



KIRCHHOFF & ASSOCIATES ARCHITECTS

1907 COMMERCE LANE, SUITE 106
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PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL



THOMAS M. KIRCHHOFF, FL. REG. NO. AR0014635
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

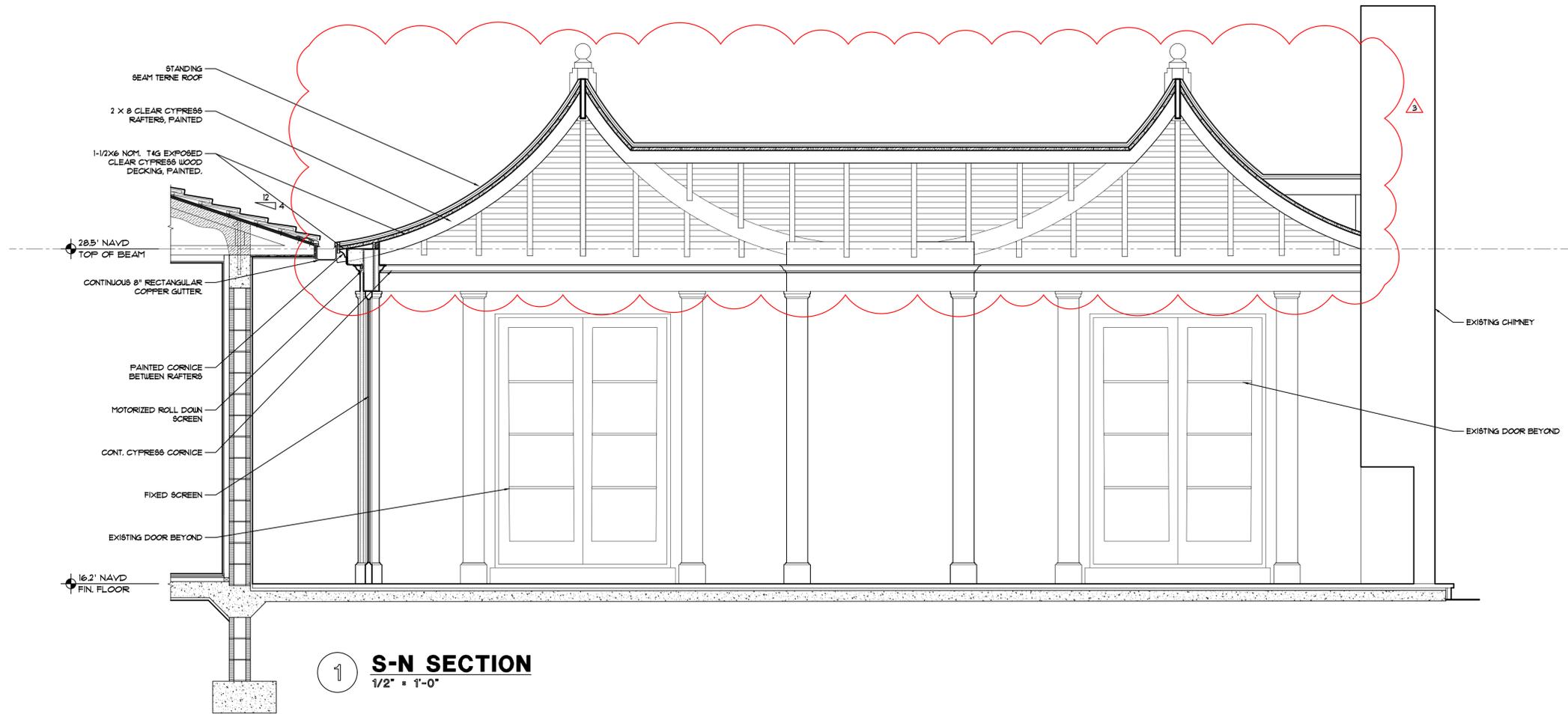
- 1 JANUARY 29, 2024
- 2 APRIL 8, 2024

PROJECT NUMBER: 2302
ISSUED FOR: PERGOLA
DATE: SEPTEMBER 2023
DATE PLOTTED:

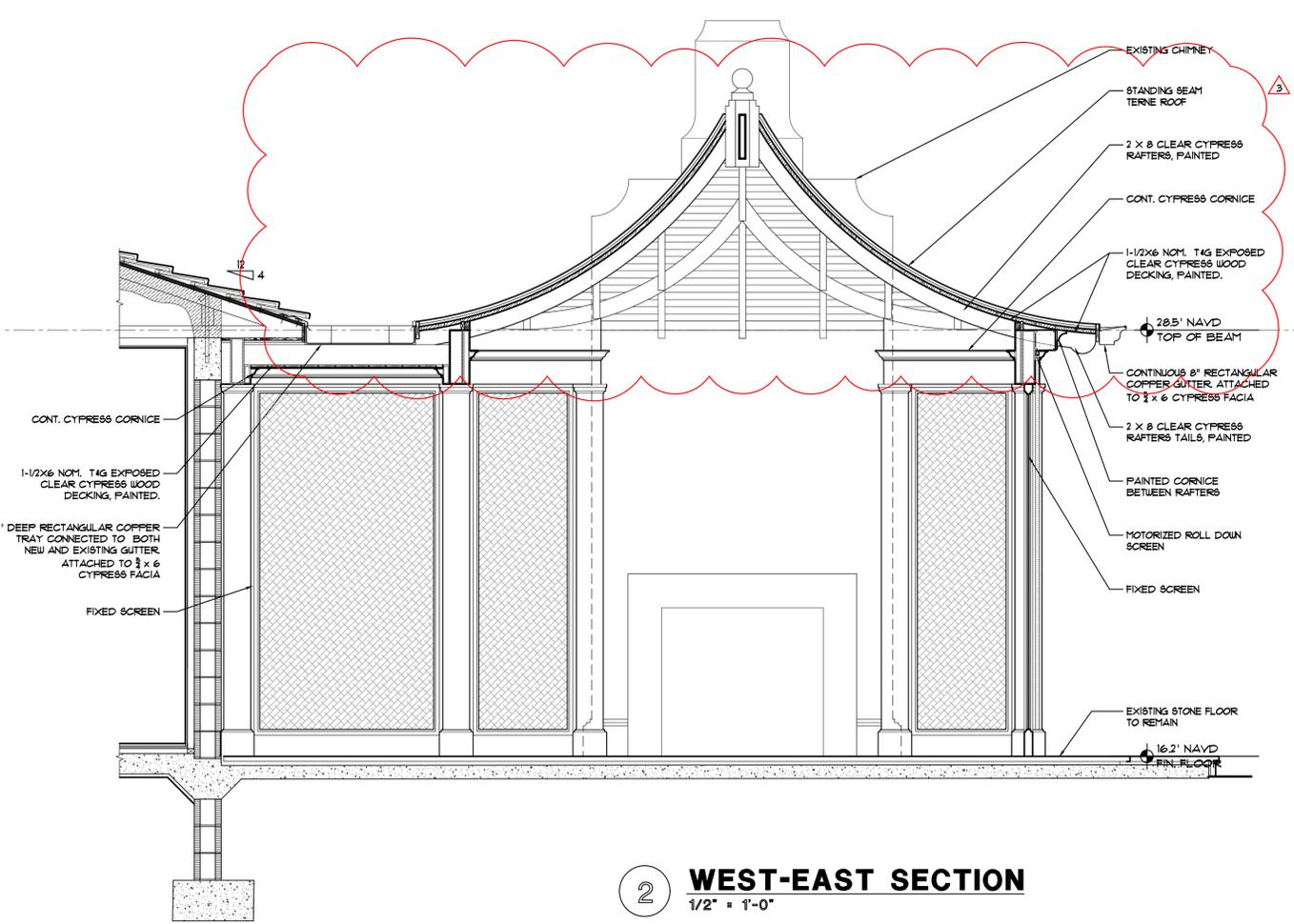
DRAWN BY: AA
CHECKED BY: TK
DRAWING NUMBER:

A5.1

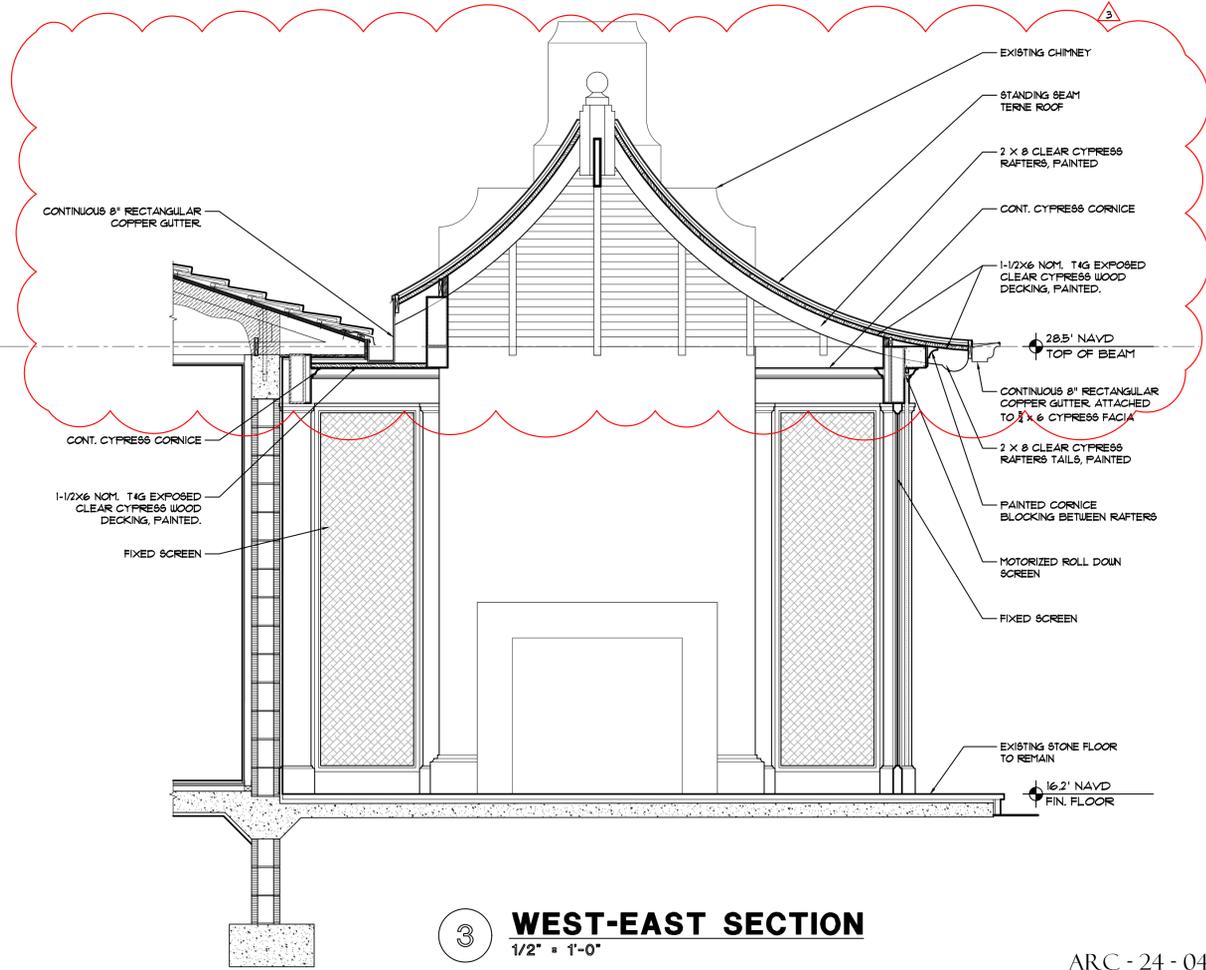
SCALE
AS NOTED



1 **S-N SECTION**
1/2" = 1'-0"

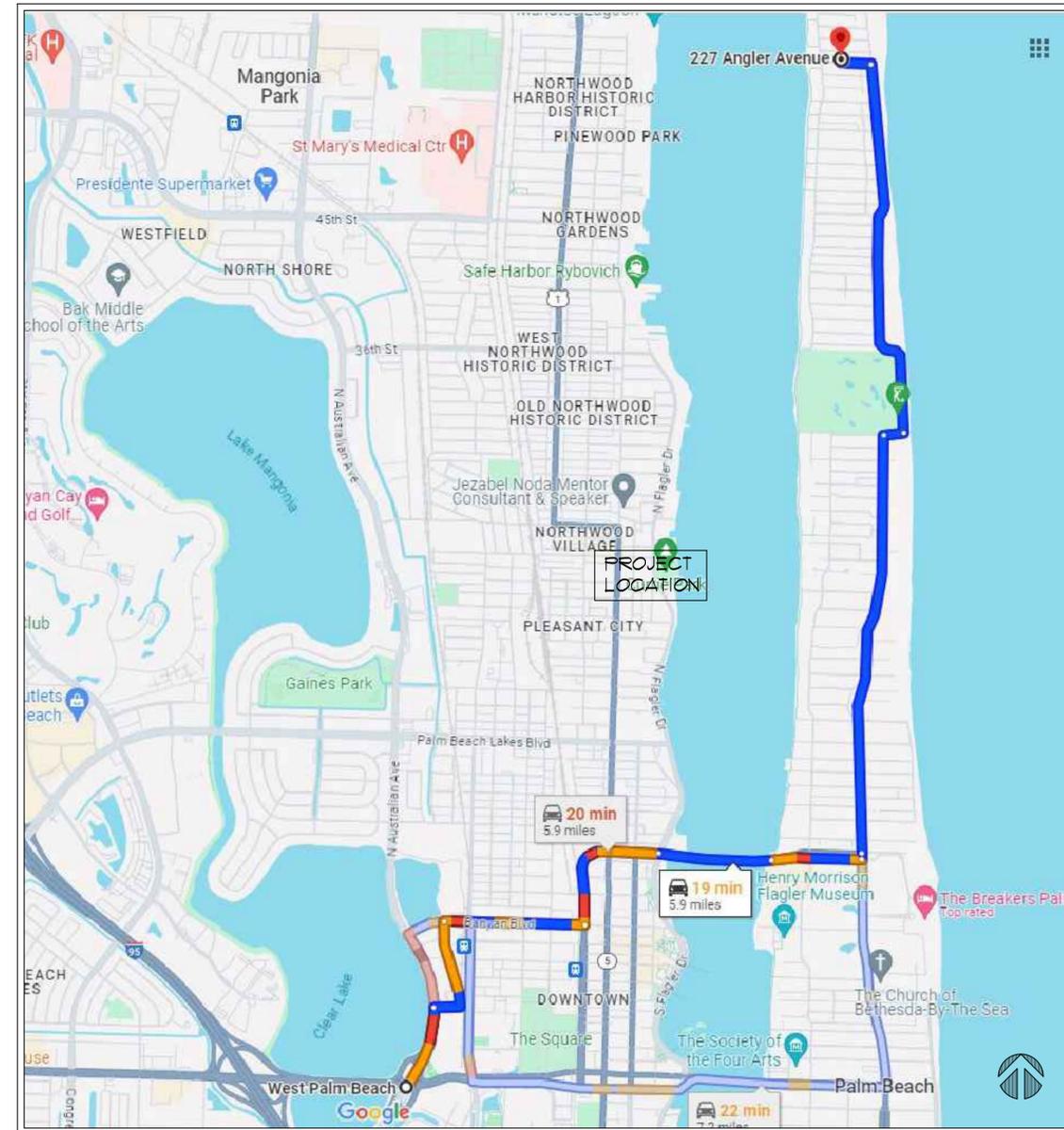


2 **WEST-EAST SECTION**
1/2" = 1'-0"



3 **WEST-EAST SECTION**
1/2" = 1'-0"

ARC - 24 - 040
ZON - 24 - 046



GOOGLE MAPS - JANUARY 2024

1 TRUCK INGRESS/EGRESS ROUTE

- GENERAL NOTES**
1. THE BEST ROUTE IS INDICATED VIA THE FLAGLER MEMORIAL BRIDGE.
 2. TRUCK DRIVERS WILL BE COGNIZANT OF SEASONS WHEN USE OF THE RIGHT-OF-WAY IS LIMITED/ RESTRICTED.
 3. 10 TRUCK DELIVERIES WILL ACCESS THE PROPERTY OVER 3 MONTHS.

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PERGOLA RENOVATION FOR:
THOMAS RESIDENCE
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 PALM BEACH, FLORIDA 33480

SEAL

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REVISIONS

PROJECT NUMBER: 2302
 ISSUED FOR: PROGRESS DATE: SEPTEMBER 2023
 DATE PLOTTED:
 DRAWN BY: CG CHECKED BY: TK
 DRAWING NUMBER:

A9.1
 SCALE: AS NOTED

48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



**Gruber Consulting
Engineers, Inc.**
5075 AMBER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561.312.2041
office@grubercs.com

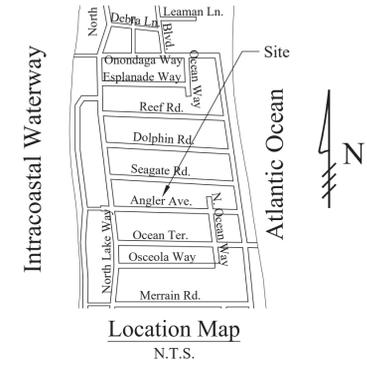
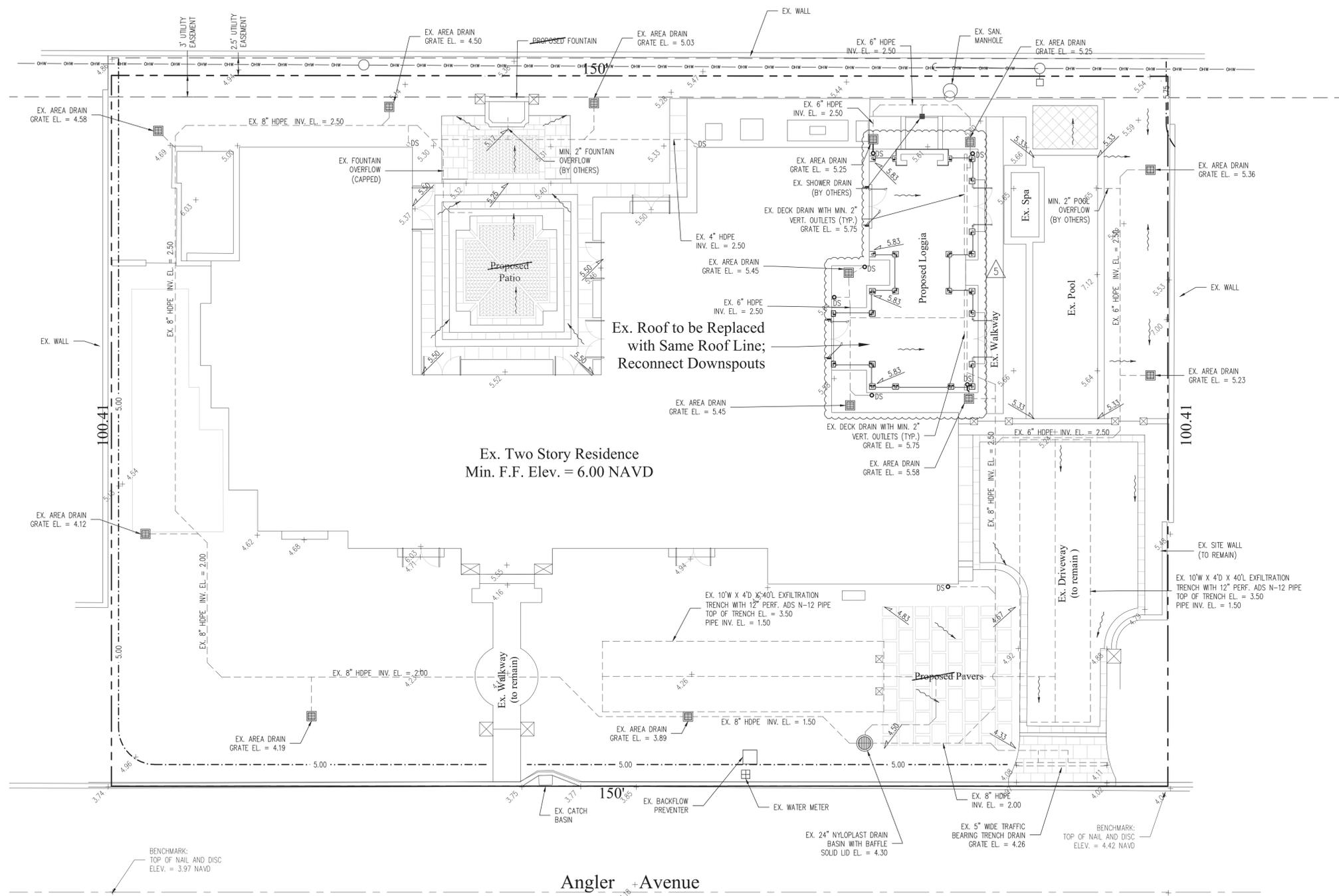
Project Information	
Project No.	2020-0068
Issue Date	07/17/2020
Scale	1/8" = 1'-0"
Drawn By	KM
Checked By	CG

Site Grading & Drainage Plan For:
Proposed Renovation
Palm Beach, Florida
227 Angler Avenue

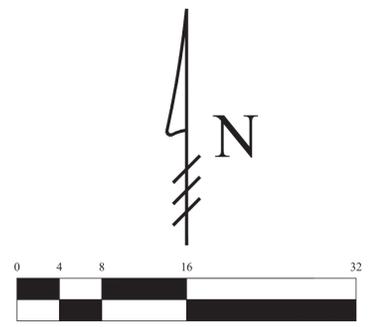
Revisions	
1	09/02/2020
2	04/26/2021
3	12/14/2021
4	01/12/2024
5	02/08/2024
6	
7	
8	
9	
10	

Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1



- Legend**
- 5.7 + EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
 - 6.00 PROPOSED ELEVATION (NAVD-88)
 - 7.00- PROPOSED ELEVATION CONTOUR (NAVD-88)
 - FLOW DIRECTION
 - EXFILTRATION TRENCH
 - AREA DRAIN
 - 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION
Total Property Area = 15,069 sq.ft.
Drainage Area Impervious Surface (existing residence, driveway, walkways, pool, concrete) = 8,720 sq.ft.
Drainage Area Pervious Surface = 6,349 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME
The retention volume is estimated using the Rational Method (Q=CiA) where:
C = 1.0 (impervious surface)
C = 0.2 (pervious surface)
i = 2 in/hr
Impervious Surface Runoff Volume: 1.0 x 2 in/hr x 8,720 sq.ft. x 1 ft/12 in. = 1,453 cu.ft.
Pervious Runoff Volume: 0.2 x 2 in/hr x 6,349 sq.ft. x 1 ft/12 in. = 212 cu.ft.
Total Volume to be Retained = 1,665 cu.ft.

C. EXISTING EXFILTRATION TRENCH SIZING
L = Total Length of Trench Provided = 80 ft
W = Trench Width = 10 ft
K = Hydraulic Conductivity = 0.000613 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 2.76 ft
DU = Un-Saturated Trench Depth = 2.00 ft
DS = Saturated Trench Depth = 2.00 ft
V = Volume Treated = 8,939 cu.ft.

- Notes:**
- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
 - 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
 - 3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
 - 4) Contractor is responsible for installing and maintaining erosion control measures during construction.
 - 5) Video inspection of storm drainage system required prior to installation of sod.
 - 6) Existing drainage system shown per site grading/drainage plan by Doug Winter Companies, Inc. dated 5/24/05
 - 7) Existing site drainage to be cleaned, video inspected and re-certified prior to completion of project.

- 1 09/02/20 REVISE PLAN PER TOWN OF PALM BEACH COMMENTS
- 2 04/26/21 REVISE DECK DRAINAGE ON EAST SIDE OF RESIDENCE
- 3 12/14/21 UPDATE PLAN WITH AS-BUILT DRAINAGE CONFIGURATION
- 4 01/12/24 UPDATE PLAN FOR COVERED PATIO ROOF REPLACEMENT PROJECT
- 5 02/08/24 UPDATE PLAN BACKGROUND; ADJUST STORM DRAINAGE

Digitally signed
by Chad M Gruber
Date: 2024.02.08
16:07:50 -05'00'

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Site Plan by
Kirchhoff & Associates Architects
Received 2/6/24

ARC-24-040
ZON-24-046
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MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
227 ANGLER AVENUE
PALM BEACH, FLORIDA

SCALE: 3/16" = 1'-0"

11 JANUARY 2024



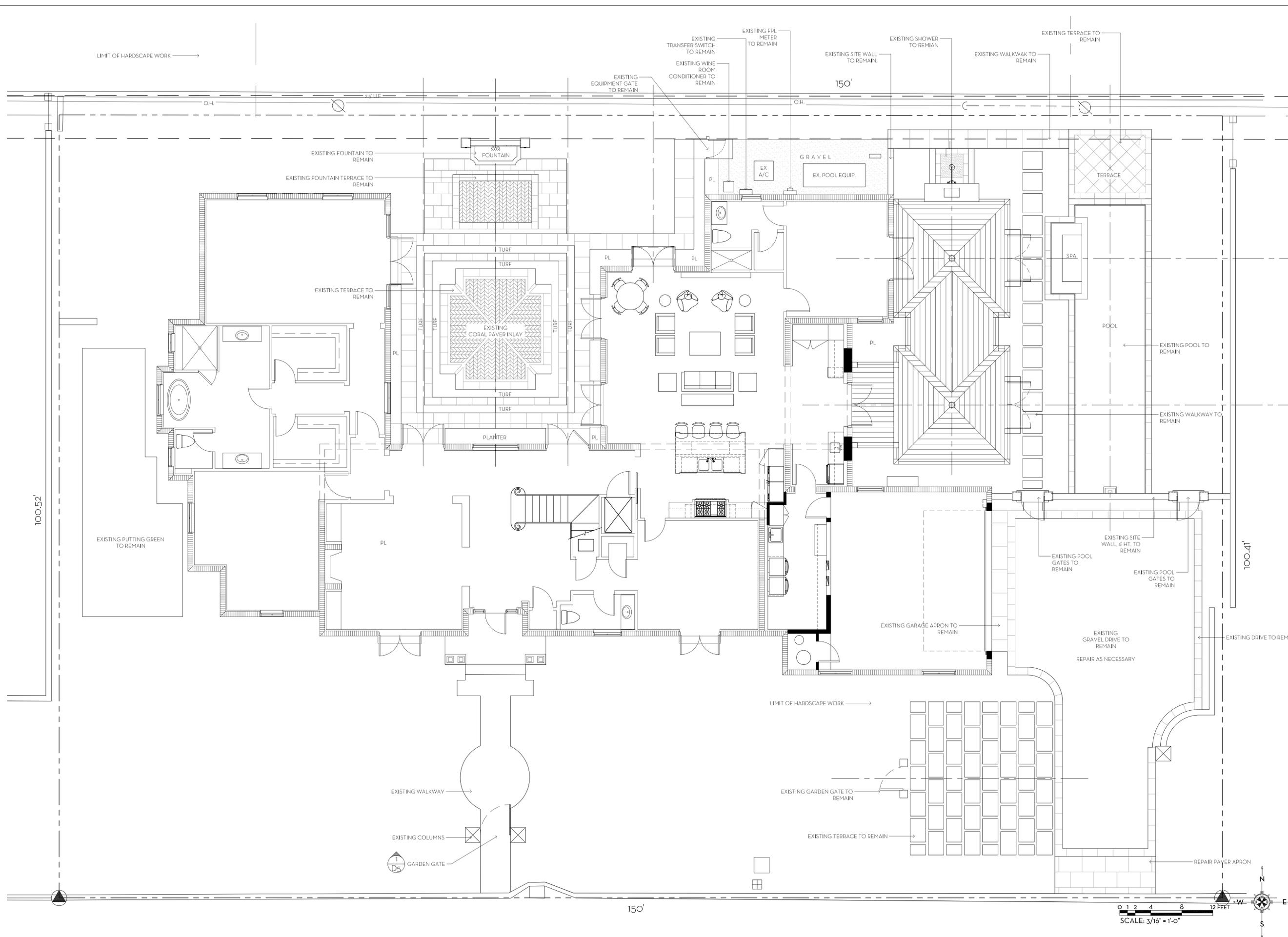
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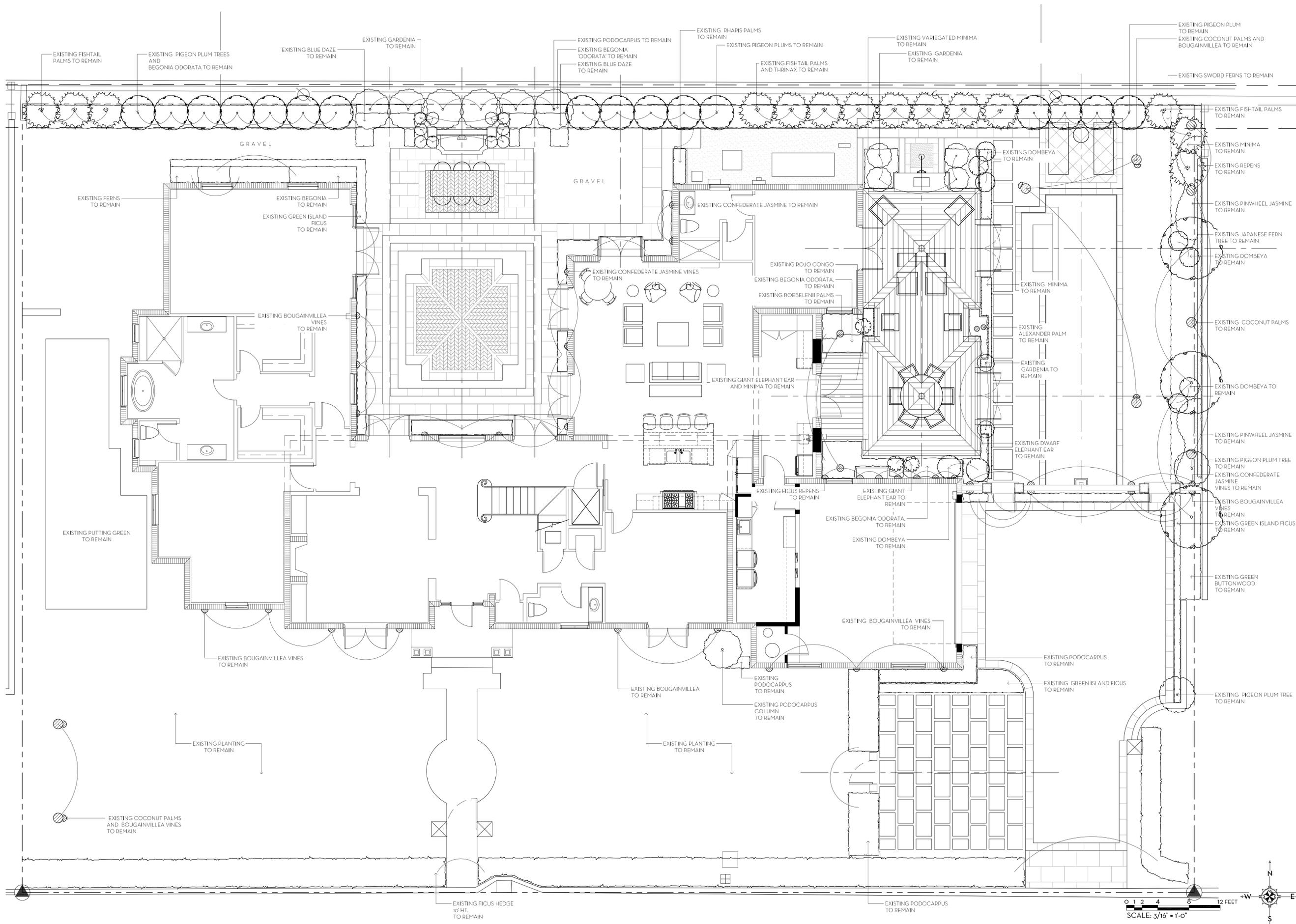
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LANDSCAPE PLAN
227 ANGLER AVENUE
 PALM BEACH, FLORIDA

SCALE: 3/16" = 1'-0"

11 JANUARY 2024



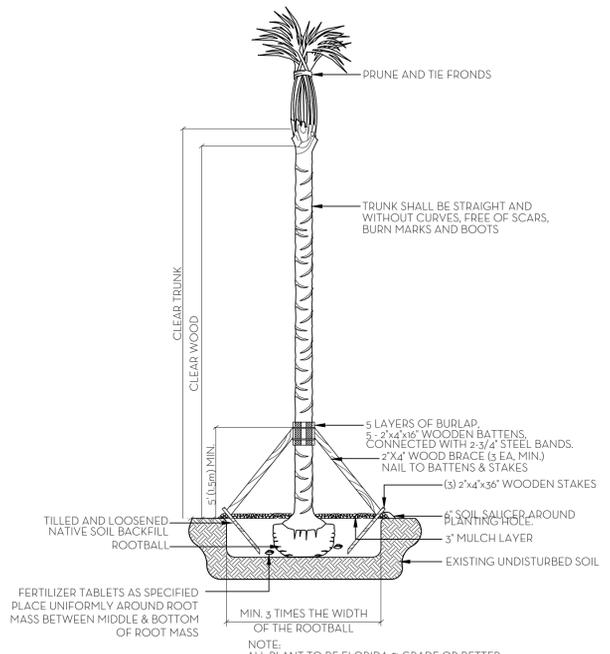
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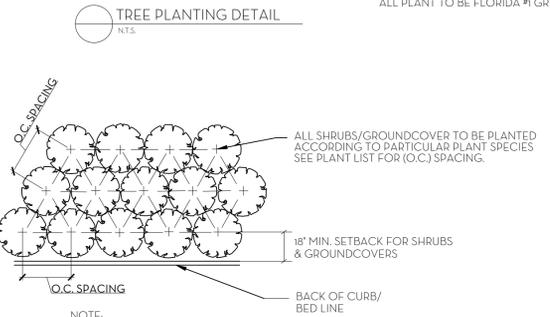
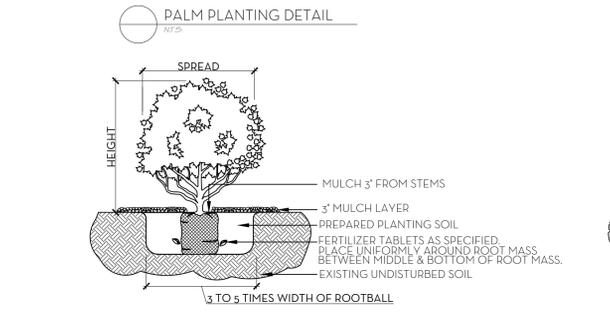
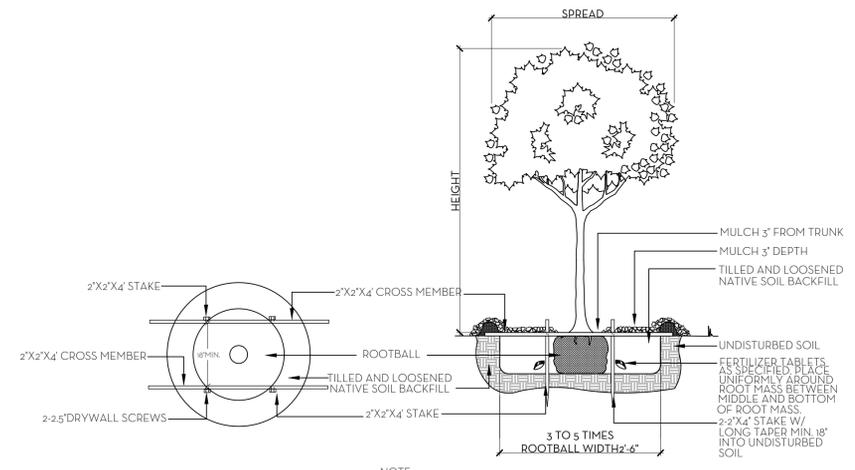
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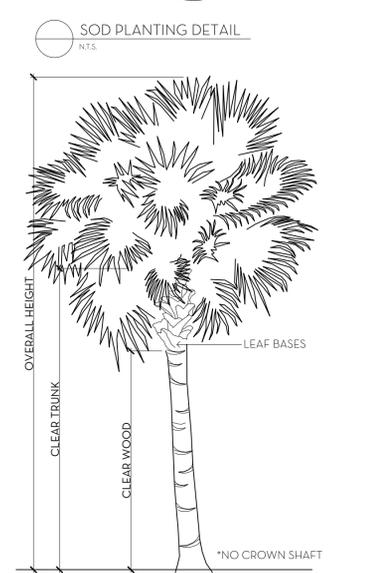
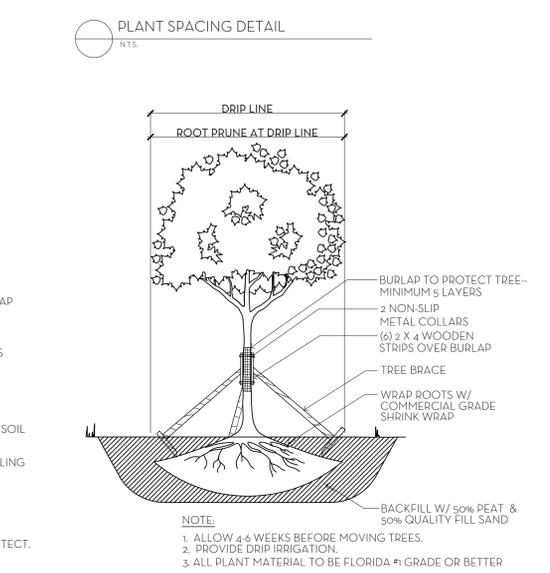
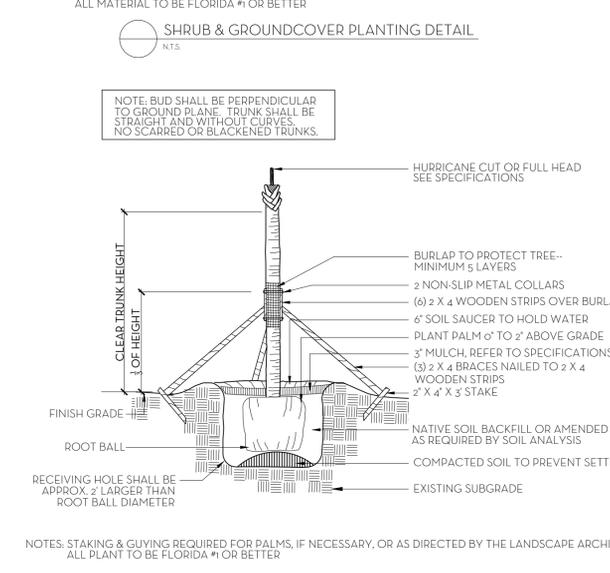
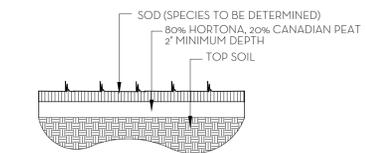
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- NOTES:**
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOTBALL.
 6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.



- SOD NOTES:**
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4"-5" BELOW GRADE
 2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTONA AND 20% CANADIAN PEAT, 2" MIN.
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



FERTILIZATION

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN:	1 - 21 GRAM TABLET
3 GALLON CAN:	2 - 21 GRAM TABLETS
5 GALLON CAN:	3 - 21 GRAM TABLETS
7 GALLON CAN:	4 - 21 GRAM TABLETS
TREES:	3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER
PALMS:	7 - 21 GRAM TABLETS

GROUND COVER AREAS

ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

NO PLANTING CHANGES ARE PROPOSED AS PART OF THIS APPLICATION. ANY DISTURBED OR DAMAGED PLANTING SHALL BE REPLACED IN KIND

Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Property Address:	Landscape Legend	
1	227 Angler		
2	Lot Area (sq. ft.):	15,070	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	6,781.5 sf (45%)	6,781.5 sf (45%)
5	LOS to be altered (Sq Ft and %)	N/A	0%
6	Perimeter LOS (Sq Ft and %)	3,390.8 sf (50%)	3,549 (76.77%)
7	Front Yard LOS (Sq Ft and %)	1,500 sf (40%)	2,879 sf (52.34%)
8	Native Trees %	30% (number of trees)	N/C
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	N/C
10	Native Groundcover %	30% (groundcover area)	N/C

To determine qualifying native vegetation use either:
the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List
OR
the Florida Native Plant Society Native Plants for Your Area List

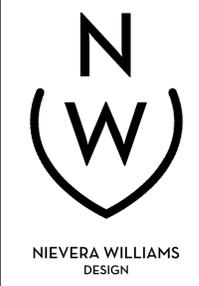
Note: Modification of 25% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023 REV BF 20230727

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6666856

PLANT LIST AND DETAILS
227 ANGLER AVENUE
PALM BEACH, FLORIDA

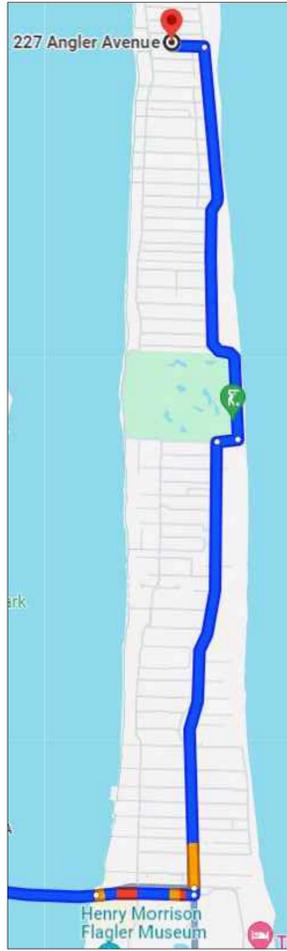


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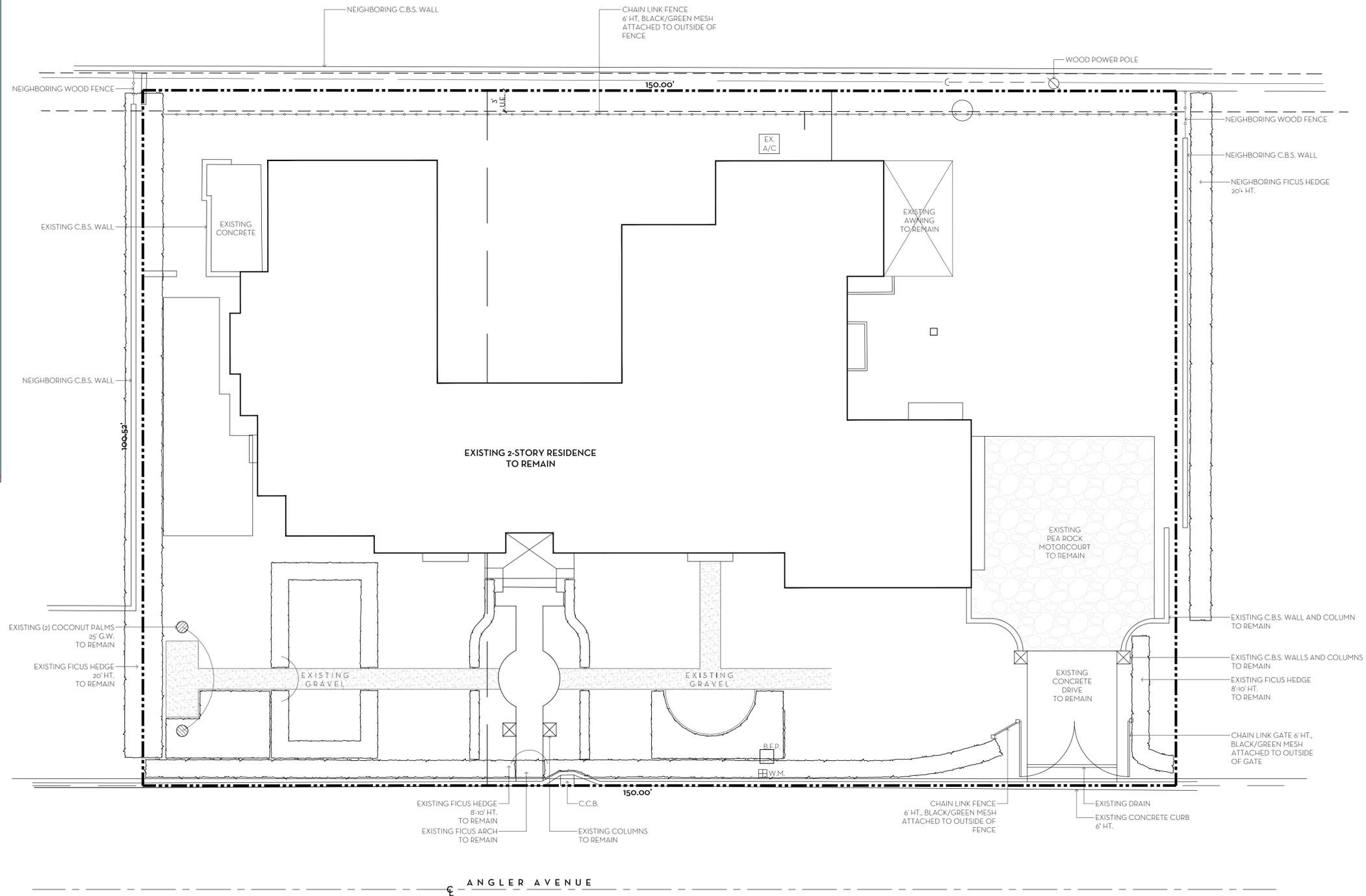
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LP2
ARC-24-040
ZON-24-046

11 JANUARY 2024



TRUCK LOGISTICS:
 MAX. TRUCK LENGTH = 30 FEET
 ENTER VIA THE NORTH BRIDGE TO COUNTY ROAD. NORTH ON COUNTY/OCEAN BLVD TO ANGLER AVE.
 ESTIMATED NUMBER OF TRIPS FOR LARGE TRUCKS: 25



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 6666856

CONSTRUCTION SCREENING PLAN
227 ANGLER AVENUE
 PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

11 JANUARY 2024



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