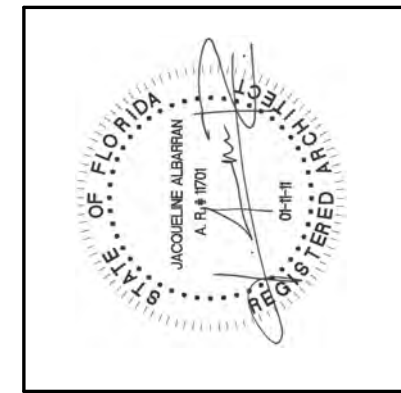


FINAL SUBMITTAL ARC-24-0004 ZON-24-005
HEARING: ARCOM 06-26-24 TOWN COUNCIL 07-10-24

HUNT RESIDENCE
260 COLONIAL LN.
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:	
1	

SHEET NUMBER:	
DATE:	05-10-24
JOB #	0451

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

INDEX OF DRAWINGS

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- A1.2– PHOTO KEY MAP
- A2– PROPOSED STREETScape
- A3– PROPOSED SITE PLAN
- A4– CONSTRUCTION SCREENING & STAGING
- A5– PROPOSED FLOOR PLAN
- A6– PROPOSED ROOF PLAN
- A7.1– PROPOSED EXTERIOR ELEVATIONS
- A7.2– PROPOSED EXTERIOR ELEVATIONS–COLOR RENDERED
- A7.3– RENDERED PERSPECTIVE A
- A7.4– RENDERED PERSPECTIVE B
- A8– PROPOSED BUILDING SECTIONS
- A9– PROPOSED DETAILS
- A10– CUBIC CONTENT CALCULATIONS
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ARCHITECTURAL EXISTING

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CIVIL

- C1– SITE GRADING AND DRAINAGE PLAN

LANDSCAPE

- L1.1– PROPOSED SITE PLAN
- M1– MATERIALS SHEET
- LI.1a– SITE COMPARISON PLAN
- LI.2– LAYOUT PLAN
- NP–1 NEIGHBORING PROPERTIES
- L3.1– PLANTING PLAN
- L3.2– PLANTING DETAILS
- L3.3– PLANTING SPECIFICATIONS
- N1– NATIVE CALCULATIONS
- E1– NORTH/SOUTH ELEVATION VIEWS
- E2– EAST/WEST ELEVATION VIEWS
- D1– PRE–DEMOLITION PLAN
- D2– POST–DEMOLITION PLAN
- S1– SCREENING PLAN

SURVEY

BOUNDARY, TOPOGRAPHIC AND EASEMENT SURVEY

ARCHITECT:

SKA Architect + Planner
Attn: Jacqueline Albarran
324 Royal Palm Way
Suite 227
Palm Beach, Fl 33480
(561) 655-7676

LANDSCAPE ARCHITECT

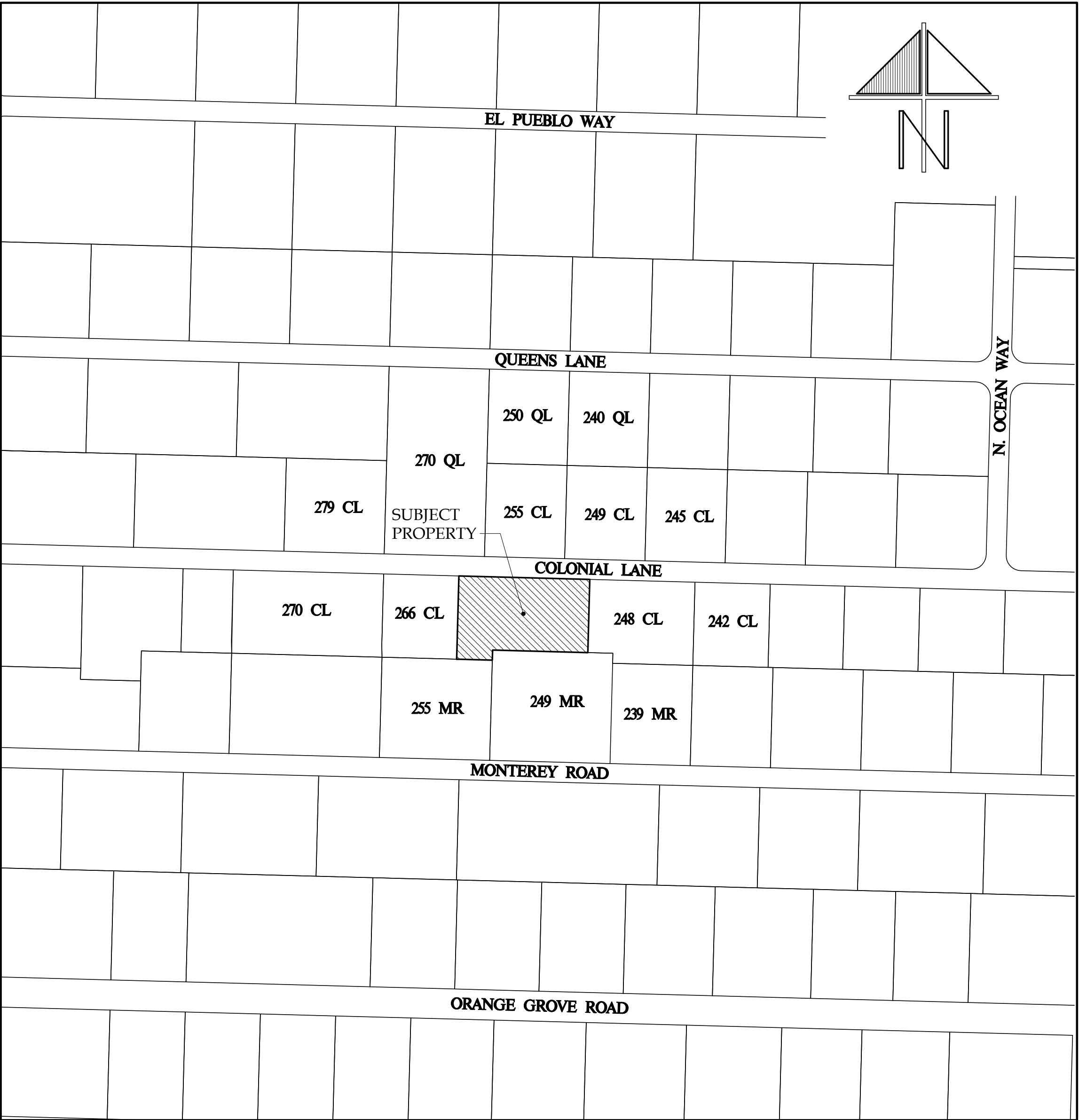
SMI Landscape Architecture Inc.
Attn: Jorge Sanchez
140 Royal Palm Way Suite 206
Palm Beach, Fl 33480
(561) 655-9006

CONSULTING SURVEYORS:

Wallace Surveying
5553 Village Blvd.
West Palm Beach, FL 33407
(561) 640-4551

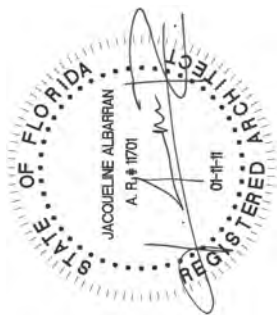
SCOPE OF WORK

- WE ARE PROPOSING TO CONSTRUCT A NEW ONE–STORY BERMUDA STYLE SINGLE FAMILY RESIDENCE WITH A SWIMMING POOL.
- AN EXISTING HOUSE AND POOL ON THE SITE WILL BE DEMOLISHED.
- THE EXISTING PERIMETER CLUSIA HEDGE WILL REMAIN. ALL OTHER LANDSCAPING WILL BE REMOVED AND NEW LANDSCAPING WILL BE INSTALLED.
- A VARIANCE IS BEING REQUESTED TO CONSTRUCT THE POOL WITH A 5’ REAR SETBACK IN LIEU OF THE REQUIRED 10’ SETBACK.
- A SPECIAL EXCEPTION IS REQUIRED DUE TO AN EXISTING LOT DEPTH OF 72’ AND 82’ IN LIEU OF THE MINIMUM REQUIRED 100’ DEPTH.

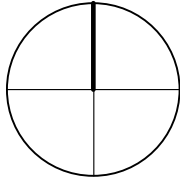
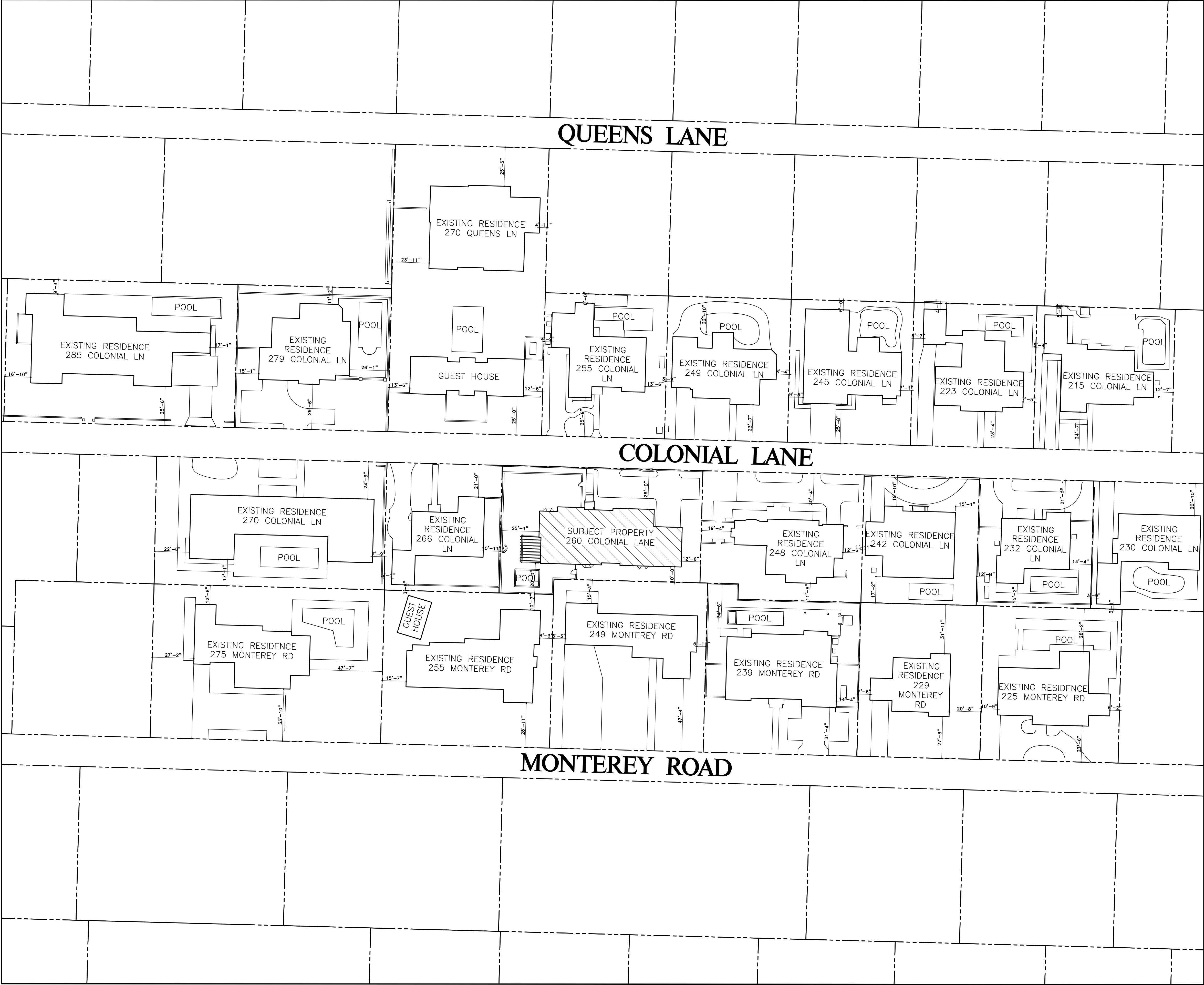


Line #	ZONING LEGEND		
1	PROPERTY ADDRESS	260 COLONIAL LN. PALM BEACH, FLORIDA	
2	ZONING DISTRICT	R–B	
3	LOT AREA (SQ. FT.)	9,710	
4	LOT WIDTH (W) & DEPTH (D) (FT.)	9,710	
5	STRUCTURE TYPE	SINGLE–FAMILY	
6	FEMA FLOOD ZONE DESIGNATION	AE (EL 6)	
7	ZERO DATUM FOR POINT OF MEAS. (NAVD)	+7.0’	
8	CROWN OF ROAD (COR) (NAVD)	+3.25’	
9		REQUIRED/PERMITTED	EXISTING PROPOSED
10	LOT COVERAGE (SQ. FT. AND %)	3,884.0 MAX. (40%)	N/A 3,398.37 (35%)
11	ENCLOSED SQUARE FOOTAGE		N/A 3,171
12	FRONT YARD SETBACK	25.00 MIN.	N/A 25.00
13	SIDE YARD SETBACK (1 STORY)	12.50 MIN. (E & W)	N/A 12.50 (E & W)
14	SIDE YARD SETBACK (2 STORY)	N/A	N/A N/A
15	REAR YARD SETBACK	10.00 MIN.	N/A 10.00
16	ANGLE OF VISION (DEGREE)	112	N/A 112
17	BUILDING HEIGHT	14.00’	N/A 10.00’
18	OVERALL BUILDING HEIGHT	22.00’	N/A 19.125’
19	CUBIC CONTENT RATIO (CCR)	4.03	N/A 3.24
20	MAX. FILL ADDED TO SITE (FT.)	1.875	N/A 1.66
21	FINISH FLOOR ELEVATION (FFE) (NAVD)	+7.00’ NAVD	N/A +7.00’ NAVD
22	BASE FLOOD ELEVATION (BFE) (NAVD)	+7.00’ NAVD	N/A +7.00’ NAVD
23	LANDSCAPE OPEN SPACE (LOS)	4,370 MIN. (45%)	N/A 4,392 SQ. FT. (45%)
24	PERIMETER (LOS)	2,185 MIN. (50%)	N/A 2,934 SQ. FT. (67%)
25	FRONT YARD (LOS)	1,300 MIN. (40%)	N/A 1,827 SQ. FT. (56%)
26	NATIVE PLANT SPECIES %	REFER LANDSCAPE DRAWINGS	

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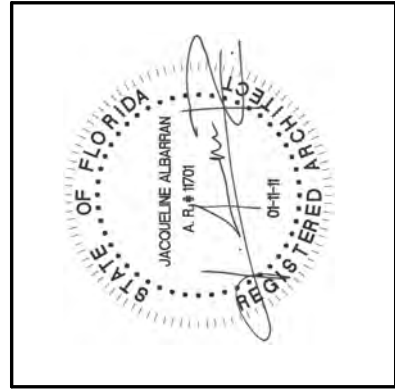
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05–10–24



PROPOSED NEIGHBORING PROPERTIES MAP

SCALE: 1/32" = 1'-0"

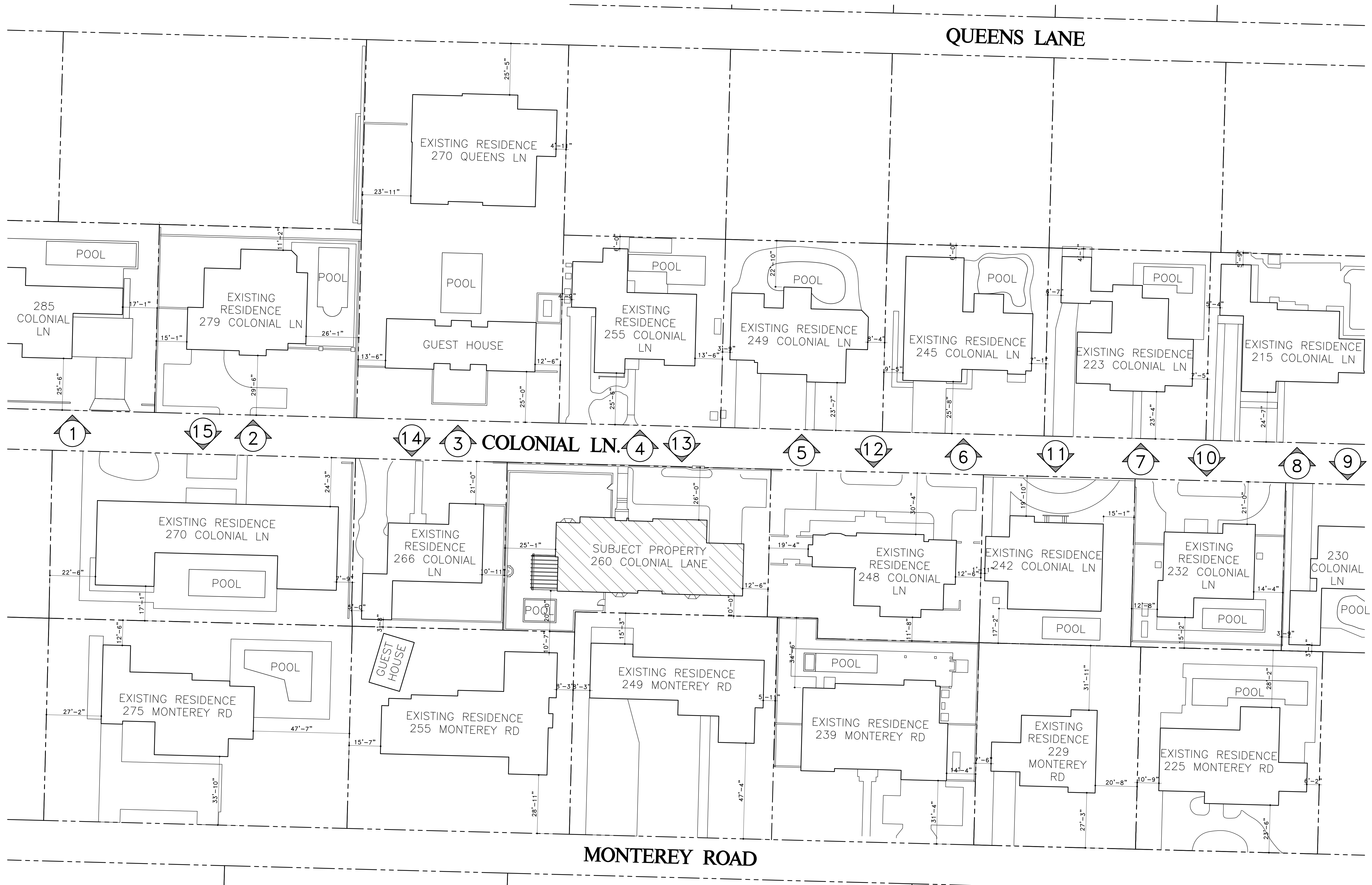
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PALM BEACH, FLORIDA



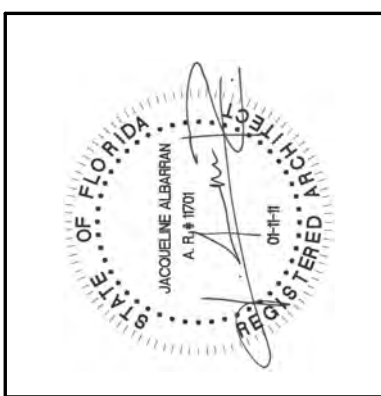
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1 - 285 COLONIAL LANE



2 - 279 COLONIAL LANE

NEIGHBORING PROPERTIES
(NORTH SIDE OF STREET)



3 - 270 COLONIAL LANE



4 - 255 COLONIAL LANE



5 - 249 COLONIAL LANE

NEIGHBORING PROPERTIES
(NORTH SIDE OF STREET)



6 - 245 COLONIAL LANE



7 - 223 COLONIAL LANE



8 - 215 COLONIAL LANE



9 - 230 COLONIAL LANE



10 - 232 COLONIAL LANE

NEIGHBORING PROPERTIES
(SOUTH SIDE OF STREET)



11 - 242 COLONIAL LANE



12 - 248 COLONIAL LANE



13 - SUBJECT PROPERTY
TO BE DEMOLISHED

NEIGHBORING PROPERTIES
(SOUTH SIDE OF STREET)



14 - 266 COLONIAL LANE

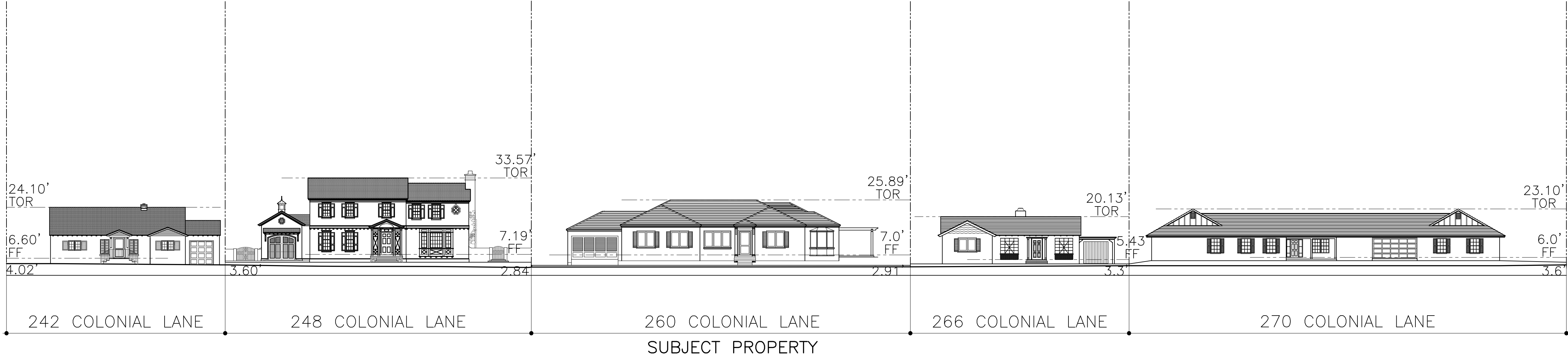


15 - 270 COLONIAL LANE

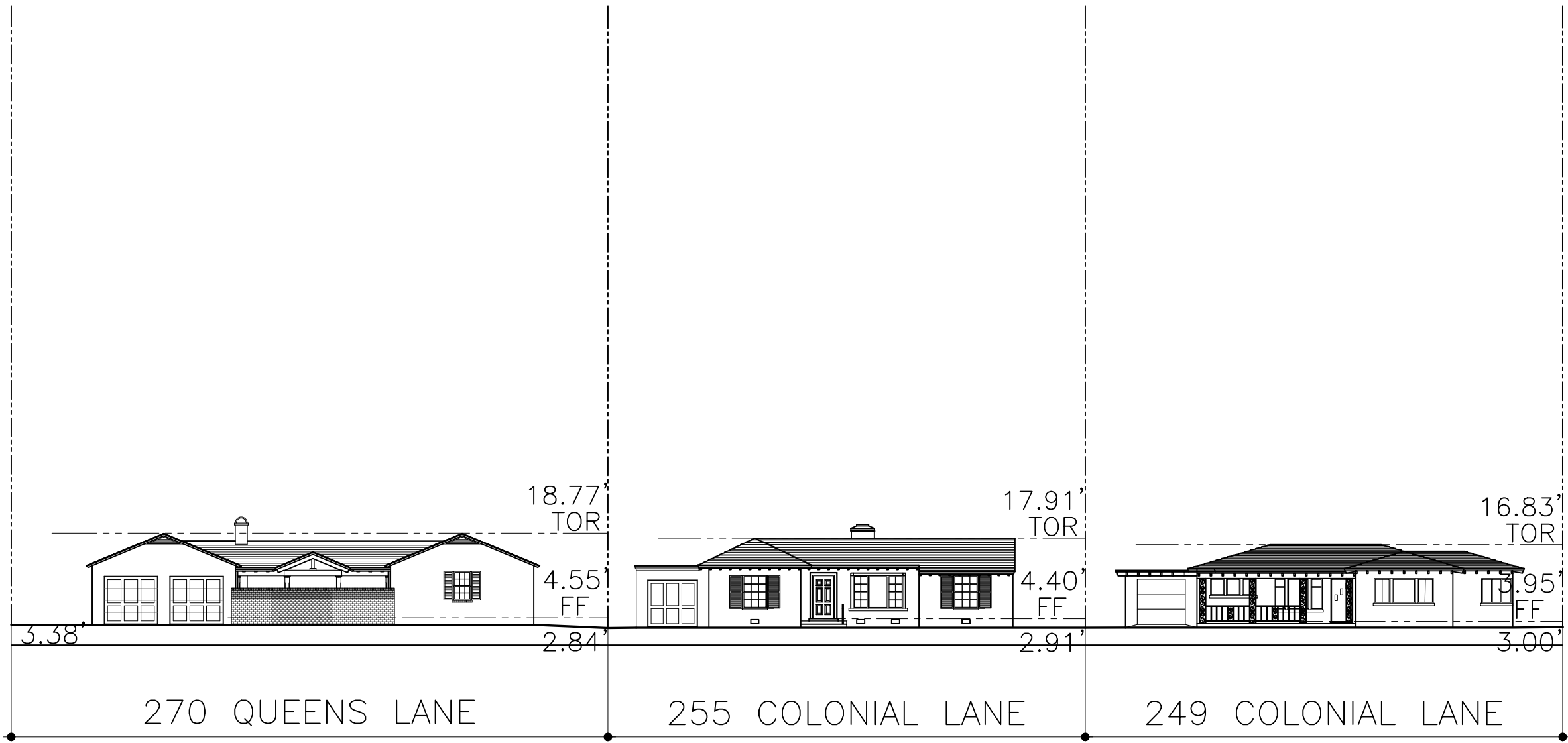


16 - 281 MONTEREY ROAD

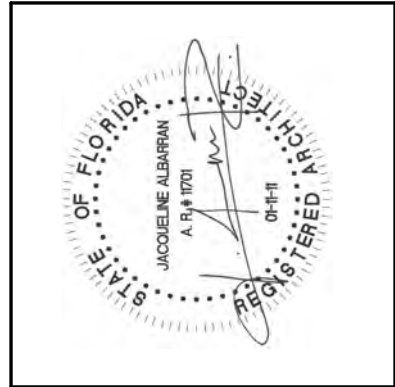
GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.



PROPOSED STREETScape COLONIAL WAY (LOOKING SOUTH)
SCALE: 3/64" = 1'-0"



EXISTING STREETScape COLONIAL WAY (LOOKING NORTH)
SCALE: 3/64" = 1'-0"



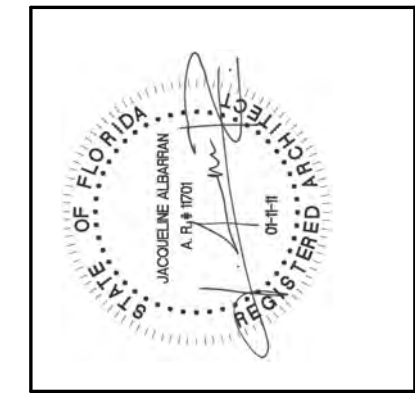
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A2
DATE:
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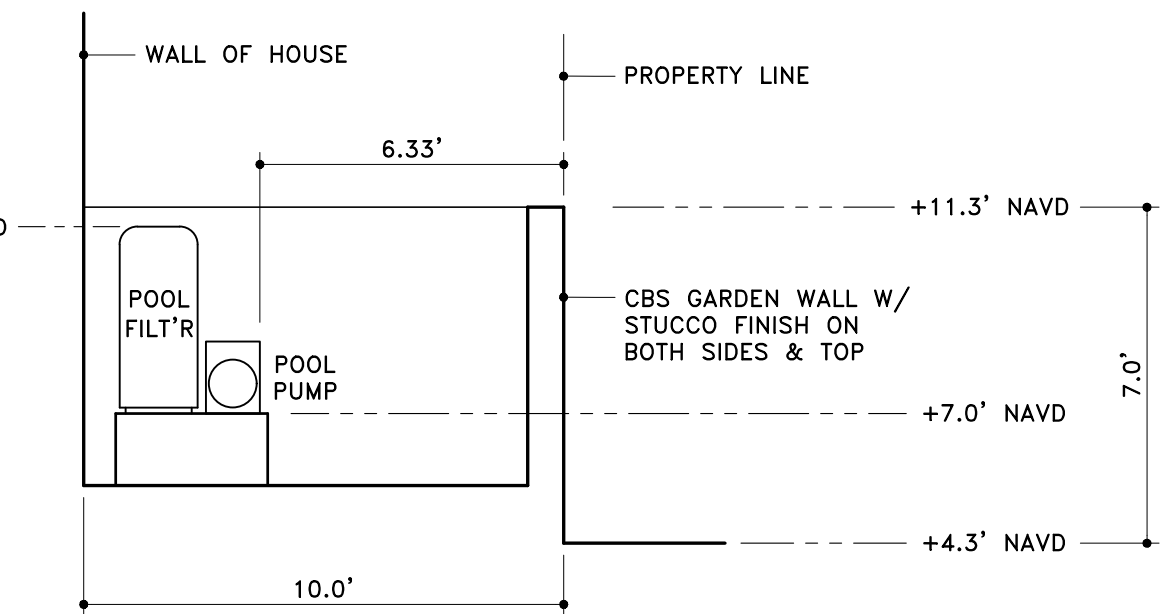
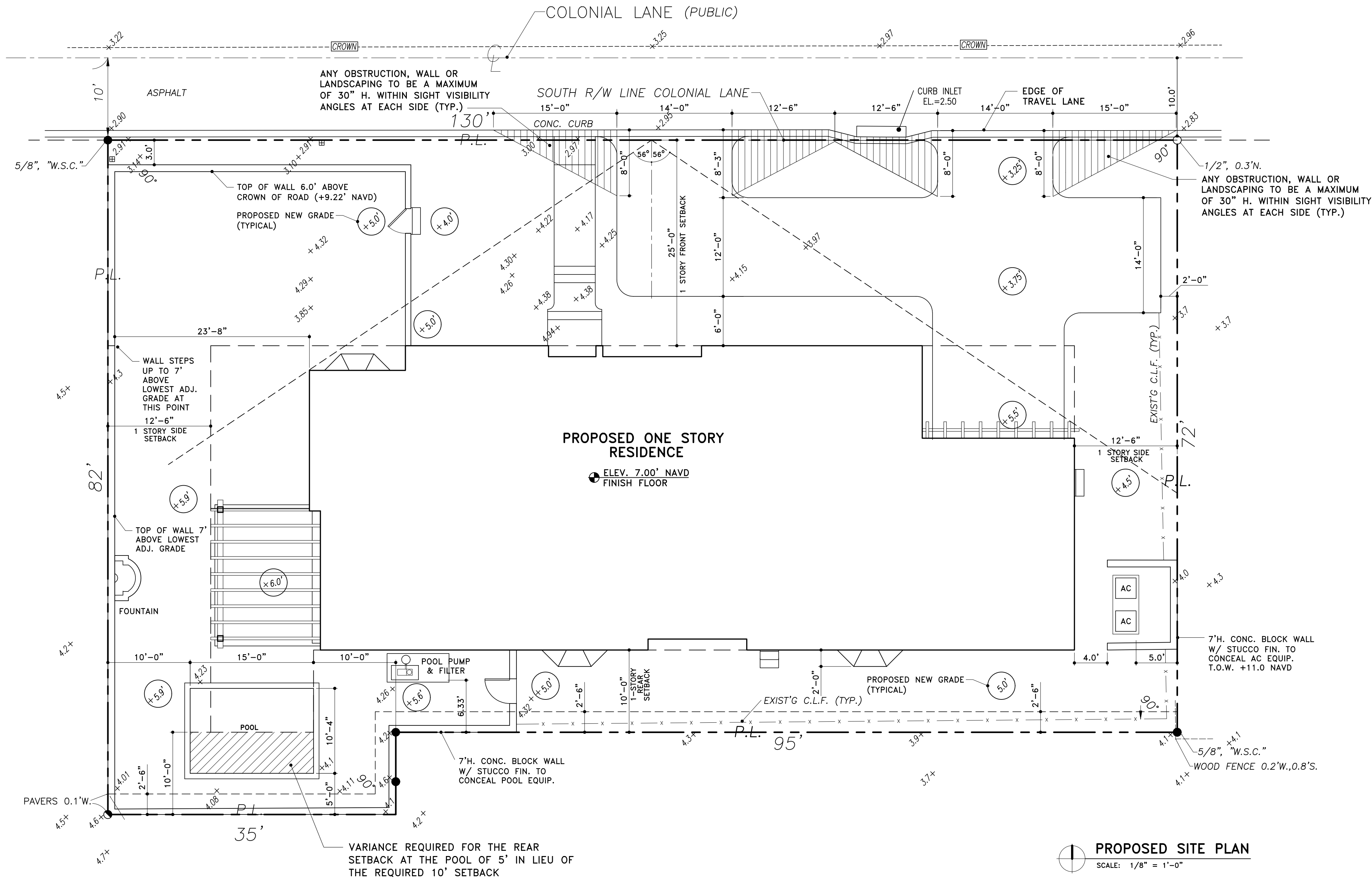
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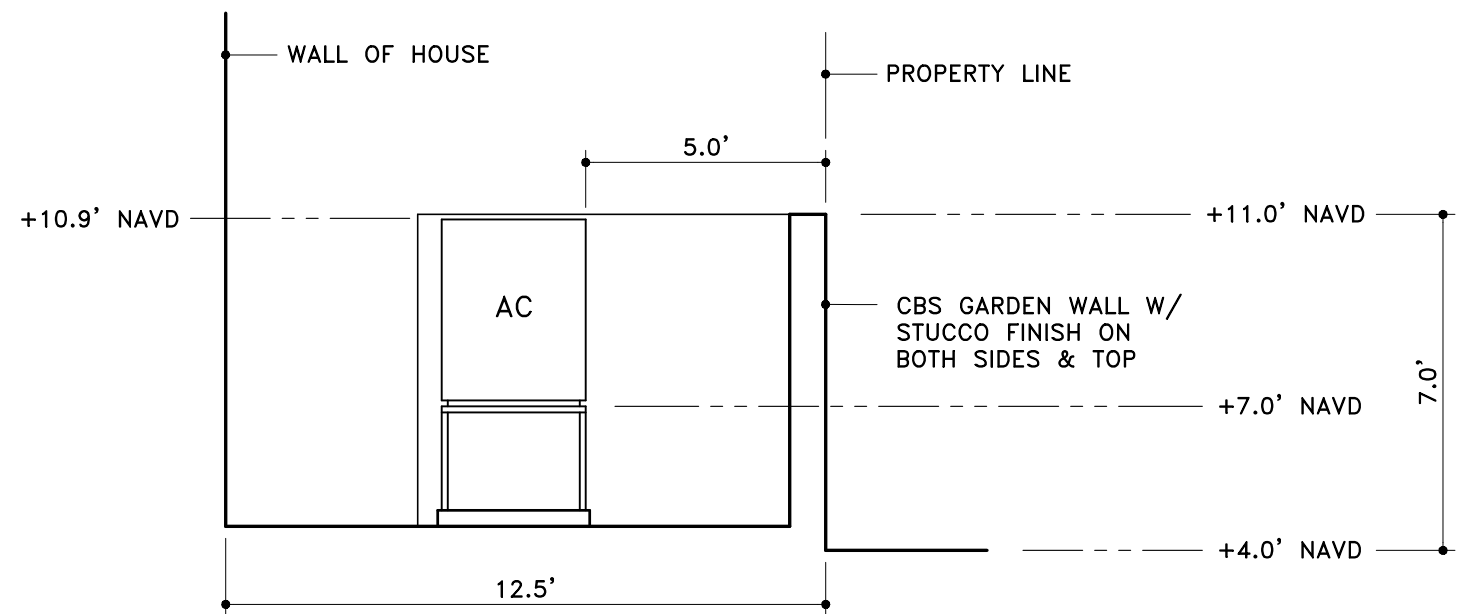


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A3
DATE:
05-10-24
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0451



SECTION AT POOL EQUIP. SCREENING
SCALE: 1/4" = 1'-0"

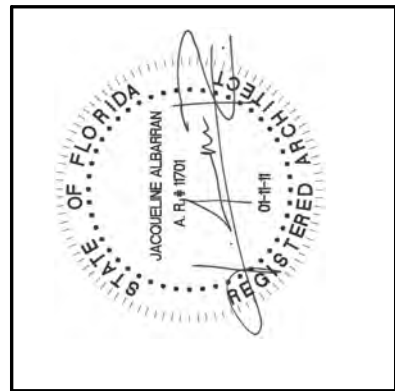


SECTION THRU AC SCREENING
SCALE: 1/4" = 1'-0"

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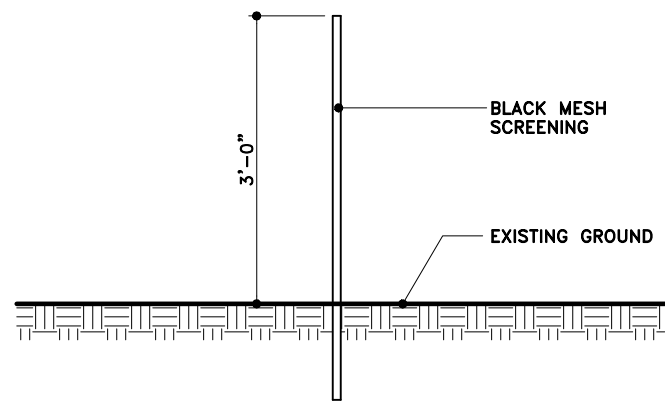
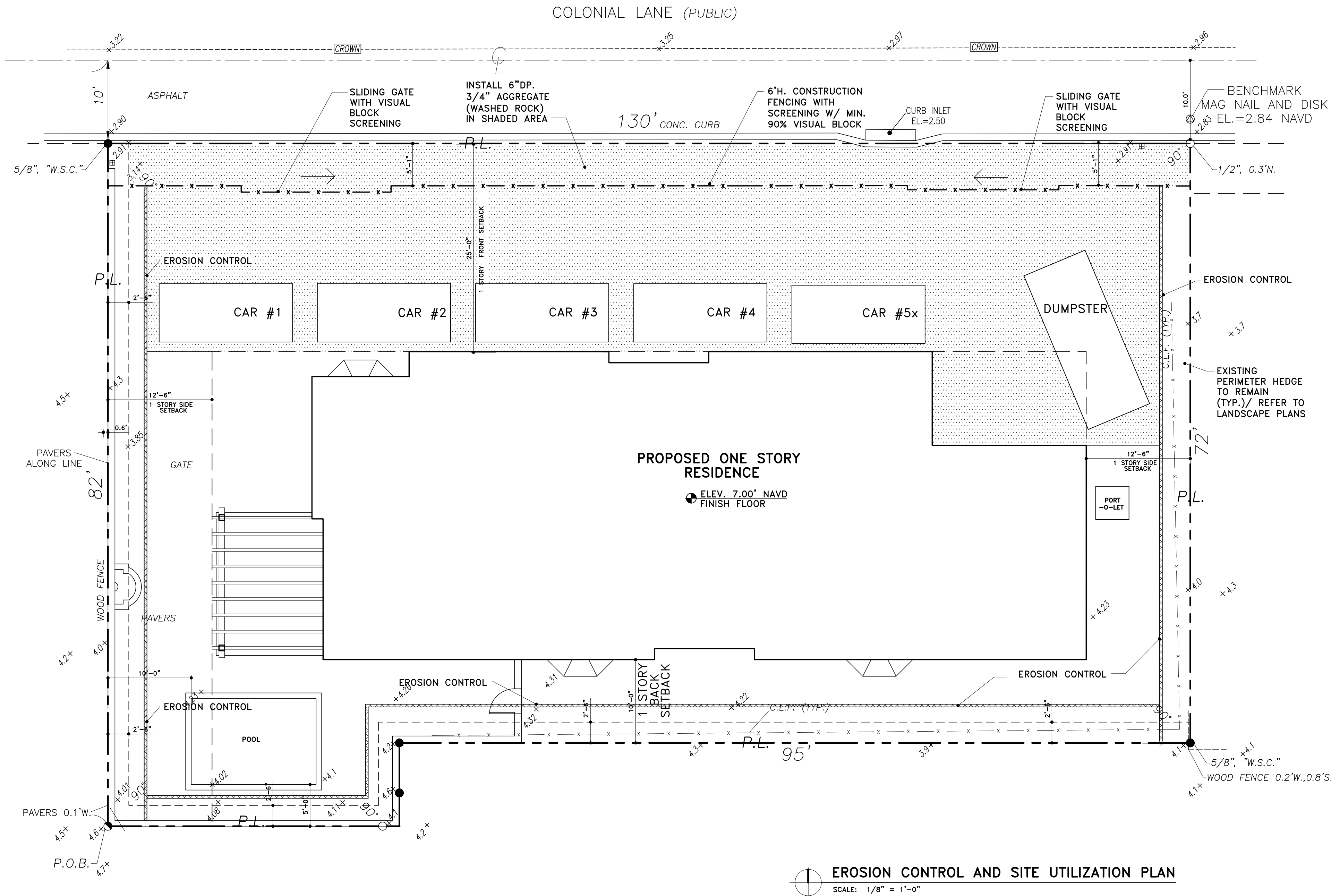
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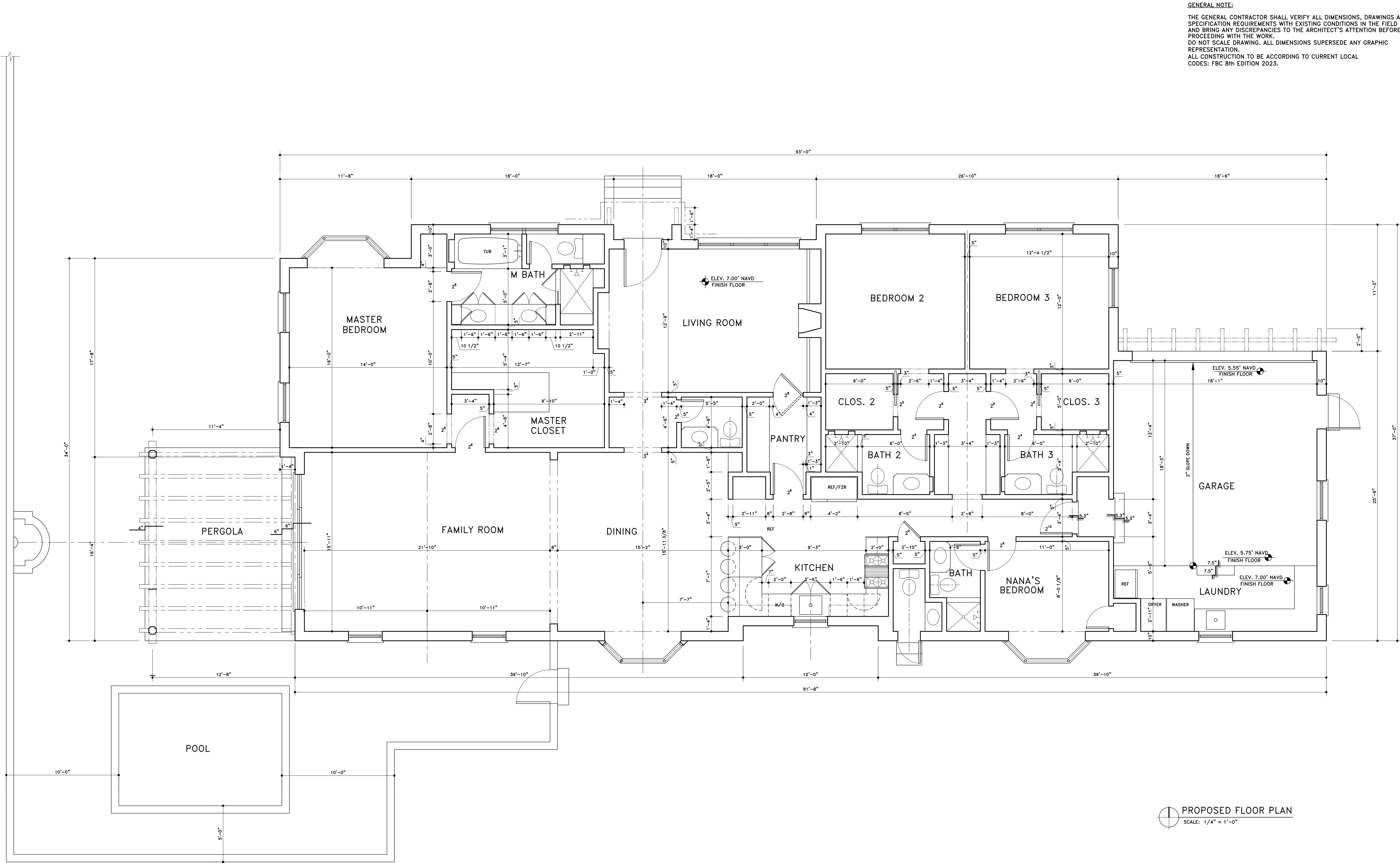
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EROSION CONTROL DETAIL

GENERAL EROSION CONTROL NOTES:

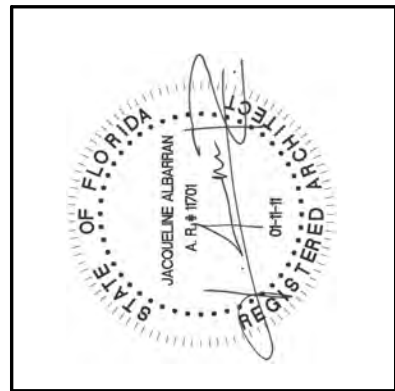
- EROSION CONTROL TO BE ACCORDING TO TOWN CODE CH. 66 S. 66-443.
- CONSTRUCTION MATERIAL STORAGE AND PARKING TO BE ACCORDING TO "RIGHT OF WAY" STAND. MANUAL, PAGE 60.2.
- LANDSCAPING TO MEET TOWN CODES WITH RESPECT TO PLANTINGS IN "RIGHT OF WAY", EASEMENTS AND/OR SIGHT TRIANGLES.
- LANDSCAPING WILL CONFORM TO GRADING DRAINAGE RETENTION.
- EXISTING FENCING AND HEDGES TO REMAIN DURING CONSTRUCTION



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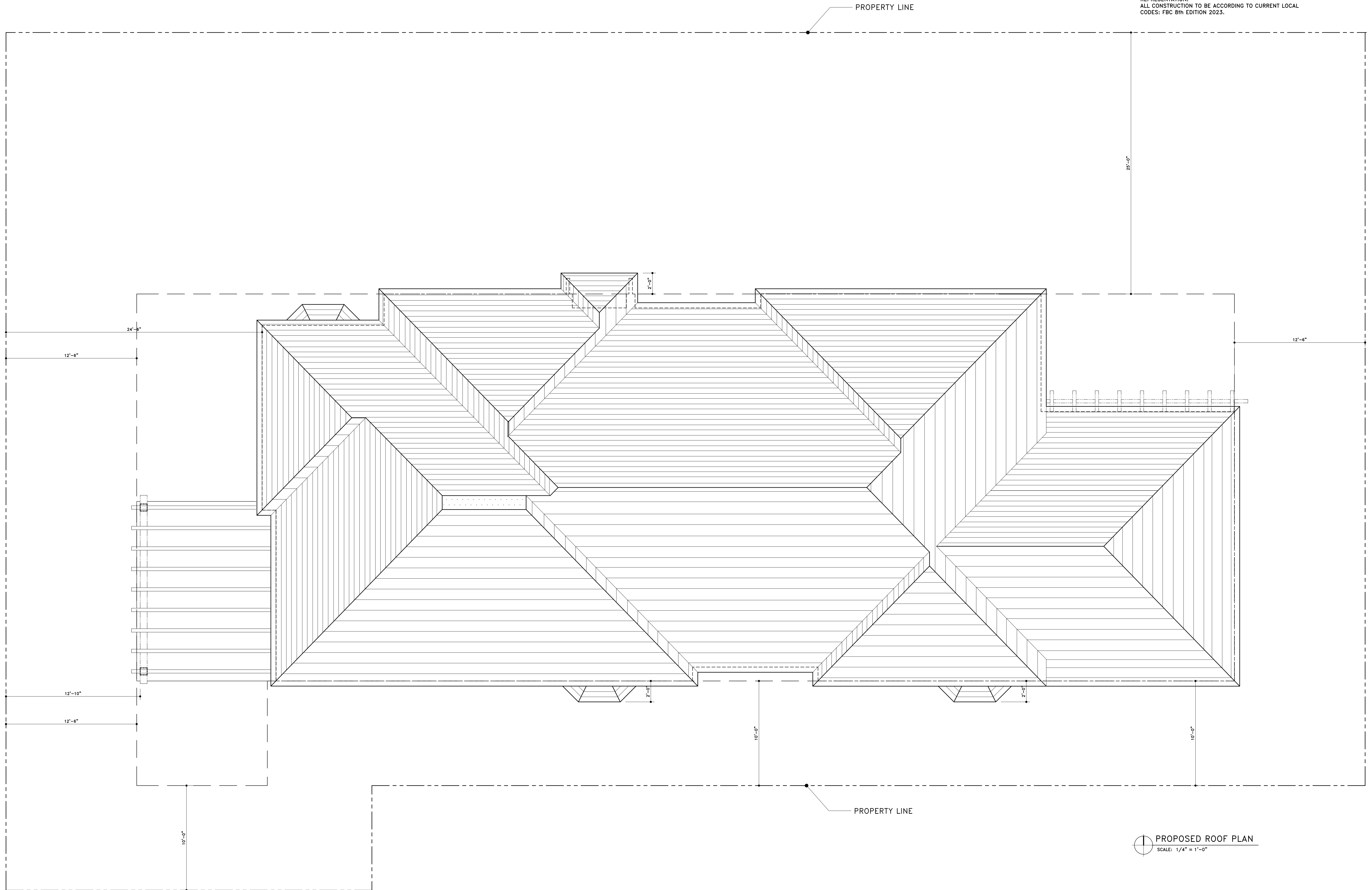
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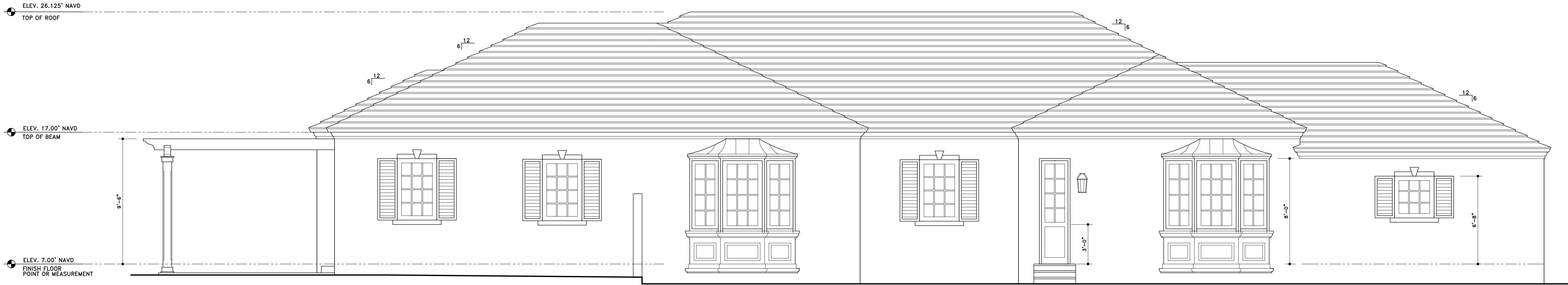
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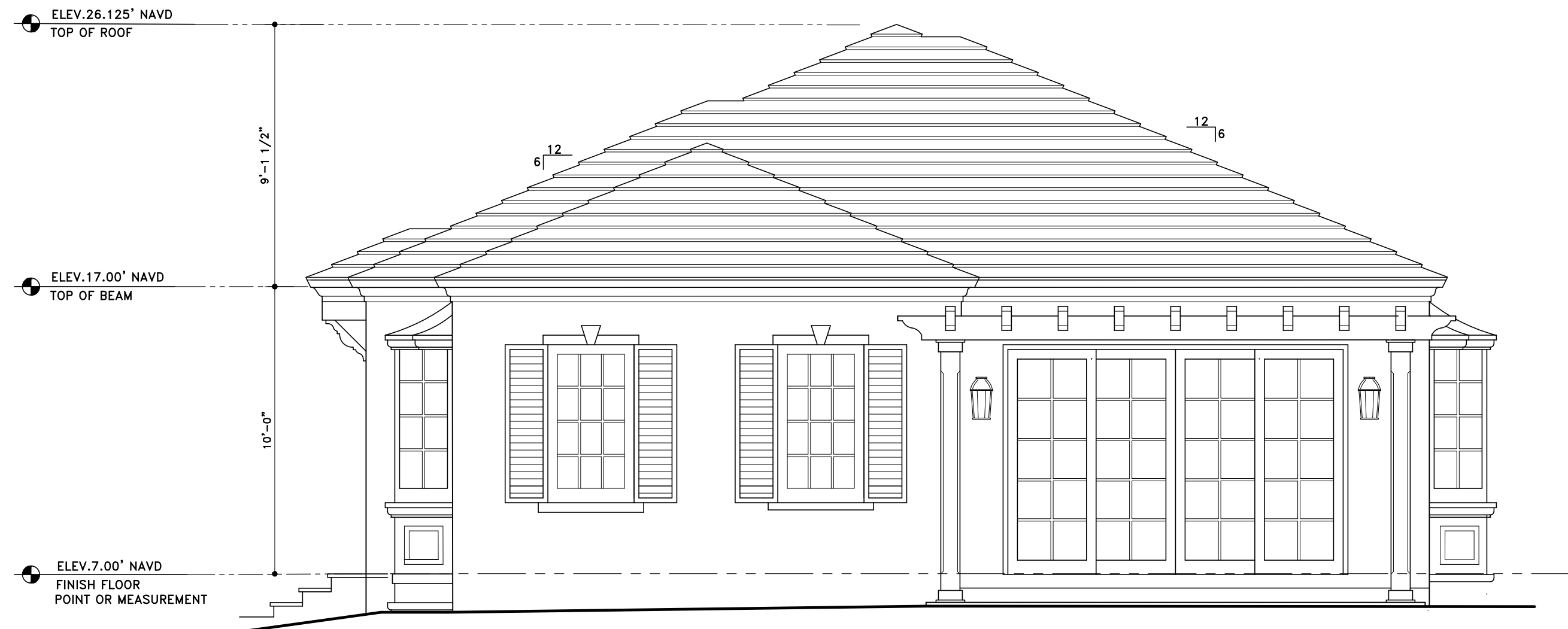


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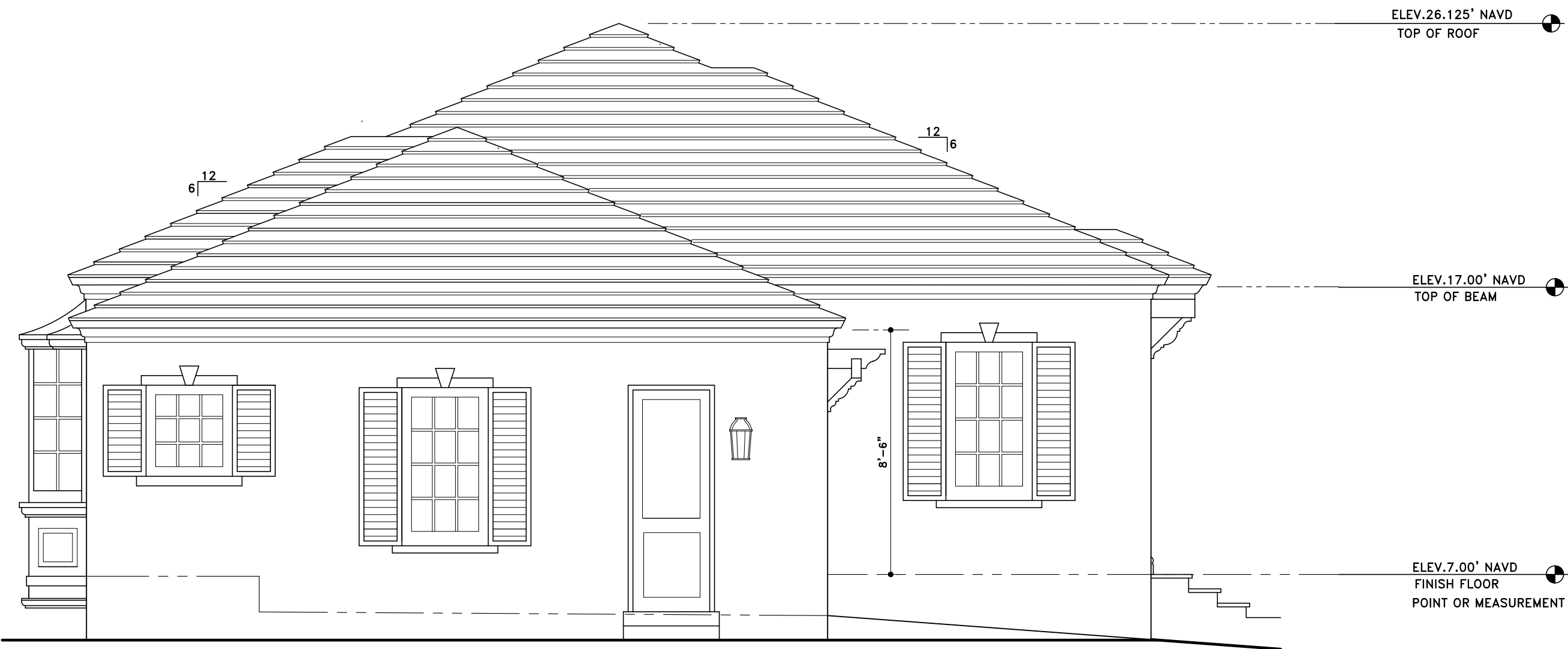
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

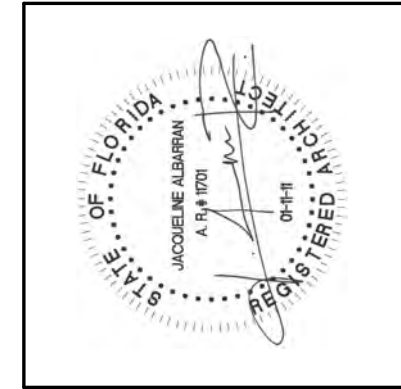


PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



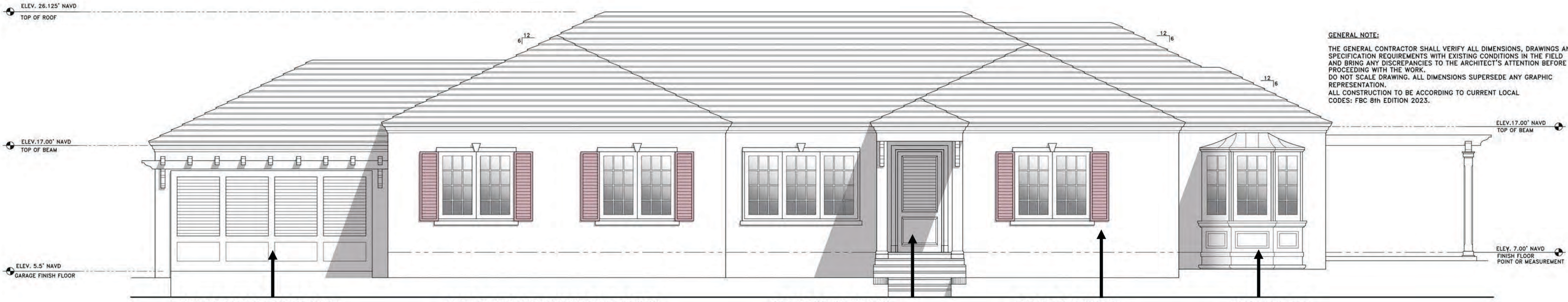
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED NORTH, EAST, WEST & SOUTH ELEVATIONS
SCALE: 1/4" = 1'-0"



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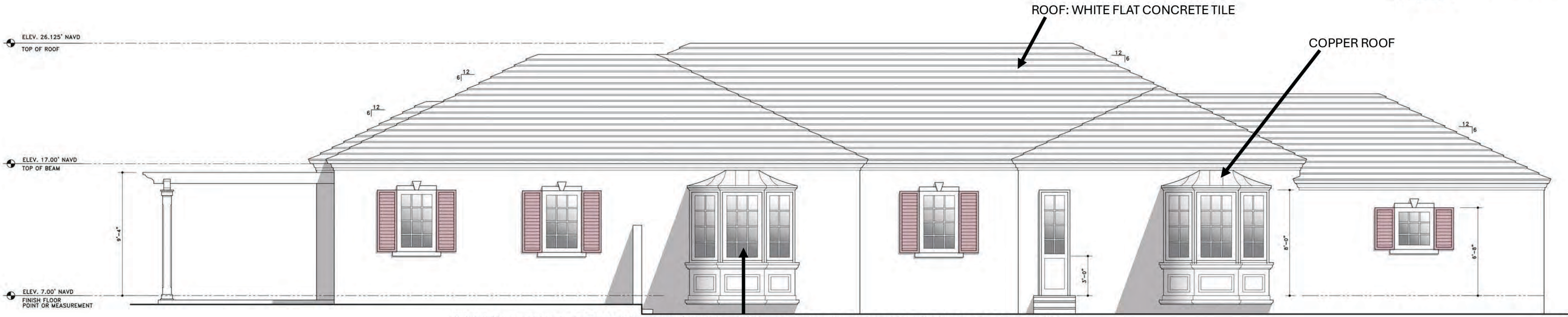
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WOOD GARAGE DOOR WITH LOUVERED PANELS
WALLS: BENJAMIN MOORE ALABASTER OC-129
FRONT DOOR: WOOD, BENJAMIN MOORE ALABASTER OC-129
WOOD SHUTTERS: BENJAMIN MOORE 1331
STUCCO TRIM BEN. MOORE OC-129

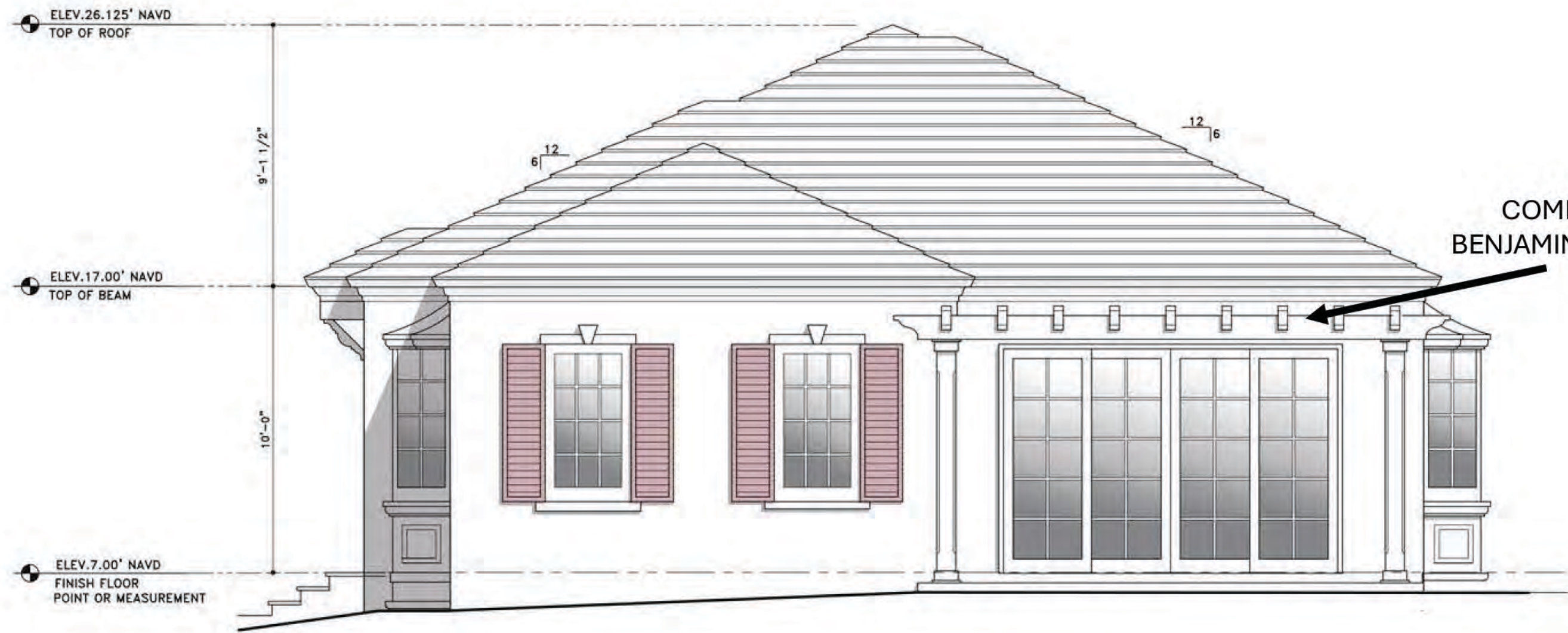
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



ROOF: WHITE FLAT CONCRETE TILE
COPPER ROOF

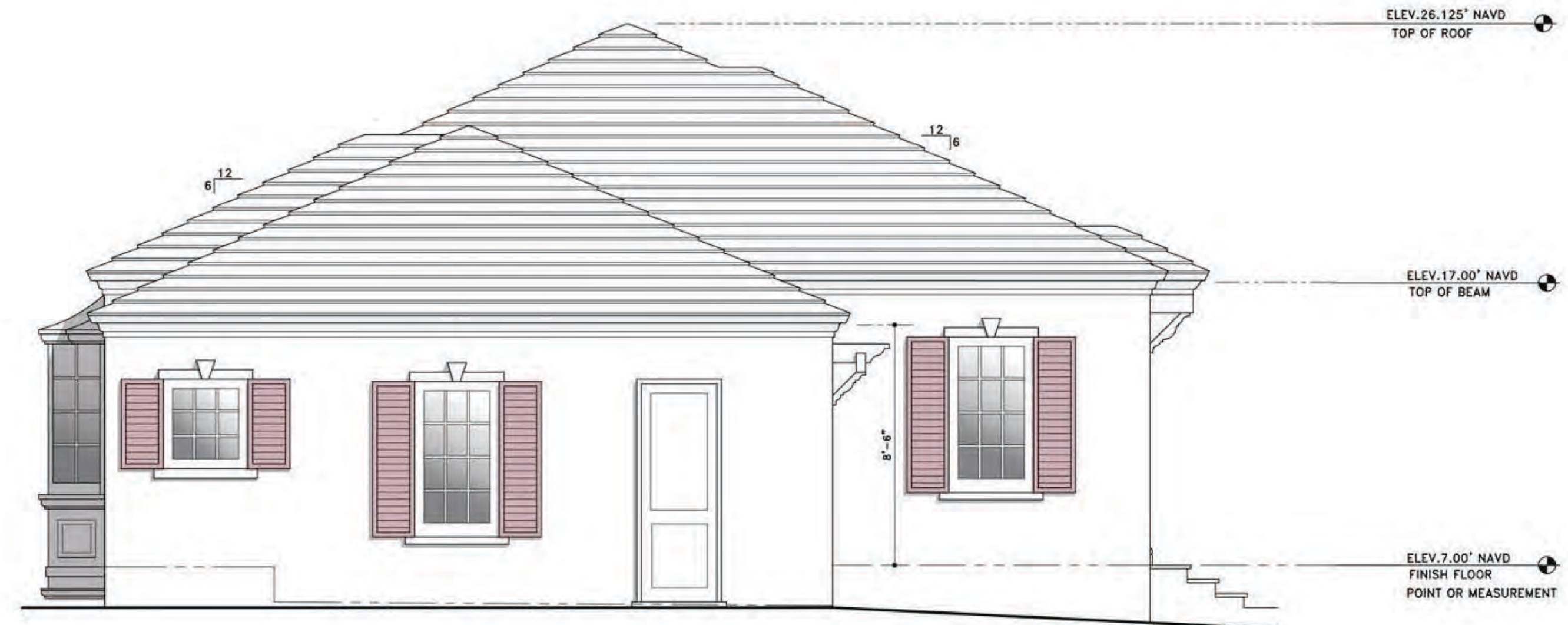
WINDOWS: "WINDOOR ESTATE" ALUMINUM CASEMENT WITH CLEAR GLASS AND MITERED OGEE MUNTINS
COLOR: BONE WHITE

PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



COMPOSITE WOOD PERGOLA,
BENJAMIN MOORE ALABASTER OC-129

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED NORTH, EAST, WEST & SOUTH ELEVATIONS
SCALE: 1/4" = 1'-0"

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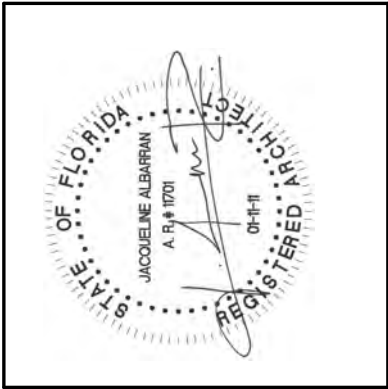


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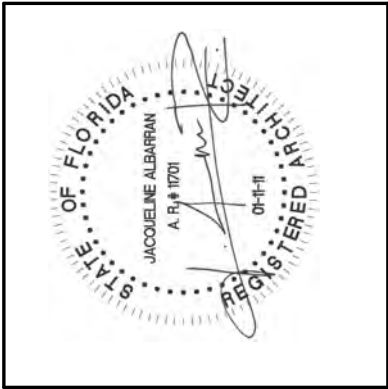


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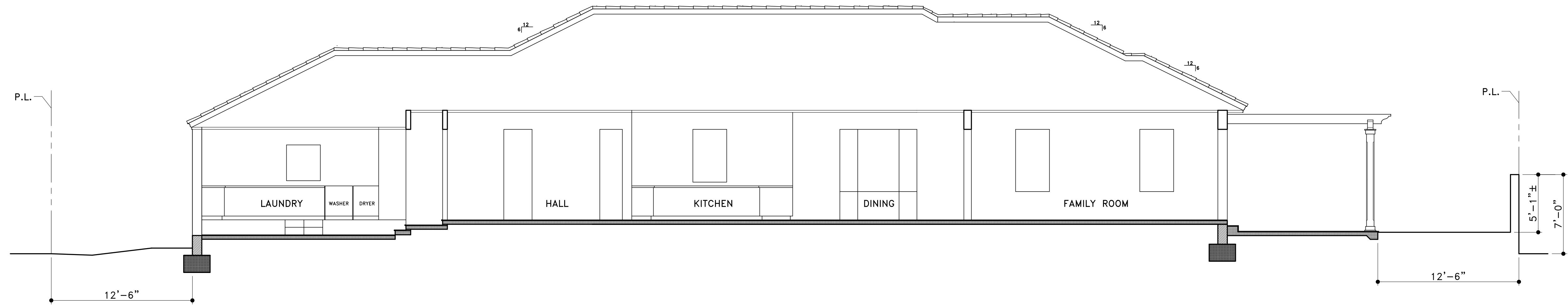


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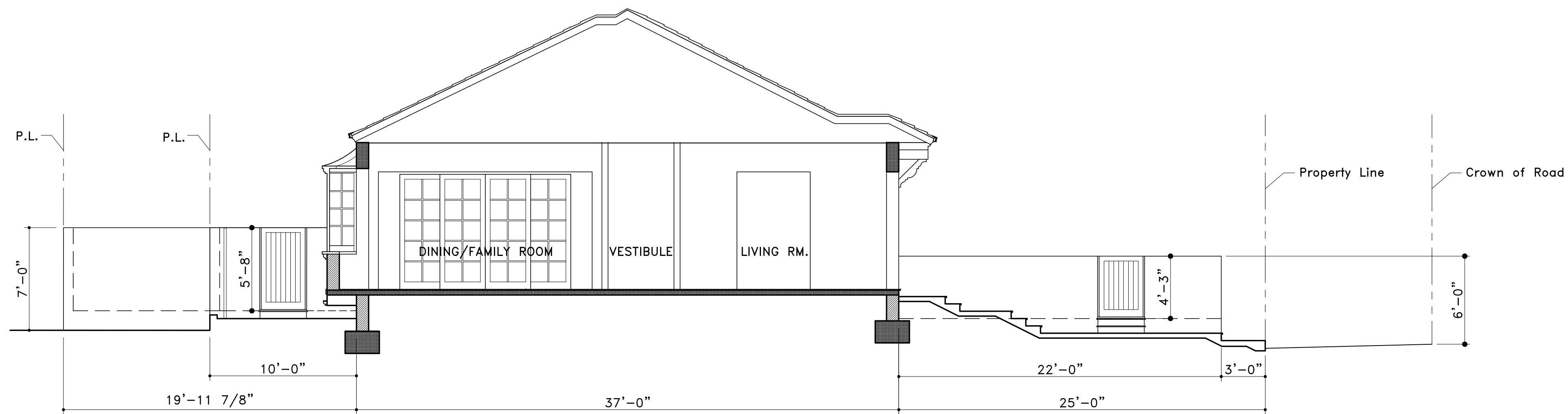


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EAST-WEST SITE SECTION
SCALE: 3/16" = 1'-0"



NORTH-SOUTH SITE SECTION
SCALE: 3/16" = 1'-0"

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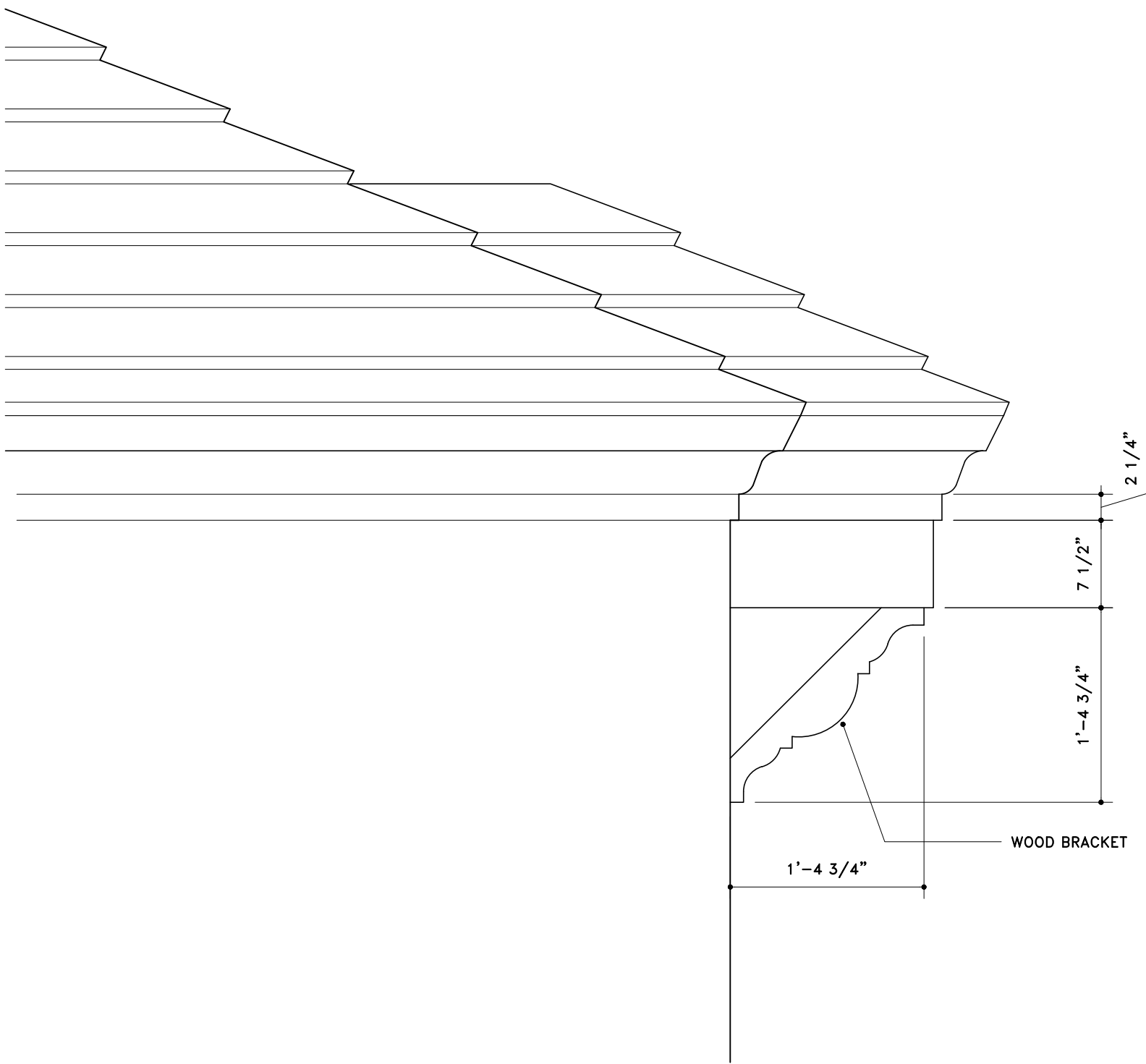
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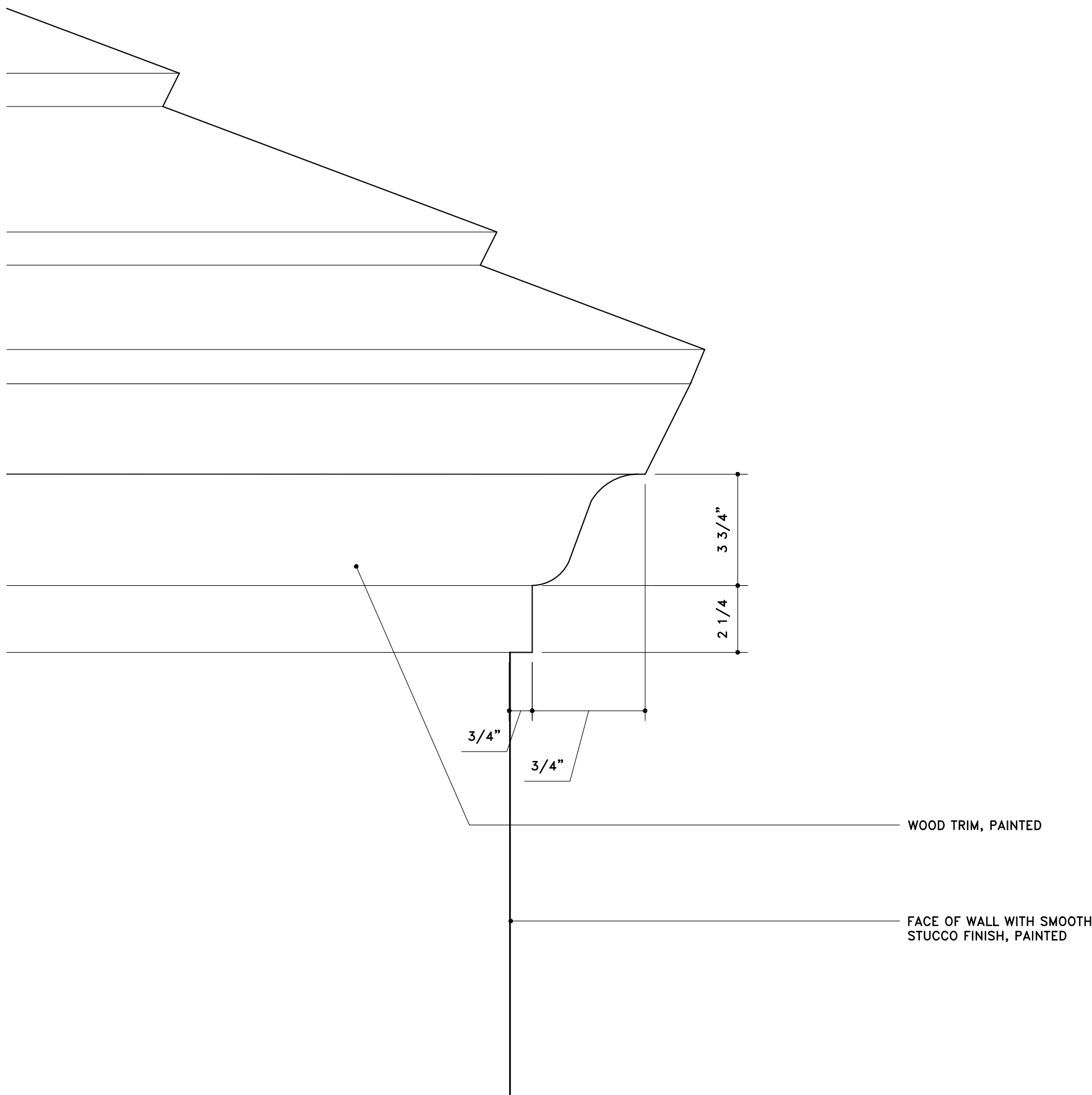
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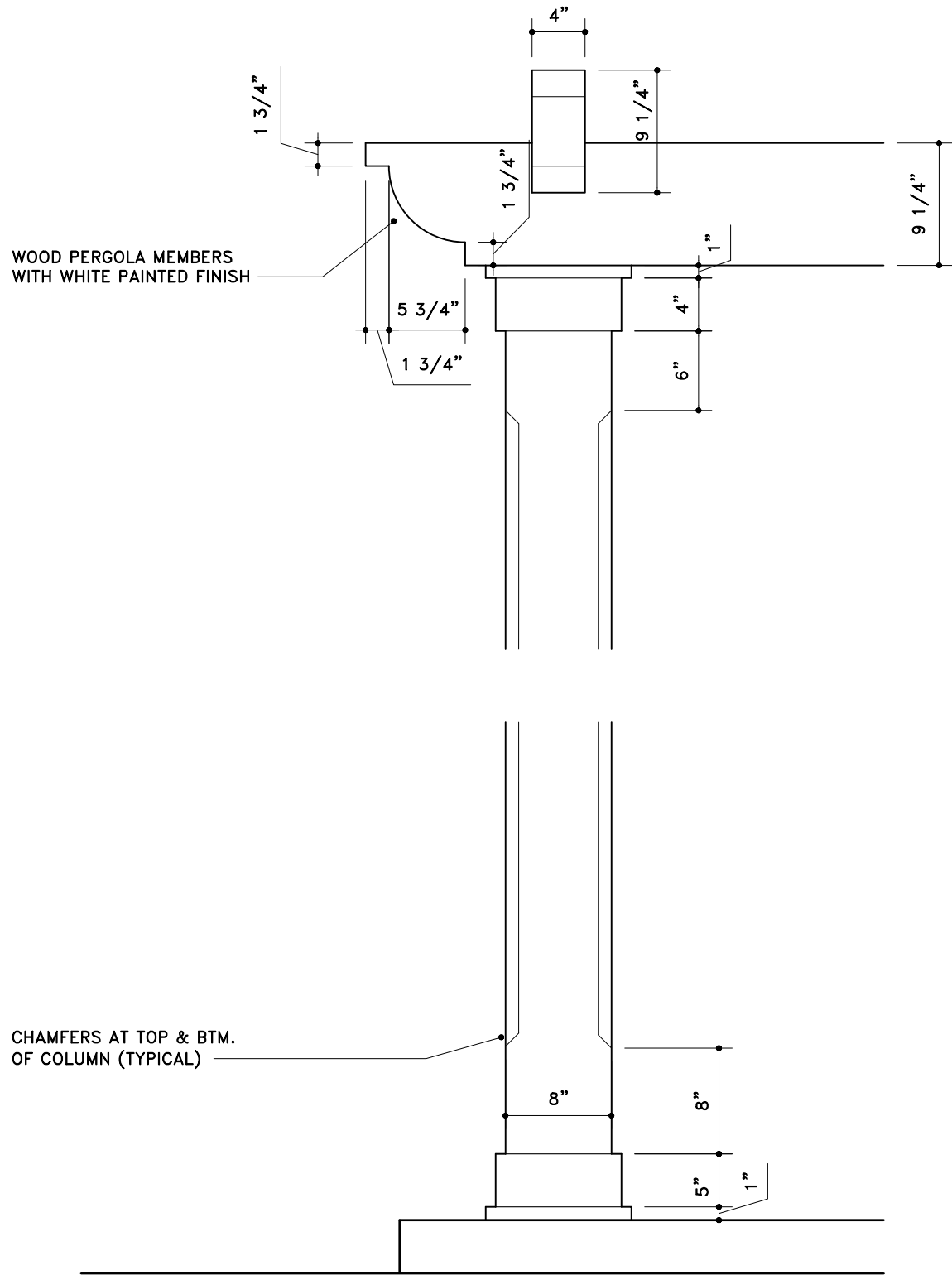
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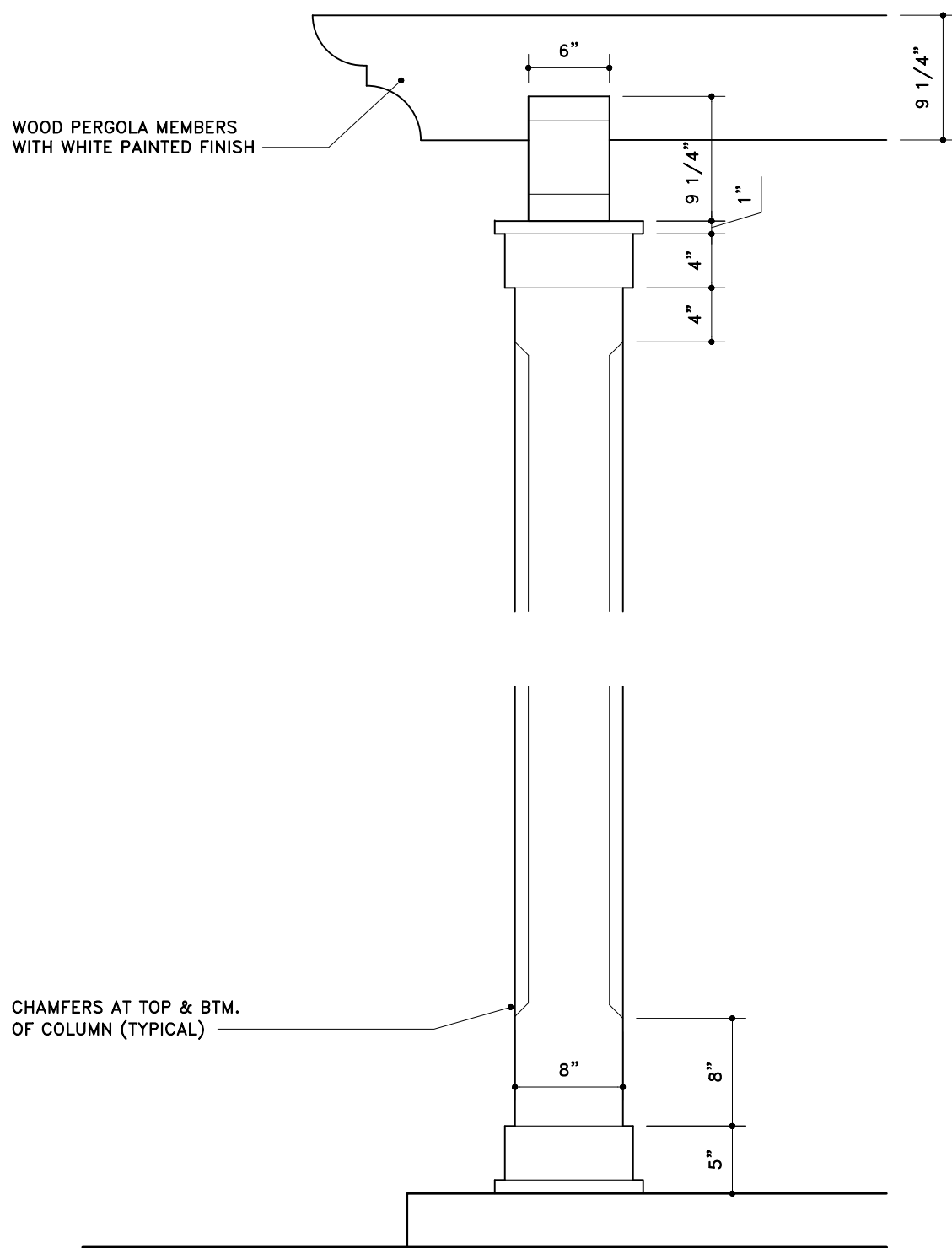
1 DETAIL AT FRONT ENTRANCE
SCALE: 3" = 1'-0"



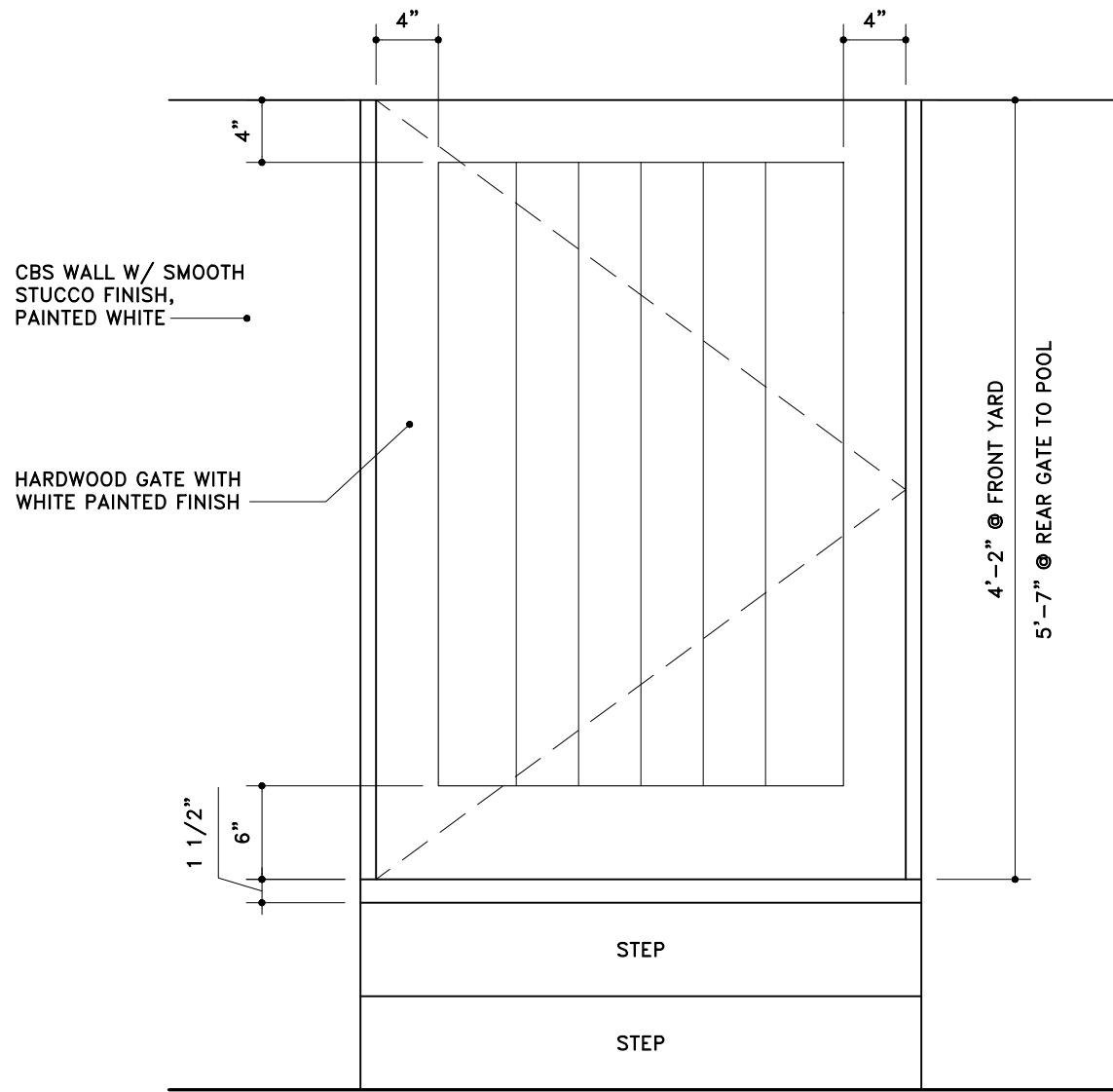
2 DETAIL AT EDGE OF ROOF
SCALE: 3" = 1'-0"



3 DETAIL AT PERGOLA-FRONT VIEW
SCALE: 1" = 1'-0"



4 DETAIL AT PERGOLA-SIDE VIEW
SCALE: 1" = 1'-0"



5 TYPICAL GARDEN GATE
SCALE: 1" = 1'-0"

GENERAL NOTE:

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DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

HUNT RESIDENCE
260 COLONIAL LN
PALM BEACH, FLORIDA

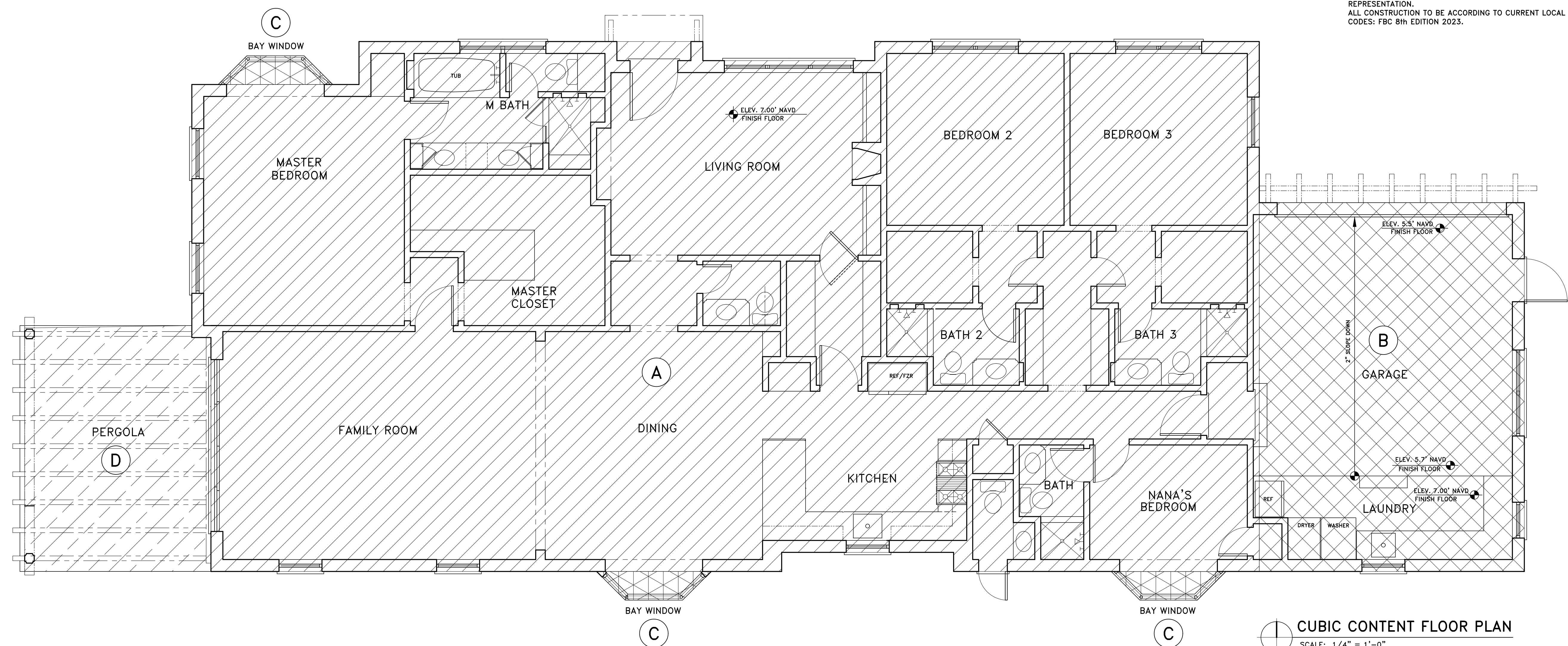
SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533



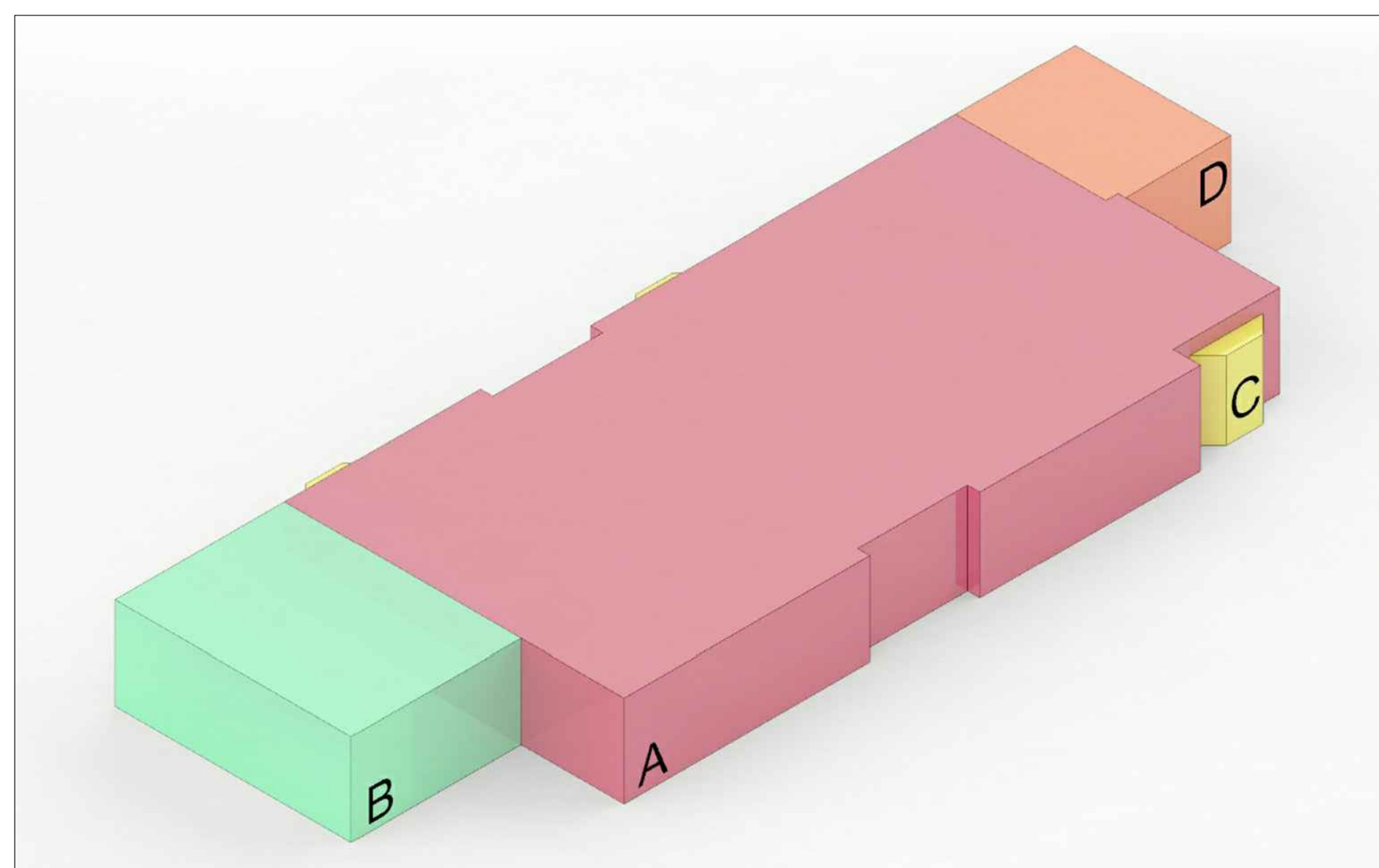
REVISIONS:	
1	
2	
3	
4	

SHEET NUMBER:	
A9	
DATE:	05-10-24
JOB #	0451

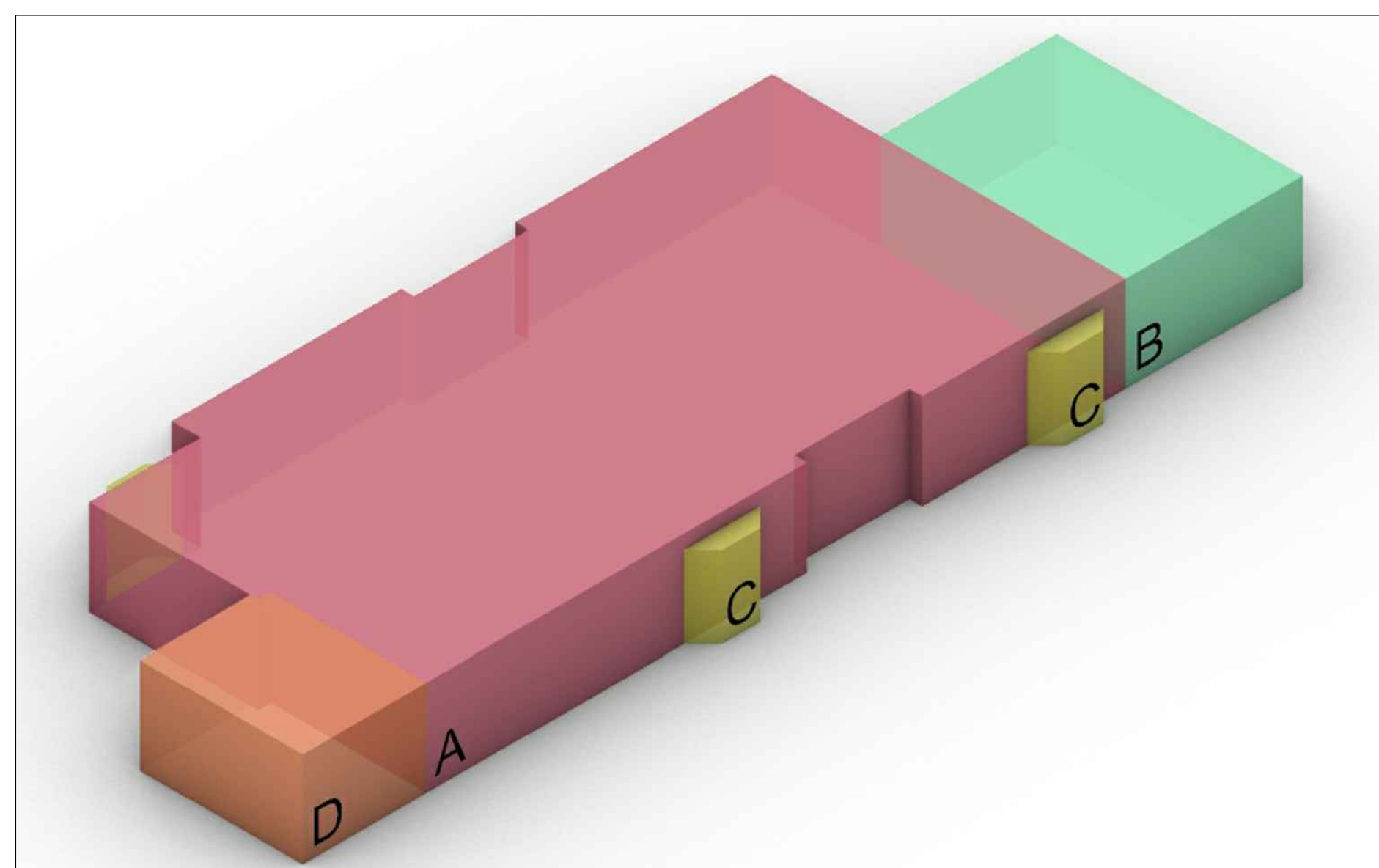
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CUBIC CONTENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



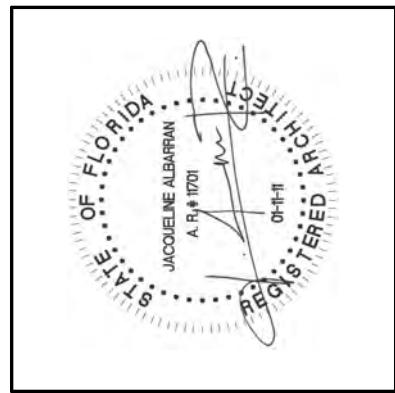
CUBIC CONTENT – LOOKING SW
SCALE: NTS



CUBIC CONTENT – LOOKING NE
SCALE: NTS

CUBIC CONTENT CALCULATIONS	
ALLOWABLE CCR	39,091 CU.FT. (4.03 CCR)
AREAS	CUBIC FEET
A – 2,667.7 SQ. FT. @ 10.0'	26,677.0
B – 476.4 SQ. FT. @ 8.5'	4,049.4
C – 3 x 12.0 SQ. FT. @ 8.0'	288.0
D – 221.1 SQ. FT. @ 9.33'	2,062.9
SUBTOTAL	33,077.3
LESS 5% FOR OPEN COVERED AREAS	(1,653.9)
TOTAL	31,423.4
CCR	3.24

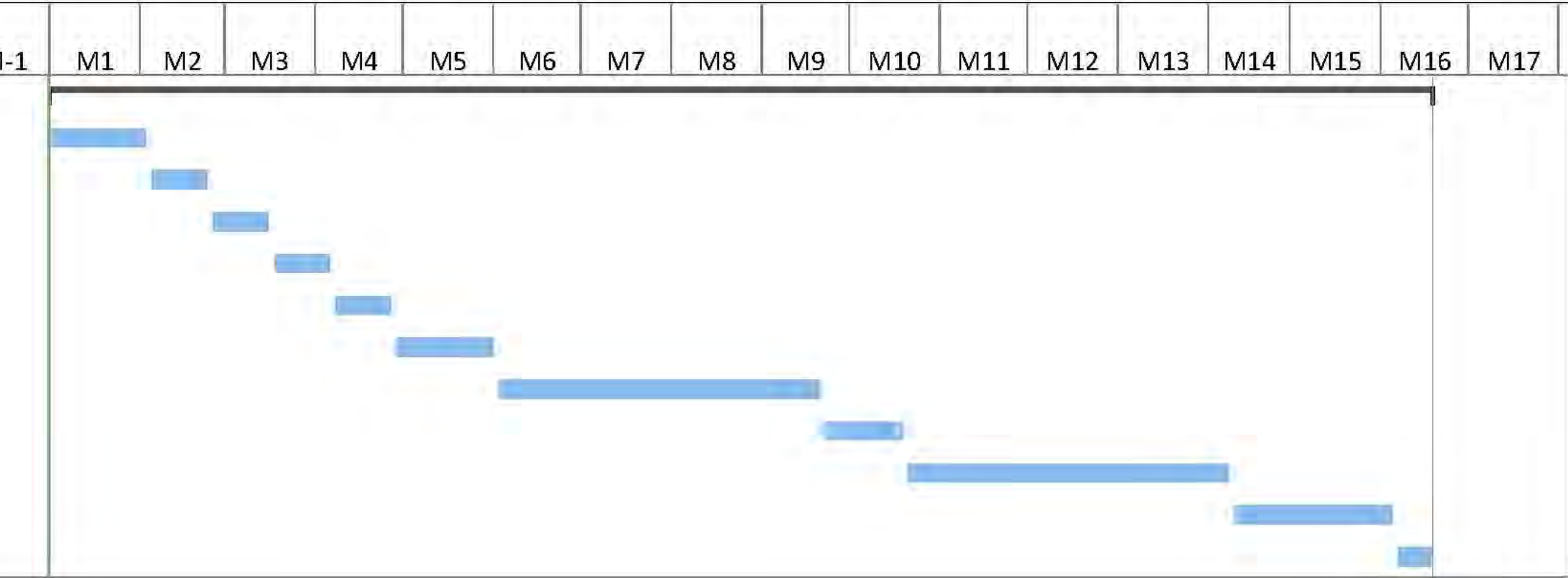
HUNT RESIDENCE
260 COLONIAL LN
PALM BEACH, FLORIDA



JACQUELINE ALBARRAN, PA
REGISTERED ARCHITECT 11701

REVISIONS:	
1	
△	
△	
△	

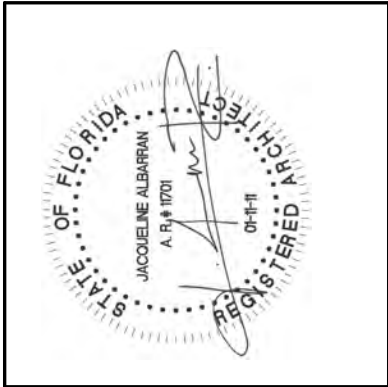
SHEET NUMBER:
A10
DATE:
05-10-24
JOB #
0451



LOGISTICS PLAN AND CONSTRUCTION TIMELINE

NO SCALE

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REVISIONS:	
1	

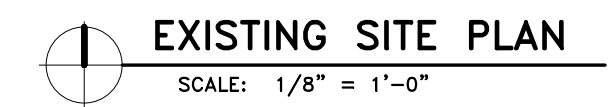
SHEET NUMBER:	
LP1	
DATE:	05-10-24
JOB #	0451

HUNT RESIDENCE
260 COLONIAL LANE
PALM BEACH, FL

SKA

SKA ARCHITECT + PLANNER
204 RUIPERS BLVD
PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.5533

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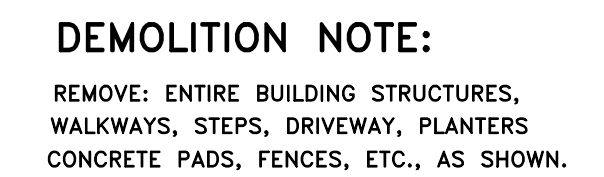


A triangle with the number 1 inside.

0451

SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676
FAX: 561.655.3533

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1

Ex1.2

JOB #

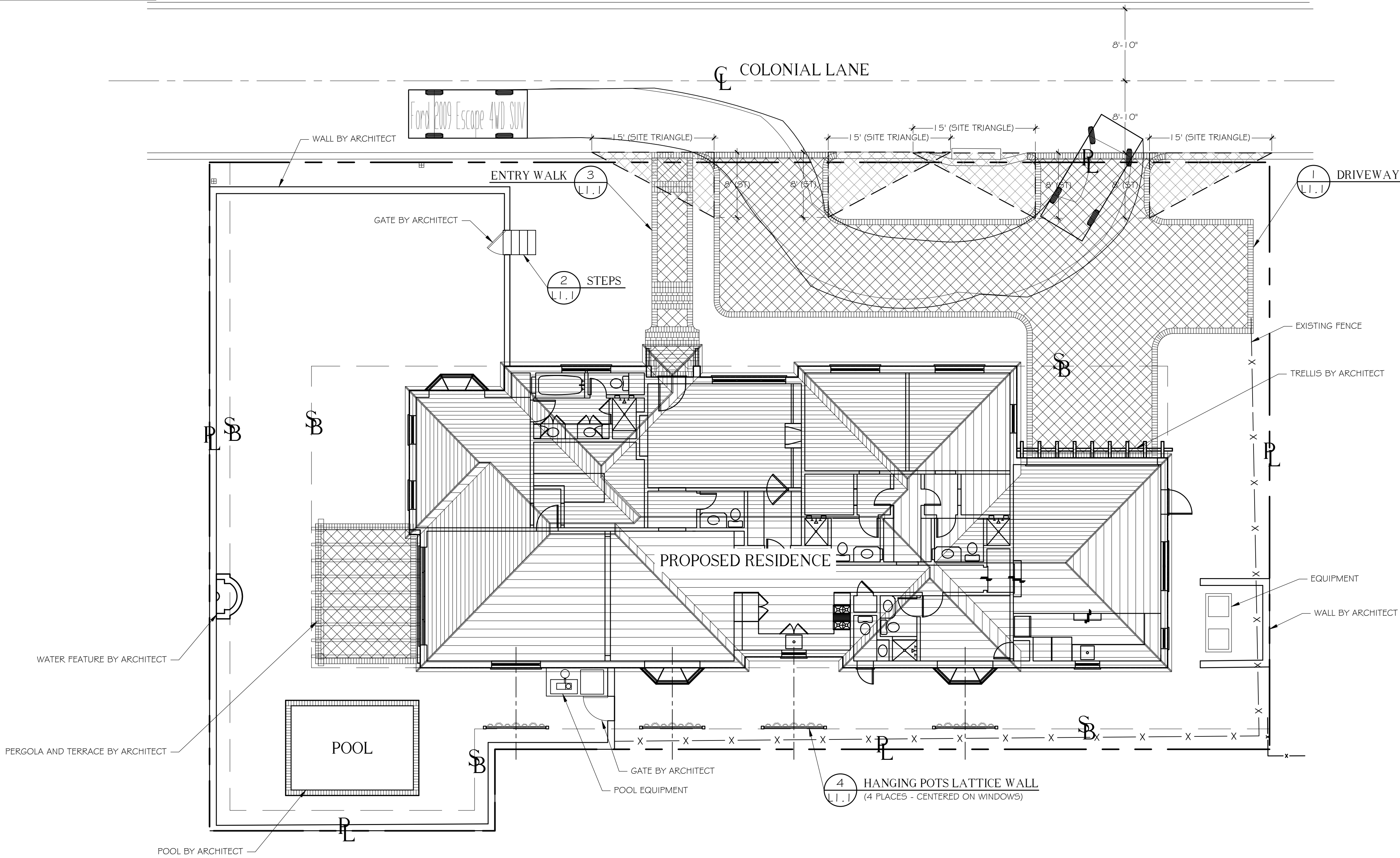
0451

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324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676
FAX: 561.655.3533

FIELD VERIFY ALL DIMENSIONS

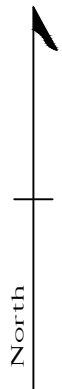
- ABBREVIATIONS KEY
- DIA = DIAMETER
 - DR = DOMINICAN REPUBLIC
 - HS = HANDSCAPE
 - HT = HEIGHT
 - LA = LANDSCAPE ARCHITECT
 - LS = LANDSCAPE
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - SMI = SMI LANDSCAPE ARCHITECTURE
 - TBD = TO BE DETERMINED
 - TC = TERRA COTTA
 - THK = THICK
 - TYP = TYPICAL
- GRADING
- BOS = BOTTOM OF STEPS
 - ELEV = ELEVATION
 - FFE = FINISHED FLOOR ELEVATION
 - TOS = TOP OF STEPS
 - TOW = TOP OF WALL

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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4	05.10.2024	FINAL SUBMITTAL
3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE-APPLICATION

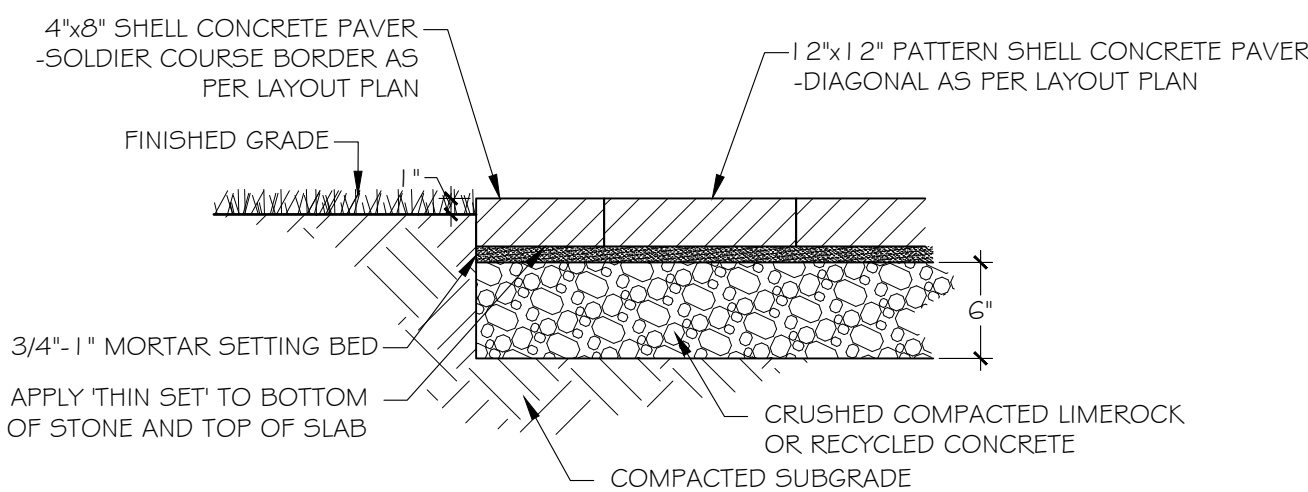
REVISIONS	DATE	DESCRIPTION
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FINAL SUBMITTAL

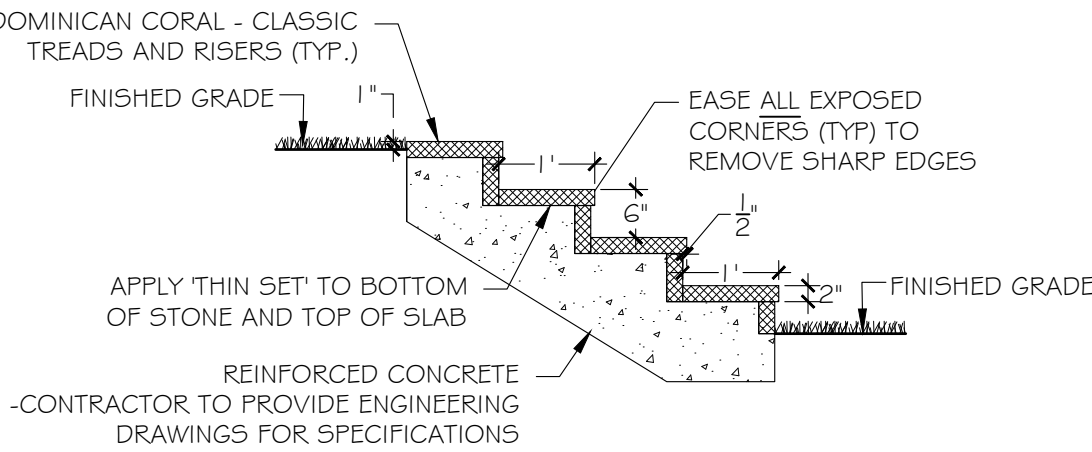
SMI

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

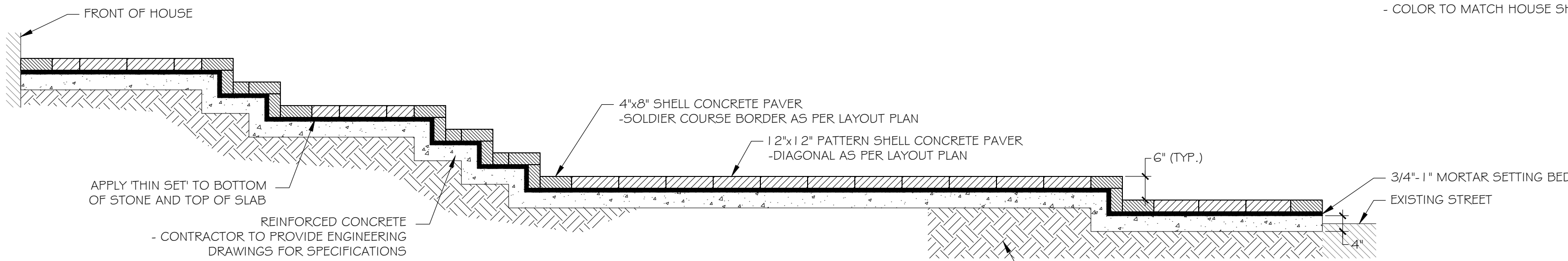
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SCALE 1/8" = 1'-0"	PROJECT NUMBER 2402	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L1.1 SHEET 1 OF 1	



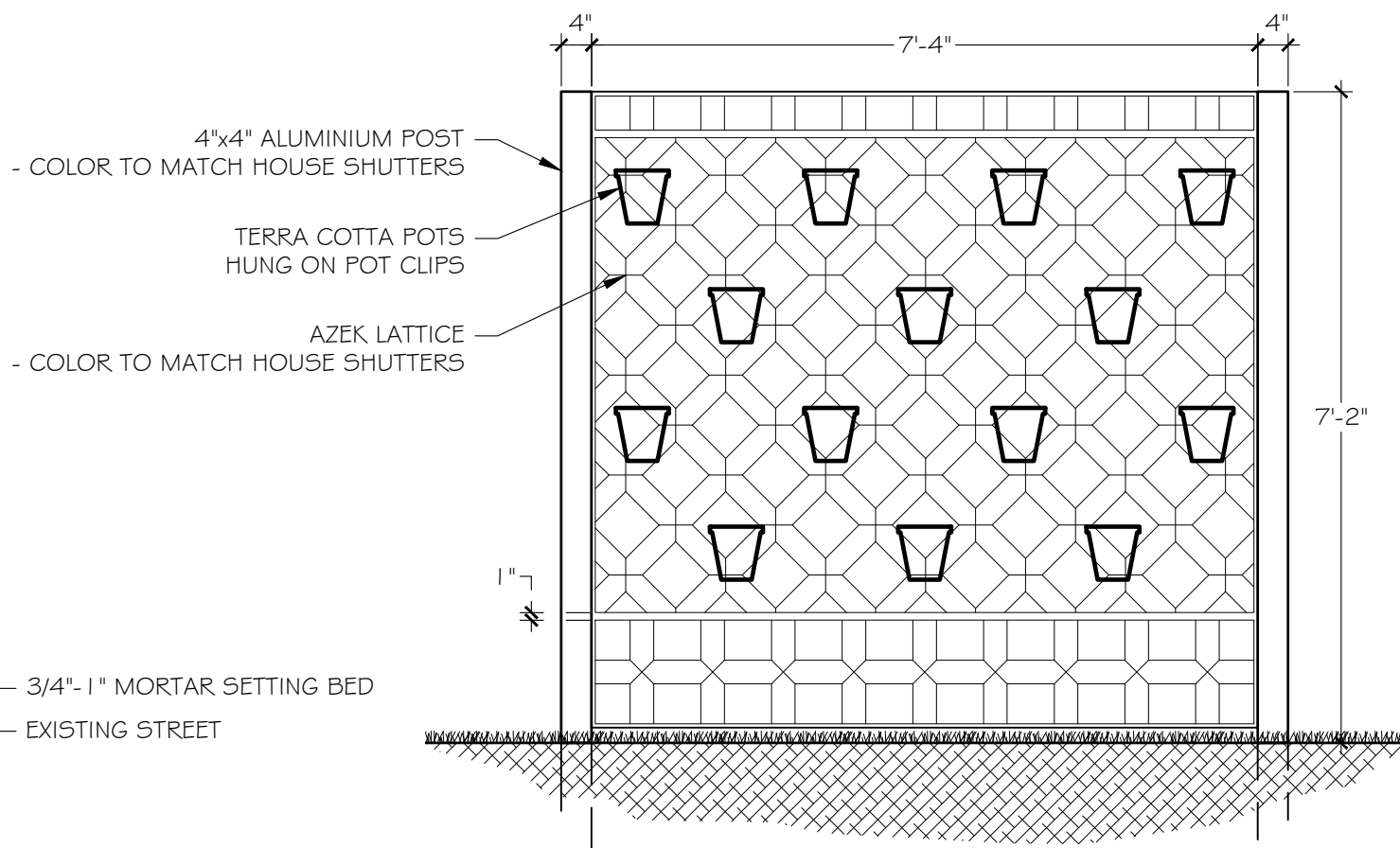
1 DRIVEWAY DETAIL
SCALE: 1" = 1'-0"



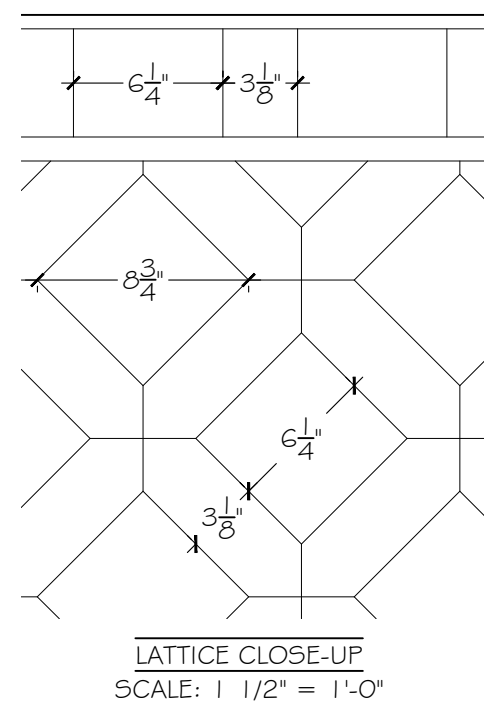
2 STEPS DETAIL
SCALE: 1/2" = 1'-0"



3 ENTRY WALK DETAIL
SCALE: 1/2" = 1'-0"



4 HANGING POTS LATTICE WALL DETAIL
SCALE: 1/2" = 1'-0"



ALUMINUM
- COLOR TO MATCH HOUSE SHUTTERS

REFER TO FABRICATOR'S SHOP DRAWINGS FOR COMPLETE CONSTRUCTION DOCUMENTS (BY OTHERS)

PROVIDE SHOP DRAWINGS FOR SMI APPROVAL

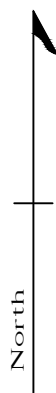


FIELD VERIFY ALL DIMENSIONS

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The Hunt Residence

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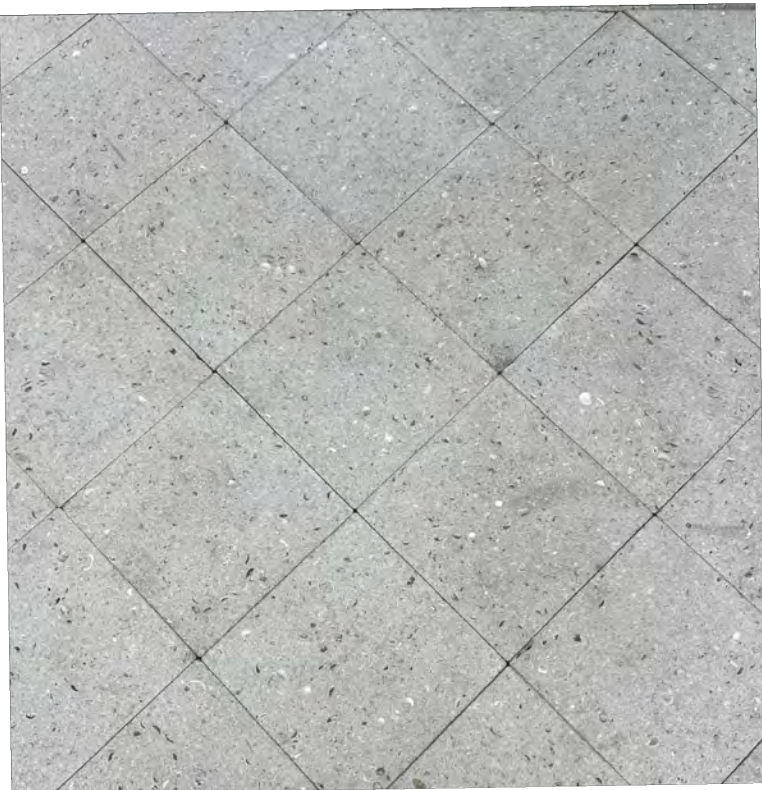
REVISIONS	DATE	DESCRIPTION
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FINAL SUBMITTAL

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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Materials Sheet		
SCALE	PROJECT NUMBER:	
None	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	M-1 SHEET 1 OF 1	



DRIVEWAY

SHELL CONCRETE PAVER



ENTRY WALK

SHELL CONCRETE PAVER



STEPS

DOMINICAN CORAL



TERRACE & POOL COPING

DOMINICAN CORAL



LATTICE

AZEK
COLOR: REFER TO ARCHITECT'S SHUTTER COLOR

ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
THK = Thick
TYP = Typical

GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
FFE = Finished Floor Elevation
TOS = Top Of Steps
TOW = Top Of Wall

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION

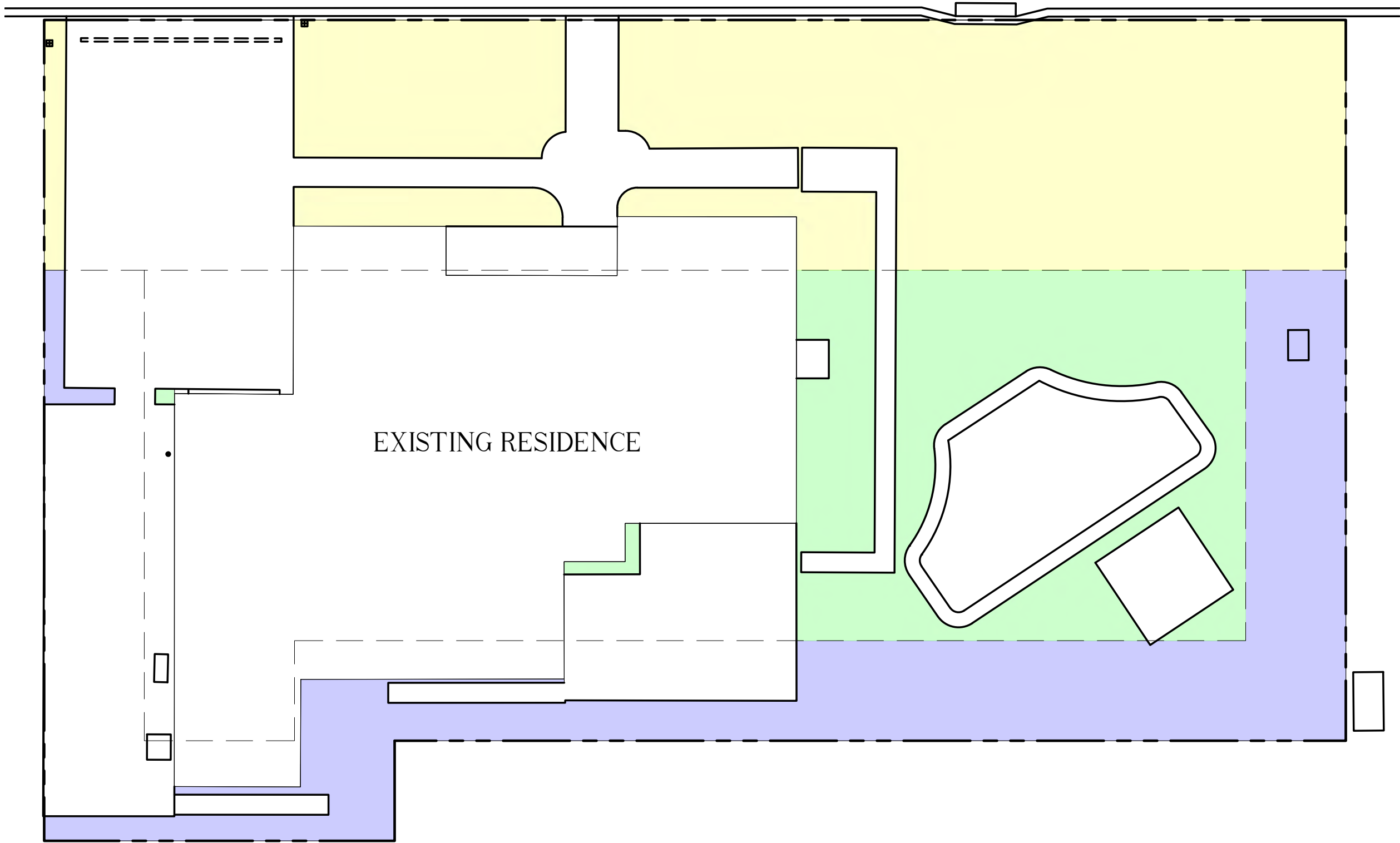


Know what's below
Call before you dig

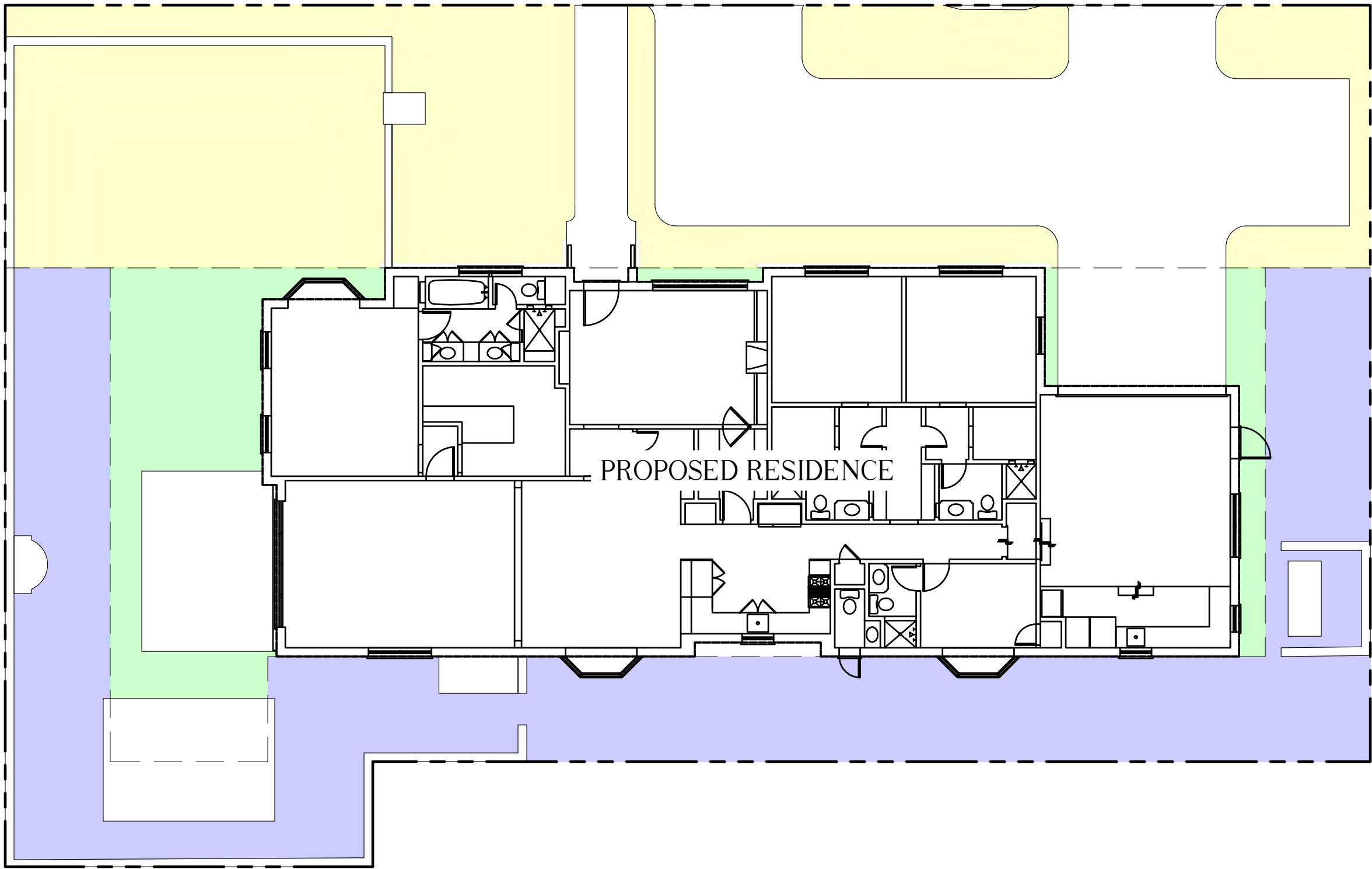
FIELD VERIFY ALL DIMENSIONS

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TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



EXISTING SITE PLAN



PROPOSED SITE PLAN

Existing Color Key

- Existing Site Pervious
- Existing Front Yard Pervious
- Existing Perimeter Pervious

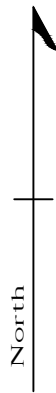
Proposed Color Key

- Site Pervious
- Front Yard Pervious
- Perimeter Pervious

Pervious / Impervious Calculations: RB							
Lot Size	Dwelling 1 Floor	Required Pervious		Existing Pervious		Proposed Pervious	
		Square Footage	Percentage	Square Footage	Percentage	Square Footage	Percentage
9,710 sf	3,173 sf						
Overall Hardscape (Impervious)		4,370	45%min (or Existing)	4,471	46%	4,392	45%
2,145 sf							
Front Yard Calculations							
25' Setback Area		1,300	40%min (or Existing)	2,111	65%	1,827	56%
3,250 sf	1,423 sf						
Perimeter Hardscape							
10' Offset from PL / Area		2,185	50% of required open space shall be within 10' of property line	1,337	31%	2,934	67%
3,840 sf	906 sf						

The
Hunt
Residence

260 Colonial Lane
Palm Beach, Florida



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NOTES:
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4	05.10.2024	FINAL SUBMITTAL
3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE-APPLICATION

DATE	DESCRIPTION
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REVISIONS
FINAL SUBMITTAL

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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

Site Comparison Plan		
SCALE	PROJECT NUMBER:	
3/32" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L1.1a SHEET 1a OF 1	



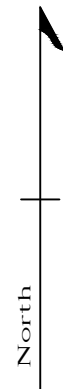
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FIELD VERIFY ALL DIMENSIONS

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REVISIONS	DATE	DESCRIPTION
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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Layout Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L1.2 SHEET 2 OF 1	

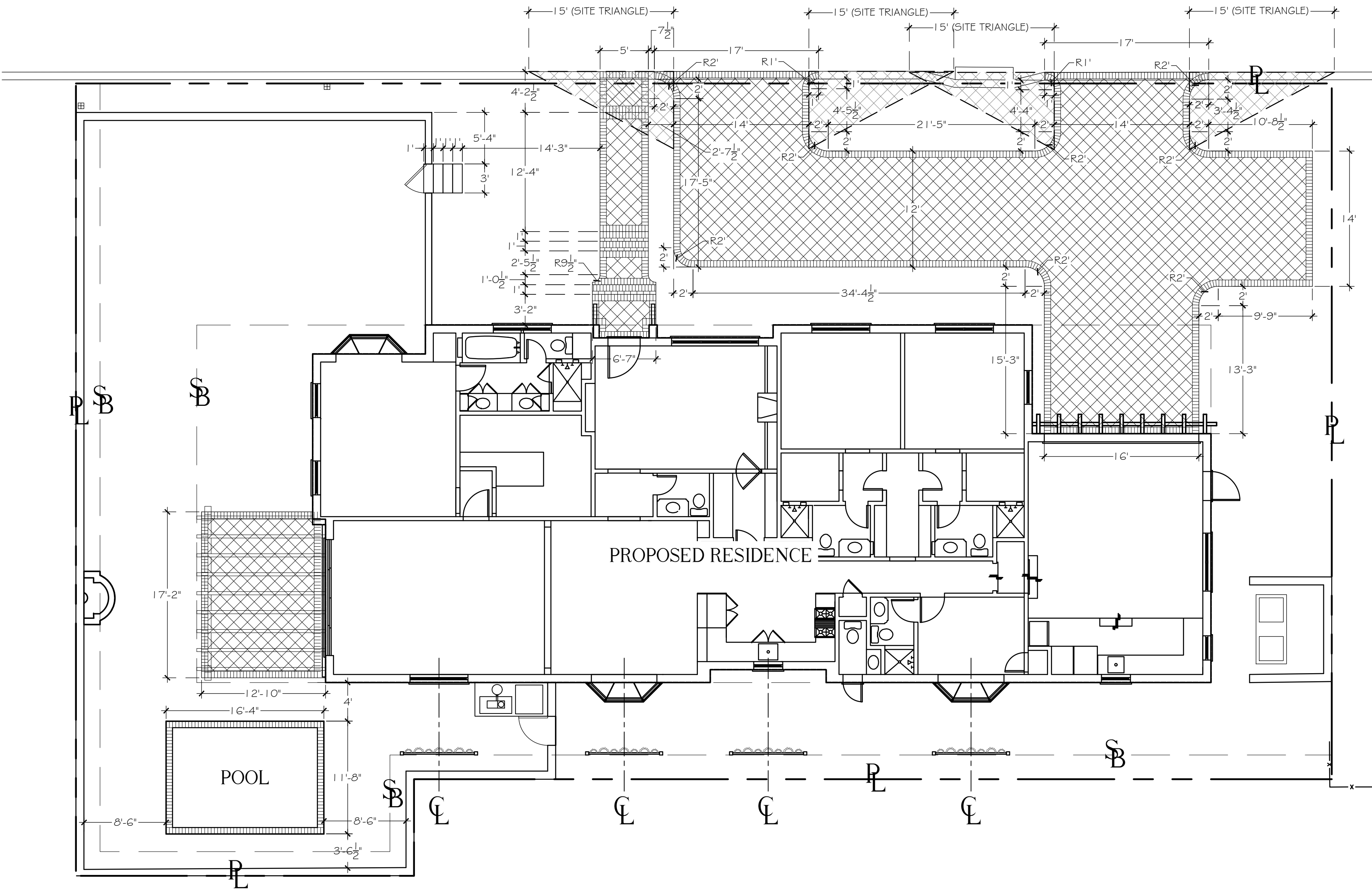
SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



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ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
THK = THICK
TYP = TYPical

GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
FFE = FInished Floor Elevation
TOS = Top Of Steps
TOW = Top Of Wall





Surrounding Property Map - Colonial Lane



Subject Prpoerty -260 Colonial



270 Colonial



266 Colonial



292 Colonial



242 Colonial



232 Colonial



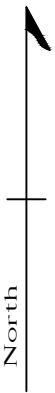
248 Colonial



1123 N lake Way

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Palm Beach, Florida



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2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE-APPLICATION

REVISIONS	DATE	DESCRIPTION
FINAL SUBMITTAL		

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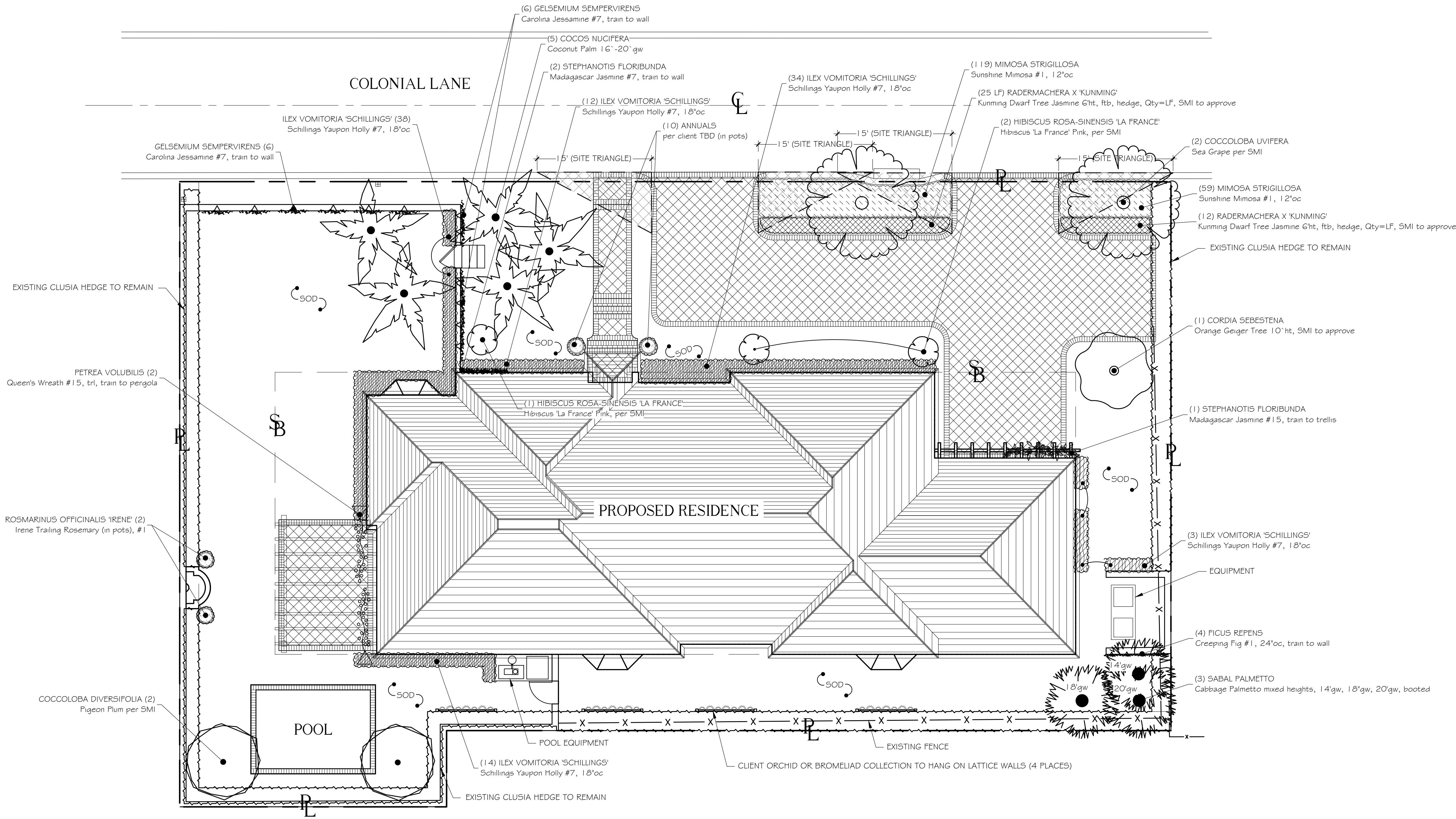
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SCALE None	PROJECT NUMBER: 2402	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. NP-1 SHEET 1 OF 1	



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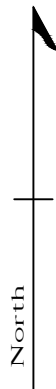
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REVISIONS	DATE	DESCRIPTION
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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Planting Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L3.1 SHEET 1 OF 3	

ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
FTB = Full To Base
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
OC = On Center
SMI = SMI Landscape Architecture
SPF = SPecimen
STD = STandarD
TBD = To Be Determined
TC = Terra Cotta
THK = THick
TRL = TRaUsed
TYP = TYPical

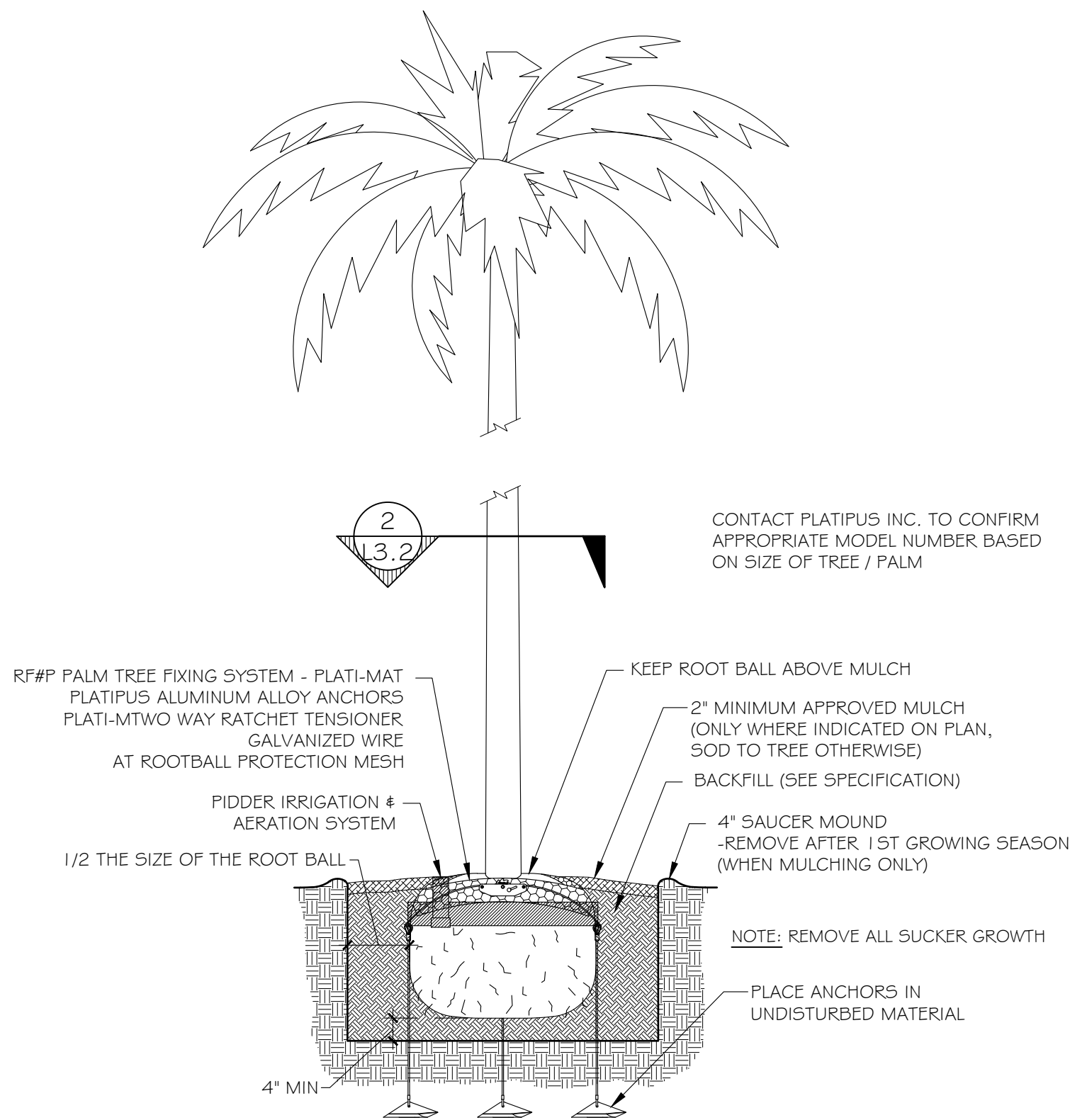
GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
FFE = Finished Floor Elevation
TOS = Top Of Steps
TOW = Top Of Wall

SMI TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION
ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED
ALL PLANTING BEDS ABUTTING LAWN TO HAVE METAL EDGE BORDER

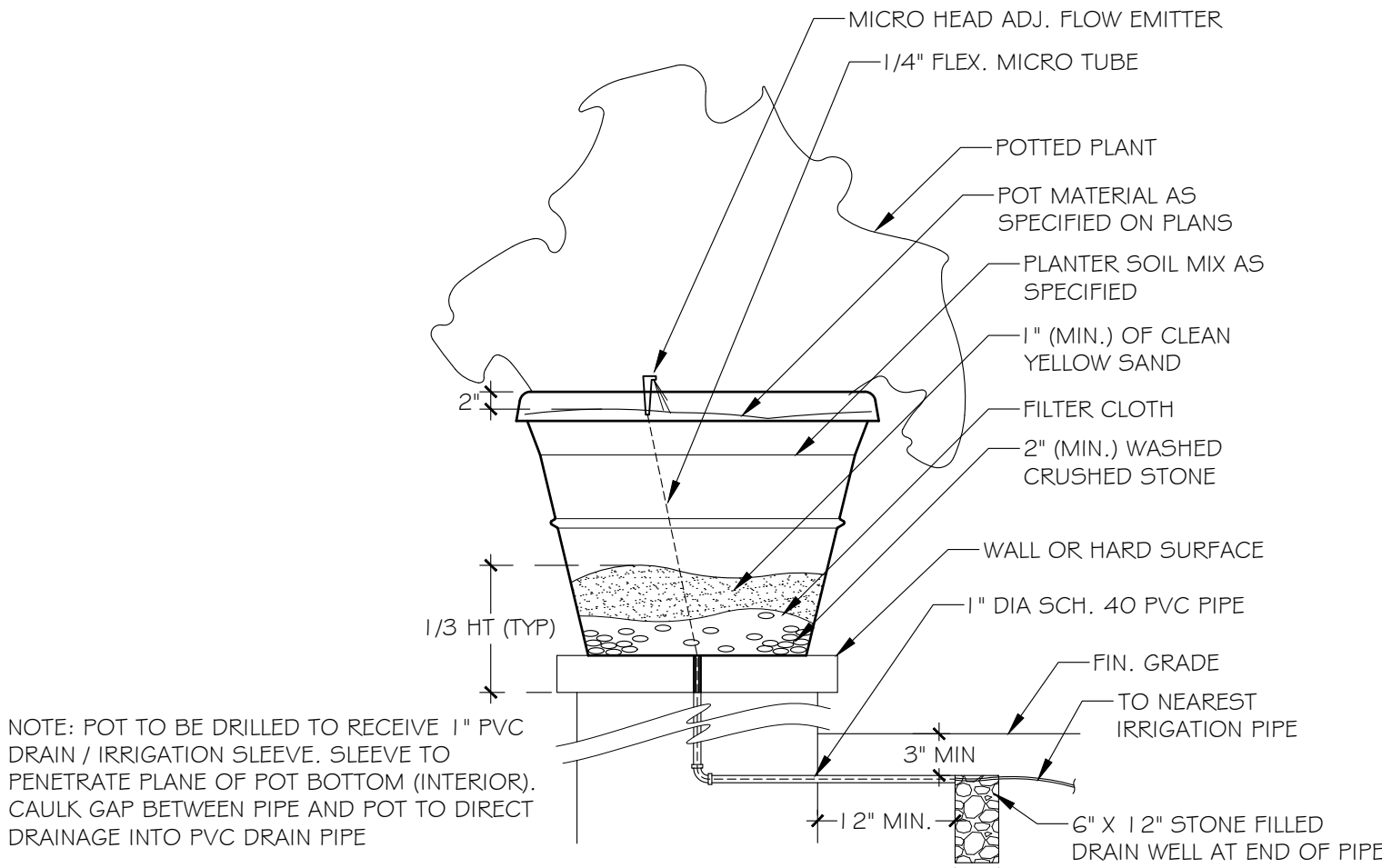


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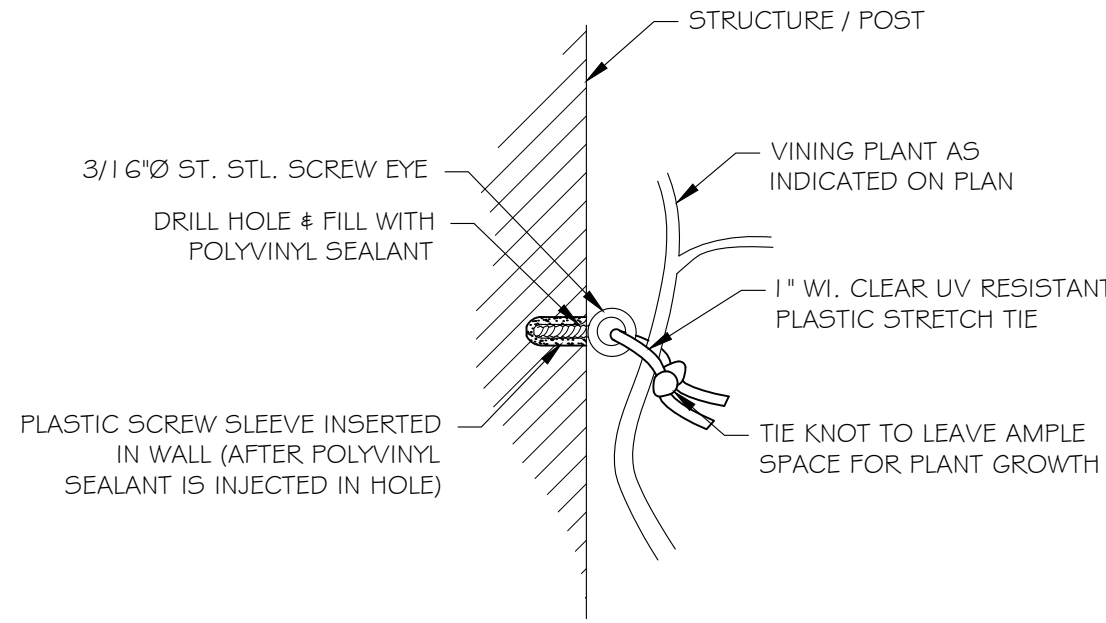
FIELD VERIFY ALL DIMENSIONS



1
L3.2 PLATIPUS TREE ANCHORING
DETAIL SCALE: NOT TO SCALE

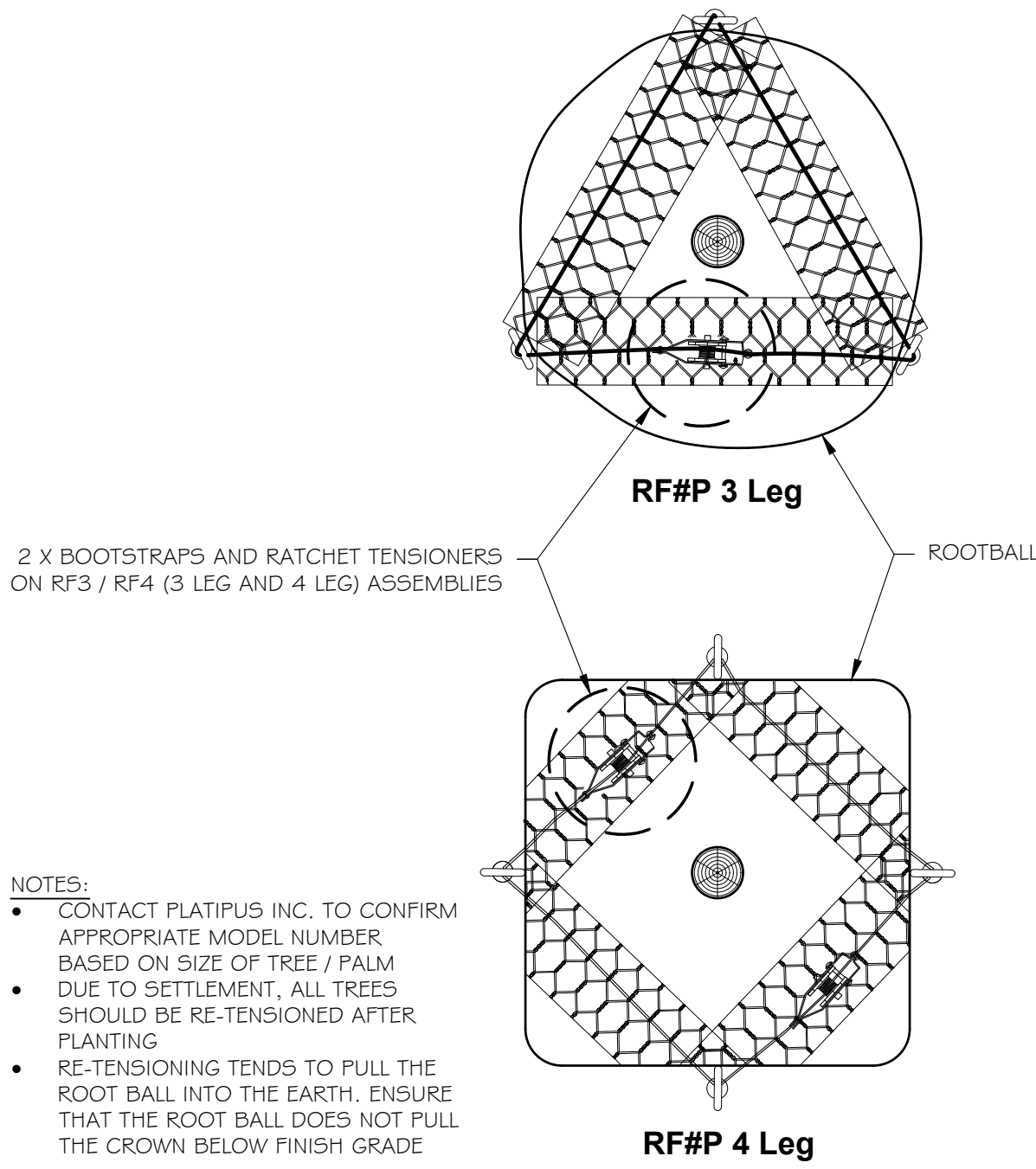


4
L3.2 POTTED PLANT DETAIL
SCALE: NOT TO SCALE

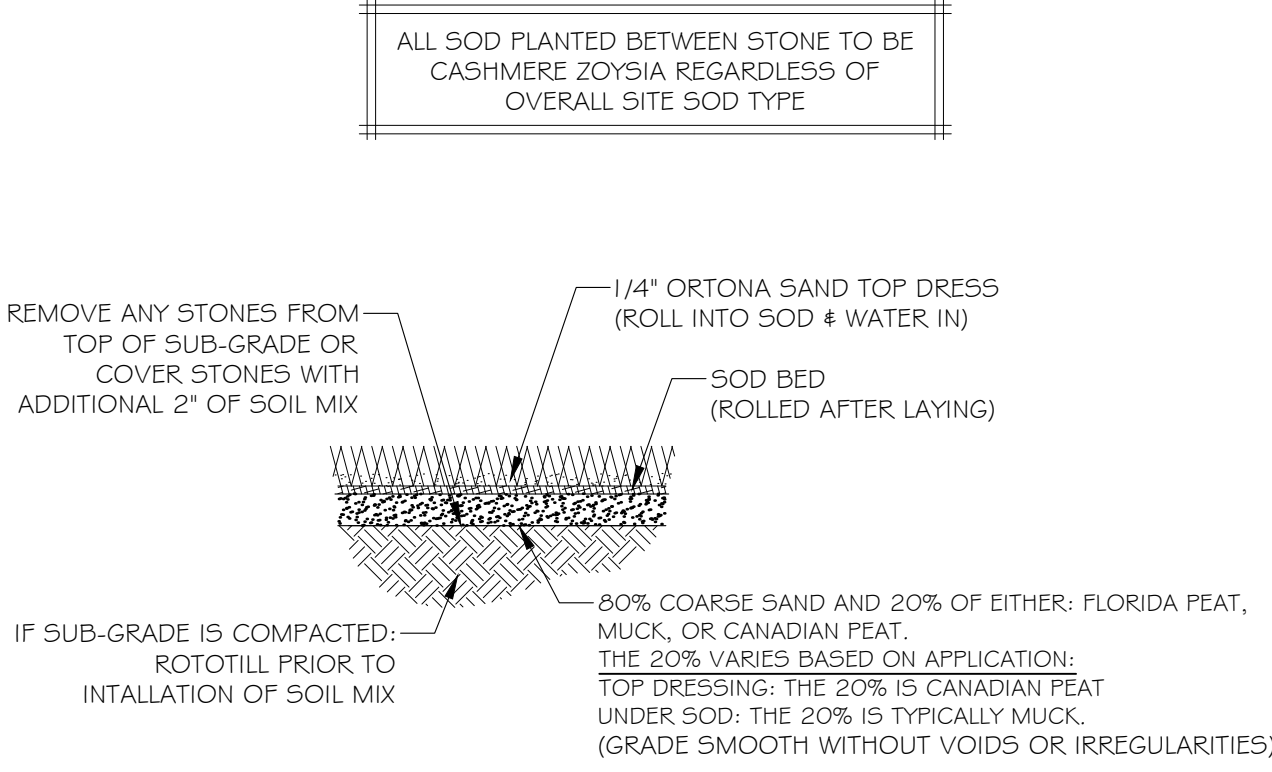


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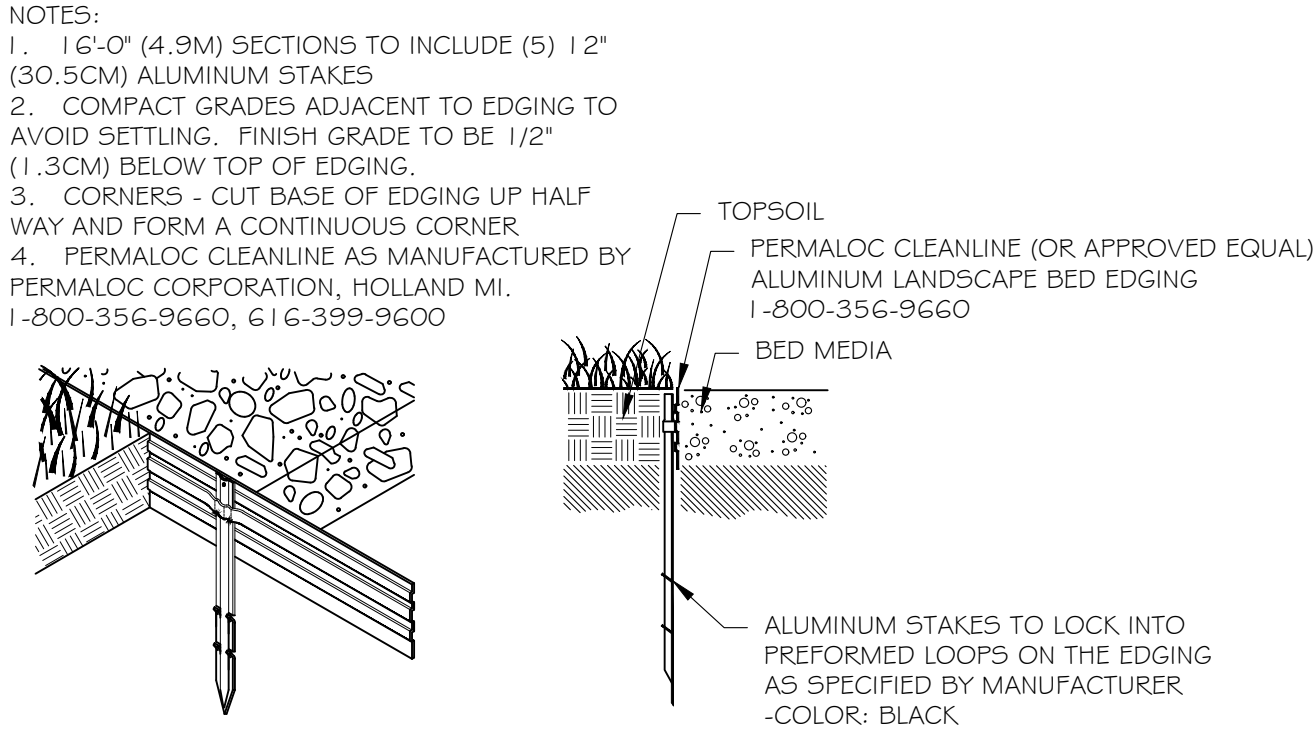
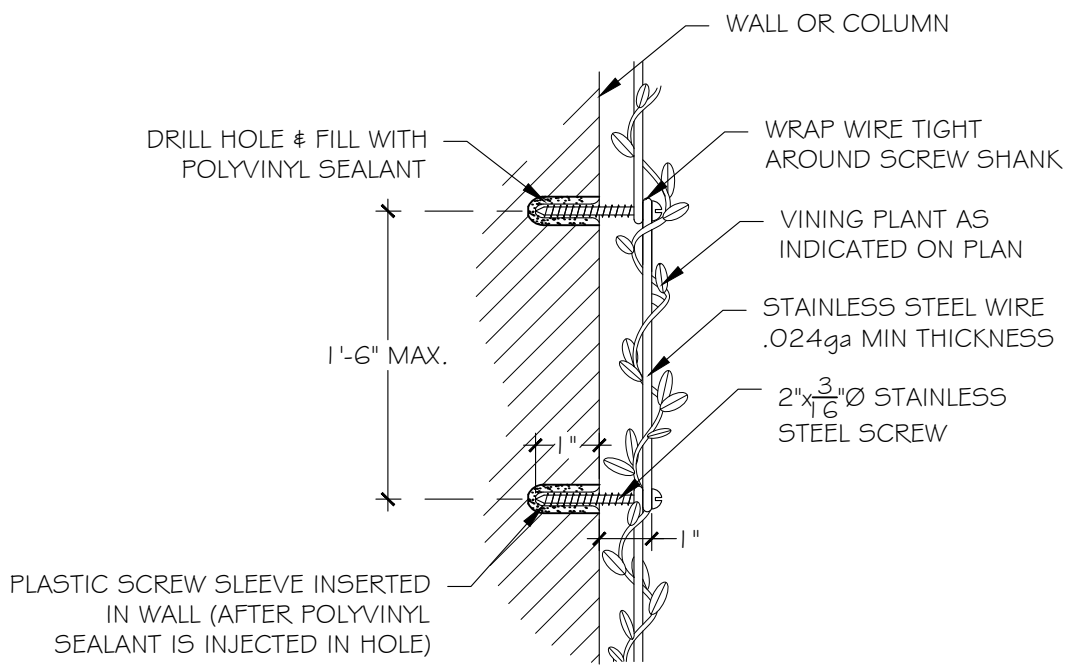
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L3.2 VINE SUPPORT DETAIL
SCALE: NOT TO SCALE



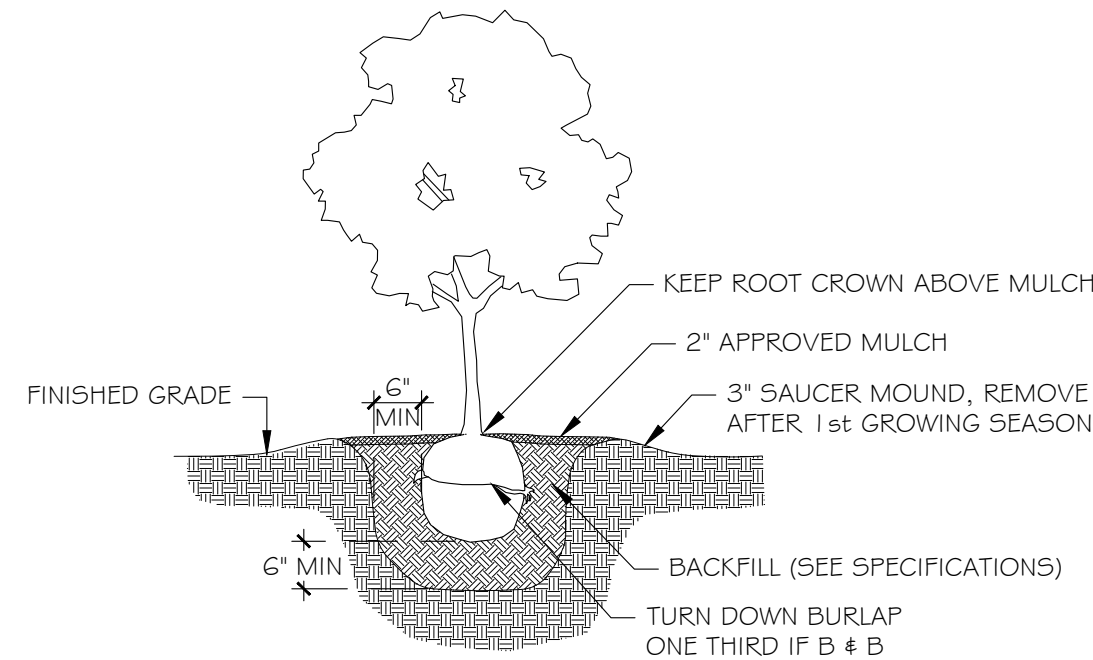
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L3.2 PLATIPUS ROOTBALL BOOTSTRAP
DETAIL SCALE: NOT TO SCALE



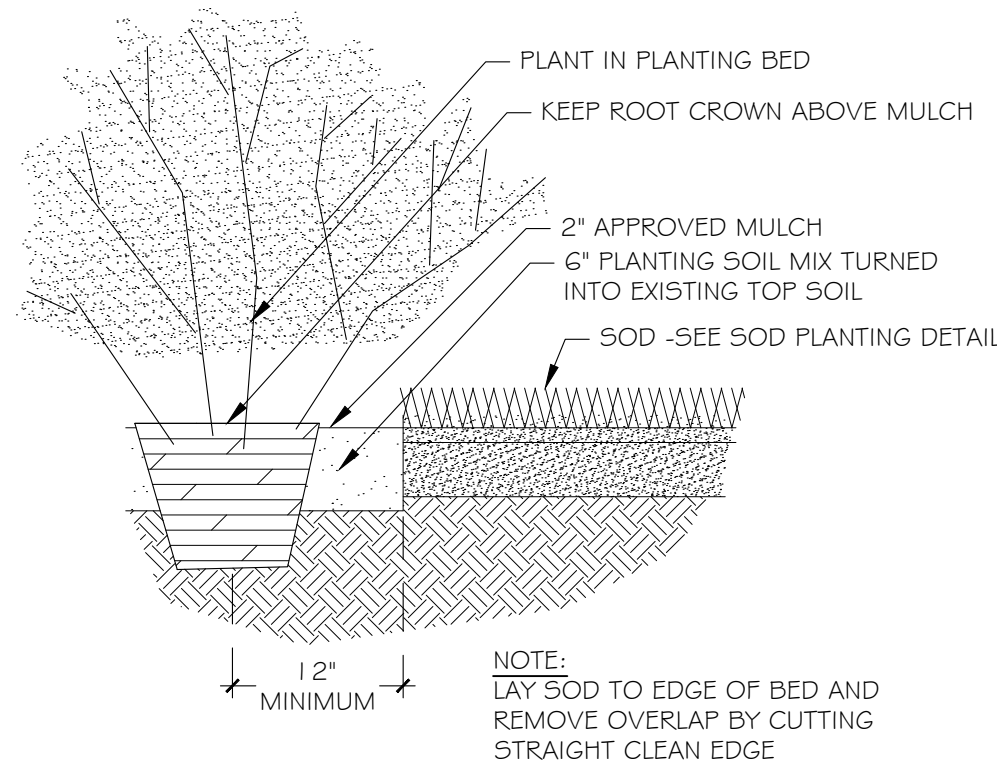
5
L3.2 SOD PLANTING DETAIL
SCALE: 1/2\"/>



8
L3.2 PLANT BED EDGING DETAIL
SCALE: NTS



3
L3.2 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



6
L3.2 PLANTING BED DETAIL
SCALE: NOT TO SCALE

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

SMI TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION

ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED

ALL PLANTING BEDS TO HAVE STEEL EDGE BORDER

The Hunt Residence

260 Colonial Lane
Palm Beach, Florida

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NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST 3\"/>

4	05.10.2024	FINAL SUBMITTAL
3	04.29.2024	SECOND SUBMITTAL
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DATE	DESCRIPTION
05.10.2024	FINAL SUBMITTAL

FINAL SUBMITTAL

SMI

LANDSCAPE ARCHITECTURE
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Telephone: 561-655-9006 Fax: 561-655-9007
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FL registration #LA 13000223

TITLE		
Planting Details		
SCALE	PROJECT NUMBER:	
NOT TO SCALE	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	L3.2 SHEET 2 OF 3	



Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

PLANTING SPECIFICATIONS

PLEASE FURNISH FLORIDA CERTIFIED LANDSCAPE CONTACTORS (FLC) REGISTRATION NUMBER WITH PROPOSAL.

GENERAL CONDITIONS

SCOPE:

1. THE WORK INCLUDED IN THESE SPECIFICATIONS SHALL CONSIST OF THE FURNISHING OF ALL LABOR, TOOLS, MATERIALS, PERMITS, ETC., NECESSARY FOR THE EXECUTION OF THE WORK AS HEREIN SPECIFIED AND SHOWN ON THE DRAWINGS.

2. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH SOUND NURSERY PRACTICE AND SHALL PERFORM MAINTENANCE AND WATERING UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

EXAMINATION OF DRAWINGS AND SITE:

1. THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY ACQUAINT HIMSELF WITH ALL OF THE EXISTING CONDITIONS IN ORDER THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE AS TO THE CHARACTER OR AS TO THE EXTENT OF THE WORK TO BE DONE, AND LIKEWISE, IN ORDER TO ADVISE AND ACQUAINT HIMSELF WITH ALL PRECAUTIONS TO BE TAKEN IN ORDER TO AVOID INJURY TO PERSONS OR PROPERTY OF ANOTHER. NO ADDITIONAL COMPENSATION WILL BE GRANTED BECAUSE OF ANY UNUSUAL DIFFICULTIES THAT MAY BE ENCOUNTERED IN THE EXECUTION OR MAINTENANCE OF ANY PORTION OF THE WORK. ANY DISCREPANCIES, OR OMISSIONS OR DOUBTS AS TO MEANING SHALL BE COMMUNICATED TO THE LANDSCAPE ARCHITECT, WHO WILL MAKE ANY INTERPRETATIONS HE/SHE DEEMS NECESSARY.

PLANT LIST:

1. ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL BE CONSIDERED AS CORRECT ON THE DRAWINGS.

PROTECTION OF PUBLIC AND PROPERTY:

1. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY GUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO A PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS FAULT OR NEGLIGENCE IN THE EXECUTION OF THE WORK.

2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY INSURANCE (\$1,000,000) AND PROPERTY DAMAGE INSURANCE (\$1,000,000.00). A COPY OF THE CERTIFICATE OF INSURANCE MUST BE FURNISHED TO OWNER.

GUARANTEE:

1. THE GUARANTEE PERIOD FOR ALL MATERIAL SHALL BEGIN AFTER FINAL APPROVAL BY LANDSCAPE ARCHITECT.

2. ALL MATERIAL EXCEPT SOD SHALL BE GUARANTEED FOR ONE YEAR PROVIDED IT RECEIVES PROPER MAINTENANCE (AS PRESCRIBED BY THE LANDSCAPE CONTRACTOR) BY THE OWNER AND IS NOT DAMAGED OR DESTROYED BY HURRICANES OR OTHER CAUSES BEYOND THE CONTRACTOR'S CONTROL.

3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT THE OWNERS NEGLECT TO PROVIDE PROPER CARE OF THE MATERIAL.

4. ALL REPLACEMENT COST OF GUARANTEED MATERIAL, INCLUDING EQUIPMENT, AND LABOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

AWARD OF CONTRACT:

1. ONLY UNIT PRICE-INSTALLED BIDS FOR THE WORK WILL BE ACCEPTABLE. HOWEVER, THE OWNER RETAINS THE RIGHT TO DELETE PORTIONS OF THE WORK FROM THE CONTRACT AND/OR AWARD SEPARATE CONTRACTS FOR PHASES OF THE PROJECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS WHEN SUCH REJECTIONS ARE IN THE INTEREST OF THE OWNER.

EXECUTION OF THE WORK:

1. THE LANDSCAPE CONTRACTOR SHALL HAVE HIS LABOR CREWS CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL Versed IN PLANT MATERIALS, PLANTING, READING OF BLUEPRINTS AND COORDINATION BETWEEN JOB AND NURSERY IN ORDER TO EXECUTE INSTALLATION RAPIDLY AND CORRECTLY.

WATER:

1. WATER SOURCE SHALL BE FURNISHED BY THE OWNER.

2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH IRRIGATION CONTRACTOR.

3. ALL PLANT MATERIAL INSTALLED PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE WATERED WITH A TEMPORARY SYSTEM BY THE LANDSCAPE CONTRACTOR.

IRRIGATION:

-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

GRADING:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE OF LANDSCAPE AREAS UNLESS OTHERWISE SPECIFIED. THE TERM SUBGRADE SHALL BE DEFINED AS 4"-6" BELOW FINISH GRADE UNLESS OTHERWISE NOTED ON PLANS.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED AND FINE GRADING WITHIN PLANTER BEDS AND THE FILLING OF PLANTER BOXES. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXCESS SOIL AND DEBRIS ACCUMULATED DURING HIS WORK.

3. THE SOD CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE IN ALL SODDED AREAS. SEE SPECIFICATIONS RELATING TO SPECIES GROWERS.

TO PROTECT AGAINST GANODERMA PALM FUNGUS ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY - STUMPS ACT AS HOSTS TO THIS DESTRUCTIVE LONG LIVED FUNGUS.

DIGGING

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND AND OVERHEAD PIPES AND CABLES. SHOULD SUCH UNDERGROUND AND OVERHEAD OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE CONSULTED AND WILL ADJUST THE LOCATION OF PLANTS TO CLEAR SUCH OBSTRUCTION OR MOVE THE OBSTRUCTION.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. PLANTING PITS

1. EXCAVATE CIRCULAR PITS WITH VERTICAL SIDES FOR ALL PLANTS, EXCEPT FOR HEDGES AND PLANTS SPECIFICALLY DESIGNATED TO BE PLANTED IN BEDS. DIAMETER OF PITS OF TREES AND SHRUBS SHALL BE AT LEAST 1/3 LARGER THAN THE DIAMETER OF THE BALL.

2. EXCAVATE PLANTING PITS AND PLANTING BEDS, PREPARE FINE SUBGRADE THROUGHOUT ALL PITS AND BEDS, AND PLACE THE PLANTS TO BE PLANTED FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.

PRUNING

1. REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL IMMEDIATELY. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL PLANTS WITH AS MUCH HEIGHT AND SPREAD AS IS PRACTICAL.

2. HEDGE MATERIALS TO BE PULLED IN, TIED AND TRIMMED TO VERTICAL AFTER INSTALLATION, WITH A FINISHED APPEARANCE UNLESS OTHERWISE NOTED.

TREE BRACING AND GUYING

1. REMEMBER TO CONSIDER SOIL CONDITIONS WHEN PLANTING TREES IN MADE UP GROUND AND THE NEED TO PLACE THE ANCHORS IN A UNDISTURBED MATERIAL.. IF SO, YOU CAN ORDER 'ED' KITS (EXTRA DEPTH). TO ALLOW FOR THIS YOU MAY ALSO NEED A LONGER DRIVE ROD.

2. THE ANCHOR SHOULD BE DRIVEN TO THE FULL WORKING DEPTH USING A SUITABLE DRIVE ROD.

3. YOU MUST LOADLOCK THE ANCHORS PROPERLY INTO THEIR WORKING POSITION, BY APPLYING AN UPWARDS FORCE / LOAD ON THE WIRE TENDON.

4. IF THE ANCHORS ARE NOT LOADLOCKED PROPERLY, THE TREE WILL BECOME LOOSE WHEN THE FIRST WINDS ARRIVE.

5. PALM TREE ROOTBALLS MUST BE A MINIMUM OF 5' DIAMETER, PROPERLY ROOT WRAPPED AND OF SUFFICIENT STRENGTH AND PROPORTION TO SUPPORT A ROOTBALL FIXING METHOD. THE CORRECT PALM TREE KIT REQUIRED MUST BE SPECIFIED BY THE LANDSCAPE ARCHITECT ONCE THE ROOTBALL DIMENSIONS, TREE HEIGHT AND SAIL AREA OF THE TREE HAVE BEEN ESTABLISHED.

6. THE D-MAN CELLS / DEADMEN SHOULD BE INSTALLED AT LEAST 12" BELOW THE BASE OF THE ROOTBALL WITH THE SOIL COMPACTED ABOVE THE CELLS TO 60%, RIGHT UP TO THE NURSERY LINE.

7. IT IS NOT ADVISABLE TO USE STRAP SYSTEMS FOR CONTAINER GROWN STOCK (SEE PLATI-MAT SYSTEMS).

8. DUE TO SETTLEMENT OF THE TREE & AFTER WATERING RE-TENSIONING IS HIGHLY RECOMMENDED.

9. REFER TO MANUFACTURERS SPECIFICATIONS FOR COMPLETE INSTALLATION INSTRUCTIONS AT WWW.PLATIFUS.US.

10. SMALL TREES SHALL BE GUYED IN THREE DIRECTIONS WITH THREE STRANDS OF NO. 12 GALVANIZED WIRE ATTACHED TO ANCHORS DRIVEN BELOW GRADE. WIRES WHICH COME IN CONTACT WITH THE TREE ARE TO BE ENCASED IN RUBBER HOSE.

PLANT MATERIALS

1. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE NAMES GIVEN IN HORTUS III AND IN STANDARDIZED PLANT NAMES, 2001, LATEST EDITION. PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN, CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2. QUALITY: PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES AND INJURIES. TREES SHALL BE HEAVILY BRANCHED, OR IN PALMS, HEAVILY LEAFED. REQUIREMENTS FOR THE MEASUREMENT, BRANCHING GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LISTS GENERALLY FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND THE AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE GRADED AS SPECIFIED ON THE DRAWINGS.

GRADES SHALL CONFORM TO GRADES AND STANDARDS FOR NURSERY STOCK, STATE PLANT BOARD OF FLORIDA. PALMS WITH MARRIED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS WITH BROKEN, DAMAGED, OR INSUFFICIENT BALLS WILL BE REJECTED. ALL PLANTS SHALL BE FLORIDA FANCY.

3. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

PLANTING SOIL

SOIL BY 'ATLAS SOIL' OR APPROVED ALTERNATE

ALL PLANTING AREAS SHALL BE CLEANEED OF ALL PLANT AND MATERIAL TWO WEEKS PRIOR TO INSTALLATION OF SOIL FOR REMOVAL OF ANY NEEDS.

GROUND COVER BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH 4" OF 82TO MIX & TILL MIX INTO EXISTING SOIL.

SHRUB BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

TREE PITS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE TREE AND REPLACE WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

PALMS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE PALM AND REPLACE WITH APPROPRIATE SOIL AND CLEAN YELLOW SAND FREE OF WEEDS.

SOIL SPECS FOR TREES AND LARGE SHRUBS: SMILA SOIL MIX (APPROVED SOIL)

SOIL SPECS FOR PLANTING BEDS: ATLAS PEAT & SOIL 82TO MIX

50% Pinebark	.
40% Florida Peat	.
20% can peat	.
25% fia peat	.
40% pine bark	.
15% arlite	.
10lbs Dolomite per/Yard	.
10.5lbs TurfPro per/Yard	.
25 pounds Nutricote 10/6/0-360 P/yard optional	.

1. SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 386T, BOYNTON BEACH, FLORIDA, 33424-386T, (561) 734-7300

PLANTING SOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

1. SOIL FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE SMILA SOIL UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

2. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REMOVE ANY EXCESS SOIL AND DEBRIS FROM THE SITE. REFER TO THE GRADING PLAN AND GRADING SPECIFICATIONS.

3. LANDSCAPE ARCHITECT MAY REQUEST SOIL ANALYSIS FOR THE TESTING OF PLANTING SOIL UTILIZED BY THE SELECTED LANDSCAPE CONTRACTOR.

FERTILIZER

1. TREES USE ONE 21 GRAM AGRIFORM PLANTING TABLET PER 1/2" TRUNK DIAMETER. SPACE EQUALLY AROUND AT 2/3 DEPTH OF BALL.

2. SHRUBS: AGRIFORM PLANTING TABLETS SHALL BE APPLIED PER THE MANUFACTURERS SUGGESTED APPLICATION RATES.

3. SOD USE FERTILIZER AS PER BELOW WITH TRACE ELEMENTS APPLIED AT THE RATE OF 15 LBS. PER 1000 SQ. FT. PRIOR TO LAYING SOD.

4. POWDERED MYCCHORIZAE MIX; DIE HARD, 'PLANT HEALTH' CARE OR EQUAL) AND LIQUID B-THRIVE (OR EQUAL) SHOULD BE ADDED TO ALL TREES, SHRUBS AND GROUND COVER PLANTING BEDS AS PER MANUFACTERES DIRECTIONS.

5. ALL TREES, SHRUBS, GROUND COVER AND SOD TO USE LESCO 13-3-13 FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS

MULCH

ALL MULCH FOR THE PROJECT SHALL BE ATLAS GROWN. MULCH SHALL BE APPLIED 2" IN TREES AND PALMS AS SPECIFIED, AND ALL PLANTING BEDS, HEDGE AND SHRUBS, KEEP CROWN OF ROOT BALL ABOVE MULCH

SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 386T, BOYNTON BEACH, FLORIDA, 33424-386T, (561) 734-7300

SUBMIT BAG TO LANDSCAPE ARCHITECT FOR APPROVALS.

SABAL PALMS

1. SABAL PALMS SHALL HAVE A MINIMUM TRUNK DIAMETER OF 12" MEASURED 2' ABOVE GROUND.

HEDGES

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE FULL MATERIAL TO PRODUCE A SOLID SCREEN FROM THE TOP OF HEDGE TO THE BASE OF HEDGE.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ADD FILLERS TO THE HEDGE AS NEEDED TO PRODUCE A SOLID FULL TO BASE (F.T.B.), SCREEN TO BE INCLUDED IN THE CONTRACTED PRICE.

3. PLANT MATERIAL WITH WEAK OR THIN FOLIAGE WILL NOT BE ACCEPTED.

VINES

1. MATERIALS & INSTALLATION OF VINE SUPPORTS SHALL BE INCLUDED IN UNIT COST OF VINE SPECIFIED

SODDING

1. THE LANDSCAPE CONTRACTOR SHALL SOD ALL AREAS INDICATED AND NOTED ON THE DRAWINGS.

2. NO SODDING SHALL OCCUR UNTIL ALL AREAS TO BE SODDED ARE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, THE GROUND BROUGHT TO AN EVEN GRADE AND SPECIFIED AMENDMENTS HAVE BEEN ADDED. SEE DETAILS FOR SPECIFIC AMENDMENTS AS PER SOD TYPE. ALL SODDED AREAS WILL BE TREATED WITH 'ROUNDUP' HERBICIDE PER MANUFACTURER'S SPECIFICATIONS AT LEAST TEN DAYS PRIOR TO SOD INSTALLATION.

3. THE SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACTED GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO NOXIOUS WEEDS, OR ANY OTHER OBJECTIONABLE VEGETATION, FUNGUS, INSECTS OR DISEASE. PREPARATION OF AREAS SHALL BE PERFORMED WELL ENOUGH IN ADVANCE TO ALLOW SUFFICIENT TIME TO WORK PROPERLY. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD, CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN, AND OTHER DISEASES.

4. BEFORE BEING CUT AND LIFTED, THE SOD SHALL HAVE BEEN MOVED AT LEAST THREE TIMES WITH A LAWN MOWER, WITH THE FINAL MOWING NOT MORE THAN SEVEN DAYS BEFORE THE SOD IS CUT. THE SOD SHALL BE CAREFULLY CUT INTO UNIFORM DIMENSIONS.

5. SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A TAMPED OR ROLLED EVEN SURFACE.

6. WATERING SHALL BE ACCOMPLISHED UNTIL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT.

7. MAINTENANCE OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL OF LANDSCAPE ARCHITECT.

8. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS.

9. SEE PLANS FOR DETAILS. RE: SOD VARIETIES

10. FOR SOD, APPLY DEPTH OF SOIL AS PER PLANTING DETAILS PAGE. REMOVE ANY STONES FROM TOP OF SUB-GRADE OR COVER STONES WITH ADDITIONAL 2" OF SOIL MIX.

11. ALL SOD AREA SHALL BE TREATED WITH 'ROUND UP' TWO WEEKS PRIOR TO INSTALLATION FOR REMOVAL OF ANY EXISTING OBJECTIONABLE PLANTS. DOSAGE AND APPLICATION PER MANUFACTURERS SPECIFICATIONS.

PLANT LIST

All plants to be Florida Fancy

QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES				
2	Coccoloba diversifolia	Pigeon Plum	per SMI	Not Native
2	Coccoloba uvifera	Sea Grape	per SMI	Native
5	Cocos nucifera	Coconut Palm	16'-20' gw	Not Native
1	Cordia sebestena	Orange Geiger Tree	10' ht, SMI to approve	Native
PALM TREES				
3	Sabal palmetto	Cabbage Palmetto	mixed heights, 14'gw, 18'gw, 20'gw, bootod	Native
SHRUBS				
3	Hibiscus rosa-sinensis 'La France'	Hibiscus 'La France'	Pink, per SMI	Not Native
37	Radermachera x 'Kunming'	Kunming Dwarf Tree Jasmine	6'ht, ffb, hedge, Qty=LF, SMI to approve	Not Native
VINE/ESPALIER				
4	Ficus repens	Creeping Fig	#1, 24"oc, train to wall	Not Native
12	Gelsemium sempervirens	Carolina Jessamine	#7, train to wall	Native
2	Petrea volubilis	Queen's Wreath	#15, trl, train to pergola	Not Native
1	Stephanotis floribunda	Madagascar Jasmine	#15, train to trellis	Not Native
2	Stephanotis floribunda	Madagascar Jasmine	#7, train to wall	Not Native
SHRUB AREAS				
10	Annuals	per client	#1, TBD, (in pots)	Not Native
112	Ilex vomitoria 'Schillings'	Schillings Yaupon Holly	#7, 18"oc	Native
2	Rosmarinus officialis 'Irene'	Irene Trailing Rosemary	(in pots), #1	Not Native
QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
GROUND COVERS				
178	Mimosa strigillosa	Sunshine Mimosa	#1, 12"oc	Native

The Hunt Residence

260 Colonial Lane
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NOTES:
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3	04.29.2024	SECOND SUBMITTAL
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1	04.01.2024	PRE-APPLICATION

DATE	DESCRIPTION
REVISIONS	

FINAL SUBMITTAL

SMI

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140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

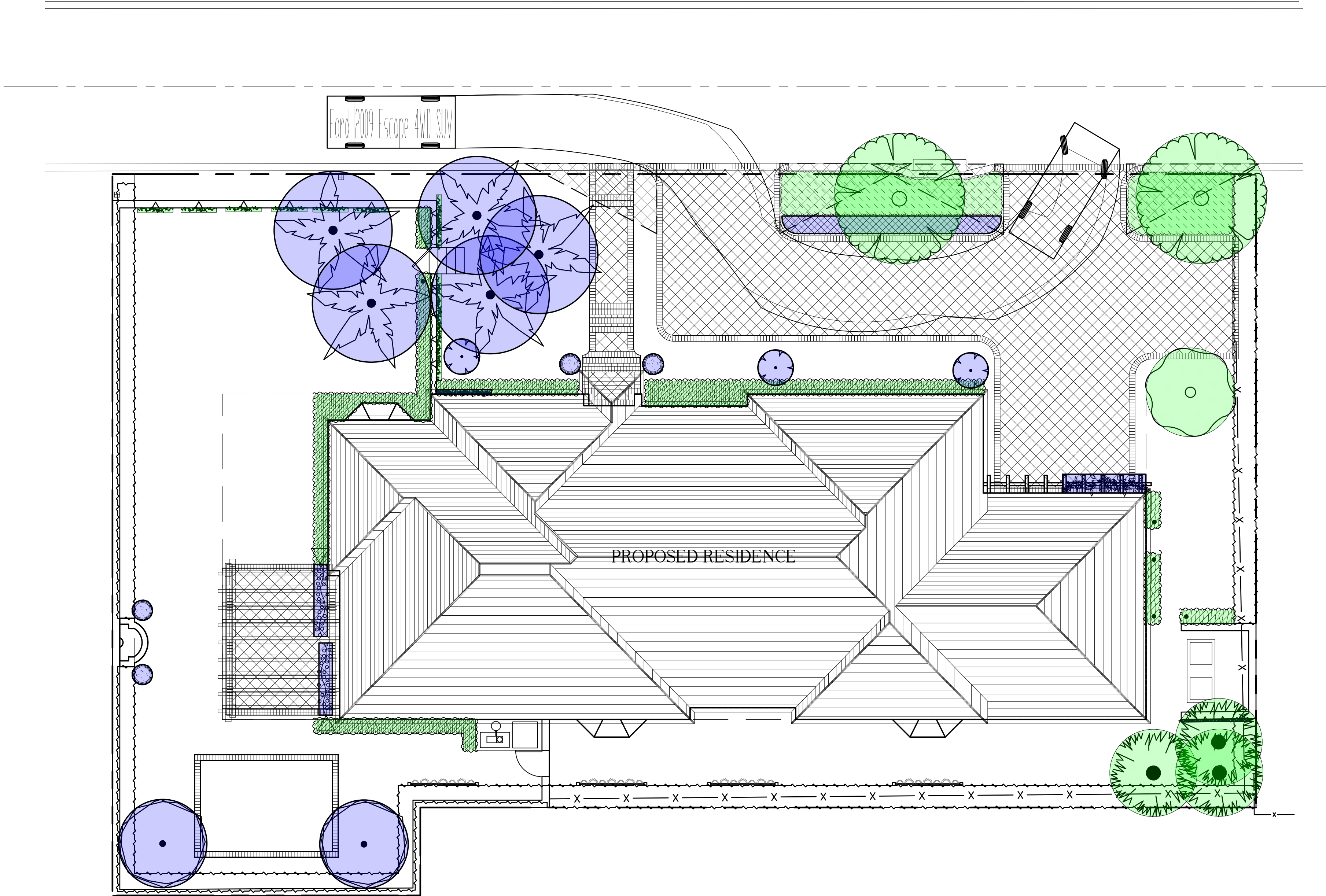
TITLE Planting Specifications		
SCALE NONE	PROJECT NUMBER: 2402	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L3.3 SHEET 3 OF 3	



Know what's below
Call before you dig

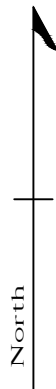
FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



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REVISIONS	DATE	DESCRIPTION
FINAL SUBMITTAL		

SMI

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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Native Calculations		
SCALE 1/8" = 1'-0"	PROJECT NUMBER 2402	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. N-1 SHEET 1 OF 1	

Native Coverage Calculations

Total coverage of new plantings 2,130 sf (100%)

Coverage by native plants 1,112 sf (52.2%)



Newly planted non-native plant material



Newly planted native plant material

Areas not shown in color are either existing to remain, building, hardscape, or sod



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend	
1	Property Address:	260 Colonial Lane, Palm Beach, FL
2	Lot Area (sq. ft.):	9,710 Sq. Ft.
3		REQUIRED PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	4,370 Sq. Ft. (45% min.) 4,370 Sq. Ft. (45%)
5	LOS to be altered (Sq Ft and %)	N/A 9,710 Sq. Ft. (100%)
6	Perimeter LOS (Sq Ft and %)	2,185 Sq. Ft. (50% min.) 2,934 Sq. Ft. (65%)
7	Front Yard LOS (Sq Ft and %)	1,300 Sq. Ft. (40% min.) 1,827 Sq. Ft. (58%)
8	Native Trees %	30% (number of trees) 30%
9	Native Shrubs & Vines %	30% (number of shrubs & vines) 83%
10	Native Groundcover %	30% (groundcover area) 100%

To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)

OR

[the Florida Native Plant Society Native Plants for Your Area List](#)

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023

REV BF 20230727

ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
TYP = TYPICAL

GRADING
BOS = BOTTOM OF STEPS
ELEV = ELEVATION
FFE = FINISHED FLOOR ELEVATION
TOS = TOP OF STEPS
TOW = TOP OF WALL

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



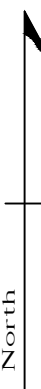
Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



SMI Landscape Architecture, LLC. shall retain all common law, statutory and other reserved rights, including the copyright for these drawings. These drawings shall not be used by the recipients or others except by agreement in writing and with appropriate compensation, waiver of claims, and indemnification to SMI Landscape Architecture, LLC.

NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST 3' BELOW GRADE TO ALLOW FOR PLANTINGS / ROOT BALLS
-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

4	05.10.2024	FINAL SUBMITTAL
3	04.29.2024	SECOND SUBMITTAL
2	04.11.2024	FIRST SUBMITTAL
1	04.01.2024	PRE-APPLICATION

REVISIONS	DATE	DESCRIPTION
-----------	------	-------------

FINAL SUBMITTAL

SMI

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
North/South Elevation View		
SCALE	PROJECT NUMBER:	
AS NOTED	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	E-1 SHEET 1 OF 2	



1 NORTH ELEVATION
E-1



2 SOUTH ELEVATION
E-1

SCALE: N.T.S

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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE East/West Elevation View		
SCALE AS NOTED	PROJECT NUMBER: 2402	
DATE: 05.10.2024	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. E-2 SHEET 2 OF 2	



1 EAST ELEVATION
E-2 SCALE: N.T.S



2 WEST ELEVATION
E-2 SCALE: N.T.S

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GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
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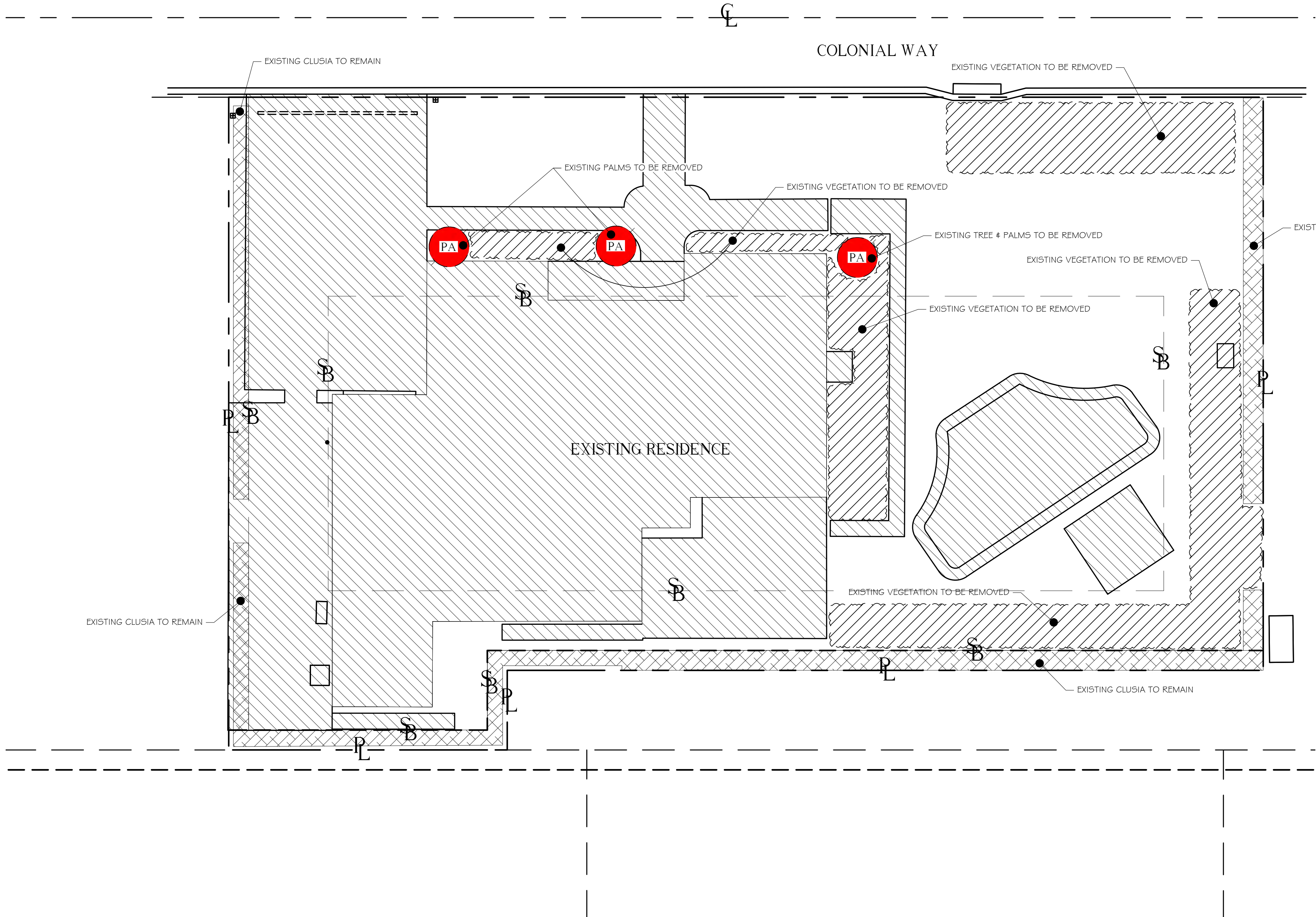
LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



Know what's below
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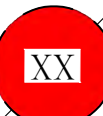

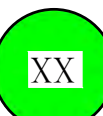
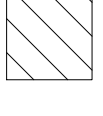
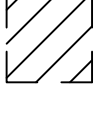

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Abbreviations Key	
Abbrvtn	Scientific Name
PA	PALM

Relocation Key

-  Remove
-  Relocate
-  Remain
-  HARDSCAPE TO BE REMOVED
-  VEGETATION TO BE REMOVED
-  VEGETATION TO REMAIN

The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Pre-Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	D-1 SHEET 1 OF 2	

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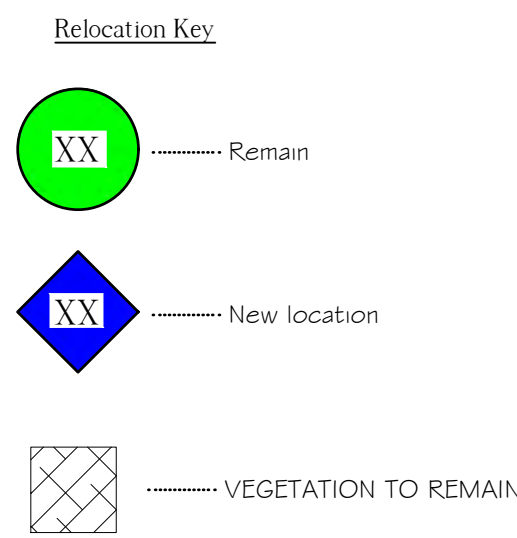
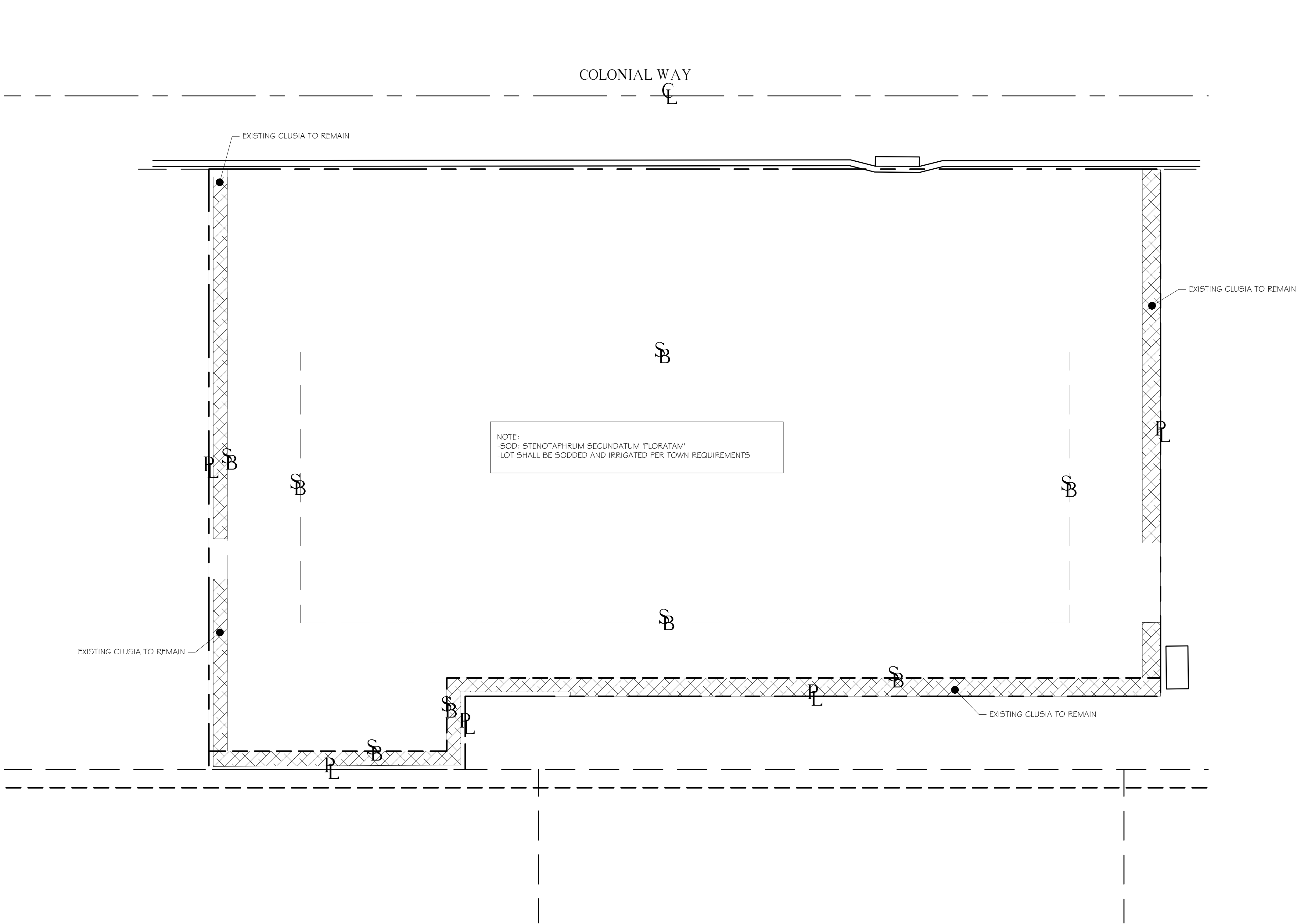
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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Post Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	D-2 SHEET 2 OF 2	

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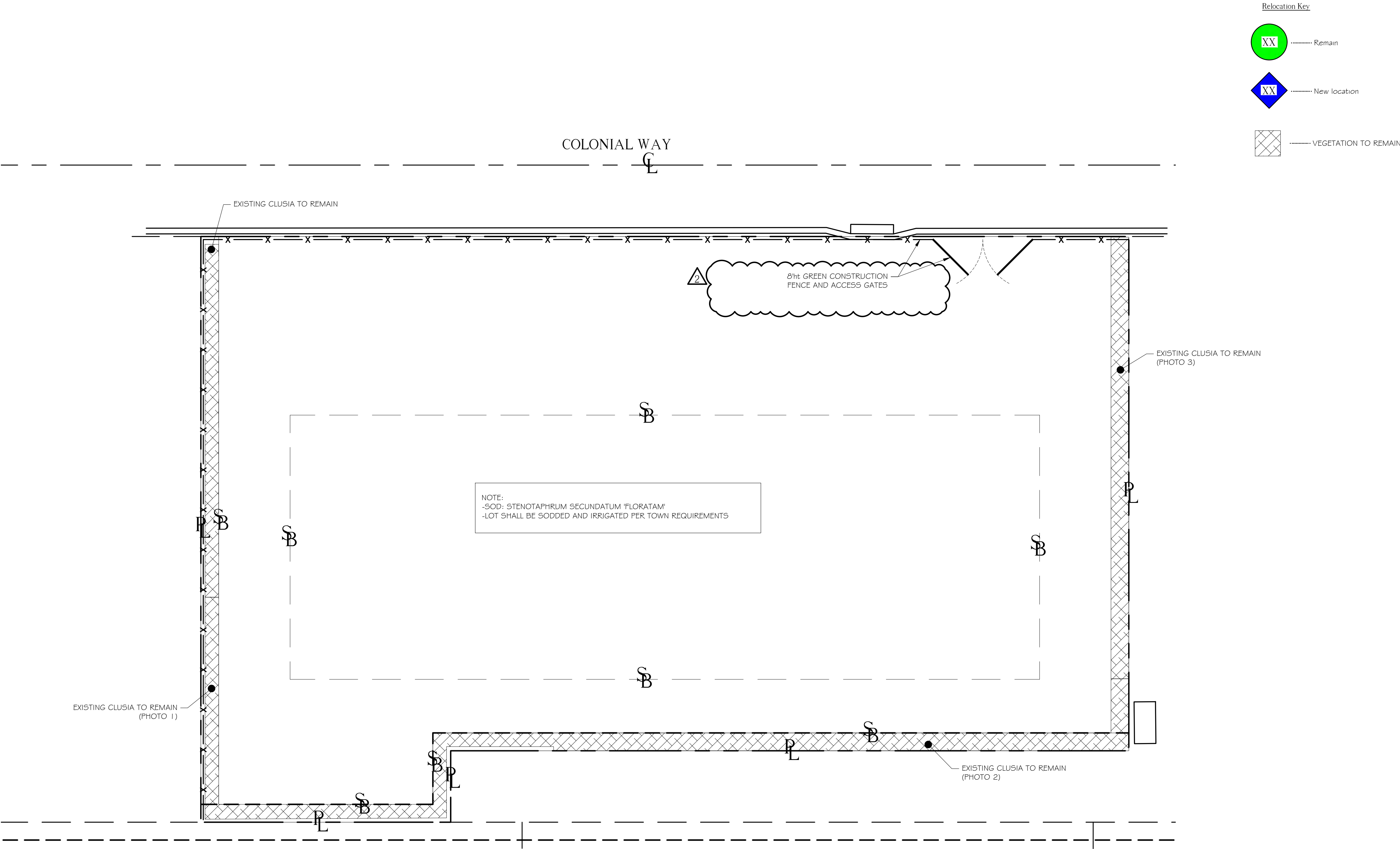
LANDSCAPE ARCHITECT TO APPROVE
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PRIOR TO INSTALLATION



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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Screening Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
05.10.2024	CFV	CFV
SEAL	DRAWING NO.	
	S-1 SHEET 1 OF 1	

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PHOTO 1
WEST SIDE



PHOTO 2
SOUTH SIDE



PHOTO 3
EAST SIDE

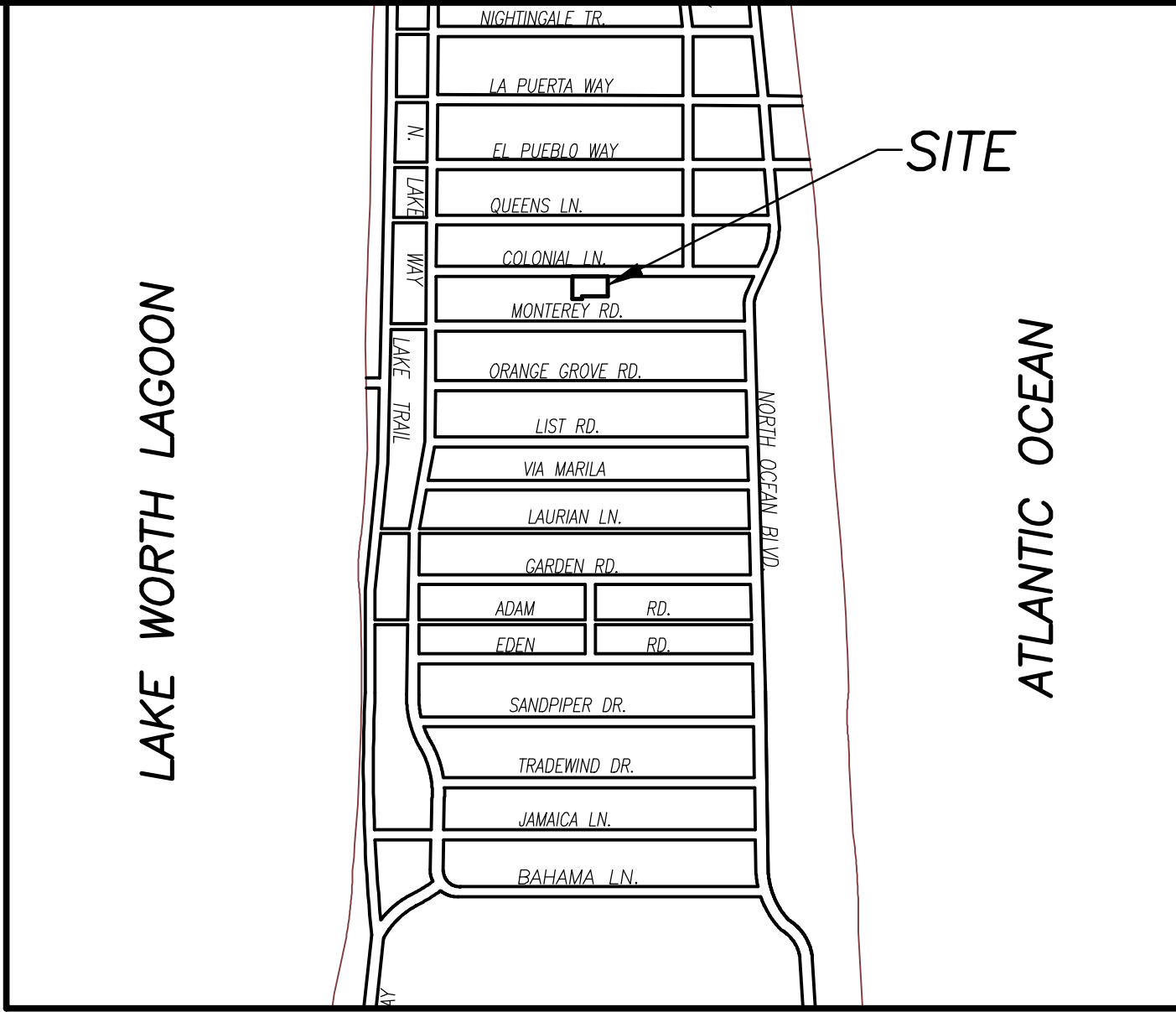
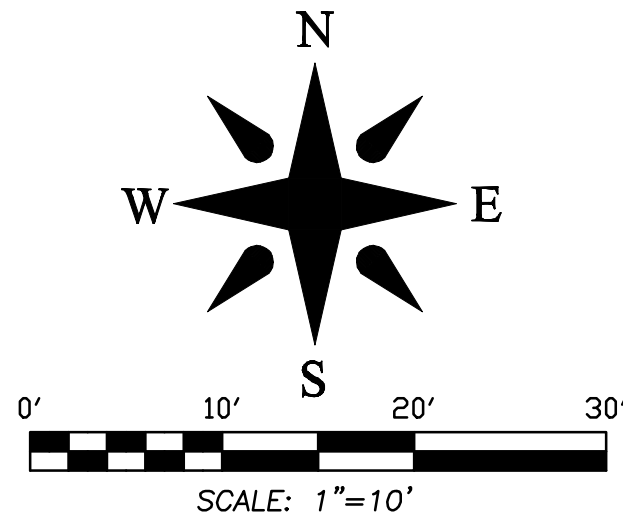
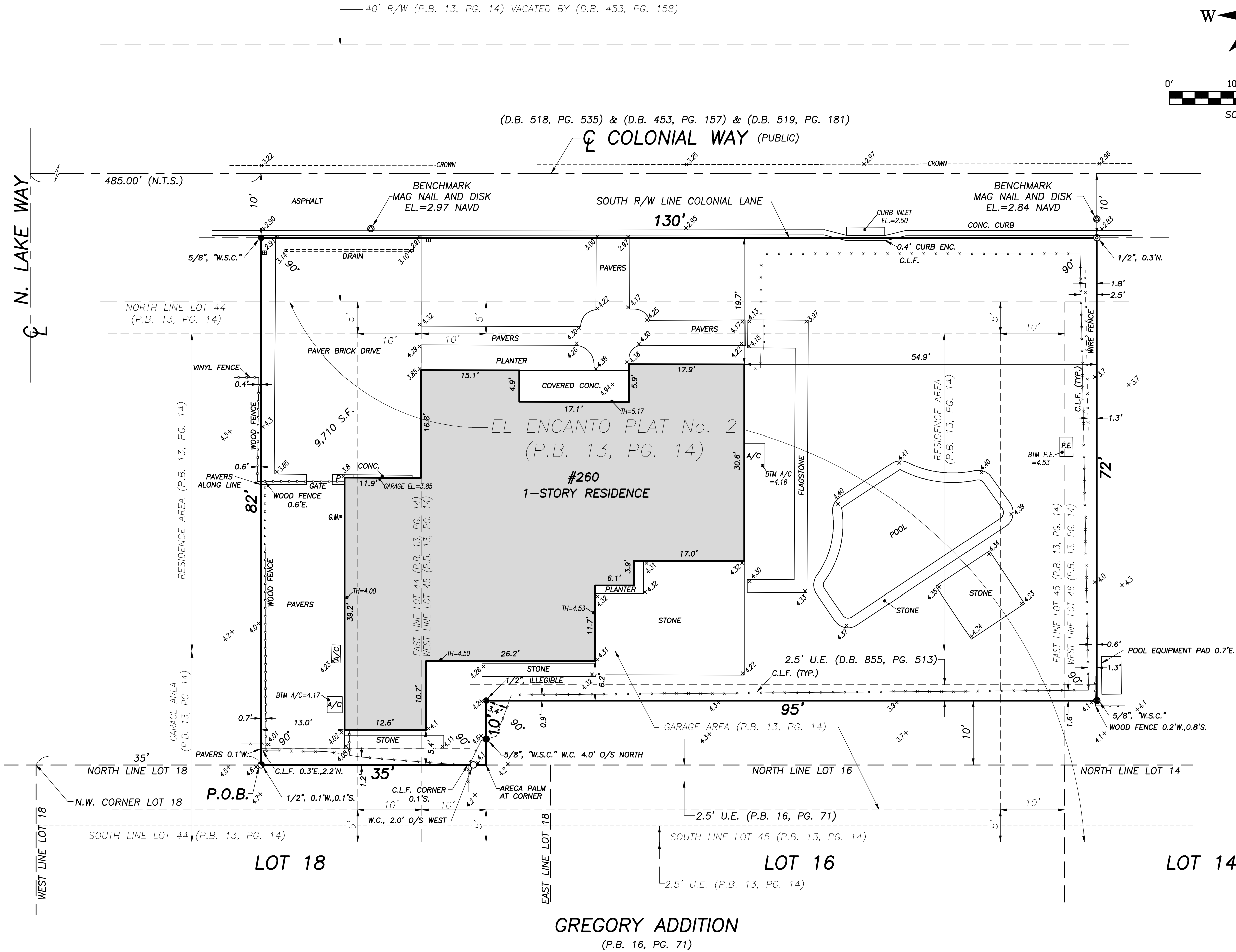
LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



Know what's below
Call before you dig

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW. = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT. = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
F.O.C. = FACE OF CURB
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O/H. = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S. = OFFSET
P. = PLANTER
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O. = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R/W. = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D. = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH. = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C. = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
B. = BASELINE
C. = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
□ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = 5/8" ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
● = IRON ROD FOUND (AS NOTED)
● = NAIL FOUND
● = NAIL & DISK FOUND (AS NOTED)
● = MAG NAIL & DISK SET (LB #4569)
— = PROPERTY LINE
— = UTILITY POLE
— = FIRE HYDRANT
— = WATER METER
— = WATER VALVE
— = LIGHT POLE
— = PINE TREE
* = SABAL PALM



BOUNDARY SURVEY FOR:
MEREDITH E. HUNT AND MATTHEW DEATLEY

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

Meredith E. Hunt and Matthew DeAtley
First American Title Insurance Company
Kochman & Ziska, PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
260 Colonial Lane
Palm Beach, FL 33480

LEGAL DESCRIPTION:
All that tract or parcel of land beginning at a point in the North line of Lot Eighteen, as shown on the Plat of GREGORY ADDITION TO THE TOWN OF PALM BEACH, FLORIDA, on file in the Office of the Clerk of the Circuit Court of Palm Beach County, Florida, in Plat Book 16, Page 71, which point is 35 feet Easterly from the Northwesterly corner of said Lot 18;
thence in an Easterly direction, along the Northerly line of said Lot 18 for a distance of 35 feet;
thence at right angles running in a Northerly direction for a distance of 10 feet to a point;
thence at right angles and running in an Easterly direction along a line parallel to the Northerly line of Lot 18, 16 and 14 of said GREGORY ADDITION, for a distance of 95 feet to a point;
thence at right angles and running in a Northerly direction for a distance of 72 feet to a point in the South side of Colonial Lane;
thence in a Westerly direction along the South side of Colonial Lane for a distance of 130 feet to a point;
thence at right angles running in a Southerly direction for a distance of 82 feet to the POINT OF BEGINNING.

TITLE COMMITMENT REVIEW					
CLIENT:	MEREDITH E. HUNT AND MATTHEW DEATLEY	COMMITMENT NO.:	1062-4765839	DATE:	MAY 13, 2020
REVIEWED BY:	CRAIG L. WALLACE	JOB NO.:	16-1490.3		
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT
1 TO 8	N/A	Standard Exceptions			
9	N/A	Any Lien			
10a	PB 13, PG 14	Plat of EL ENCANTO PLAT NO. 2	•		
10b	DB 453, PG 158	Ordinance by the Town of Palm Beach (abandonment of 40' right-of-way)	•		
10c	DB 453, PG 157	Resolution by the Town of Palm Beach	•		
10d	DB 518, PG 535	Dedication of the perpetual use by the public	•		
10e	DB 519, PG 181	Quit Claim Deed	•		
11	DB 855, PG 513	Perpetual easement for utility purposes	•		

FLOOD ZONE:
This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0393F, dated 10/05/2017

- NOTES:
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1062-4765839 issued by First American Title Insurance Company, dated May 13, 2020. This office has made no search of the Public Records.
 - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
 - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.



CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 10/25/2023

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS:
10/25/23 SURVEY AND TIE-IN UPDATE B.M./M.B. 16-1490.4 PB354/63
06/09/20 SURVEY AND TIE-IN UPDATE B.M./M.B. 16-1490.3 PB294/38
12/17/16 SURVEY AND TIE-IN UPDATE J.C./M.B. 16-1490.2 PB232/24

BOUNDARY SURVEY FOR:

MEREDITH E. HUNT AND MATTHEW DEATLEY



FIELD	B.M.	JOB NO.	16-1490	F.B.	PB226 PG. 41
OFFICE	M.B.	DATE	8/11/16	DWG. NO.	16-1490
C.K.D.	C.W.	REF.	16-1490.DWG	SHEET	1 OF 1