3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP

△	DATE	DESCRIPTION
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REVISIONS		
Preliminary		

S M I

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE 2 of 2		
Hardscape Details		
SCALE	PROJECT NUMBER:	
As Noted	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L2.2 SHEET 2 OF 3	



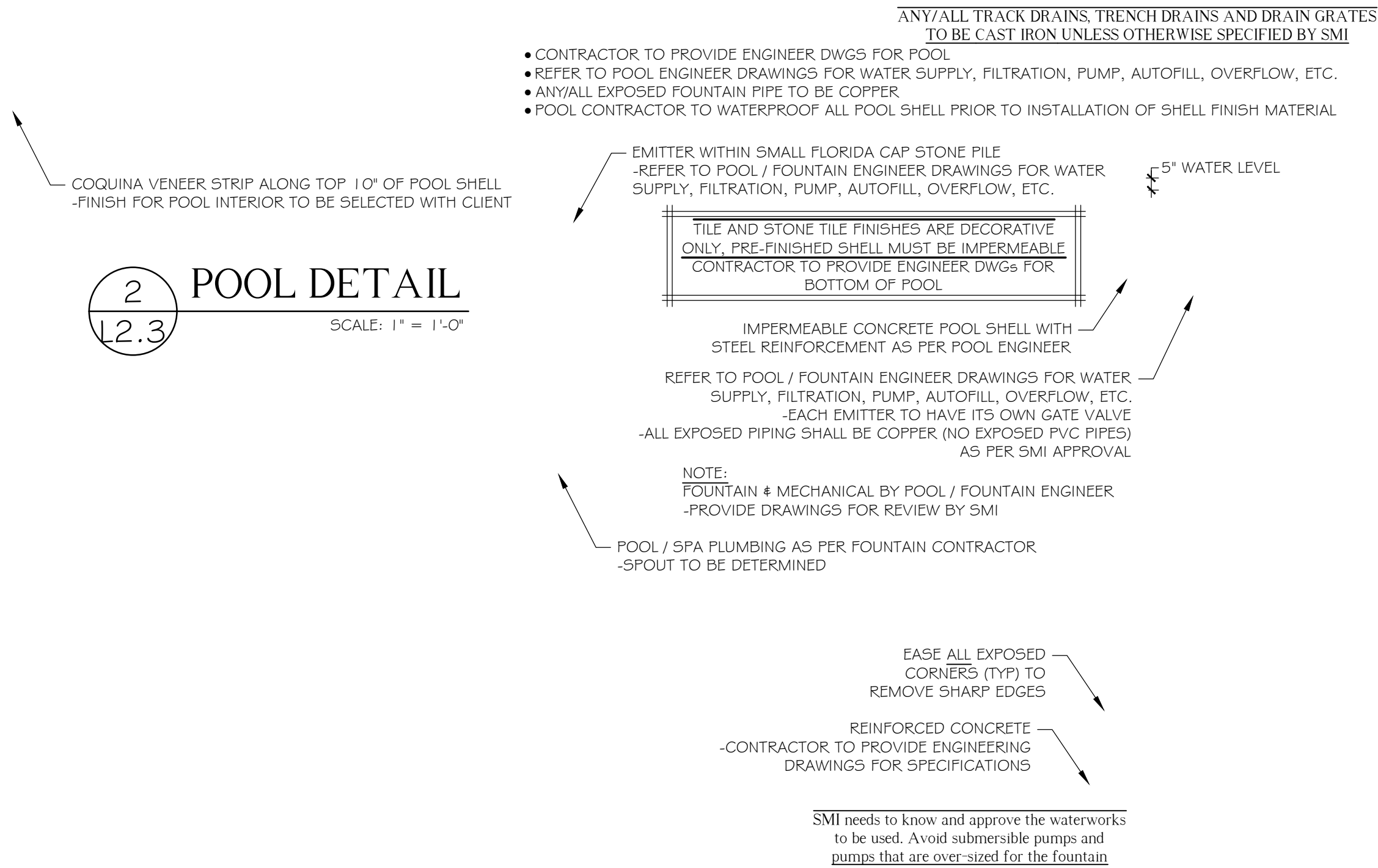
Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

POOL / SPA NOTES:

- ALL TILE AND STONE TILE ARE DECORATIVE ONLY. SHELL MUST BE IMPERMEABLE PRIOR TO INSTALLATION OF FINISH MATERIAL.
- ALL MASONRY MATERIAL SHALL BE COMPATIBLE WITH SWIMMING POOL / SPA CONDITIONS.
- ALL DRAWINGS TO BE ENGINEERED. ENGINEER DRAWINGS PREVAIL FOR CONSTRUCTION.
- CONFIRM OVERFLOW VALVE TYPE (MANUAL OR AUTOMATIC) WITH SMI PRIOR TO INSTALLATION.
- ALL GROUT COLORS TO BE SELECTED BY LANDSCAPE ARCHITECT & APPROVED BY OWNER.
- ENGINEER DWGS. MUST BE PRESENTED TO SMI FOR REVIEW OF OVERALL AESTHETIC DESIGN INTENT.
- CONTRACTOR TO VERIFY ALL DIMENSIONS, POOL LOCATION, & SET BACKS PRIOR TO CONSTRUCTION
- CONSTRUCTION TO COMPLY WITH ALL APPLICABLE STATE & LOCAL CODES WHETHER INDICATED HERE OR NOT. WHERE COMPLIANCE REQUIRES SUBSTANTIAL DEVIATION FROM THE DESIGN INTENT, AS SHOWN ON THE CONTRACT DRAWINGS, MODIFICATIONS MUST BE REVIEWED BY THE SMI.
- OBTAIN NECESSARY SUB-SURFACE INFORMATION. EXCAVATE & REMOVE ALL MUCK & OTHER UNACCEPTABLE MATERIAL & REPLACE W/ GOOD CLEAN STRUCTURALLY SOUND FILL MATERIAL. PROVIDE DE-WATERING AS NECESSARY.
- OBTAIN ALL NECESSARY PERMITS AS PER STATE & LOCAL CODES.
- INFORMATION SHOWN IS SCHEMATIC IN NATURE. ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. POOL / SPA STRUCTURE & ALL EQUIPMENT SHALL BE WARRANTEED UNDER POOL CONTRACTORS WARRANTY FOR ONE FULL YEAR FOR PARTS & LABOR.
- POOL / SPA TO BE INSTALLED BY LOCAL & STATE LICENSED POOL CONTRACTOR.
- PROVIDE OPERATION AND MAINTENANCE MANUALS TO OWNER UPON COMPLETION OF WORK & ACCEPTANCE BY OWNER.
- ALL EQUIPMENT AND EXPOSED PIPING SHALL BE CLEARLY LABELED W/ PERTINENT DATA SUCH AS, BUT NOT LIMITED TO: PUMP & FILTER SPECIFICATIONS, PIPE SIZE, USE & FLOW DIRECTION, ETC.
- ALL EXPOSED PIPING SHALL BE COPPER (NO EXPOSED PVC PIPES).
- LOCATE PUMP AND ALL MECHANICAL EQUIPMENT PER OWNERS DIRECTION.
- LOCATE CONTROLS FOR LIGHTS, AND FOUNTAINS INSIDE HOUSE PER OWNERS DIRECTION.
- PITCH FLOOR OF POOL/SPA TO DRAIN
- OVERFLOW DRAIN BY CONTRACTOR TO BE APPROVED BY SMI.
- CONTRACTOR TO INSTALL WATER LEVELER.
- INSTALL ADJUSTMENT VALVE IN VISIBLE LOCATION.

REFER TO ARCHITECT'S & STRUCTURAL / POOL ENGINEER'S DRAWINGS FOR COMPLETE STRUCTURAL INFORMATION



NOTE TO PROJECT MANAGER:
DETERMINE WHETHER TO USE AUTO OR
MANUAL VALVE FOR LOW WATER REFILL

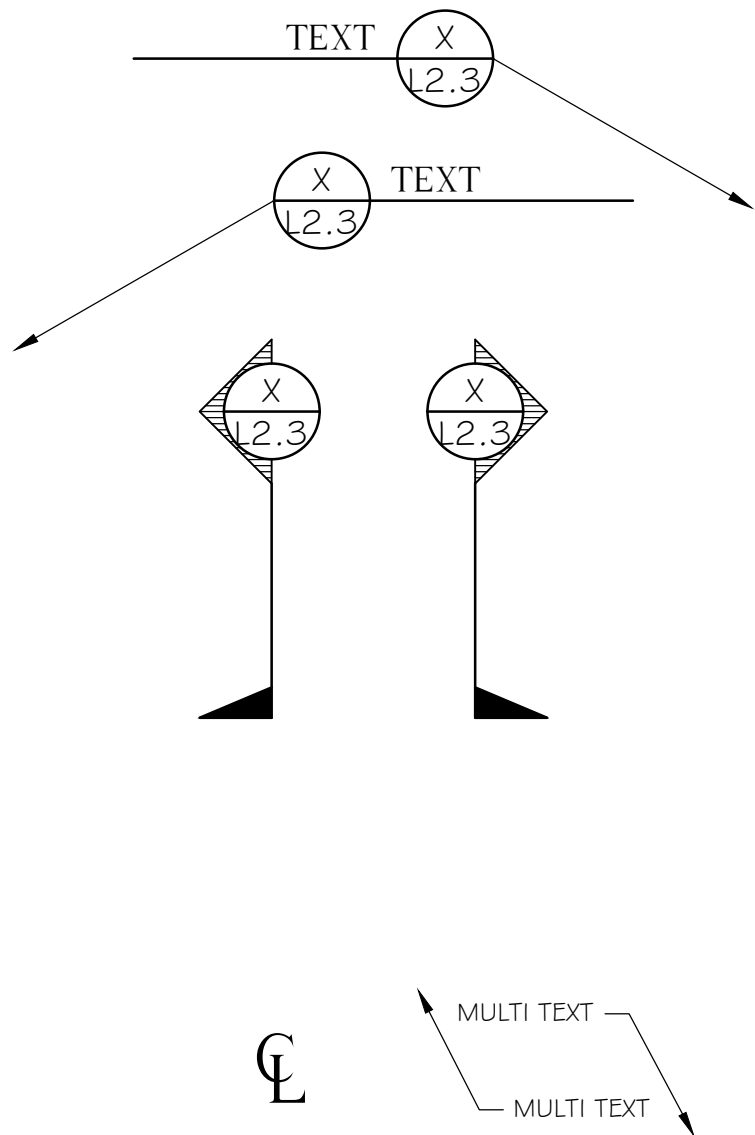
LATELY WE HAVE RELIED ON PROFESSIONALS FOR FOUNTAIN FUNCTION DESIGN. INVARIABLY THERE HAVE BEEN TOTALLY WRONG ON 2 COUNTS:

- * PUMPS ARE OVERSIZED FOR THE AMOUNT OF WATER FLOW WE WANT.
- * VALVES FOR CONTROLLING WATER FLOW ARE LOUSY. THEY NEED TO BE METAL BALL VALVES.

PLEASE BE AWARE OF THIS FOR ANY FUTURE WORK.

- ABBREVIATIONS KEY
- DIA =DIAMeter
 - DR =Dominican Republic
 - HS =HardScape
 - HT =Height
 - LA =Landscape Architect
 - LS =LandScape
 - MAX =MAXimum
 - MIN =MINimum
 - SMI =SMI Landscape Architecture
 - TBD =To Be Determined
 - TC =Terra Cotta
 - THK =THick
 - TYP =TYPical

- GRADING
- BOG =Bottom Of Steps
 - ELEV =ELEVation
 - FFE =Finished Floor Elevation
 - TOS =Top Of Steps
 - TOW =Top Of Wall



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Worth Avenue Ventures LLC

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HARDSCAPE MOCK-UPS TO BE APPROVED BY OWNER / LA PRIOR TO INSTALLATION

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NOTES:
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3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP

DATE	DESCRIPTION
REVISIONS	
Preliminary	

SMI LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE

Pool & Spa Details

SCALE	PROJECT NUMBER:	
As Noted	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L2.3 SHEET 3 OF 3	

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

ALL IRRIGATION, IRRIGATION EQUIPMENT AND
IRRIGATION BOXES TO BE CONCEALED

ALL PLANTING BEDS ABUTTING LAWN
TO HAVE METAL EDGE BORDER

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Palm Beach, FL 33480

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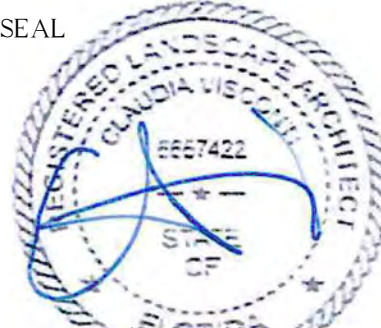
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REVISIONS

Preliminary

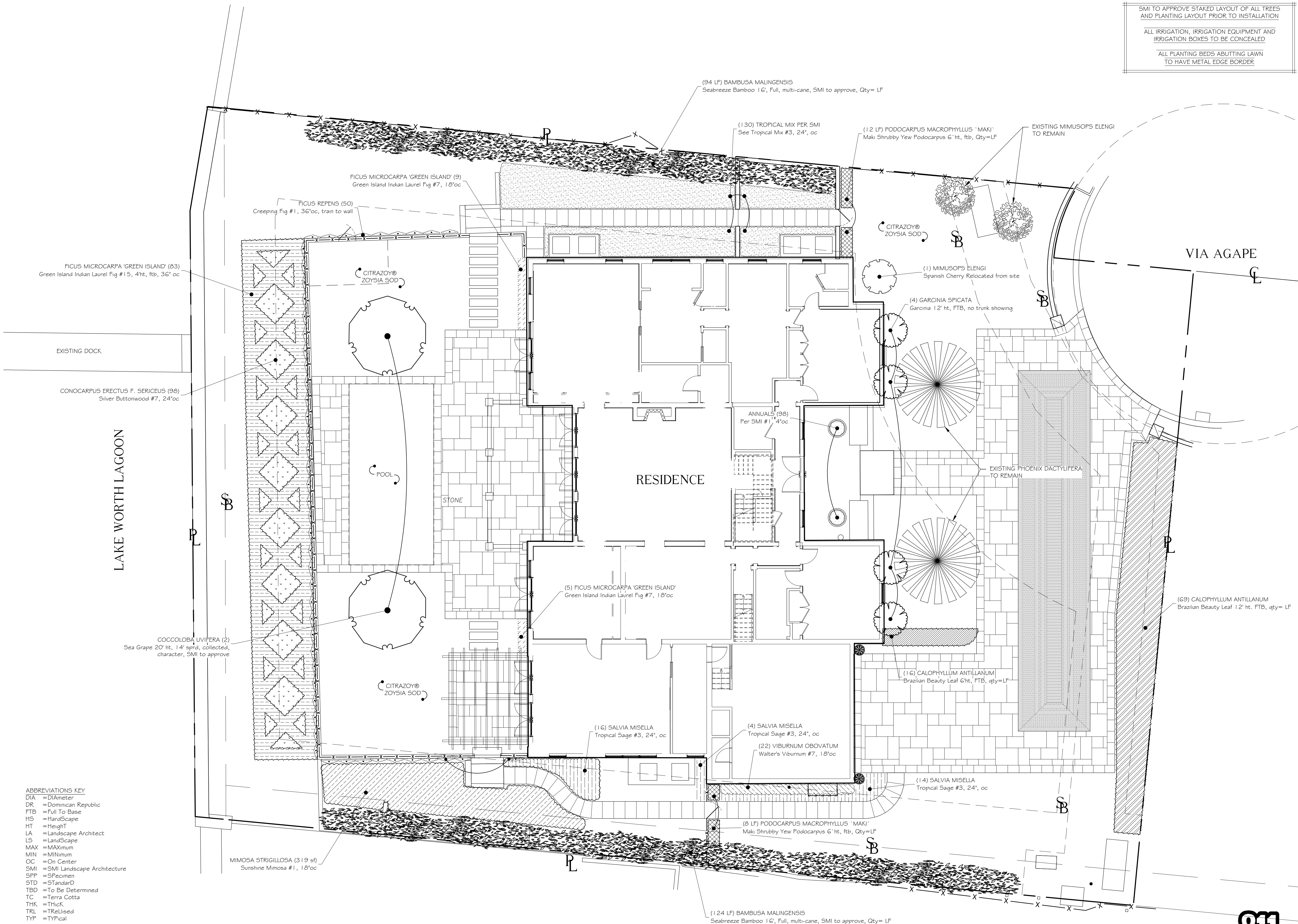
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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Planting Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	<p>L3.1</p> <p>SHEET 1 OF 3</p>	



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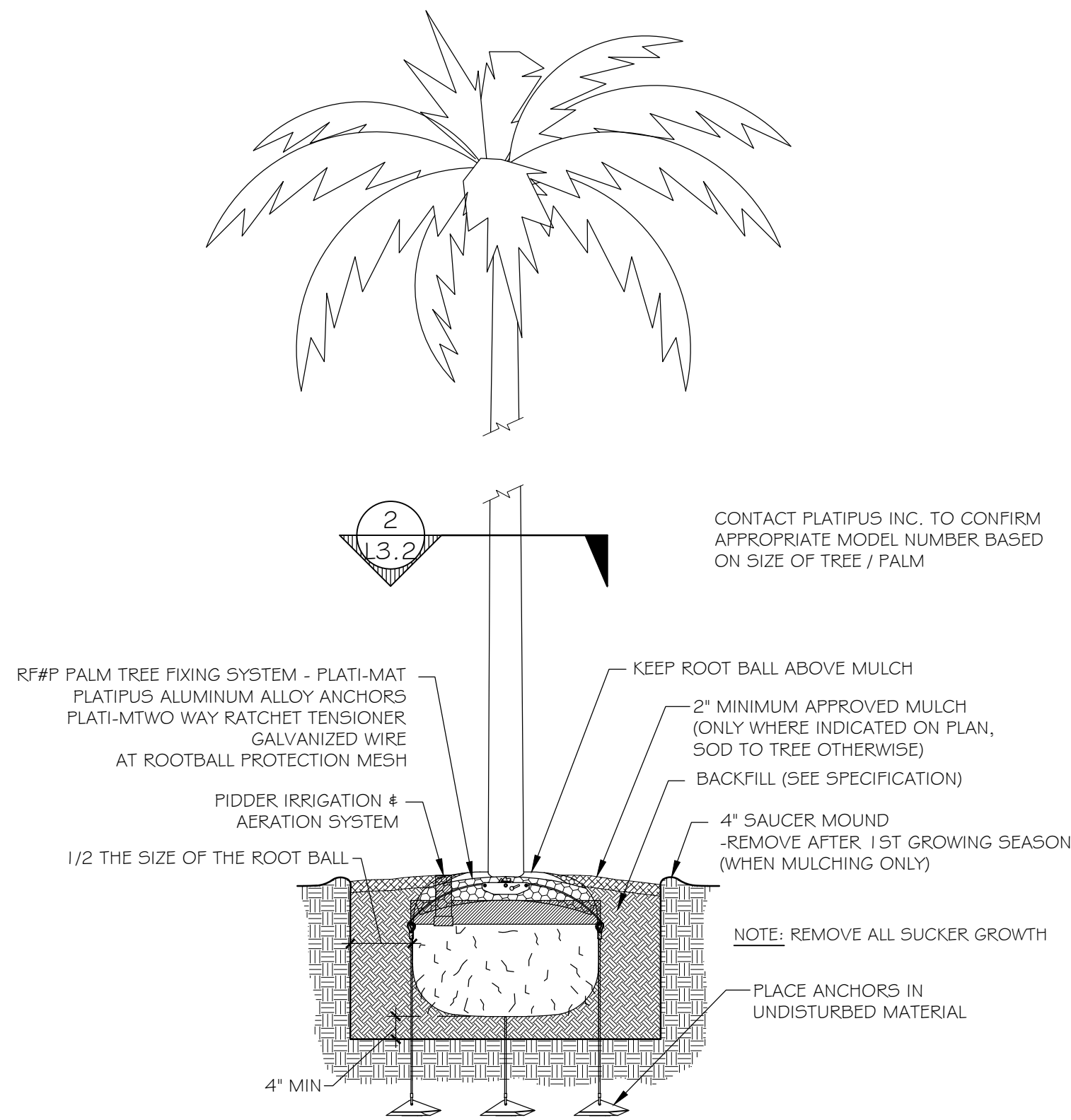


ABBREVIATIONS KEY

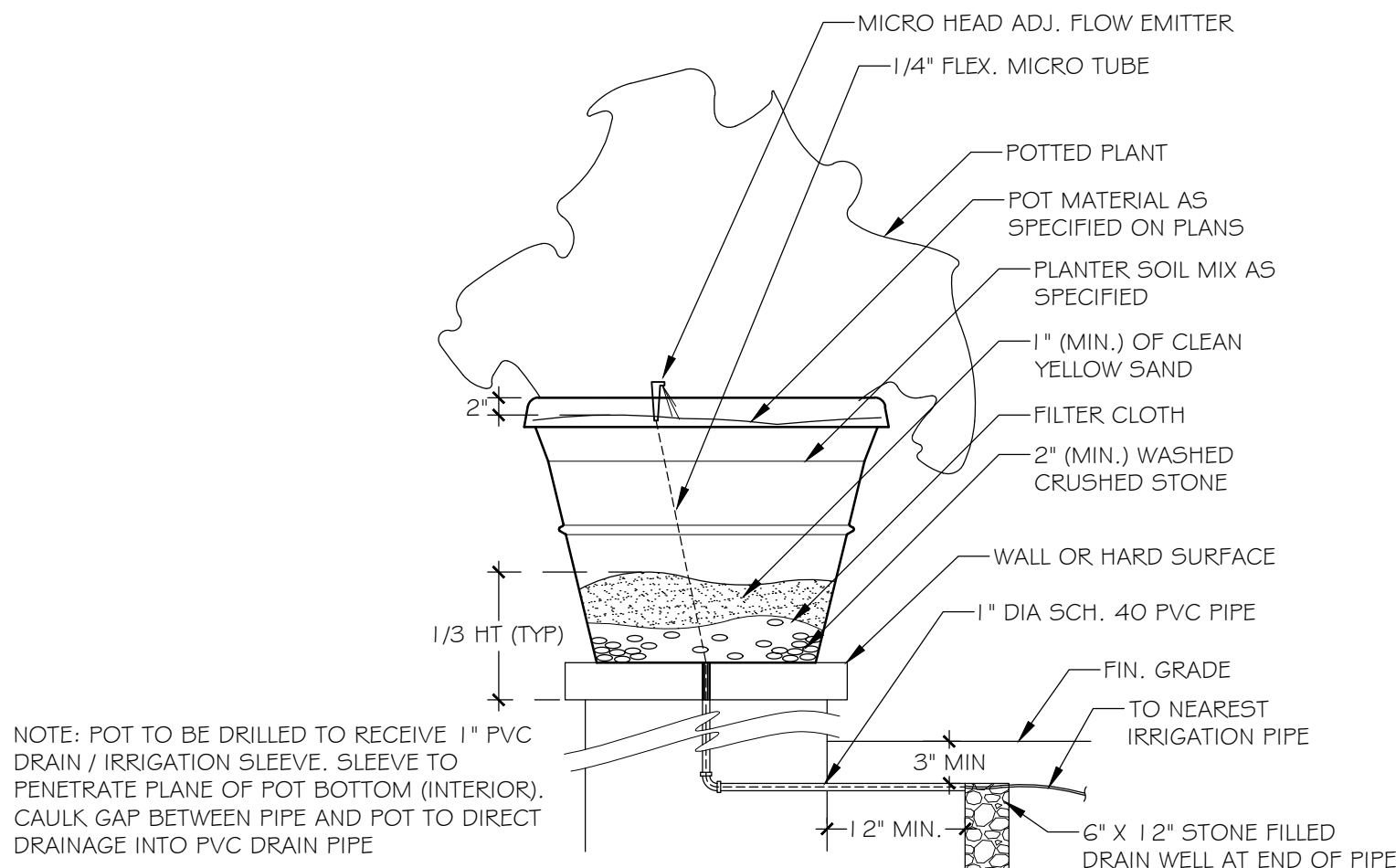
DIA	= DIAMeter
DR	= Dominican Republic
FTB	= Full To Base
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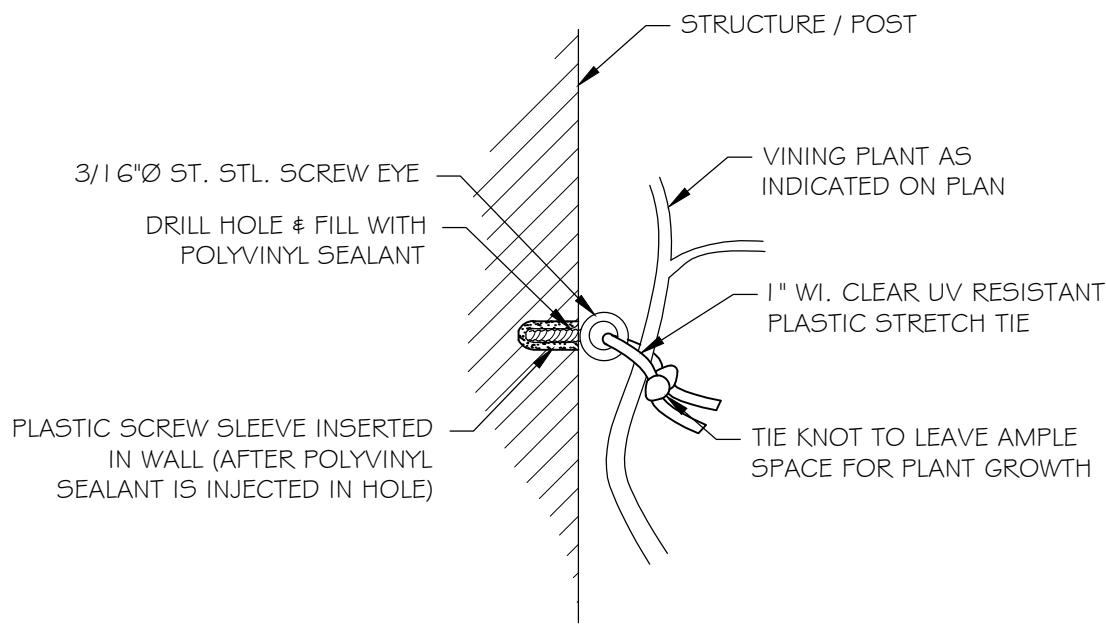
FIELD VERIFY ALL DIMENSIONS



1
L3.2 PLATIPUS TREE ANCHORING
DETAIL SCALE: NOT TO SCALE

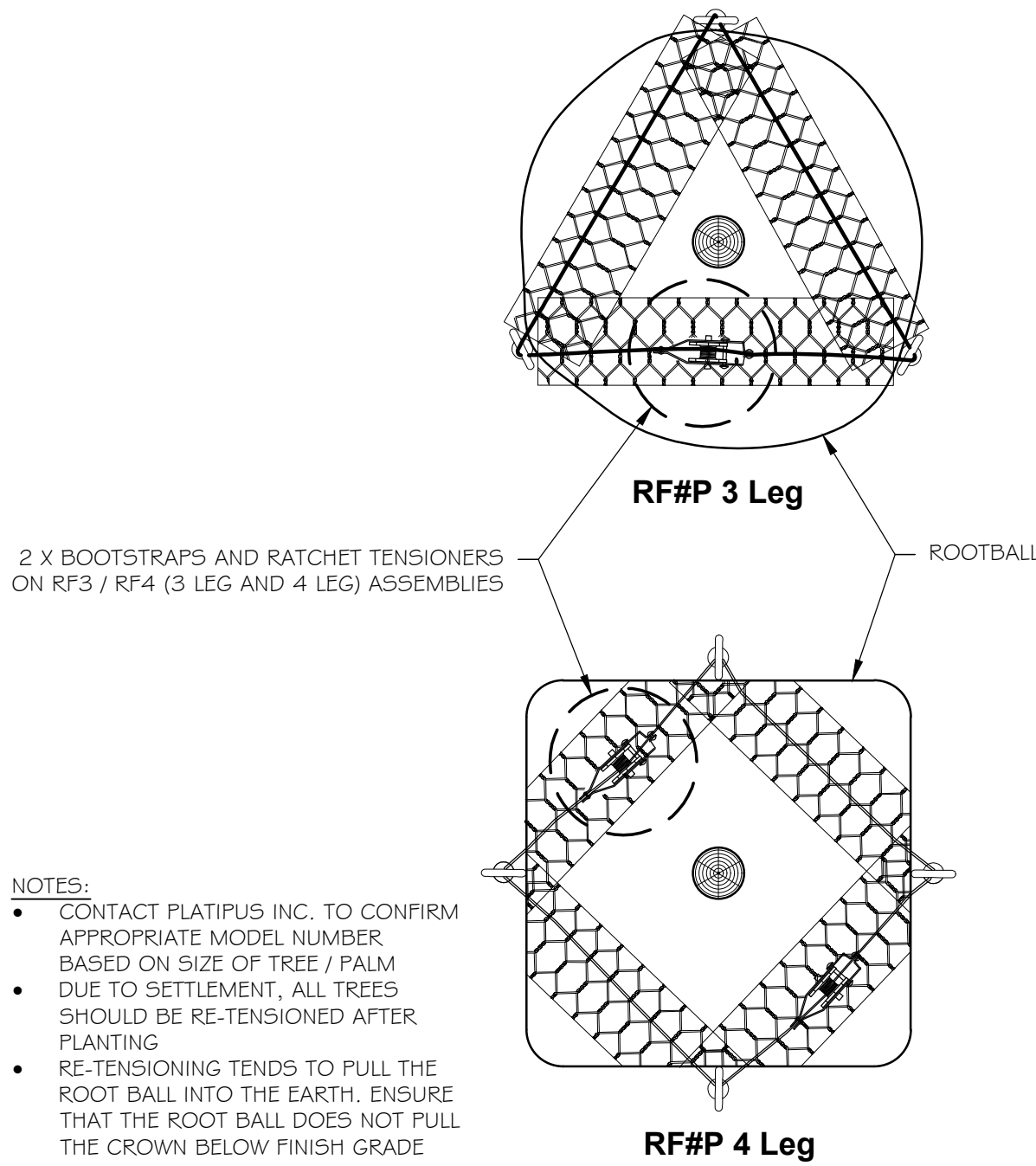


4
L3.2 POTTED PLANT DETAIL
SCALE: NOT TO SCALE

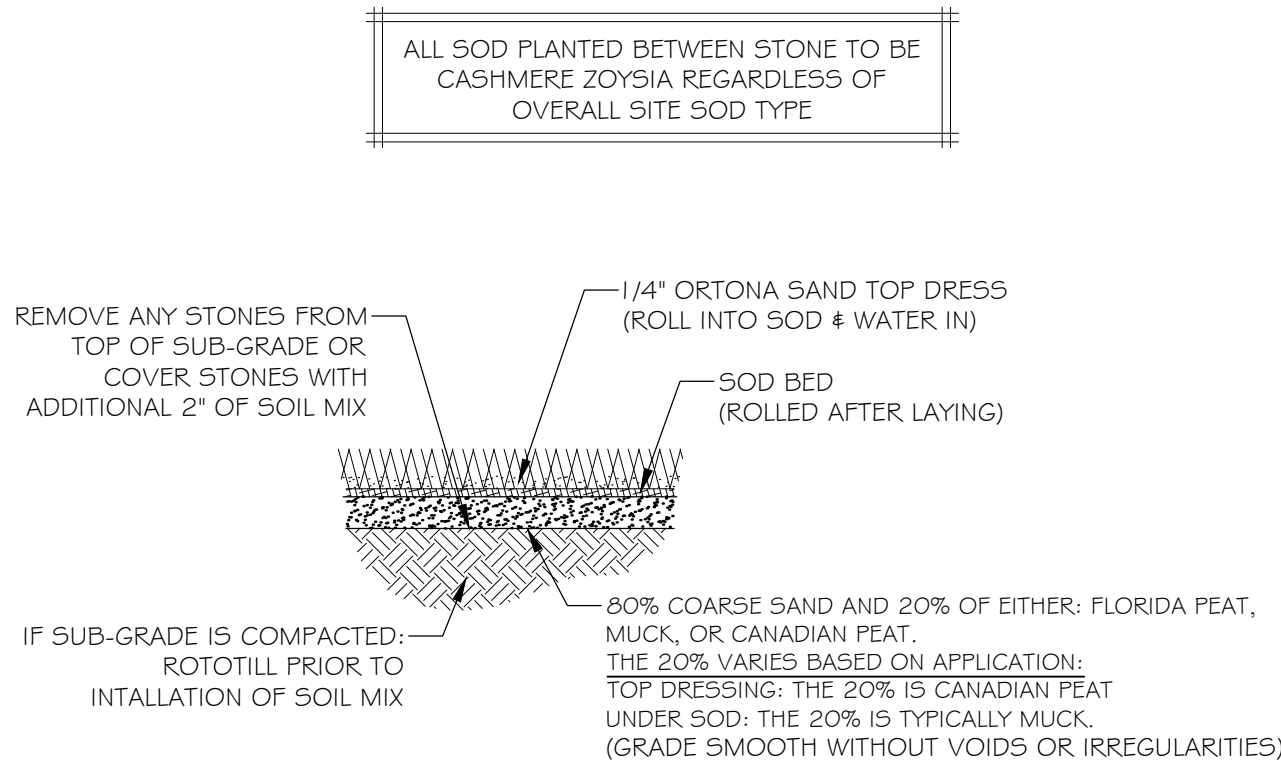


PIN TO WALL

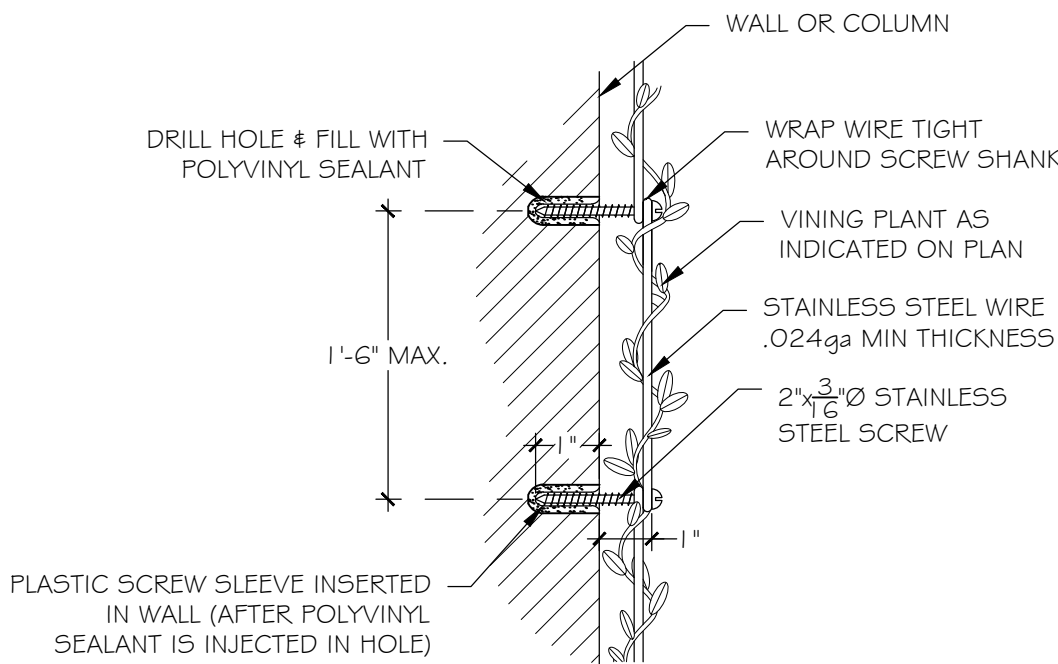
7
L3.2 VINE SUPPORT DETAIL
SCALE: NOT TO SCALE



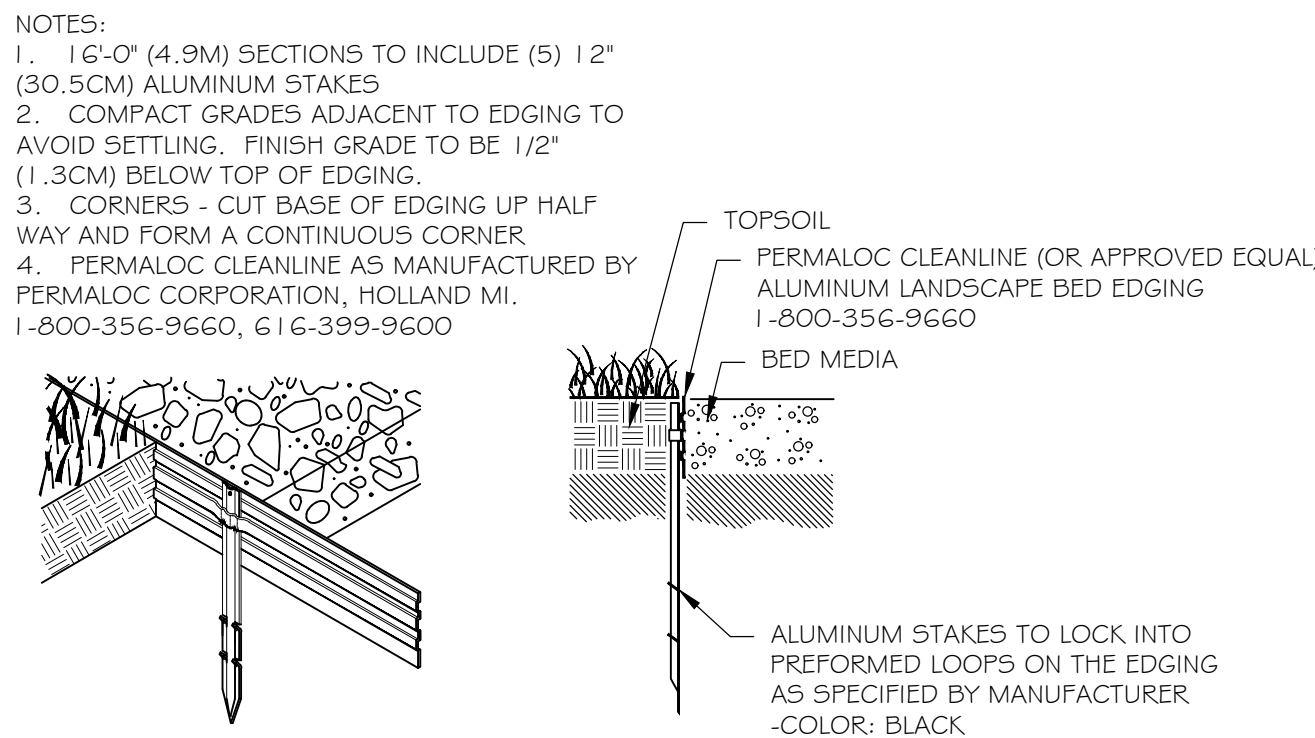
2
L3.2 PLATIPUS ROOTBALL BOOTSTRAP
DETAIL SCALE: NOT TO SCALE



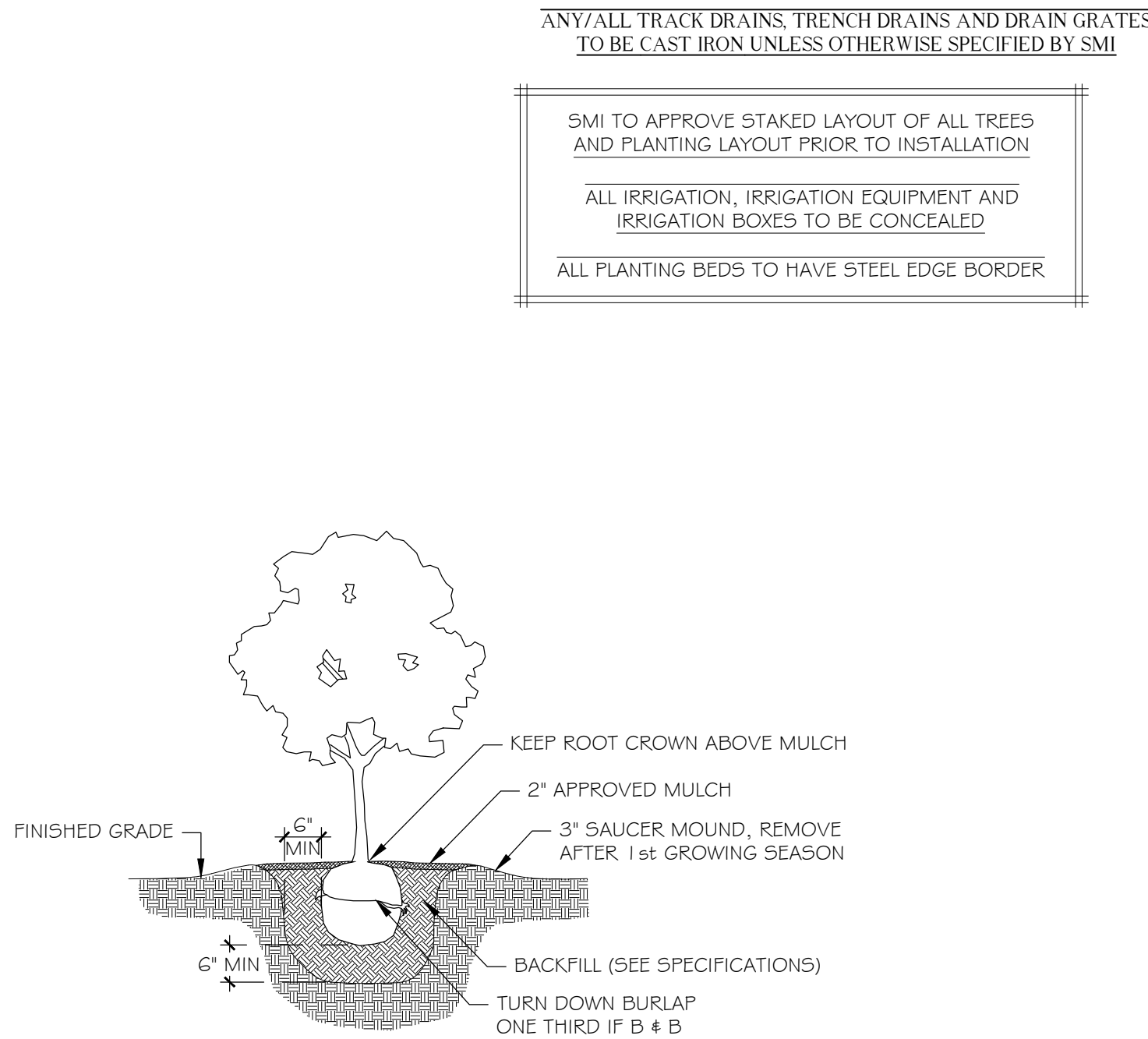
5
L3.2 SOD PLANTING DETAIL
SCALE: 1/2\"/>



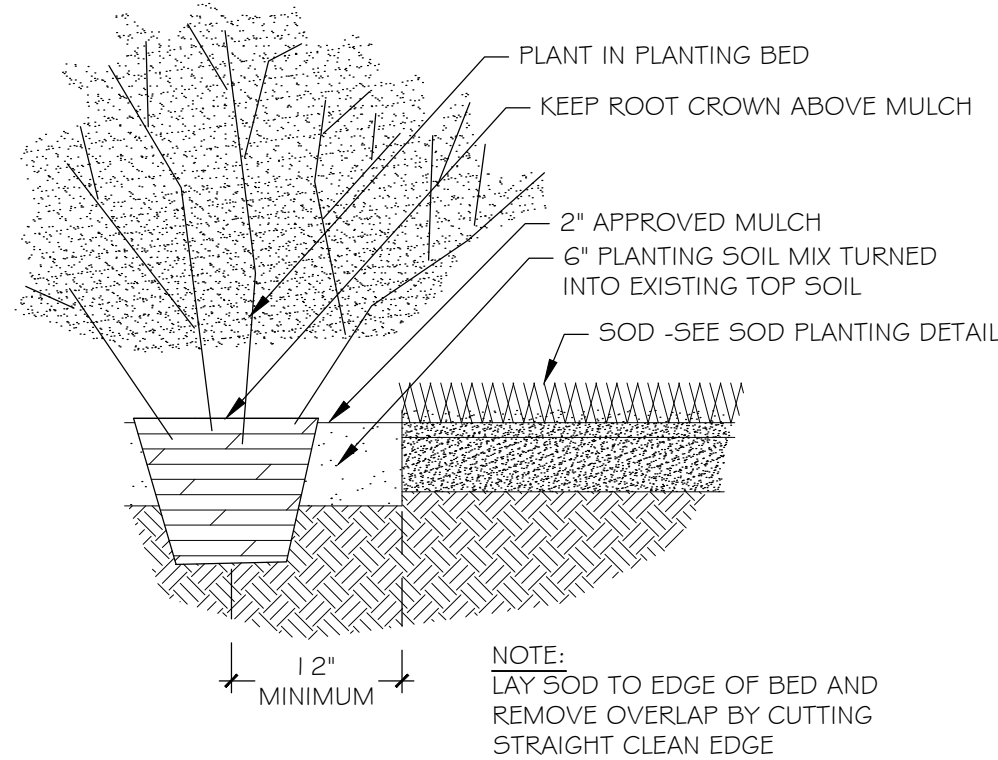
WIRE TO WALL



8
L3.2 PLANT BED EDGING DETAIL
SCALE: NTS



3
L3.2 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



6
L3.2 PLANTING BED DETAIL
SCALE: NOT TO SCALE

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3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP

DATE	DESCRIPTION
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SMI
LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Planting Details		
SCALE: NOT TO SCALE	PROJECT NUMBER: 2401	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L3.2 SHEET 2 OF 3	



FIELD VERIFY ALL DIMENSIONS

PLANTING SPECIFICATIONS

PLEASE FURNISH FLORIDA CERTIFIED LANDSCAPE CONTACTORS (FCLC) REGISTRATION NUMBER WITH PROPOSAL.

GENERAL CONDITIONS

SCOPE:

1. THE WORK INCLUDED IN THESE SPECIFICATIONS SHALL CONSIST OF THE FURNISHING OF ALL LABOR, TOOLS, MATERIALS, PERMITS, ETC., NECESSARY FOR THE EXECUTION OF THE WORK AS HEREIN SPECIFIED AND SHOWN ON THE DRAWINGS.
2. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH SOUND NURSERY PRACTICE AND SHALL PERFORM MAINTENANCE AND WATERING UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

EXAMINATION OF DRAWINGS AND SITE:

1. THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY ACQUAINT HIMSELF WITH ALL OF THE EXISTING CONDITIONS IN ORDER THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE AS TO THE CHARACTER OR AS TO THE EXTENT OF THE WORK TO BE DONE, AND LIKEWISE, IN ORDER TO ADVISE AND ACQUAINT HIMSELF WITH ALL PRECAUTIONS TO BE TAKEN IN ORDER TO AVOID INJURY TO PERSONS OR PROPERTY OF ANOTHER. NO ADDITIONAL COMPENSATION WILL BE GRANTED BECAUSE OF ANY UNUSUAL DIFFICULTIES THAT MAY BE ENCOUNTERED IN THE EXECUTION OR MAINTENANCE OF ANY PORTION OF THE WORK. ANY DISCREPANCIES, OR OMISSIONS OR DOUBTS AS TO MEANING SHALL BE COMMUNICATED TO THE LANDSCAPE ARCHITECT, WHO WILL MAKE ANY INTERPRETATIONS HE/SHE DEEMS NECESSARY.

PLANT LIST:

1. ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL BE CONSIDERED AS CORRECT ON THE PLANNING.

PROTECTION OF PUBLIC AND PROPERTY:

1. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY GUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO A PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS FAULT OR NEGLIGENCE IN THE EXECUTION OF THE WORK.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY INSURANCE (\$1,000,000) AND PROPERTY DAMAGE INSURANCE (\$1,000,000.00). A COPY OF THE CERTIFICATE OF INSURANCE MUST BE FURNISHED TO OWNER.

GUARANTEE:

1. THE GUARANTEE PERIOD FOR ALL MATERIAL SHALL BEGIN AFTER FINAL APPROVAL BY LANDSCAPE ARCHITECT.
2. ALL MATERIAL EXCEPT SOD SHALL BE GUARANTEED FOR ONE YEAR PROVIDED IT RECEIVES PROPER MAINTENANCE (AS PRESCRIBED BY THE LANDSCAPE CONTRACTOR) BY THE OWNER AND IS NOT DAMAGED OR DESTROYED BY HURRICANES OR OTHER CAUSES BEYOND THE CONTRACTOR'S CONTROL.
3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT THE OWNERS NEGLIGENCE TO PROVIDE PROPER CARE OF THE MATERIAL.
4. ALL REPLACEMENT COST OF GUARANTEED MATERIAL, INCLUDING EQUIPMENT, AND LABOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

AWARD OF CONTRACT:

1. ONLY UNIT PRICE-INSTALLED BIDS FOR THE WORK WILL BE ACCEPTABLE. HOWEVER, THE OWNER RETAINS THE RIGHT TO DELETE PORTIONS OF THE WORK FROM THE CONTRACT AND/OR AWARD SEPARATE CONTRACTS FOR PHASES OF THE PROJECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS WHEN SUCH REJECTIONS ARE IN THE INTEREST OF THE OWNER.

EXECUTION OF THE WORK:

1. THE LANDSCAPE CONTRACTOR SHALL HAVE HIS LABOR CREWS CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN PLANT MATERIALS, PLANTING, READING OF BLUEPRINTS AND COORDINATION BETWEEN JOB AND NURSERY IN ORDER TO EXECUTE INSTALLATION RAPIDLY AND CORRECTLY.

WATER:

1. WATER SOURCE SHALL BE FURNISHED BY THE OWNER.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH IRRIGATION CONTRACTOR.
3. ALL PLANT MATERIAL INSTALLED PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE WATERED WITH A TEMPORARY SYSTEM BY THE LANDSCAPE CONTRACTOR.

IRRIGATION:

-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

GRADING:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE OF LANDSCAPE AREAS UNLESS OTHERWISE SPECIFIED. THE TERM SUBGRADE SHALL BE DEFINED AS 4"-6" BELOW FINISH GRADE UNLESS OTHERWISE NOTED ON PLANS.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED AND FINE GRADING WITHIN PLANTER BEDS AND THE FILLING OF PLANTER BOXES. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXCESS SOIL AND DEBRIS ACCUMULATED DURING HIS WORK.
3. THE SOD CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE IN ALL SODDED AREAS. SEE SPECIFICATIONS RELATING TO SPECIES' GROWERS.

DIGGING

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND AND OVERHEAD PIPES AND CABLES. SHOULD SUCH UNDERGROUND AND OVERHEAD OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE CONSULTED AND WILL ADJUST THE LOCATION OF PLANTS TO CLEAR SUCH OBSTRUCTION OR MOVE THE OBSTRUCTION.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.
- PLANTING PITS

1. EXCAVATE CIRCULAR PITS WITH VERTICAL SIDES FOR ALL PLANTS, EXCEPT FOR HEDGES AND PLANTS SPECIFICALLY DESIGNATED TO BE PLANTED IN BEDS. DIAMETER OF PITS OF TREES AND SHRUBS SHALL BE AT LEAST 1/3 LARGER THAN THE DIAMETER OF THE BALL.

2. EXCAVATE PLANTING PITS AND PLANTING BEDS, PREPARE FINE SUBGRADE THROUGHOUT ALL PITS AND BEDS, AND PLACE THE PLANTS TO BE PLANTED FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.

PRUNING

1. REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL IMMEDIATELY. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL PLANTS WITH AS MUCH HEIGHT AND SPREAD AS IS PRACTICAL.
2. HEDGE MATERIALS TO BE PULLED IN, TIED AND TRIMMED TO VERTICAL AFTER INSTALLATION, WITH A FINISHED APPEARANCE UNLESS OTHERWISE NOTED.

TREE BRACING AND GUYING

1. LARGE TREES AND PALMS SHALL BE BRACED WITH CYPRESS POLES OR CLEAN LUMBER. BRACES SHALL BE PAINTED MATTE GREEN FINISH.
2. SMALL TREES SHALL BE GUYED IN THREE DIRECTIONS WITH THREE STRANDS OF NO. 12 GALVANIZED WIRE ATTACHED TO ANCHORS DRIVEN BELOW GRADE. WIRES WHICH COME IN CONTACT WITH THE TREE ARE TO BE ENCASED IN RUBBER HOSE.

PLANT MATERIALS

1. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE NAMES GIVEN IN HORTUS III AND IN STANDARDIZED PLANT NAMES, 2001, LATEST EDITION. PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN, CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2. QUALITY: PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES AND INJURIES. TREES SHALL BE HEAVILY BRANCHED, OR IN PALMS, HEAVILY LEAFED. REQUIREMENTS FOR THE MEASUREMENT, BRANCHING GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LISTS GENERALLY FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC., AND THE AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE GRADED AS SPECIFIED ON THE DRAWINGS.

- GRADES SHALL CONFORM TO GRADES AND STANDARDS FOR NURSERY STOCK, STATE PLANT BOARD OF FLORIDA. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS WITH BROKEN, DAMAGED, OR INSUFFICIENT BALLS WILL BE REJECTED. ALL PLANTS SHALL BE FLORIDA FANCY.

3. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

PLANTING SOIL

SOIL BY "ATLAS SOIL" OR APPROVED ALTERNATE

ALL PLANTING AREAS SHALL BE CLEANED OF ALL PLANT AND MATERIAL TWO WEEKS PRIOR TO INSTALLATION OF SOIL FOR REMOVAL OF ANY WEEDS.

GROUND COVER BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH 4" OF 8270 MIX & TILL/MIX INTO EXISTING SOIL.

SHRUB BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

TREE PITS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE TREE AND REPLACE WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

PALMS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE PALM AND REPLACE WITH APPROPRIATE SOIL AND CLEAN YELLOW SAND FREE OF WEEDS.

SOIL SPECS FOR PLANTING BEDS:
ATLAS PEAT & SOIL 8270 MIX
20% con peat
25% fls peat
40% pine bark
15% granite

SOIL SPECS FOR TREES AND LARGE SHRUBS:
SMILA SOIL MIX (APPROVED SOIL)
50% Pinebark
40% Florida Peat
10% Coarse Sand
10lbs Dolomite per/Yard
18.5lbs TurfPro per/Yard
25 pounds Nutricote 18/6/8-360 P/yard optional

1. SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-7300

PLANTING SOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

1. SOIL FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE SMILA SOIL UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

2. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REMOVE ANY EXCESS SOIL AND DEBRIS FROM THE SITE. REFER TO THE GRADING PLAN AND GRADING SPECIFICATIONS.

3. LANDSCAPE ARCHITECT MAY REQUEST SOIL ANALYSIS FOR THE TESTING OF PLANTING SOIL UTILIZED BY THE SELECTED LANDSCAPE CONTRACTOR.

TO PROTECT AGAINST GANODERMA PALM FUNGUS ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY. STUMPS ACT AS HOSTS TO THIS DESTRUCTIVE LONG LIVED FUNGUS.

FERTILIZER

1. TREES USE ONE 21 GRAM AGRIFORM PLANTING TABLET PER 1/2" TRUNK DIAMETER. SPACE EQUALLY AROUND AT 2/3 DEPTH OF BALL.

2. SHRUBS: AGRIFORM PLANTING TABLETS SHALL BE APPLIED PER THE MANUFACTURERS SUGGESTED APPLICATION RATES.

3. SOD USE FERTILIZER AS PER BELOW WITH TRACE ELEMENTS APPLIED AT THE RATE OF 15 LBS. PER 1000 SQ. FT. PRIOR TO LAYING SOD.

4. POWDERED MYCCHORIZAE MIX; DIE HARD, 'PLANT HEALTH' CARE OR EQUAL) AND LIQUID B-THRIVE (OR EQUAL) SHOULD BE ADDED TO ALL TREES, SHRUBS AND GROUND COVER PLANTING BEDS AS PER MANUFACTERES DIRECTIONS.

5. ALL TREES, SHRUBS, GROUND COVER AND SOD TO USE LESCO 13-3-13 FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS

MULCH

ALL MULCH FOR THE PROJECT SHALL BE ATLAS GROW. MULCH SHALL BE APPLIED 2" IN TREES AND PALMS AS SPECIFIED, AND ALL PLANTING BEDS, HEDGE AND SHRUBS. KEEP CROWN OF ROOT BALL ABOVE MULCH SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-7300

SUBMIT BAG TO LANDSCAPE ARCHITECT FOR APPROVALS.

SABAL PALMS

1. SABAL PALMS SHALL HAVE A MINIMUM TRUNK DIAMETER OF 12" MEASURED 2' ABOVE GROUND.

HEDGES

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE FULL MATERIAL TO PRODUCE A SOLID SCREEN FROM THE TOP OF HEDGE TO THE BASE OF HEDGE.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ADD FILLERS TO THE HEDGE AS NEEDED TO PRODUCE A SOLID FULL TO BASE (F.T.B.), SCREEN TO BE INCLUDED IN THE CONTRACTED PRICE.
3. PLANT MATERIAL WITH WEAK OR THIN FOLIAGE WILL NOT BE ACCEPTED.

VINES

1. MATERIALS & INSTALLATION OF VINE SUPPORTS SHALL BE INCLUDED IN UNIT COST OF VINE SPECIFIED

SODDING

1. THE LANDSCAPE CONTRACTOR SHALL SOD ALL AREAS INDICATED AND NOTED ON THE DRAWINGS.

2. NO SODDING SHALL OCCUR UNTIL ALL AREAS TO BE SODDED ARE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, THE GROUND BROUGHT TO AN EVEN GRADE AND SPECIFIED AMENDMENTS HAVE BEEN ADDED. SEE DETAILS FOR SPECIFIC AMENDMENTS AS PER SOD TYPE. ALL SODDED AREAS WILL BE TREATED WITH 'ROUNDUP' HERBICIDE PER MANUFACTURER'S SPECIFICATIONS AT LEAST TEN DAYS PRIOR TO SOD INSTALLATION.

3. THE SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACTED GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO NOXIOUS WEEDS, OR ANY OTHER OBJECTIONABLE VEGETATION, FUNGUS, INSECTS OR DISEASE. PREPARATION OF AREAS SHALL BE PERFORMED WELL ENOUGH IN ADVANCE TO ALLOW SUFFICIENT TIME TO WORK PROPERLY. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD, CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN, AND OTHER DISEASES.

4. BEFORE BEING CUT AND LIFTED, THE SOD SHALL HAVE BEEN MOWED AT LEAST THREE TIMES WITH A LAWN MOWER, WITH THE FINAL MOWING NOT MORE THAN SEVEN DAYS BEFORE THE SOD IS CUT. THE SOD SHALL BE CAREFULLY CUT INTO UNIFORM DIMENSIONS.

5. SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A TAMPED OR ROLLED EVEN SURFACE.

6. WATERING SHALL BE ACCOMPLISHED UNTIL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT.

7. MAINTENANCE OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL OF LANDSCAPE ARCHITECT.

8. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS.
9. SEE PLANS FOR DETAILS. RE: SOD VARIETIES

10. FOR SOD, APPLY DEPTH OF SOIL AS PER PLANTING DETAILS PAGE. REMOVE ANY STONES FROM TOP OF SUB-GRADE OR COVER STONES WITH ADDITIONAL 2" OF SOIL MIX.

11. ALL SOD AREA SHALL BE TREATED WITH 'ROUND UP' TWO WEEKS PRIOR TO INSTALLATION FOR REMOVAL OF ANY EXISTING OBJECTIONABLE PLANTS. DOSAGE AND APPLICATION PER MANUFACTURERS SPECIFICATIONS.

CLEAN UP

1. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. HE SHALL LEAVE ALL PAVED AREAS "BROOM CLEAN" WHEN COMPLETED WITH THE WORK.

2. MARKS AND DAMAGE TO EXISTING PAVING MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

ALL PALMS, TREES, AND LARGE SPECIMEN PLANTS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR FOR LA APPROVAL OF LAYOUT AND LOCATIONS PRIOR TO INSTALLING SAME.

TREE STAKE PAINT FORMULA:
BEHR PREMIUM PLUS EXT FLAT -ACCENT BASE (4670)
COLORANT OZ 48 96
D THALO GREEN 01 09 1
C YELLOW OXIDE 02 04 0
B LAMP BLACK 01 00 0

SUBMIT SAMPLE

QUANTITIES FOR LARGE HEDGES / BUFFERS REPRESENT LINEAR FEET OF PLANT, UNLESS NOTED OTHERWISE IN THE PLANT SIZE SPEC

PLANT LIST

All plants to be Florida Fancy

QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES				
2	Coccoloba uvifera	Sea Grape	20' ht, 14' sprd, collected, character, SMI to approve	Native
4	Garcinia spicata	Garcinia	12' ht, FTB, no trunk showing	Not Native
1	Mimulus elengi	Spanish Cherry	Relocated from site	

SHRUBS				
218	Bambusa malingensis	Seabreeze Bamboo	16', Full, multi-cane, SMI to approve, Qty= LF	Not Native
69	Calophyllum antillarum	Brazilian Beauty Leaf	12' ht, FTB, qty= LF	Not Native
16	Calophyllum antillarum	Brazilian Beauty Leaf	6ht, FTB, qty=LF	Not Native
20	Podocarpus macrophyllus 'Maki'	Maki Shrubby Yew Podocarpus	6' ht, ftb, Qty=LF	Not Native

VINE/ESPALIER				
50	Ficus repens	Creeping Fig	#1, 36"oc, train to wall	Not Native

SHRUB AREAS				
98	Annuals	Per SMI	#1, 4"oc	Not Native
98	Conocarpus erectus f. sericeus	Silver Buttonwood	#7, 24"oc	Not Native
83	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	#15, 4ht, ftb, 36" oc	Not Native
14	Ficus microcarpa 'Green Island'	Green Island Indian Laurel Fig	#7, 18"oc	Not Native
130	Tropical mix per smi	See Tropical Mix	#3, 24", oc	Not Native
19	Viburnum obovatum	Walters's Viburnum	#7, 18"oc	Native

QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
GROUND COVERS				
319 sf	Mimosa strigillosa	Sunshine Mimosa	#1, 18"oc	Native
34	Salvia misella	Tropical Sage	#3, 24", oc	Not Native


Tropical Mix List				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
21	Alocasia odora	Elephant Ear	#3, 24"oc	Not Native
22	Begonia odorata 'Alba'	White Sweet Begonia	#3, 24"oc	Not Native
22	Farfugium japonicum	Leopard Plant	#3, 24"oc	Not Native
22	Monstera deliciosa	Split-Leaf Philodendron	#3, 24"oc	Not Native
22	Philodendron x 'Burle Marx'	Burle Marx Philodendron	#3, 24"oc	Not Native
21	Philodendron x 'Congo'	Congo Philodendron	#3, 24"oc	Not Native

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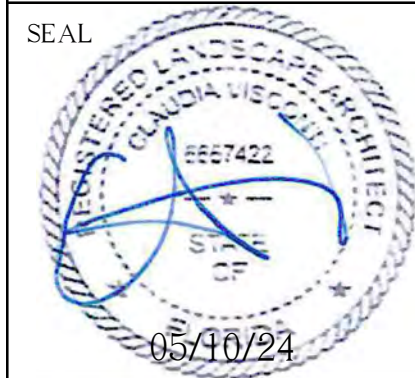
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3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE APP
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SMI LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Planting Specifications		
SCALE	PROJECT NUMBER:	
NONE	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L3.3 SHEET 3 OF 3	

SMI TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION

ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED SMI TO APPROVE LOCATIONS OF ANY / ALL IRRIGATION BOXES

ALL PLANTING BEDS TO HAVE STEEL EDGE BORDER



Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

Newly planted non-native plant material

Newly planted native plant material

Areas not shown in color are either existing to remain, building, hardscape, or sod

Native Coverage Calculations

Total coverage of new plantings	3,929 sf (100%)
Coverage by native plants	1,086 sf (28%)



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

Line #	Landscape Legend	
1	Property Address:	1741 South Ocean Blvd.
2	Lot Area (sq. ft.):	21,268 sq ft
3		REQUIRED PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	8,388 Sq Ft (exg 39%) 9,735 Sq Ft (46%)
5	LOS to be altered (Sq Ft and %)	N/A 1,147 Sq Ft (14%)
6	Perimeter LOS (Sq Ft and %)	1,853 Sq Ft (50%) 3,263 Sq Ft (88%)
7	Front Yard LOS (Sq Ft and %)	1,665 Sq Ft (45%) 1,665 Sq Ft (45%)
8	Native Trees %	30% (number of trees) 33%
9	Native Shrubs & Vines %	30% (number of shrubs & vines) 37%
10	Native Groundcover %	30% (groundcover area) 100%



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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

Native Calculations		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	N-1	
	SHEET 1 OF 1	



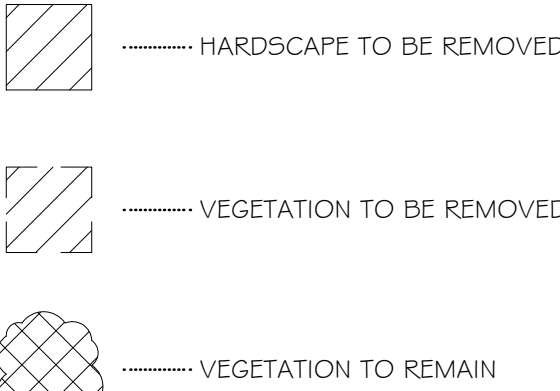
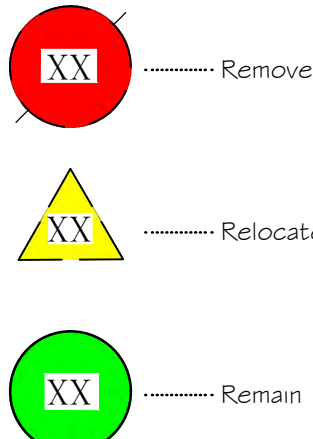
Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

Abbreviations Key

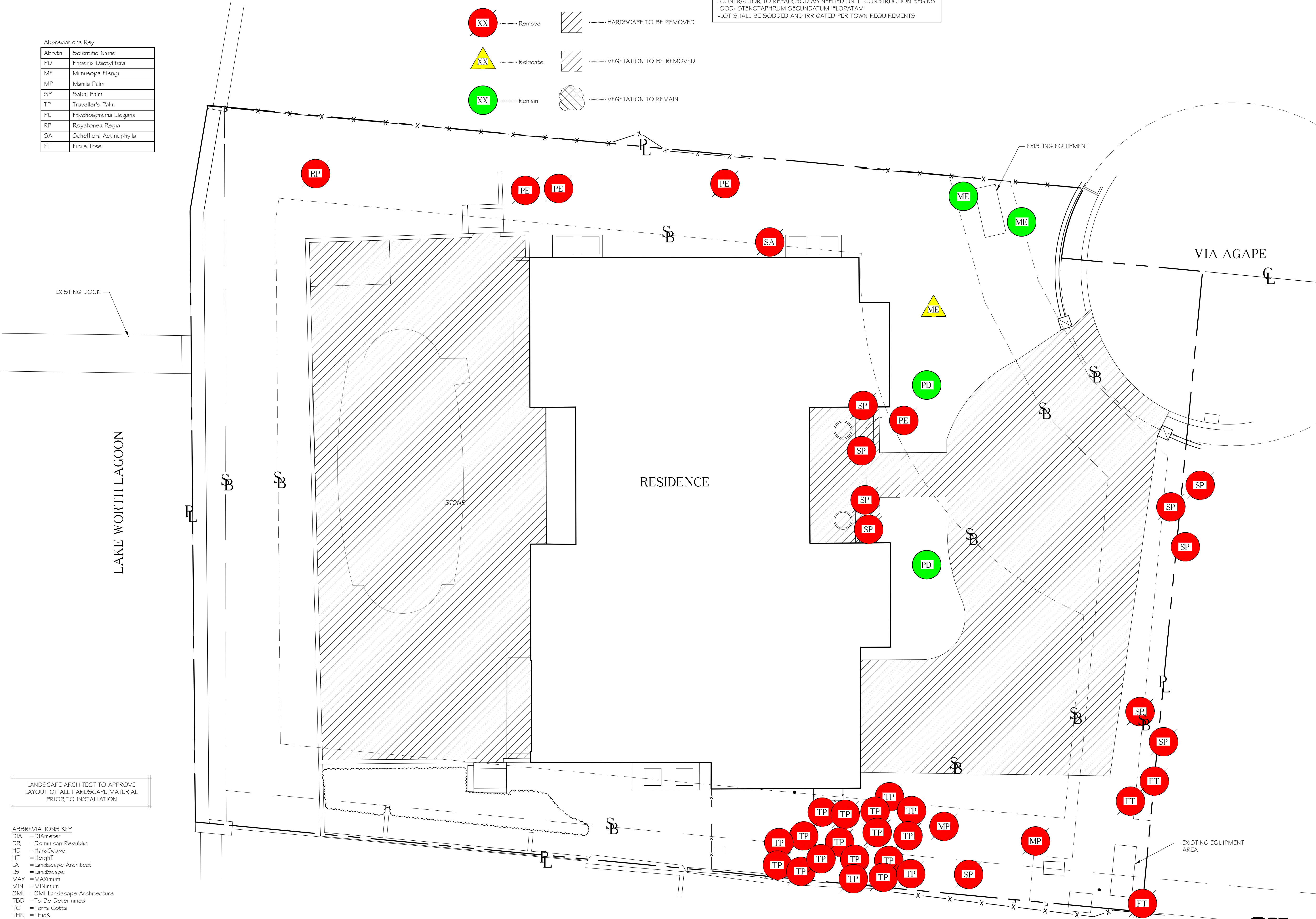
Abbrvtn	Scientific Name
PD	Phoenix Dactylifera
ME	Mimusops Elenigi
MP	Manila Palm
SP	Sabal Palm
TP	Traveller's Palm
PE	Psychosprema Elegans
RP	Roystonea Regia
SA	Schefflera Actinophylla
FT	Ficus Tree

Relocation Key



NOTE:
-EXISTING SOD TO REMAIN
-CONTRACTOR TO REPAIR SOD AS NEEDED UNTIL CONSTRUCTION BEGINS
-SOD: STENOTAPHRUM SECUNDATUM FLORATAM
-LOT SHALL BE SODDED AND IRRIGATED PER TOWN REQUIREMENTS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION

ABBREVIATIONS KEY

DIA =DIAMeter
DR =Dominican Republic
HS =HardScape
HT =Height
LA =Landscape Architect
LS =LandScape
MAX =MAXimum
MIN =MINimum
SMI =SMI Landscape Architecture
TBD =To Be Determined
TC =Terra Cotta
THK =THick
TYP =TYPical

GRADING
BOG =Bottom Of Steps
ELEV =ELEVation
FFE =Finished Floor Elevation
TOS =Top Of Steps
TOW =Top Of Wall



Worth
Avenue
Ventures LLC

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3' BELOW GRADE TO ALLOW FOR PLANTINGS /
ROOT BALLS
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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Pre-Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	D-1	
	SHEET 1 OF 2	

FIELD VERIFY ALL DIMENSIONS

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NOTE:
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-CONTRACTOR TO REPAIR SOD AS NEEDED UNTIL CONSTRUCTION BEGINS
-SOD: STENOTAPHRUM SECUNDATUM 'FLORATAM'
-LOT SHALL BE SODDED AND IRRIGATED PER TOWN REQUIREMENTS

Abbreviations Key	
Abbrvtn	Scientific Name
PD	Phoenix Dactylifera
ME	Mimusops Elengi

Relocation Key

XX

..... Remain

XX

..... New location

..... VEGETATION TO REMAIN



ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
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TYP = TYPical

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TOS = Top Of Steps
TOW = Top Of Wall

Survey By: Wallace Surveying Job # 2401

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TITLE		
Post Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	D-2	
	SHEET 2 OF 2	

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION

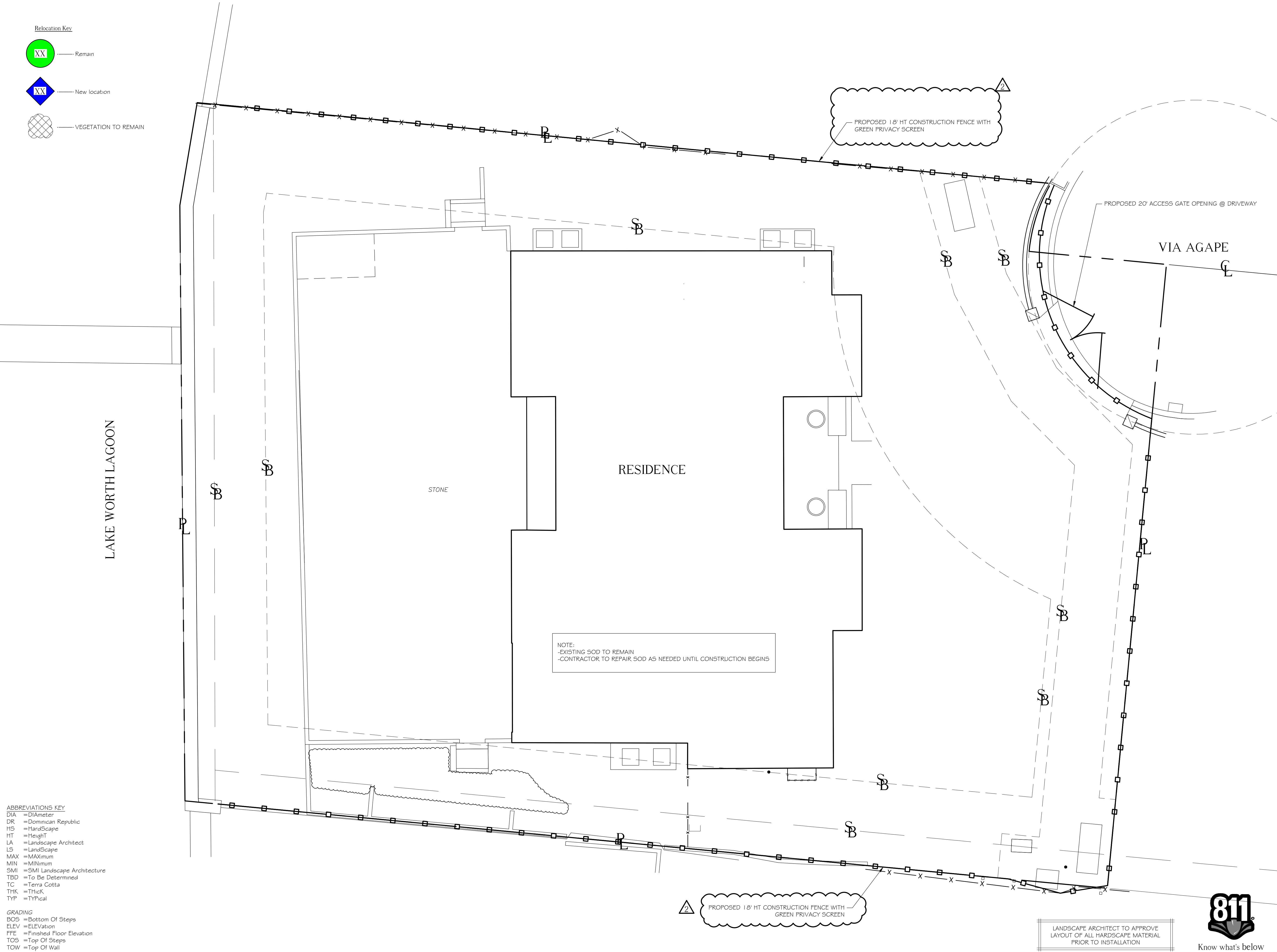
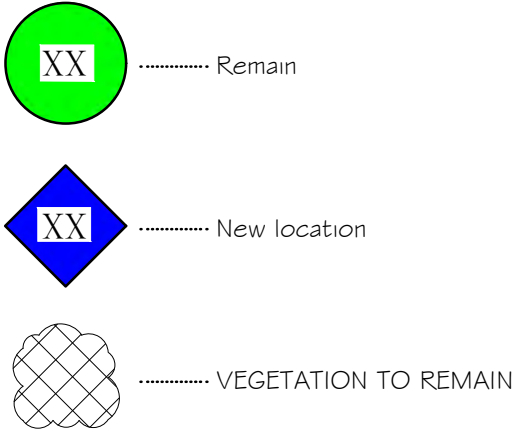


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ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
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Relocation Key



ABBREVIATIONS KEY
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TITLE		
Screening Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	S-1 SHEET 1 OF 1	

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West (Side) Elevation

West Elevation Facing East
Proposed

SCALE: NTS



East (Side) Elevation

East Elevation Facing West
Proposed

SCALE: NTS

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TITLE		
West/East Elevation View		
SCALE	PROJECT NUMBER:	
NTS	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	E-1 SHEET 1 OF 2	



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North (Side) Elevation

North Elevation Facing South
Proposed

SCALE: NTS



South (Side) Elevation

South Elevation Facing North
Proposed

SCALE: NTS



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FL registration #LA 13000223

TITLE North/South Elevation View		
SCALE NTS	PROJECT NUMBER: 2401	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. E-2 SHEET 2 OF 2	

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
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TITLE		
Truck Logistics Plan		
SCALE	PROJECT NUMBER:	
AS NOTED	2401	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	TL-1 SHEET 1 OF 1	



Know what's below
Call before you dig

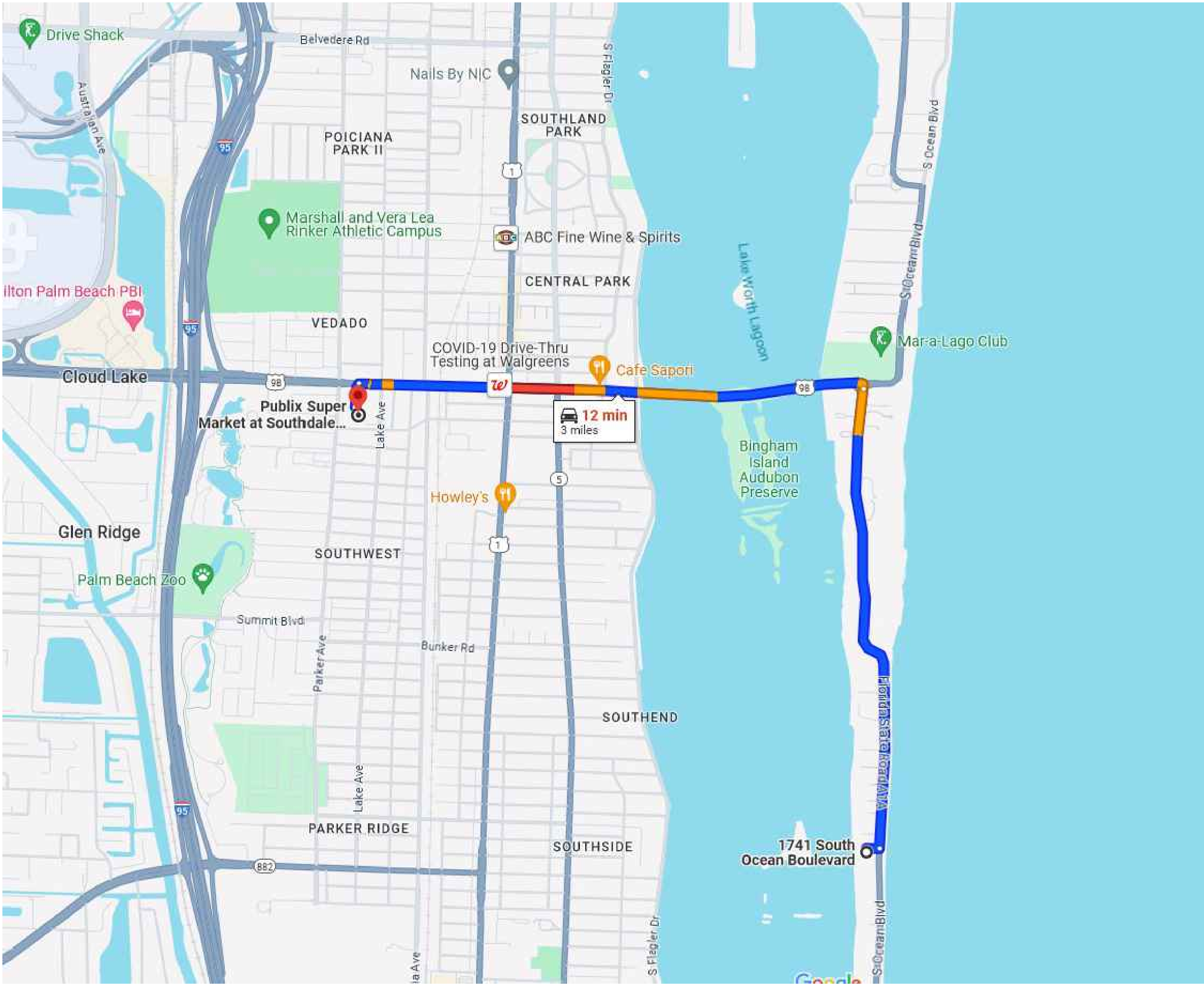
Proposed Route Map for Truck Traffic

A. Roadways: Deliveries and workers will be using the southern bridge. Head east on southern blvd, continue straight to stay on Southern Blvd. At the traffic circle, take the 1st exit onto S Ocean Blvd turn right onto Via Agape.

B. Maximum truck length= 60feet

C. Total number of estimated deliveries generated by project= 60

June 26, 2024	
1 Month	Mobilization
2 Months	Site/Building Preparation
1 Month	Roof Truss Delivery and Set Trusses
1.5 Months	Window/Door Deliveries and Installation
.5 Month	Dry-In
1.5 Months	Interior Framing
2 Months	Rough-In
.5 Month	Drywall
6 Months	Finishes
2 Months	Landscape & Hardscape Installation
+/- 24 Months	Final Inspection



LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
E.B. = ELECTRIC BOX
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
FFE = FINISH FLOOR ELEVATION
FND. = FOUND
F.O.C. = FACE OF CURB
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D.= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
P = PLANTER
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
PVM'T = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
RW = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D.= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
℄ = BASELINE
℄ = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
□ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = 5/8" ROD & CAP SET (LB #4569)
⊙ = IRON PIPE FOUND (AS NOTED)
⊗ = IRON ROD FOUND (AS NOTED)
▲ = NAIL FOUND
● = NAIL & DISK FOUND (AS NOTED)
⊙ = MAG NAIL & DISK SET (LB #4569)
℄ = PROPERTY LINE
℄ = UTILITY POLE
⊗ = FIRE HYDRANT
⊗ = WATER METER
⊗ = WATER VALVE
⊗ = LIGHT POLE

BOUNDARY SURVEY FOR:
WORTH AVENUE VENTURES LLC

This survey is made specifically and only for the following party for the purpose of a permit on the surveyed property.

Worth Avenue Ventures LLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

1741 South Ocean Blvd.
Palm Beach, FL 33480

LEGAL DESCRIPTION:

PARCEL "B":

A parcel of land in Section 11, Township 44 South, Range 43 East, Town of Palm Beach, Palm Beach County, Florida, more particularly described as follows:

From the point of intersection of a line parallel with and 6 feet South of the South line of Lot 105, **PALM BEACH ESTATES**, according to the Plat thereof on file in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 8, at Page 3, with the Westerly Right-of-Way line in Ocean Boulevard (as said Right-of-way is shown on Brockway, Weber & Brockway Survey Drawing, File Number TMD-393, dated July 1953), run Westerly along said line, a distance of 205.24 feet to the **POINT OF BEGINNING**;
thence run Northerly, making an angle of 90 Degrees with the preceding course, a distance of 112.37 feet to a point on the centerline of an easement for access as described in Official Records Book 13493, Page 506, Palm Beach County Public Records;
thence run Westerly along the centerline of said easement, a distance of 24.76 feet to a point in a curve concave to the Southeast, said curve being the Westerly terminus of said access easement;
thence run Northerly along the arc of said curve, having a radius of 30.00 feet and a central angle of 24 Degrees, 37 Minutes, 33 Seconds, a distance of 12.89 feet to a point in a line parallel with 119.00 feet Northerly from, measured at right angles to, the South line of said Lot 105;
thence run Westerly along said line, parallel with and 119.00 feet Northerly from, measured at right angles to, the South line of said Lot 105, a distance of 151.0 feet, more or less, to the West face of a concrete bulkhead on the Easterly shore of Lake Worth;
thence run Southerly along said concrete bulkhead, a distance of 125.48 feet more or less to the intersection with a line parallel and 6 feet South of the South line of aforementioned Lot 105;
thence run Easterly along said line, a distance of 160.86 feet to the **POINT OF BEGINNING**. Together with all riparian rights thereunto belonging or in anywise appertaining. Subject to Right-of-Way and easements of record.

PARCEL "B-1"

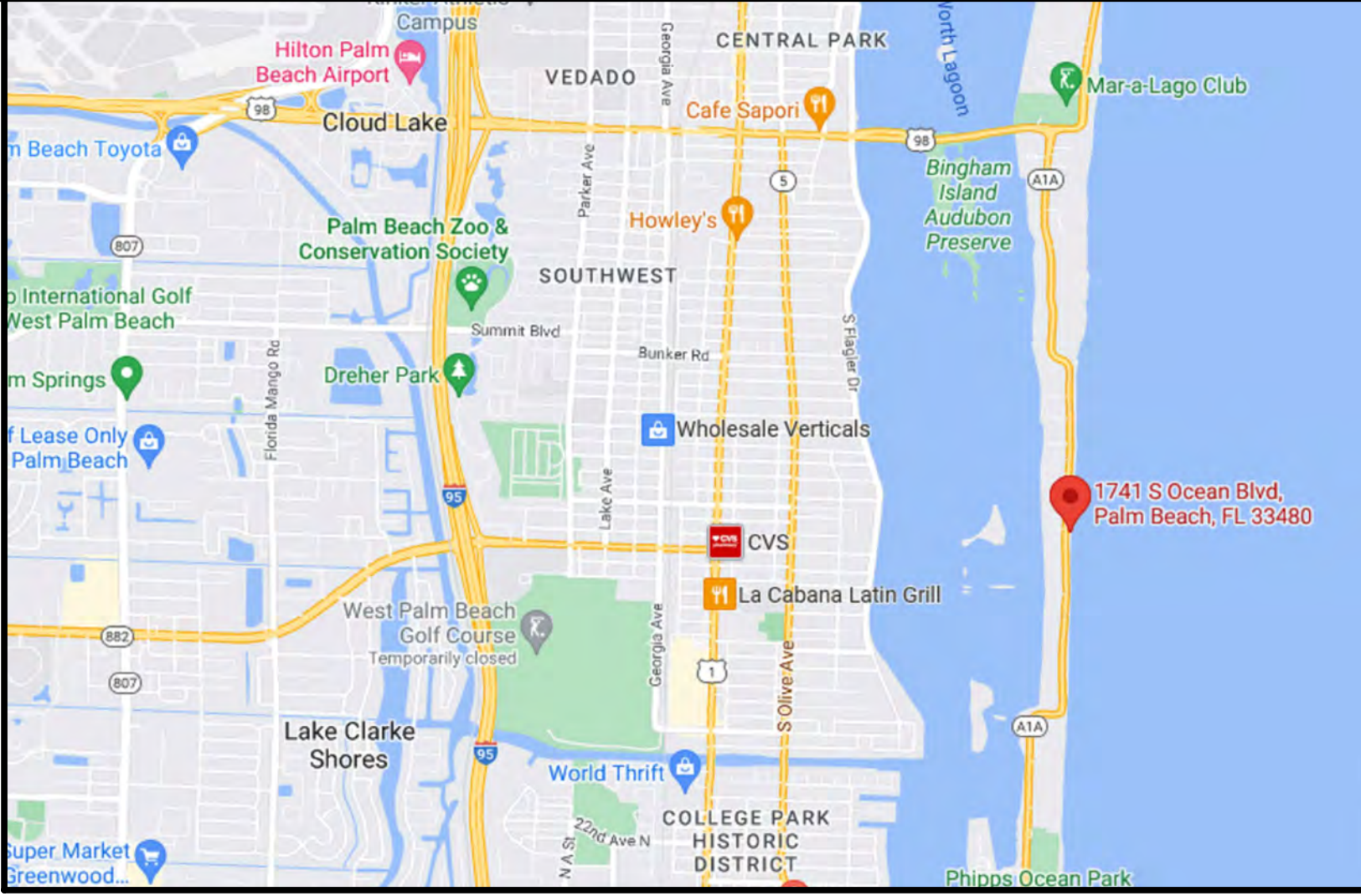
That portion of the South 106.25 feet of Lot 105, of **PALM BEACH ESTATES**, as recorded in Plat Book 8, Page 3, Public Records of Palm Beach County, Florida, lying East of the Right-of-way of Ocean Boulevard, less the South 50.12 feet thereof. Together with all littoral rights thereunto.

FLOOD ZONES:

This property is located in Flood Zones AE (EL 6), X & VE (EL 10 and 12), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0593F, dated 10/05/2017.

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plot or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.



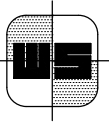
VICINITY SKETCH N.T.S.

SHEET INDEX

SHEET 1	LEGAL DESCRIPTION, NOTES AND CERTIFICATION
SHEET 2	PARCEL "B"
SHEET 3	PARCEL "B-2"

BOUNDARY SURVEY FOR:

WORTH AVENUE VENTURES LLC



WALLACE SURVEYING
CORP., LICENSED BUSINESS # 4569
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

WALLACE SURVEYING
CORP., LICENSED BUSINESS # 4569
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD	B.M.	JOB NO.	08-1215.2	F.B.	PB341	PG.	64
OFFICE	M.B.	DATE	1/12/23	DWG. NO.	08-1215		
C'K'D	C.W.	REF.	08-1215.DWG	SHEET	1	OF	3

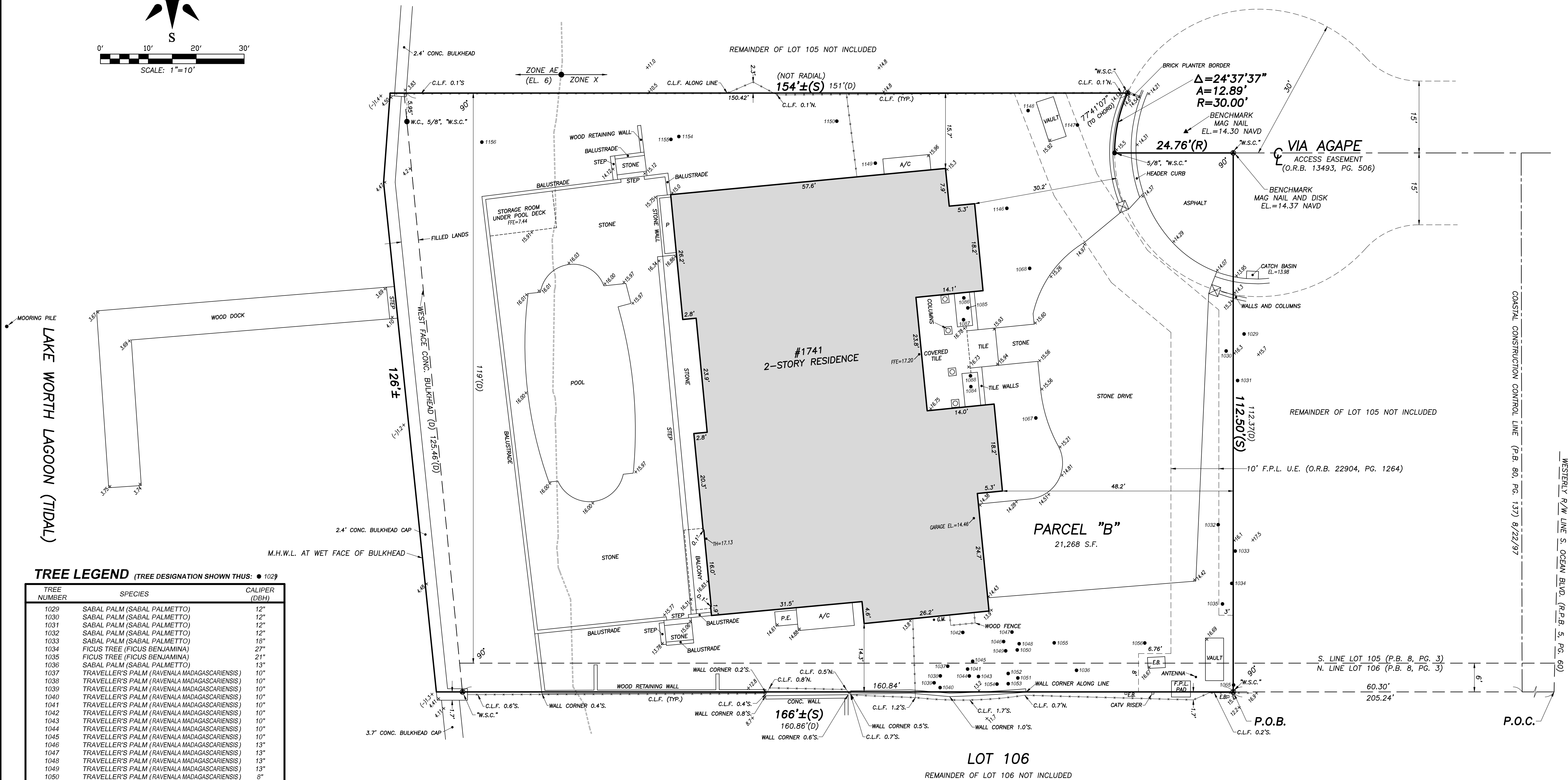
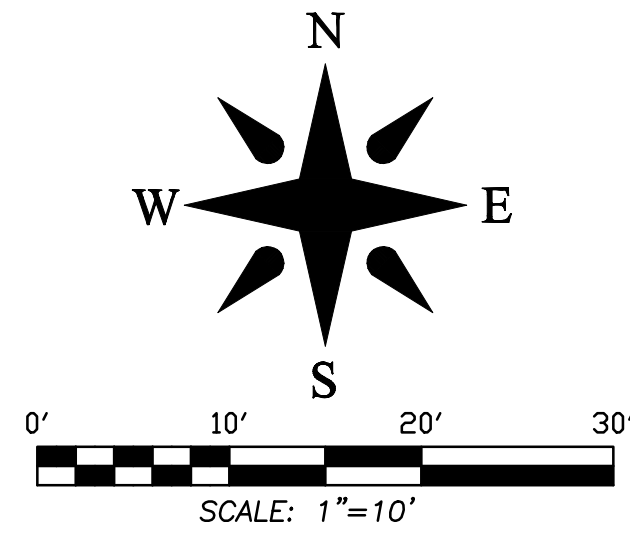
CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 7/27/2023

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357





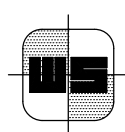
TREE LEGEND (TREE DESIGNATION SHOWN THUS: ● 1029)

TREE NUMBER	SPECIES	CALIPER (DBH)
1029	SABAL PALM (SABAL PALMETTO)	12"
1030	SABAL PALM (SABAL PALMETTO)	12"
1031	SABAL PALM (SABAL PALMETTO)	12"
1032	SABAL PALM (SABAL PALMETTO)	12"
1033	SABAL PALM (SABAL PALMETTO)	18"
1034	FICUS TREE (FICUS BENJAMINA)	27"
1035	FICUS TREE (FICUS BENJAMINA)	21"
1036	SABAL PALM (SABAL PALMETTO)	13"
1037	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1038	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1039	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1040	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1041	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1042	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1043	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1044	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1045	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	10"
1046	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	13"
1047	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	13"
1048	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	13"
1049	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	13"
1050	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	8"
1051	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	8"
1052	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	12"
1053	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	12"
1054	TRAVELLER'S PALM (RAVENALA MADAGASCARIENSIS)	12"
1055	MANILA PALM (ADONIDIA MERRILLII) TRIPLE	6"
1056	MANILA PALM (ADONIDIA MERRILLII) TRIPLE	6"
1057	FICUS TREE (FICUS BENJAMINA)	16"
1058	DATE PALM (PHOENIX DACTYLIFERA)	15"
1059	DATE PALM (PHOENIX DACTYLIFERA)	18"
1060	SOLITAIRE PALM (PTYCHOSPREMA ELEGANS)	5"
1061	SOLITAIRE PALM (PTYCHOSPREMA ELEGANS)	5"
1062	SABAL PALM (SABAL PALMETTO)	15"
1063	SABAL PALM (SABAL PALMETTO)	12"
1064	SABAL PALM (SABAL PALMETTO)	15"
1065	UNKNOWN	10"
1066	UNKNOWN	10"
1067	UNKNOWN	10"
1068	UMBRELLA TREE (SCHEFFLERIA ACTINOPHYLLA) DOUBLE	12"
1069	SOLITAIRE PALM (PTYCHOSPREMA ELEGANS)	4"
1070	SOLITAIRE PALM (PTYCHOSPREMA ELEGANS)	4"
1071	SOLITAIRE PALM (PTYCHOSPREMA ELEGANS)	4"
1072	ROYAL PALM (ROYSTONEA REGIA)	15"

TREE LOCATION NOTES:
This firm has identified the various types of trees located on this site based on common knowledge of tree species. For positive identification of tree species, a qualified landscape architect or botanist should be consulted. Trees four (4") caliper inches or larger, when measured at breast height, are shown on the survey drawing. Invasive trees such as Melaleuca, Brazilian Pepper and Australian Pine are not shown on the survey drawing. Clusters of trees are shown grouped with an approximation of the total number of trees located within the group. The canopy diameter and spread are not shown hereon, unless indicated otherwise.

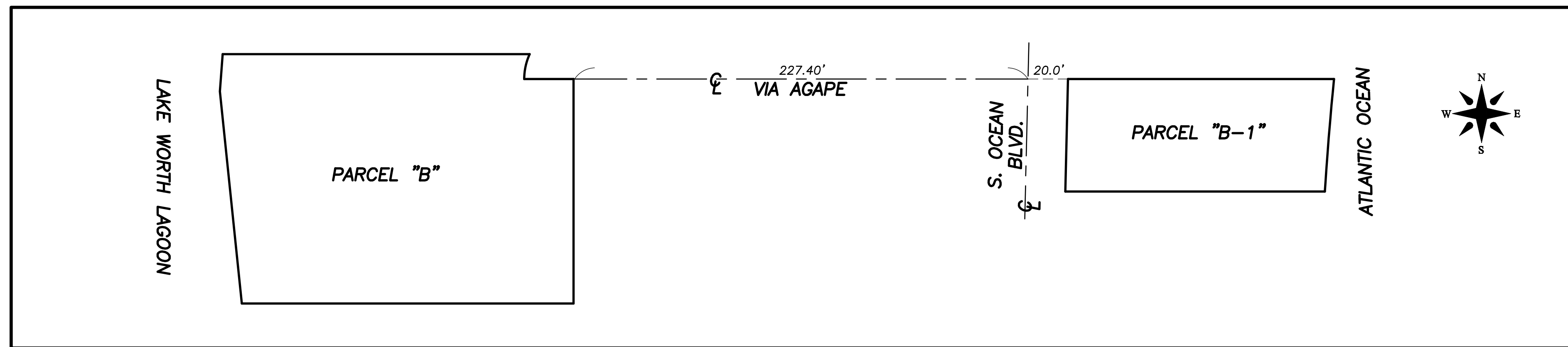
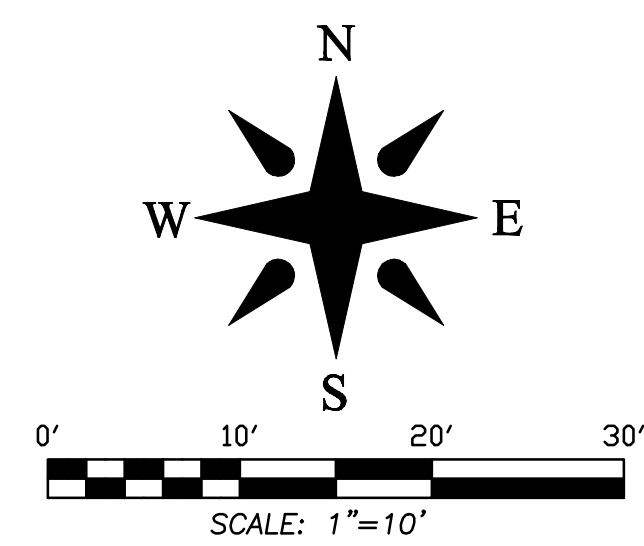
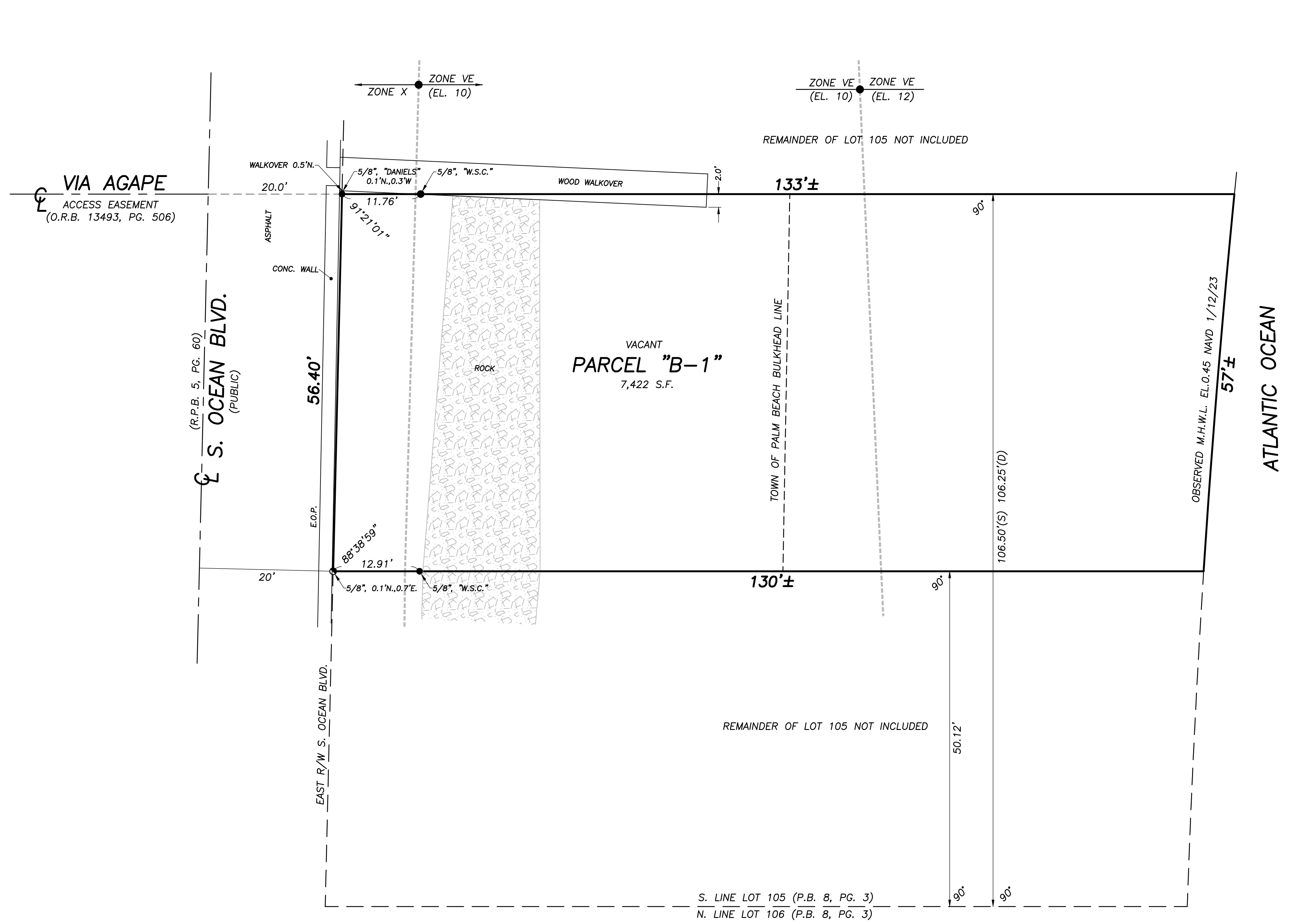
BOUNDARY SURVEY FOR:

WORTH AVENUE VENTURES LLC

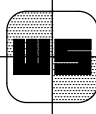


WALLACE SURVEYING
CORP., LICENSED BUSINESS # 4569
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD: B.M.	JOB NO: 08-1215.2	F.B. PB341 PG. 64
OFFICE: M.B.	DATE: 1/12/23	DWG. NO: 08-1215
C.K.D. C.W.	REF: 08-1215.DWG	SHEET 2 OF 3



PARCEL "B" AND "B-1" DETAIL SCALE: 1"=40'

BOUNDARY SURVEY FOR:			
WORTH AVENUE VENTURES LLC			
<div><div></div><div>WALLACE SURVEYING <small>CORP., LICENSED BUSINESS # 4569 5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551</small></div></div>			
FIELD:	B.M.	JOB NO:	08-1215.2
OFFICE:	M.B.	DATE:	1/12/23
C/K'D:	C.W.	REF:	08-1215.DWG
		F.B.:	PB341 PG. 64
		DWG. NO.:	08-1215
		SHEET	3 OF 3