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NEW LANDSCAPE & HARDSCAPE

171 EL PUEBLO WAY PALM BEACH, FLORIDA



BGS
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& Engineering

1016 Clare Avenue
West Palm Beach, FL 33401
(561) 602-6277
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LA6666674

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ARC-24-061

MAY 29, 2024 MEETING

ZON-24-068

JUNE 12, 2024 MEETING

ARCHITECT:

D. Stanley Dixon
2300 Peachtree Road, Suite C-101
Atlanta, Georgia
(404) 574-1430

SURVEYOR:

Wallace Surveying Corp.
Craig Wallace
5553 Village Boulevard
West Palm Beach, FL 33407
(561) 640-4551

CIVIL ENGINEER:

BGS Landscape Architecture & Engineering, PLLC
Jason Brydges
960 Busti Avenue
Buffalo, New York 14213
(716) 830-8636

SCOPE OF WORK:

- Demolish Existing Pool & Hardscape
- Demolish Existing Landscape
- Install New Pool & Hardscape
- Install New Landscape

JOB #1022

171 El Pueblo Way

Palm Beach


Florida

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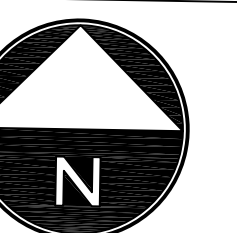
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VICINITY LOCATION MAP & LOCATION PLAN

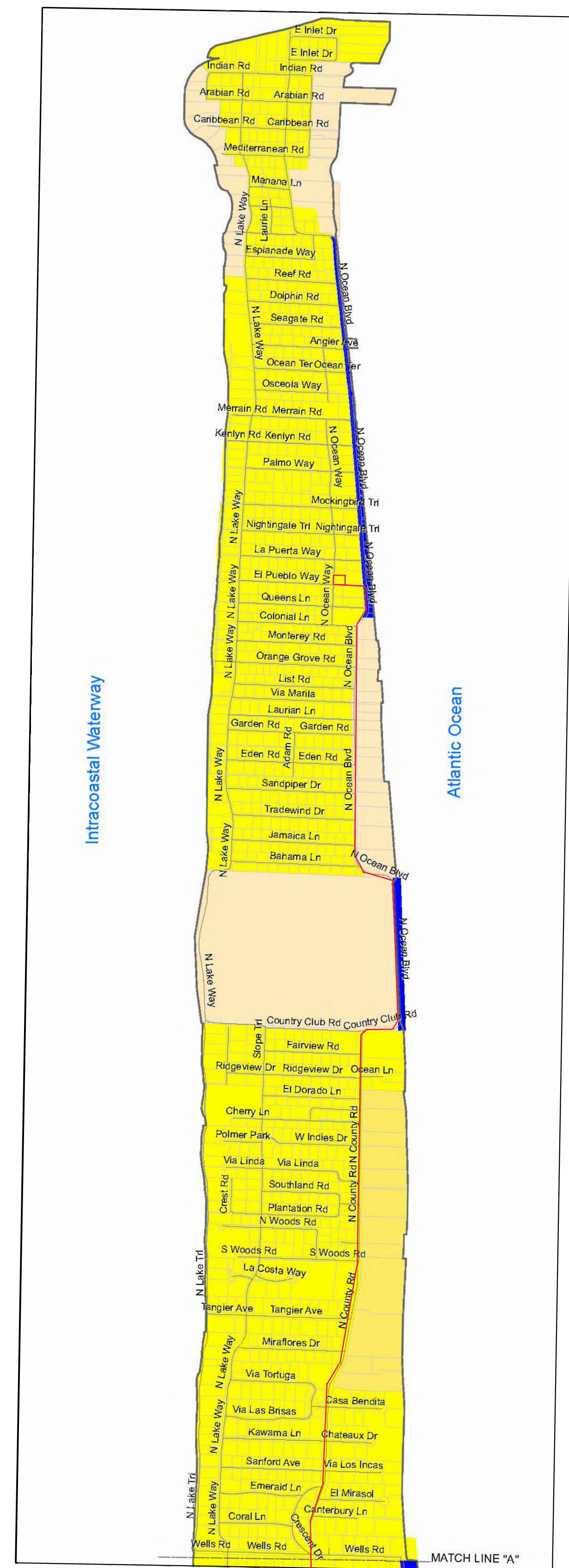
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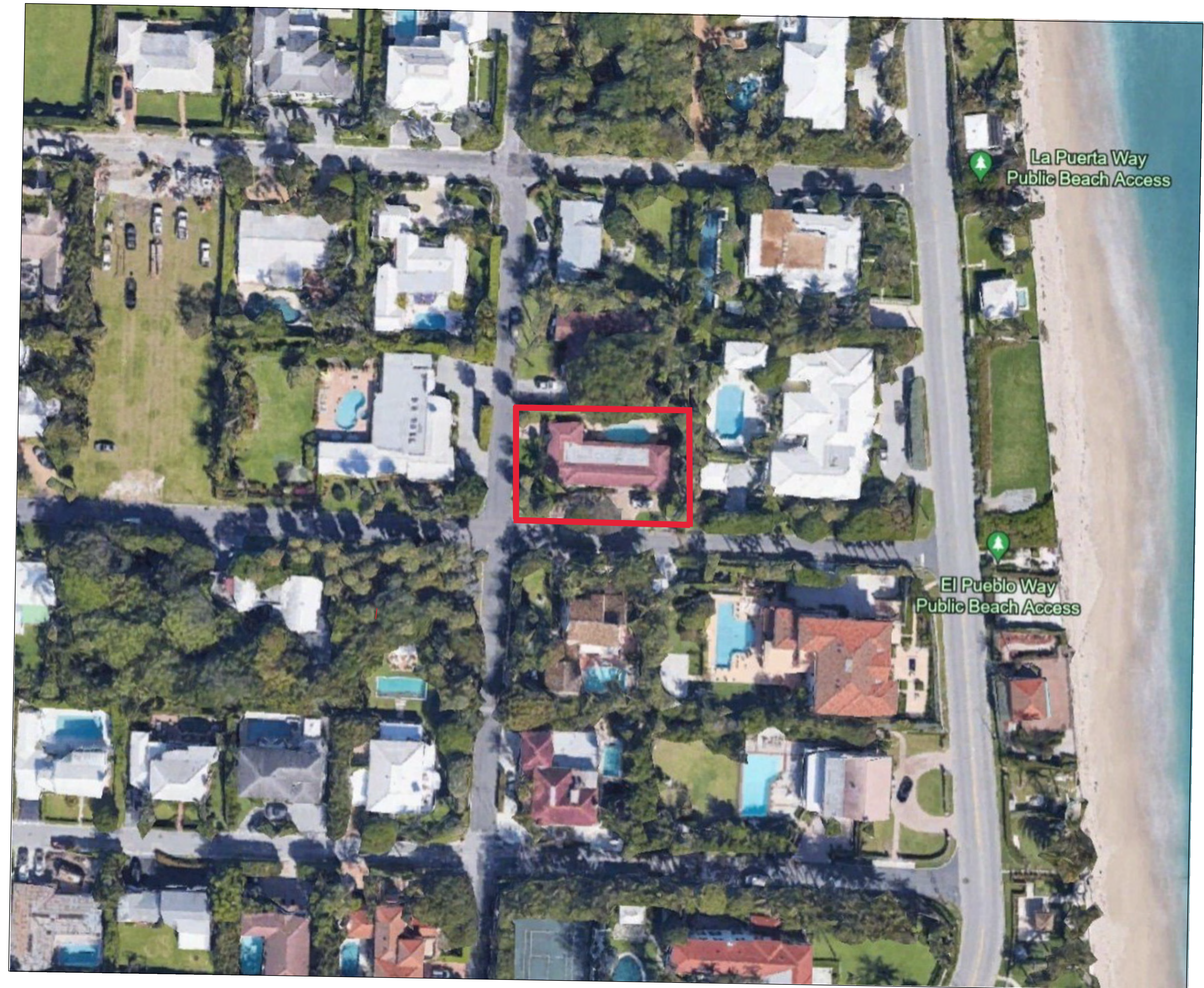


V1



VICINITY LOCATION MAP

N.T.S.

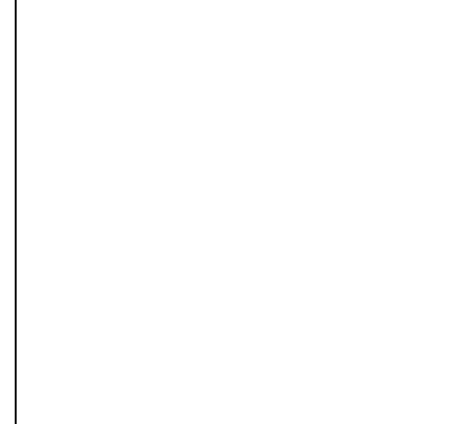


LOCATION PLAN

N.T.S.

PRESENTATION
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CURRENT PHOTOGRAPHS OF NEIGHBORING PROPERTIES

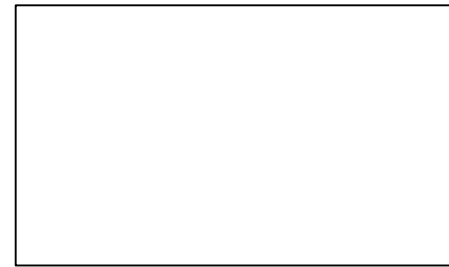
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P1.1



NW CORNER OF OCEAN WAY AND EL PUEBLO WAY



NE CORNER OF OCEAN WAY AND EL PUEBLO WAY



EL PUEBLO WAY LOOKING EAST



SOUTH SIDE OF EL PUEBLO WAY (ACROSS STREET)

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NEIGHBORING PROPERTY



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CURRENT PHOTOGRAPHS OF NEIGHBORING PROPERTIES

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P1.2



POOL & REAR YARD



STRIP DRAINS AT EXISTING DRIVES



POOL & REAR YARD



PERIMETER LANDSCAPE



EXISTING LANDSCAPE



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CURRENT PHOTOGRAPHS OF SUBJECT PROPERTY

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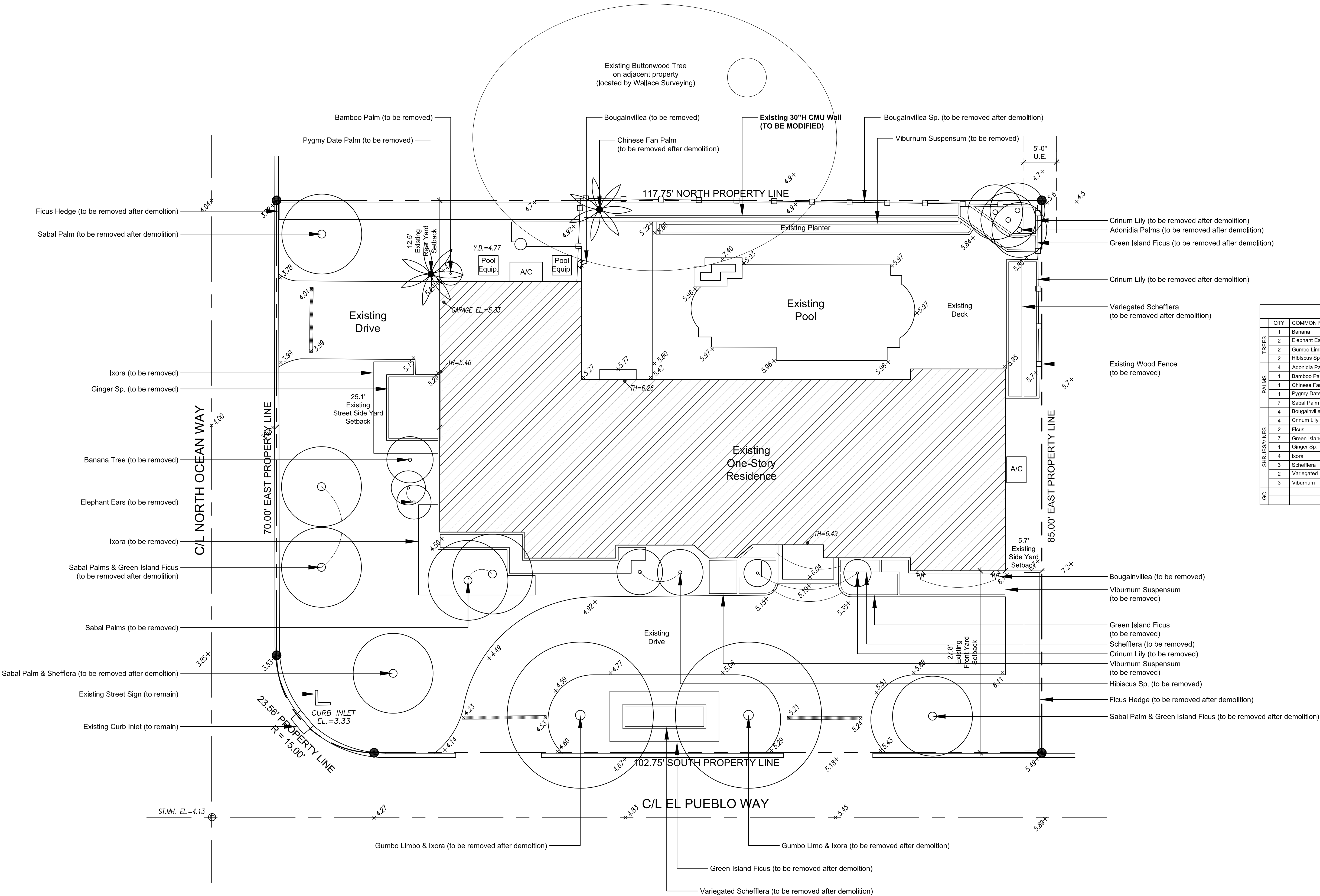
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Zoning Legend			
Property Address	171 EL PUEBLO WAY, PALM BEACH, FL 33480		
Zoning District	R-8 LOW DENSITY RESIDENTIAL		
Lot Area (sq ft)	9,960.46 SF		
Lot Width (W) & Depth (D) (ft)	117.75' (D) & 85.00' (W)		
Structure Type	SINGLE-FAMILY RESIDENCE		
(Single-Family, Multi-Family, Commercial, Other)			
FEMA Flood Zone Designation	AE (ELEV 6) & X		
Zero Datum for point of meas. (NAVD)	7.00'		
Crown of Road (COR) (NAVD)	4.00' (North Ocean Way)		
	REQD / PERMITTED	EXISTING	PROPOSED
Lot Coverage (sq ft and %)	2,988.14 (30.00%)	2,669.65 (26.80%)	2,885.97 (28.97%)
Enclosed Square Footage (Basement, 1st Fl., 2nd Fl., Accessory Structures, etc.)	N/A	2,669.65	4,416.72
* Front Yard Setback (ft.)	25.00' (1st) 30.00' (2nd)	25.10' W (1st) N/A	30.00' 38.00'
* Side Yard Setback (1st Story) (ft.)	12.50'	12.50' N	12.50' N
* Side Yard Setback (2nd Story) (ft.)	15.00'	N/A	15.00' N
* Street Side Yard Setback (1st Story) (ft.)	25.00' (18.00' Garage)	27.80' S	18.00' S (Garage)
* Street Side Yard Setback (2nd Story) (ft.)	30.00'	N/A	41.00' S
* Rear Yard Setback (ft.)	10.00' (1st) 15.00' (2nd)	5.70' E N/A	10.00' E 16.50' E
Angle of Vision (Deg.)	100°	109°	32°
Building Height (ft.)	14.00' (one-story) 22.00' (two-story)	Existing N/A	7.88' (Garage) 18.50'
Overall Building Height (ft.)	30.00'	Existing	26.50'
Cubic Content Ratio (CCR) (R-B ONLY)	4.00	Existing	3.99
** Max. Fill Added to Site (ft.)	N/A	N/A	1.75'
Finished Floor Elev. (FFE) (NAVD)	7.00' min.	6.50'	7.00'
Base Flood Elevation (BFE) (NAVD)	6.00'	6.00'	6.00'
Landscape Open Space (LOS) (sq ft and %)	4,482.21 (45.00%)	3,993.23 (40.09%)	4,591.48 (46.10%)
Perimeter LOS (sq ft and %)	2,241.10 (60.00%)	2,453.99 (54.75%)	2,827.38 (63.08%)
Front Yard LOS (sq ft and %)	1,000.68 (40.00%)	1,572.51 (54.31%)	1,574.17 (62.92%)
*** Native Plant Species %	Please refer to TROP Landscape Legend.		

*** Indicate with note per each landscape element (N/A, E, A, S)
*** Difference of FFE, Floor Elev. (FFE) and highest Crown of Road (CCR) divided by two (FFE - CCR) / 2 = Max. Fill (Max. 1.50' max.)
*** Provide Native plant species info per category as required by (see 2023-2024 on separate TROP Landscape Legend)

REV 01/2023/01/2023

Existing Plant List					
	QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT
TREES	1	Banana	Musaceae		to be removed
	2	Elephant Ear	Colocasia Esculenta		to be removed
	2	Gumbo Limbo	Bursera Simaruba		to be removed
	2	Hibiscus Sp.	Hibiscus Sp.		to be removed
PALMS	4	Adonidia Palm	Adonidia Merrillii		to be removed
	1	Bamboo Palm	Chamaedorea Seifridii		to be removed
	1	Chinese Fan Palm	Livistona Chinenis		to be removed
	1	Pygmy Date Palm	Phoenix Robelenii		to be removed
	7	Sabal Palm	Sabal Palmetto		to be removed
	4	Bougainvillea Sp.	Bougainvillea Sp.		to be removed
	4	Crinum Lily	Crinum Asilacum		to be removed
SHRUBS/VINES	2	Ficus	Ficus Niltida		to be removed
	7	Green Island Ficus	Ficus Microcarpa		to be removed
	1	Ginger Sp.			to be removed
	4	Ixora	Ixora Chinenis		to be removed
	3	Schefflera	Schefflera Arboricola		to be removed
	2	Variegated Schefflera	Schefflera Adstringifolia		to be removed
	3	Viburnum	Viburnum Suspensum		to be removed
GC					



1 2 5 10 20

PRESENTATION
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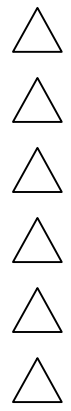
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EXISTING SITE PLAN

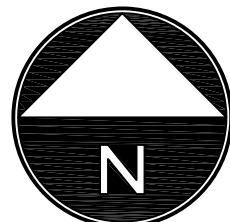
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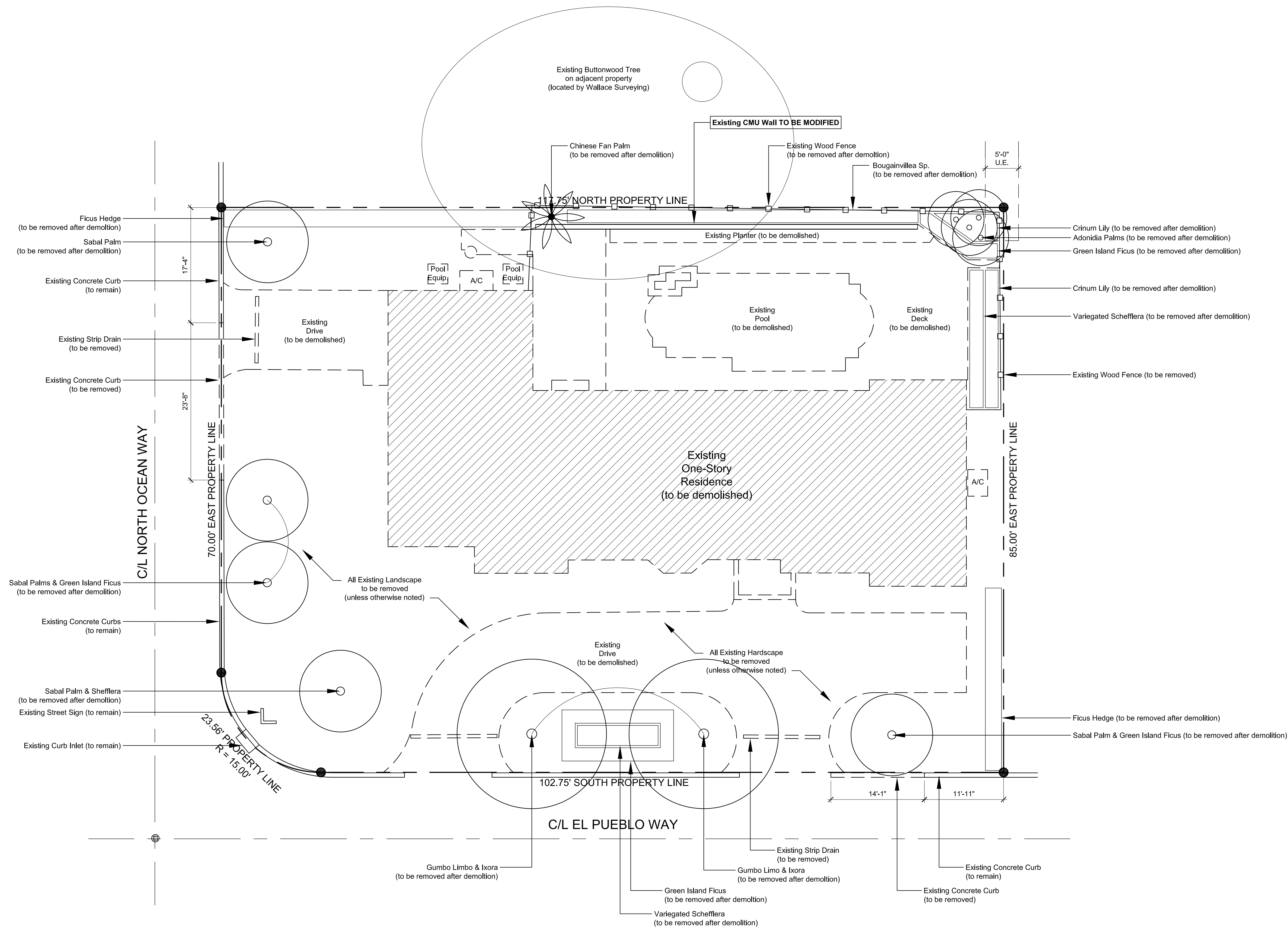


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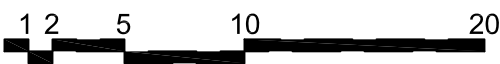
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NOTE:
Perimeter landscape to remain during demolition of existing structure & hardscape. Perimeter landscape to be removed after demolition to allow for construction of proposed site walls & construction screening.

NOTE:
No demolition shall occur between the Monday prior to Thanksgiving and March 31.



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ZON-24-068 JUNE 12, 2024


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DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"

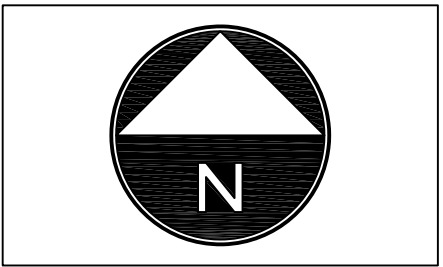
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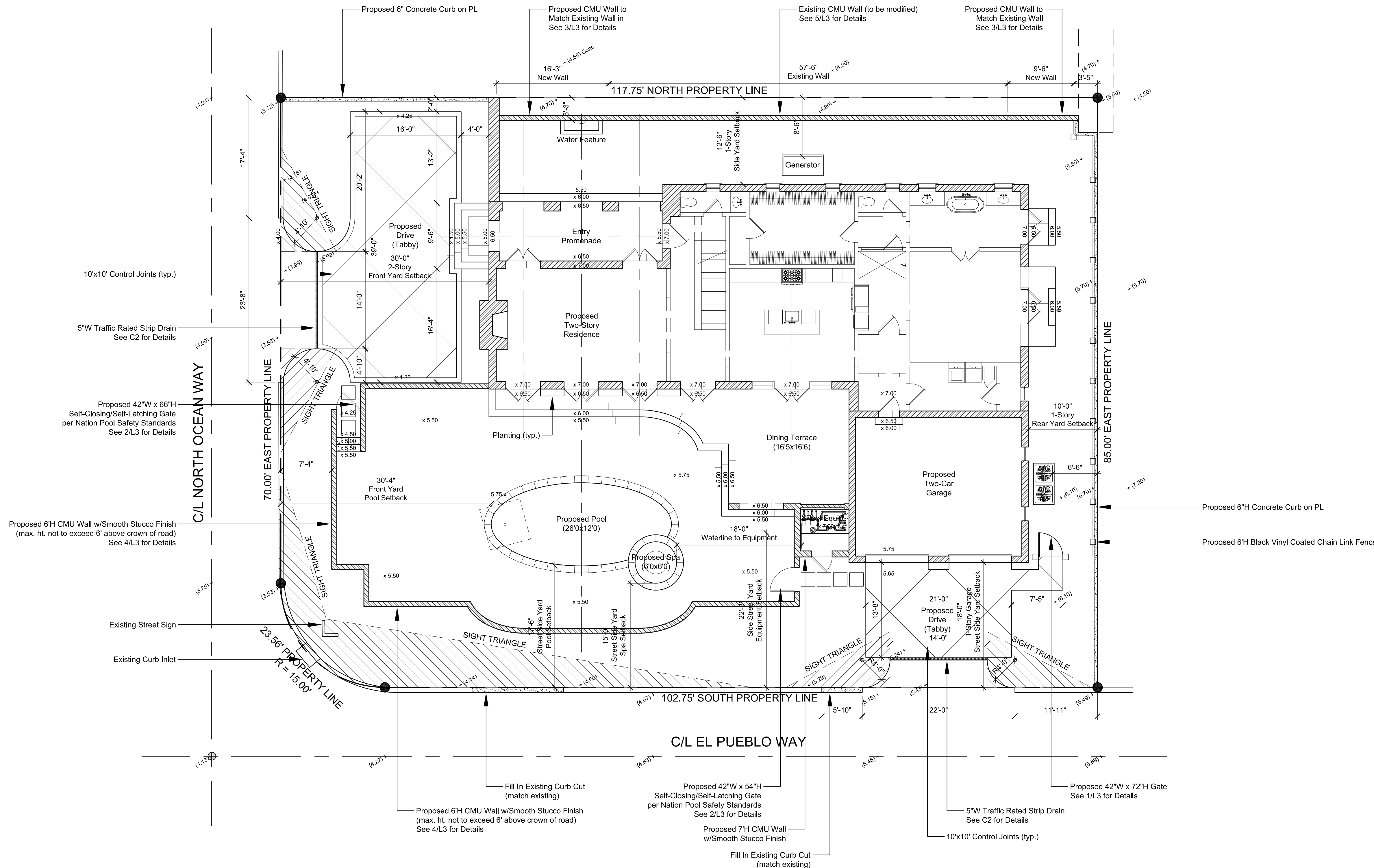
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Lot Area (sq ft)	9,960.46 SF		
Lot Width (W) & Depth (D) (ft)	117.75' (D) & 85.00' (W)		
Structure Type	SINGLE-FAMILY RESIDENCE		
(Single-Family, Multi-Family, Comm., Other)			
FEMA Flood Zone Designation	AE (ELEV 6) & X		
Zero Datum for point of meas. (NAVD)	7.00'		
Crown of Road (COR) (NAVD)	4.00' (North Ocean Way)		
	REQ'D / PERMITTED	EXISTING	PROPOSED
Lot Coverage (sq ft and %)	2,988.14 (30.00%)	2,669.65 (26.80%)	2,885.97 (28.97%)
Enclosed Square Footage (Basement, 1st Fl., 2nd Fl., Accessory Structures, etc.)	N/A	2,669.65	4,416.72
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Overall Building Height (ft.)	30.00'	Existing	26.50'
Cubic Content Ratio (CCR) (R-B ONLY)	4.00	Existing	3.99
** Max. Fill Added to Site (ft.)	N/A	N/A	1.75
Finished Floor Elev. (FFE) (NAVD)	7.00' min.	6.50'	7.00'
Base Flood Elevation (BFE) (NAVD)	6.00'	6.00'	6.00'
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Front Yard LOS (sq ft and %)	1,000.68 (40.00%)	1,572.51 (54.31%)	1,574.17 (62.92%)
*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

*** Indicate ratio with percent symbol and decimal.
(N/A, E, W)
*** Difference of FFE, Floor Elev. (FFE) and Highest Crown of Road (COR) divided by two.
(FFE - COR) / 2 = Max. Fill (See 2.16-1500)
*** Provide Native plant species info per category as required by [CPR 600.003](#) on separate TOPB Landscape Legend.

REV 04/2024



NOTE:
All Setbacks and Angel of Vision
are Assumed with Ocean Way
Address Change Approval

NOTE:
Pool construction shall take place
outside of season.

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PRESENTATION
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ZON-24-068 JUNE 12, 2024



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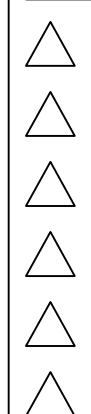
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PROPOSED HARDSCAPE PLAN

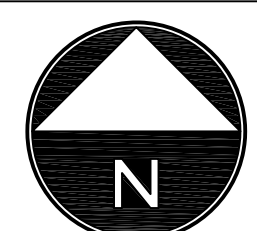
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Front Yard LOS (sq ft and %)	1,000.68 (40.00%)	1,572.51 (54.31%)	1,574.17 (62.92%)
*** Native Plant Species %	Please refer to TQPB Landscape Legend.		

*** Difference of FFE, Floor Elev. (FFE) and highest Crown of Road (CCR) divided by two. (FFE - CCR) / 2 = Max. Fill (See 226-250)

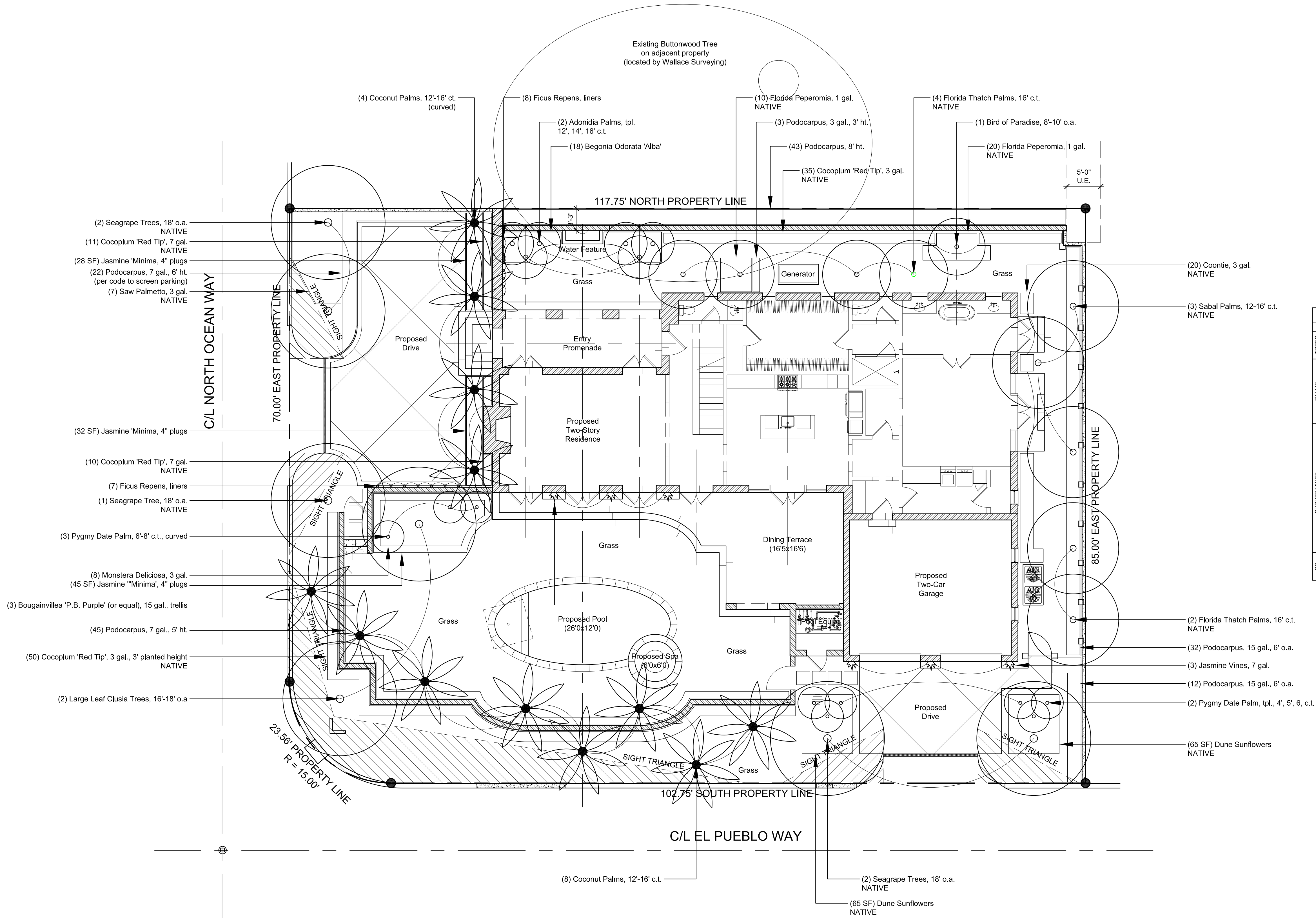
*** Provide Native plant species info per category as required by 226-250.003 on separate TQPB Landscape Legend.

REV 08/ 2023/009

Proposed Plant List					
QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
1	Bird of Paradise	Strelitzia Nicolai	8'-10' o.a.		
2	Large Leaf Clusia	Clusia Rosea	16'-18' o.a.		X
5	Seagrape	Coccoloba uvifera	18' o.a.		X
2	Adonidia Palm	Adonidia Merrillii	12', 14', 16' c.t.	triple	
8	Coconut Palm	Cocos nucifera	12'-16' c.t.		
4	Coconut Palm	Cocos nucifera	12'-16' c.t.	curved	
6	Florida Thatch Palm	Thrinax radiata	16' c.t.		X
3	Pygmy Date Palm	Phoenix roebelenii	6'-8' c.t.	curved	
2	Pygmy Date Palm	Phoenix roebelenii	4', 5', 6' c.t.	triple	
3	Sabal Palm	Sabal palmetto	12'-16' c.t.		X
18	Begonia Odorata 'Alba'	Begonia Odorata 'Alba'	X gal.		
3	Bougainvillea	Bougainvillea	15 gal., trellis	P.B. Purple	
85	Cocoplum 'Red Tip'	Chrysobalanus icaco	3 gal., 3' planted height	full to base, form hedge	X
21	Cocoplum 'Red Tip'	Chrysobalanus icaco	7 gal.	full to base, form hedge	X
20	Coontie	Zamia pumila	3 gal.		X
15	Ficus Repens	Sabal pumila	liners		
30	Florida Peperomia	Peperomia obtusifolia	1 gal.		X
3	Jasmine	Jasminum	7 gal., trellis		
6	Monstera Deliciosa	Monstera Deliciosa	3 gal.		
43	Podocarpus	Podocarpus	8' o.a.	full to base, form hedge	
44	Podocarpus	Podocarpus	15 gal., 6' o.a.	full to base, form hedge	
22	Podocarpus	Podocarpus	7 gal., 6' o.a. (per code)	full to base, form hedge	
45	Podocarpus	Podocarpus	7 gal., 5' o.a.	full to base, form hedge	
7	Saw Palmetto	Serenoa repens			X
130 SF	Dune Sunflowers	Helianthus debilis			X
105 SF	Jasmine 'Minima'	Trachelospermum Asiaticum	4" plugs		

Native Landscape Legend			
Property Address	171 EL PUEBLO WAY, PALM BEACH, FL 33480		
Lot Area (sq ft)	9,960.46 SF		
	REQUIRED	PROPOSED	
Landscape Open Space (LOS) (Sq Ft and %)	4,482.21 (45.00%)	4,591.48 (46.10%)	
LOS to be altered (Sq Ft and %)	N/A	3,993.23 (40.09%)	
Perimeter LOS (Sq Ft and %)	2,241.10 (50.00%)	2,827.38 (63.08%)	
Front Yard LOS (Sq Ft and %)	830.75 (40.00%)	1,574.17 (62.92%)	
Native Trees %	30% of 8	7 (87.50%)	
Native Shrubs & Vines %	30% of 384	163 (44.78%)	
Native Groundcover %	30% of 235 SF	130 SF (55.32%)	

* To determine qualifying native vegetation, use either:
the Institute for Regional Conservation's [Native Plant Society's Native Plant List](#)
OR
the Florida Native Plant Society's [Native Plant List](#)
Note: Modification of >50% of existing landscape/greenery are subject to minimum native plant requirements and must include a landscape and irrigation plan for review.
This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openness data shall be incorporated on to corresponding zoning legend.
See Ord. 003-2023
REV 08/ 2023/021



NOTE:
No Obstructions Taller than
30\"/>

1 2 5 10 20

PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

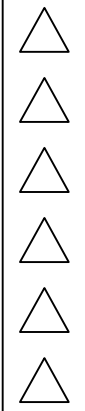
SCALE: 1/8" = 1'-0"

PROPOSED LANDSCAPE PLAN

171 El Pueblo Way
Palm Beach
Florida

JOB #1022

DATE ISSUED:
April 15, 2024

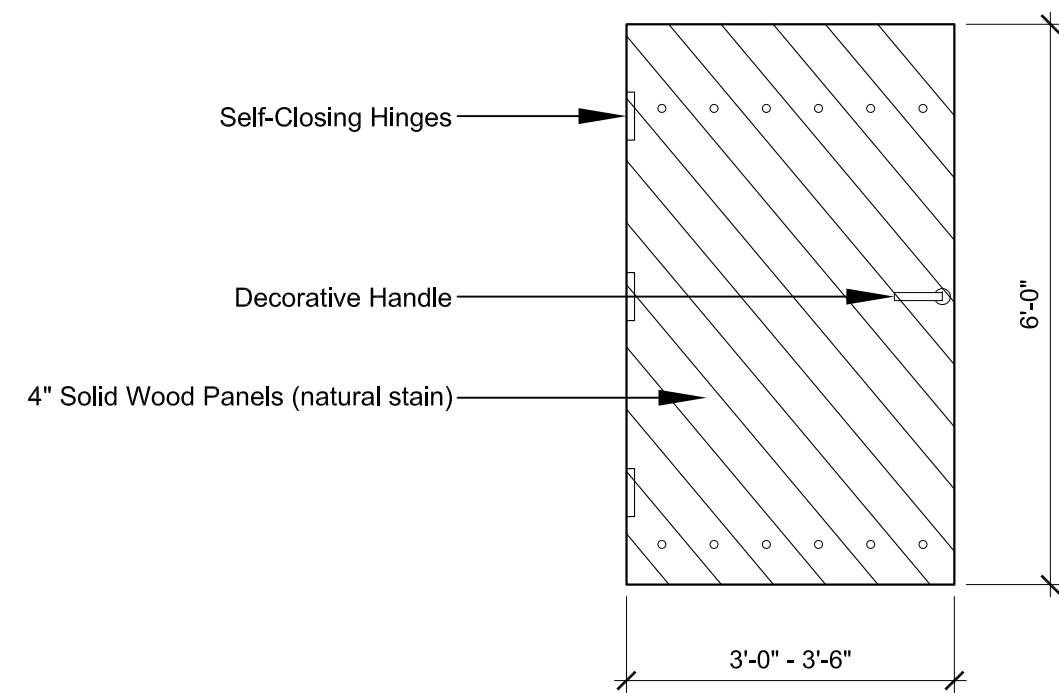


DATE PLOTTED:
April 15, 2024

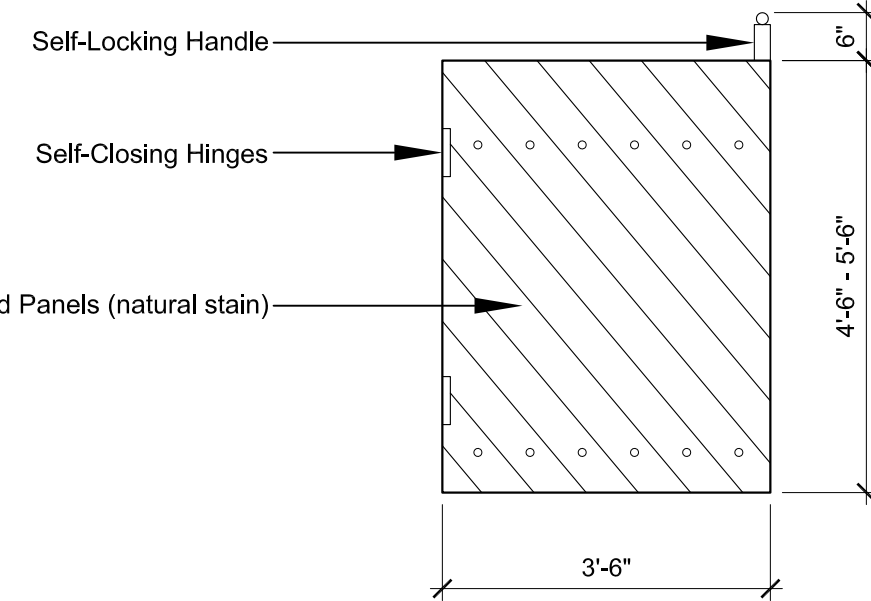


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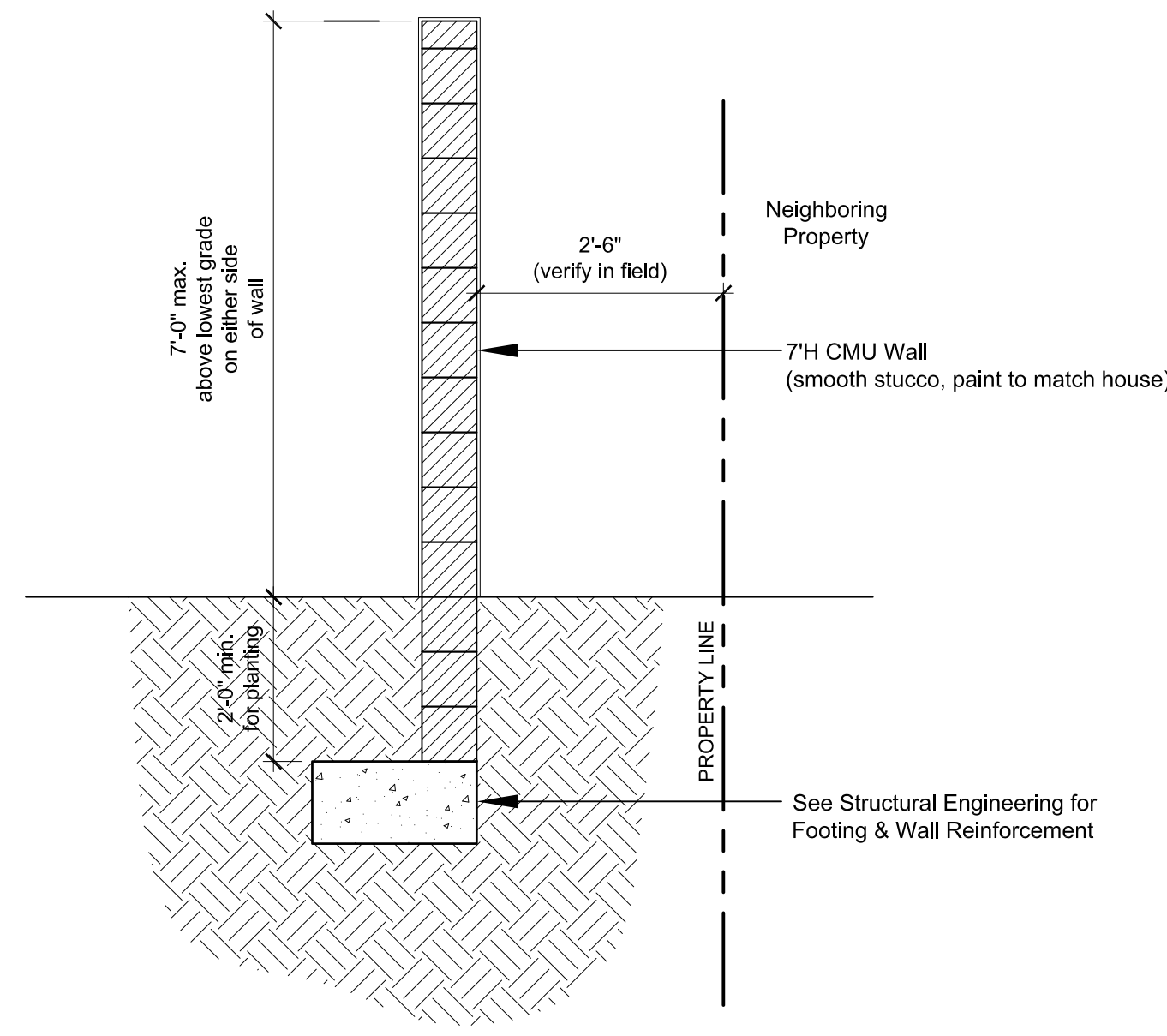
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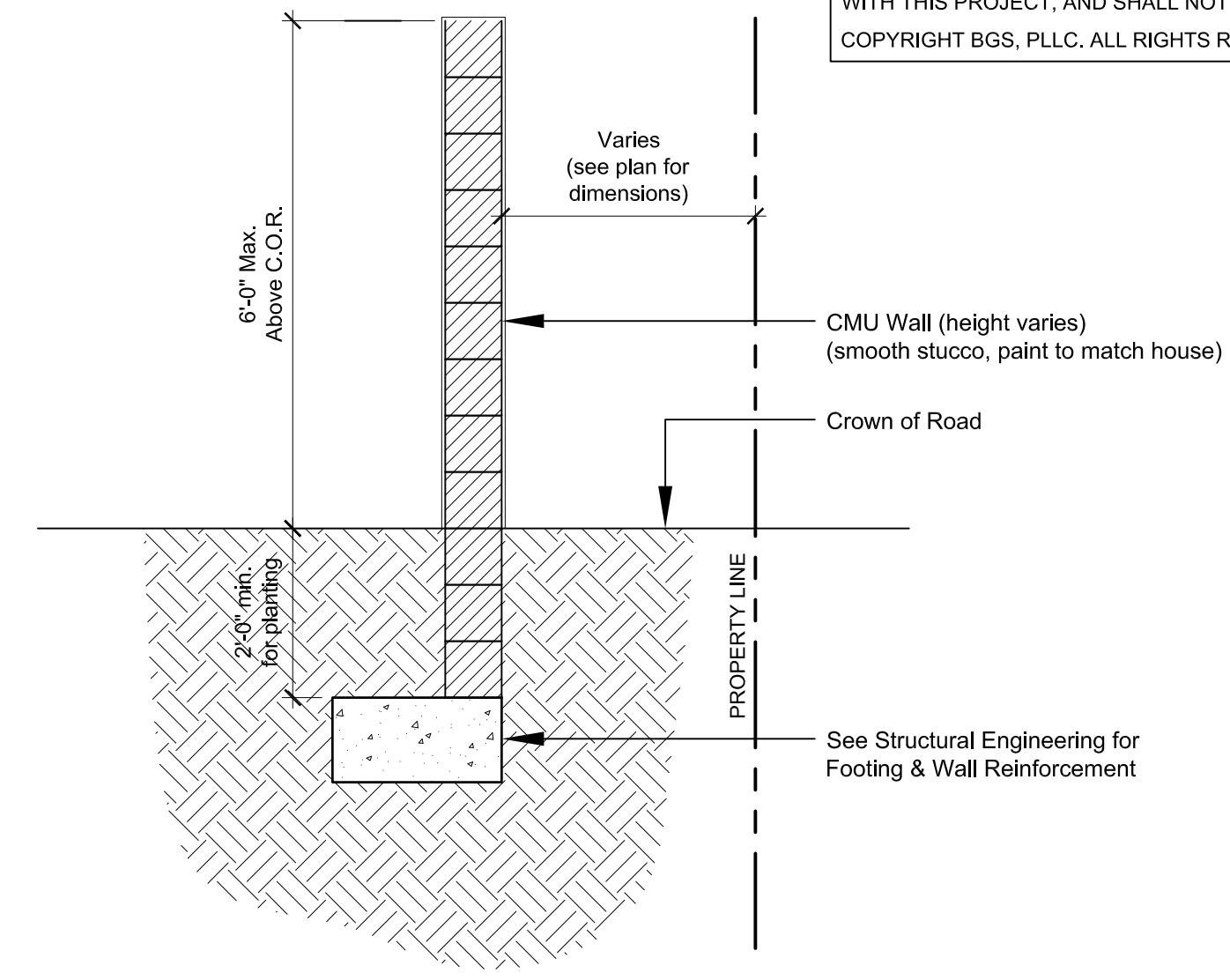
1 Pedestrian Gate Detail
1/2" = 1'-0"



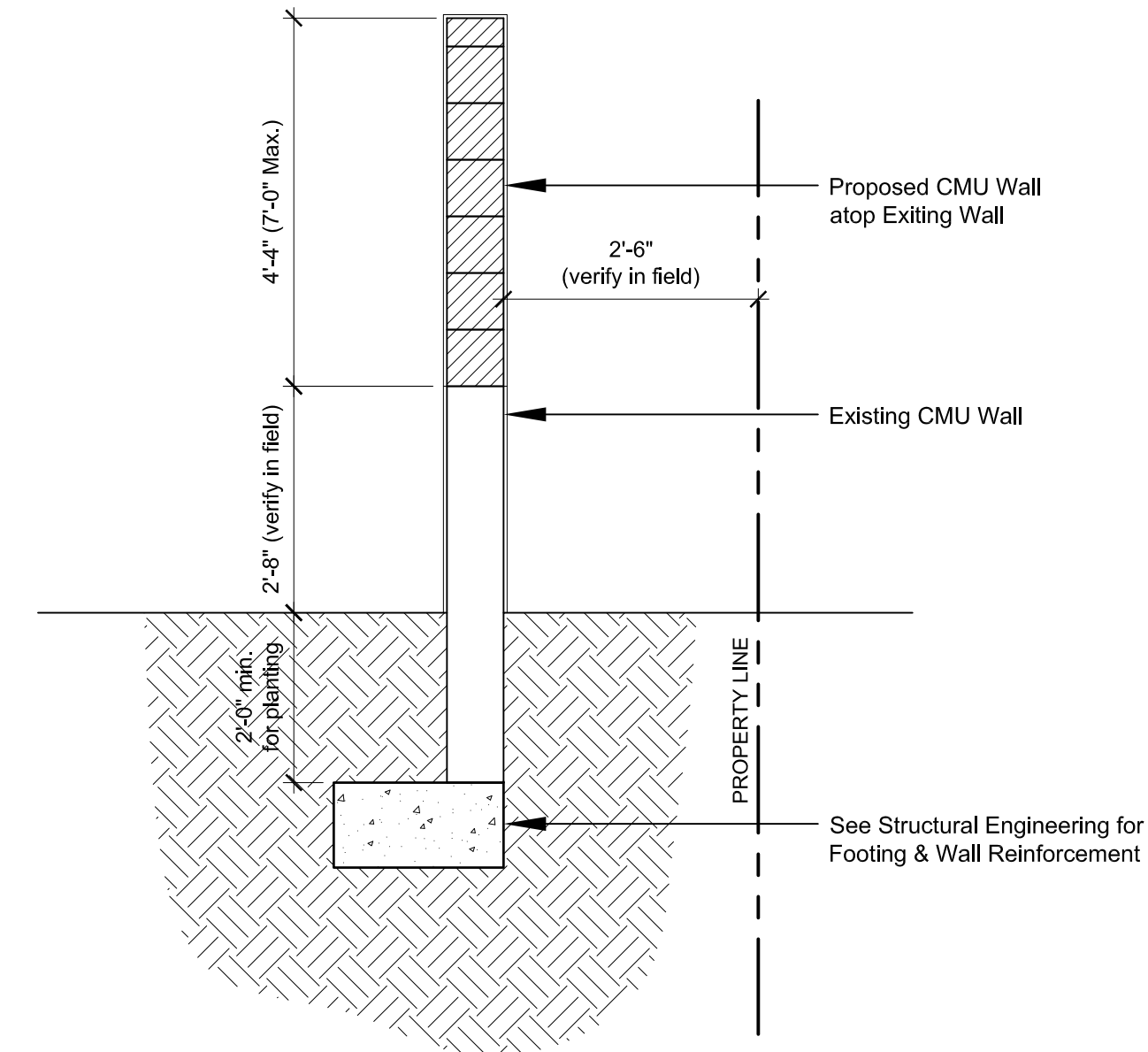
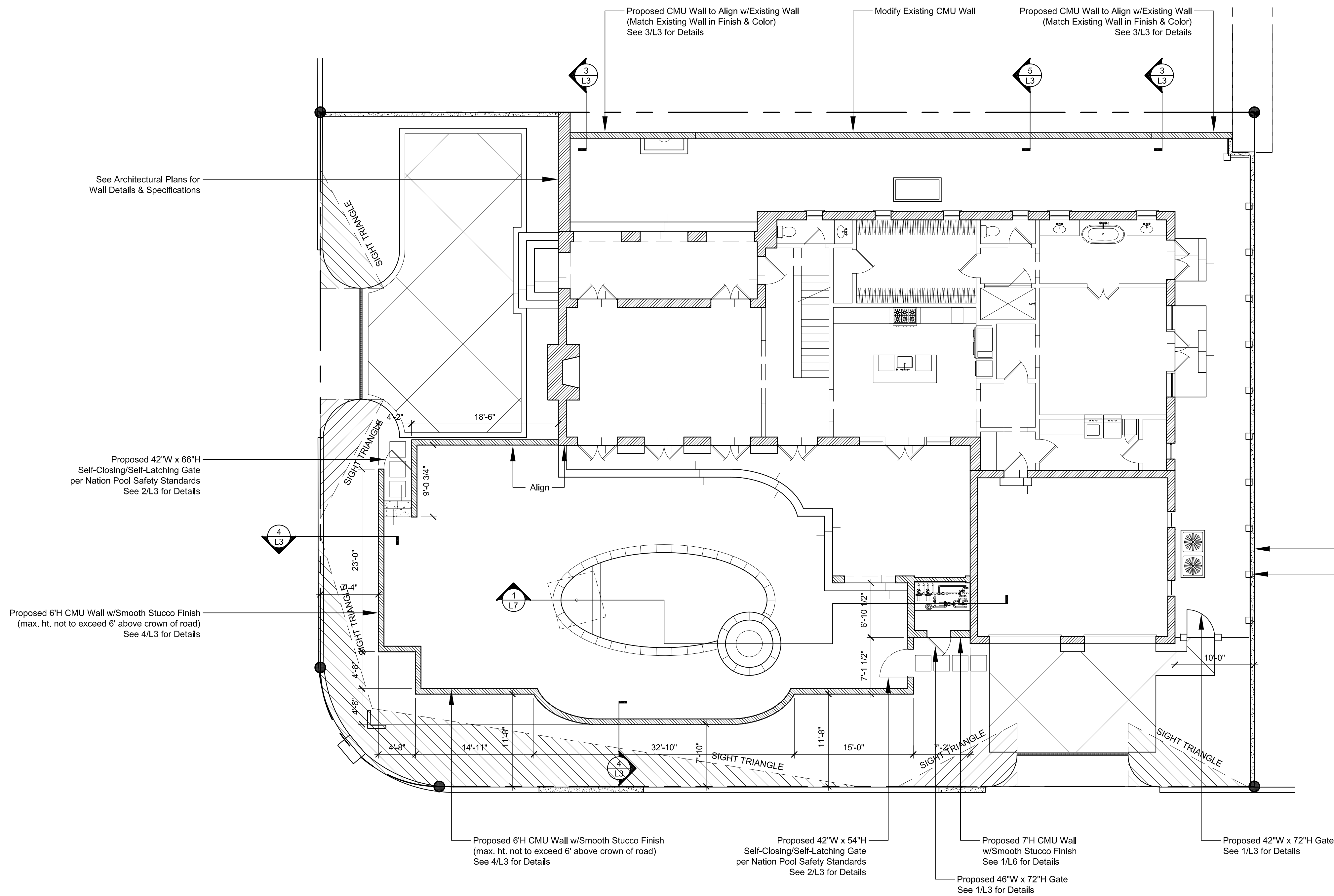
2 Pool Gate Detail
1/2" = 1'-0"



3 Typical Site Wall Section
Adjacent to Neighboring Property
1/2" = 1'-0"



4 Typical Site Wall Section
Adjacent to Street
1/2" = 1'-0"



5 North Site Wall Section
Wall to be Modified
1/2" = 1'-0"

1 2 5 10 20

PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024



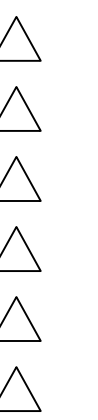
1016 Clare Avenue
West Palm Beach, FL 33401
(561) 602-6277
bgspc.com
LA6666674

EXISTING & PROPOSED FENCES, WALLS, & GATES

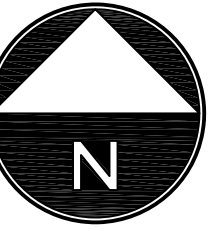
171 El Pueblo Way
Palm Beach
Florida

JOB #1022

DATE ISSUED:
April 15, 2024

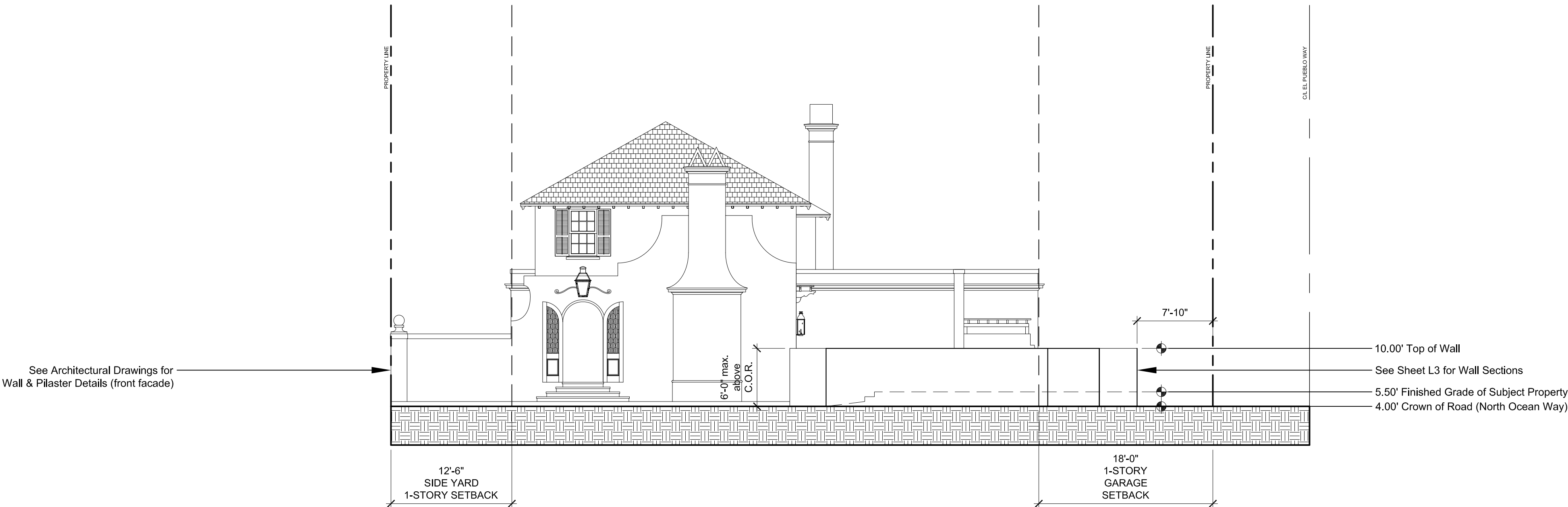


DATE PLOTTED:
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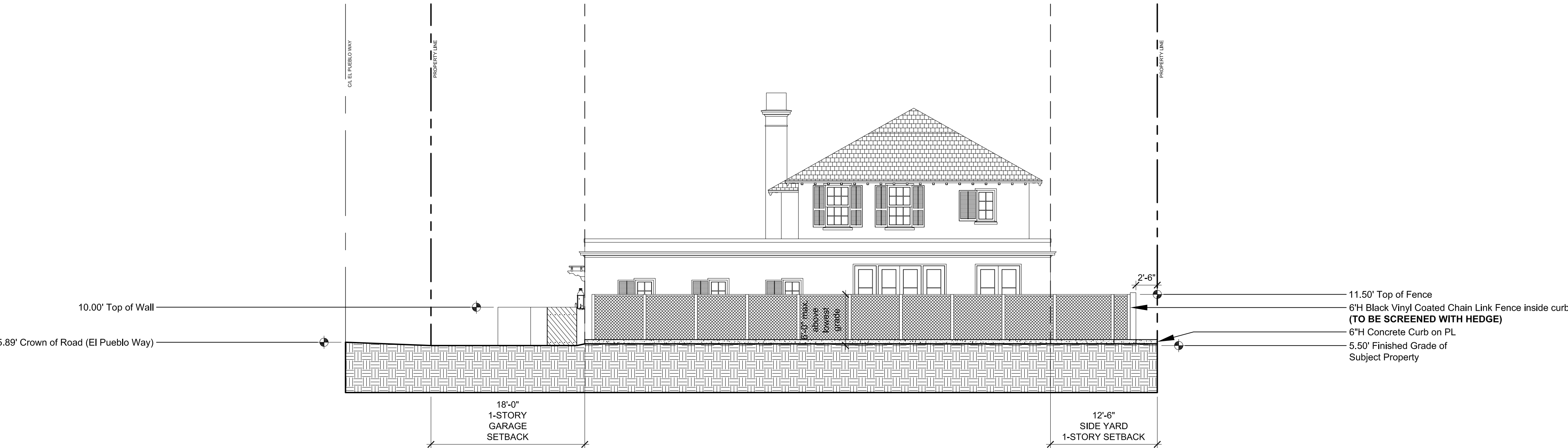


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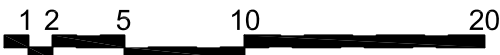
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PROPOSED WEST ELEVATION w/SITE WALLS



PROPOSED EAST ELEVATION w/SITE WALLS



PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024



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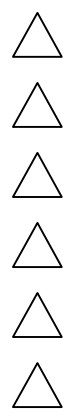
EXISTING WEST & EAST ELEVATIONS

SCALE: 1/8" = 1'-0"

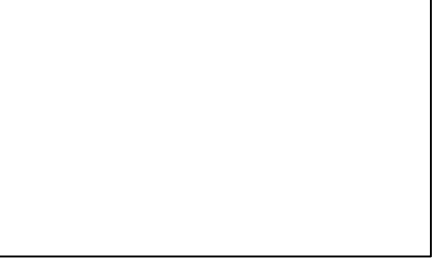
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Florida

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DATE PLOTTED:
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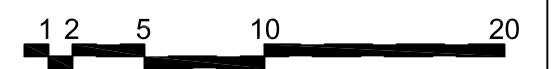


L4

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April 15, 2024



PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

5

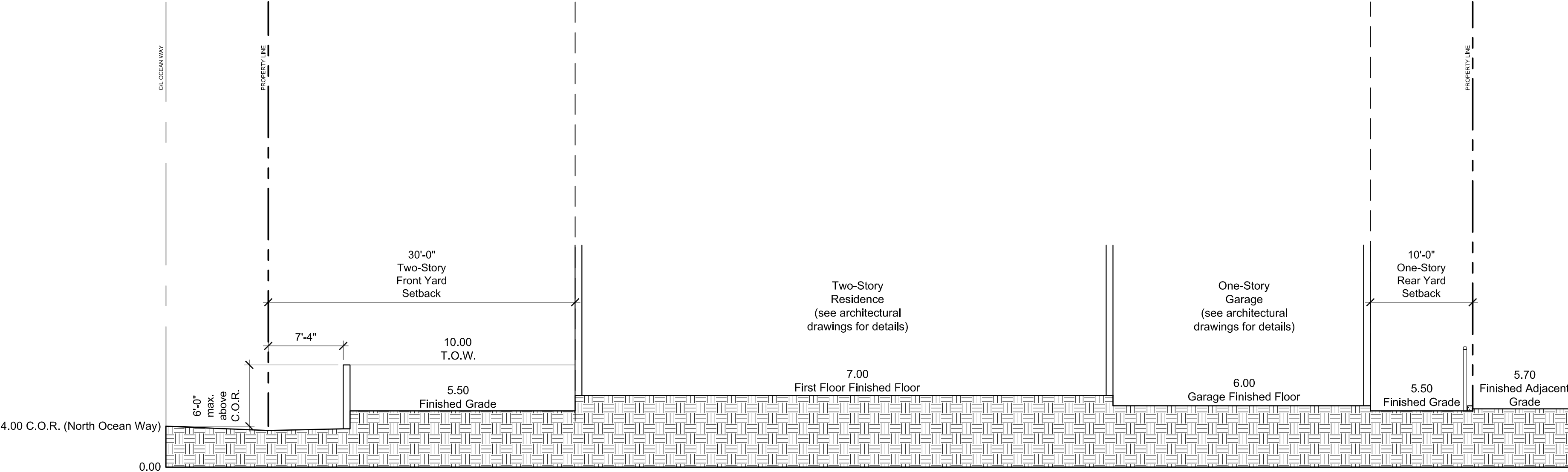


PROPOSED SOUTH ELEVATION w/SITE WALLS

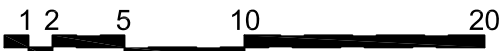


PROPOSED NORTH ELEVATION w/SITE WALLS

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PROPOSED WEST/EAST SITE SECTION



PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024



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PROPOSED WEST/EAST SITE SECTION SCALE: 1/8" = 1'-0"

171 El Pueblo Way
Palm Beach
Florida

JOB #1022

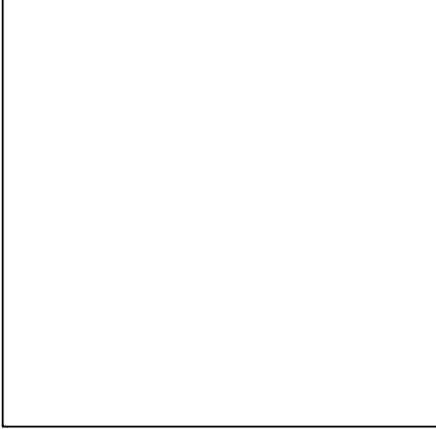
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L6

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POOL, SPA, & EQUIPMENT SECTION

SCALE: VARIES

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Palm Beach
Florida

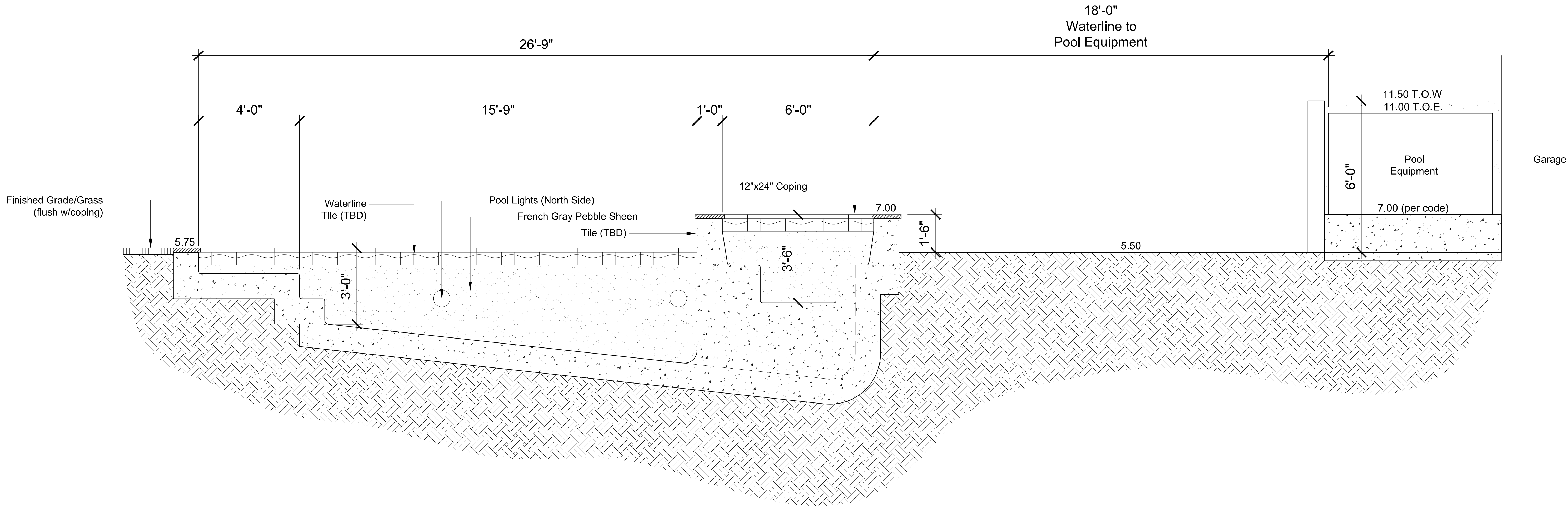
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DATE ISSUED:
April 15, 2024

DATE PLOTTED:
April 15, 2024



L7



1 Pool, Spa, & Equipment Section
L7 1/2" = 1'-0"



PRESENTATION
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ZON-24-068 JUNE 12, 2024

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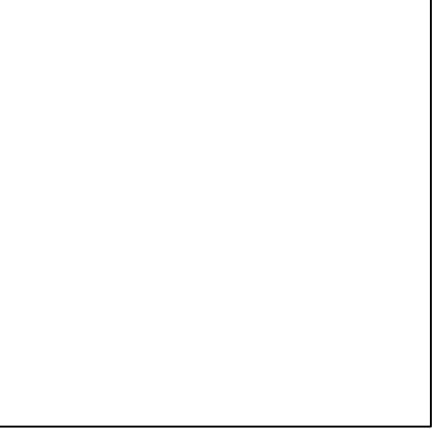
TABBY DRIVE



FRENCH GRAY POOL



FINISH STONE RANGE
(as of 03/31/24)





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MATERIALS & FINISHES

SCALE: 1/8" = 1'-0"

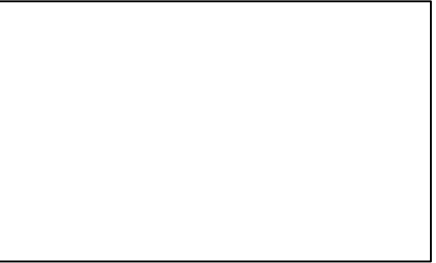
171 El Pueblo Way
Palm Beach
Florida

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April 15, 2024

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PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

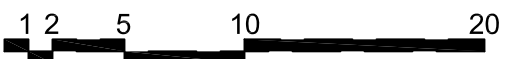
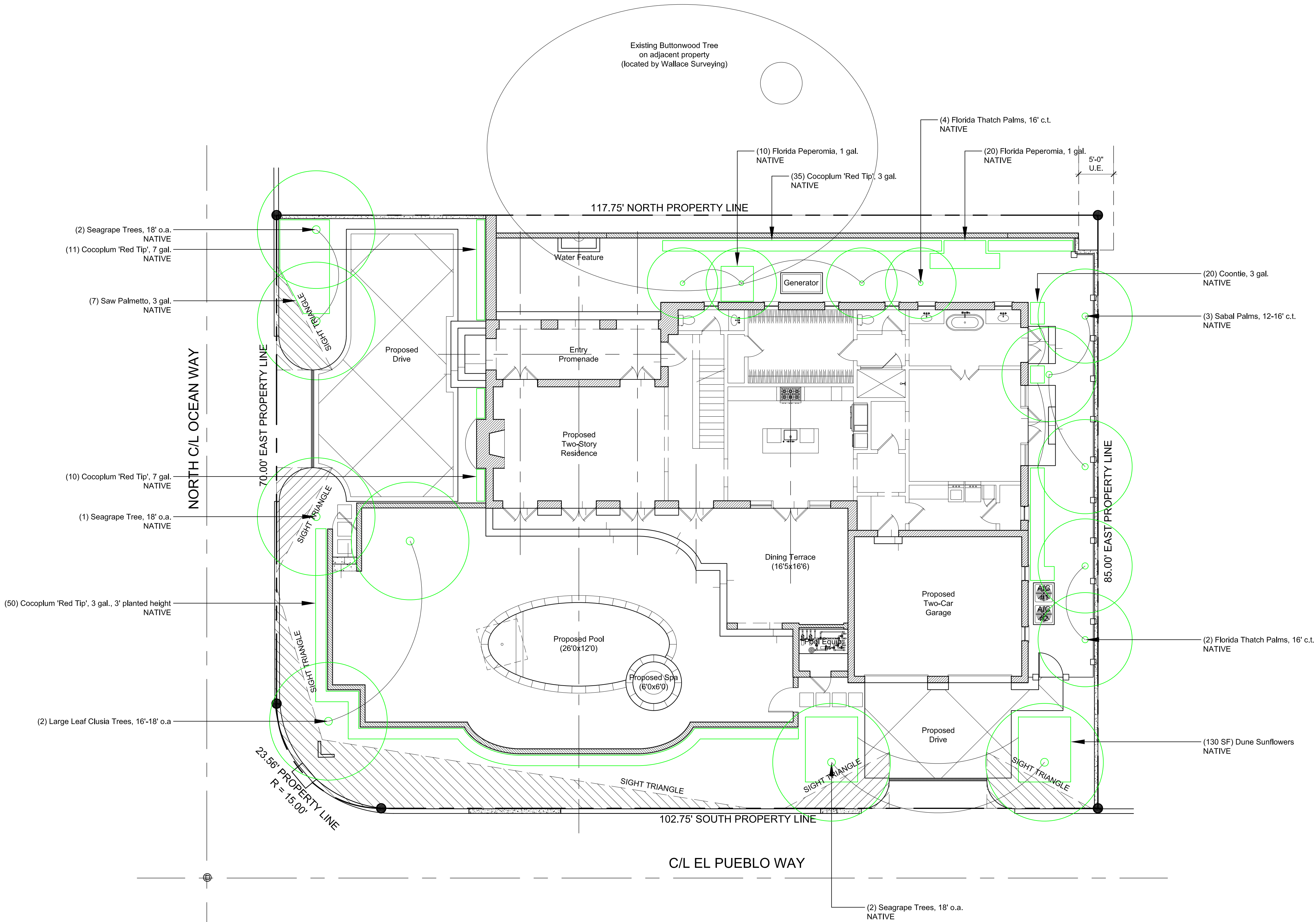
M1

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Proposed Plant List					
QTY	COMMON NAME	BOTANICAL NAME	SIZE	COMMENT	NATIVE
1	Bird of Paradise	Strelitzia reginae	8'-10' o.a.		
2	Large Leaf Clusia	Clusia rosea	16'-18' o.a.		X
5	Seagrape	Coccoloba uvifera	18' o.a.		X
2	Adonidia Palm	Adonidia merrillii	12', 14', 16' c.t.	triple	
8	Coconut Palm	Cocos nucifera	12'-16' c.t.		
4	Coconut Palm	Cocos nucifera	12'-16' c.t.	curved	
6	Florida Thatch Palm	Thrinax radiata	16' c.t.		X
3	Pygmy Date Palm	Phoenix roebelenii	6'-8' c.t.	curved	
2	Pygmy Date Palm	Phoenix roebelenii	4', 5', 6' c.t.	triple	
3	Sabal Palm	Sabal palmetto	12'-16' c.t.		X
18	Begonia Odorata 'Alba'	Begonia odorata 'Alba'	X gal.		
3	Bougainvillea	Bougainvillea	15 gal., trellis	P.B. Purple	
85	Cocoplum 'Red Tip'	Chrysobalanua icaco	3 gal., 3' planted height	full to base, form hedge	X
21	Cocoplum 'Red Tip'	Chrysobalanua icaco	7 gal.	full to base, form hedge	X
20	Coontie	Zamia pumila	3 gal.		X
15	Ficus Repens	Sabal pumila	liners		
30	Florida Peperomia	Peperomia obtusifolia	1 gal.		X
3	Jasmine	Jasminum	7 gal., trellis		
8	Monstera Deliciosa	Monstera deliciosa	3 gal.		
43	Podocarpus	Podocarpus	8' o.a.	full to base, form hedge	
44	Podocarpus	Podocarpus	15 gal., 6' o.a.	full to base, form hedge	
22	Podocarpus	Podocarpus	7 gal., 8' o.a. (per code)	full to base, form hedge	
45	Podocarpus	Podocarpus	7 gal., 5' o.a.	full to base, form hedge	
7	Saw Palmetto	Serenoa repens			X
130 SF	Dune Sunflowers	Helianthus debilis			X
105 SF	Jasmine 'Minima'	Trachelospermum asiaticum	4" plugs		

Native Landscape Legend		
Property Address 171 EL PUEBLO WAY, PALM BEACH, FL 33480		
Lot Area (sq ft) 9,960.46 SF		
	REQUIRED	PROPOSED
Landscape Open Space (LOS) (Sq Ft and %)	4,482.21 (45.00%)	4,591.48 (46.10%)
LOS to be altered (Sq Ft and %)	N/A	3,993.23 (40.09%)
Perimeter LOS (Sq Ft and %)	2,241.10 (50.00%)	2,827.38 (63.08%)
Front Yard LOS (Sq Ft and %)	830.75 (40.00%)	1,574.17 (62.92%)
Native Trees %	30% of 8	7 (87.50%)
Native Shrubs & Vines %	30% of 384	163 (44.78%)
Native Groundcover %	30% of 235 SF	130 SF (55.32%)

To determine qualifying native vegetation, use either:
the Institute for Regional Conservation, *Natives for Your Neighborhood FL Statewide Plant List*
OR
the Florida Native Plant Society, *Native Plants for Your Area List*
Note: Modification of >50% of existing landscape/vegetation are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.
This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape open space data shall be incorporated on to corresponding zoning legend.
See Ord. 003-2023 REV 08/2023/27



PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024



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NATIVE LANDSCAPE CALCULATIONS

SCALE: 1/8" = 1'-0"

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Palm Beach
Florida

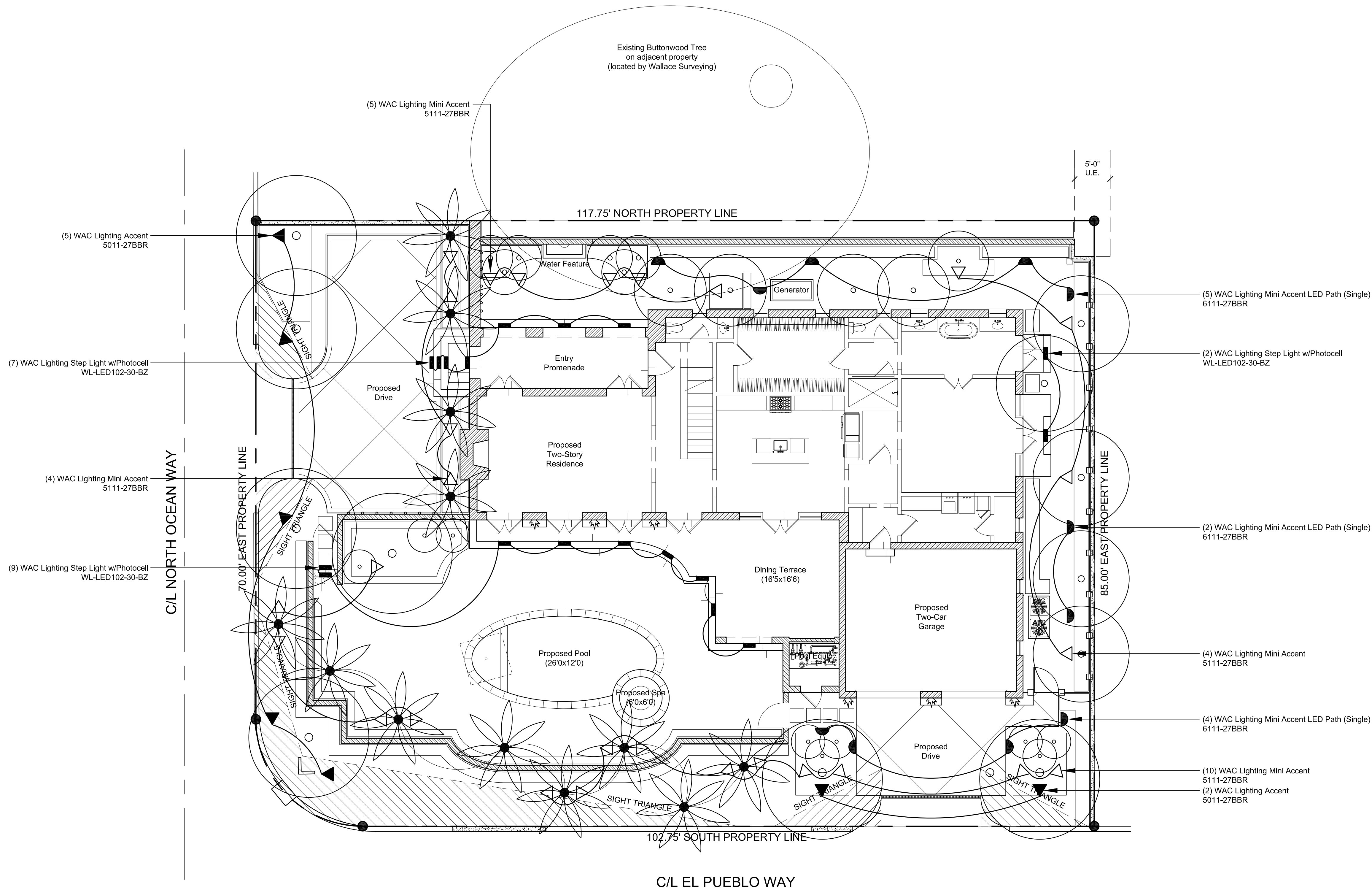
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NL1

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PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024


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PROPOSED LANDSCAPE LIGHTING SCALE: 1/8" = 1'-0"

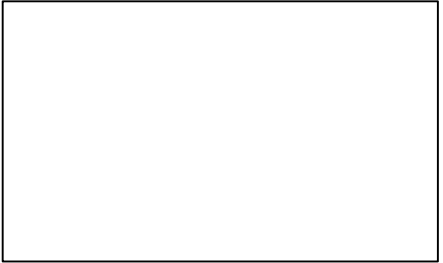
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Palm Beach
Florida

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DATE ISSUED:
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LL1



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ACEC 12V 5011

WAC LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Landscape accent illuminator. One fixture replaces all other landscape accent lights.

FEATURES

- Adjustable arc-tiltable beam angle
- Energy efficient
- Frost-proof. Protected against high-pressure water jets
- Includes a 4-pin-to-3-pin cord
- Solid-etched glass or corrosion-resistant aluminum
- Features adjustable-angle fixture
- Housing drives or does not have glass (not with included)
- Maximum output: 1000m (output voltage) output: 1000m
- 12V/100W
- 12V/100W

SPECIFICATIONS

Input: 9-12VAC (Transformer is required)
Power: 100W/100V/200-230V

Brightness: 10,000 lm (1600 ft)

Beam Angle: 12°/18°/36°

CR: 95

Rated Life: 70,000 hours

OPTIONAL NUMBER

	Color Temp.	Finish
5011	27 2700K	BB Black Contaminant
	30 3000K	BB Black Contaminant
	40 4000K	BB Black Contaminant

5011-

(Example: 5011-1000R)

westgrip.com
Phone: 813.282.1889
Fax: 813.282.2585

Headquarters/General Distribution Center
444 East Fort Drive
Fort Washington, NY 71010

Central Distribution Center
1000 Rockledge Avenue
Little Spring, GA 30122

Western Distribution Center
1700 Rockledge Avenue
Ottawa, CA K1V 7Y0

WAC Lighting retains the right to modify the design or our products at any time as part of the company's continuous improvement program. April 11, 2021

MINI ACCENT 12V

5111

WAC

LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Landscape accent luminaire. One fixture capable of either halogen or LED-type accent light.

FEATURES

- Continuously Adjustable Beam angles, indexed at 10°, 20°, 40°, 50°
- Continuous Adjustable Beam Spread (canal included) at 10°, 20°, 40°, 50°, 70°
- IP64-rated, Protected against high-pressure water jets
- Solid Die-cast brass or corrosion-resistant aluminum
- Factory sealed water tight lens
- Current output for 100-150 watts
- Constant or 3000-ohm temperature
- Warning lights, detachable direct, of lead wire and direct ballast (all items can be included)
- LED version with remote IRV driver

SPECIFICATIONS

Input: 9-15VAC
Phase: 100-120 V/240-240VAC
Power: 100-150 Watts
Beam Angle: 10° to 50°
Height: 12" to 18"
Rated Life: 50,000 hours

ORDERING NUMBER

	Color Temp.	Input:
5111	Mini Accent 12V	100-150W (canal) 100V-150V
		100-150W (canal) 100V-150V

5111-30...

Example 5111-3000

waccompany.com
1-800-253-2538

Headquarters/Distribution Center
401 Valley Oak Drive
Fort Washington, PA 19050

Central Distribution Center
1400 Industrial Avenue
Lafayette, CA 94502

Western Distribution Center
1700 Alhambra Avenue
Irvine, CA 92610

WAC Lighting Corporation hereby warrants the design of any product of this division and of the company's continuous improvement program. (MS-02-002)

MINI ACCENT LED PATH

6111 / 6211

WAC

LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Landscaping mini accent landscape. One fixture replaces all of older halogen landscape accent lights.

FEATURES

- Continuously Adjustable Beam Angles: Indexed at 30°, 35°, 40°, 50°
- Continuously Adjustable brightness: Indexed at 10K, 20K, 40K, 60K, 70K
- Adjustable beam angle
- IP68 rated. Protected against high-pressure water jets
- Includes a detachable shroud
- Solid-mount fixture or corrosion-resistant aluminum
- Factory-welded water-tight fixtures
- Constant mount for use for upgates
- Can be used as an uplight or downlight
- 2700K or 3000K color temperature
- Guarantee detachable shroud, if lead wires and direct burial gel filled wires not included
- UL E-515, IESNA E1824

SPECIFICATIONS

6111	30°
Input:	9 VMAX (Transformer required)
Output:	100 to 70W / 20K - 1050A
Brightness:	40lm to 363 lm
CR	85
Life:	25,000 hours

6211	35°
Input:	9 VMAX (Transformer required)
Output:	100 to 70W / 20K - 1050A x 2
Brightness:	40lm to 363 lm x 2
CR	85
Life:	25,000 hours

ORDERING NUMBER

	Color Temp	Shroud
6111	Single Down	27 2700K Warm White 30 3000K Pure White
6211	Double Down	27 2700K Warm White 30 3000K Pure White

6111 - BBR

Example: 6111 - BBR

waclighting.com

Phone: 800.953.2508

Phone: 216.326.2295

Headquarters/Eastern Distribution Center

43 Harbor Park Drive

P.O. Box 10001, Norwalk, CT 06851

Central Distribution Center

1700 Archdale Avenue

Lima, PA 16013, PA 30212

Western Distribution Center

1700 Archdale Avenue

Ontario, CA 91764

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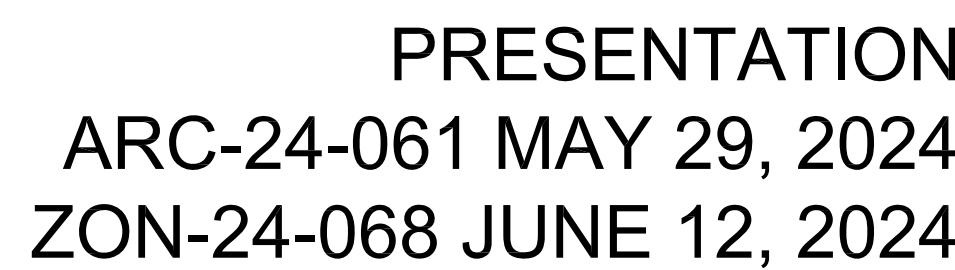
LANDSCAPE LIGHTING SPECIFICATIONS

SCALE: 1/8" = 1'-0"

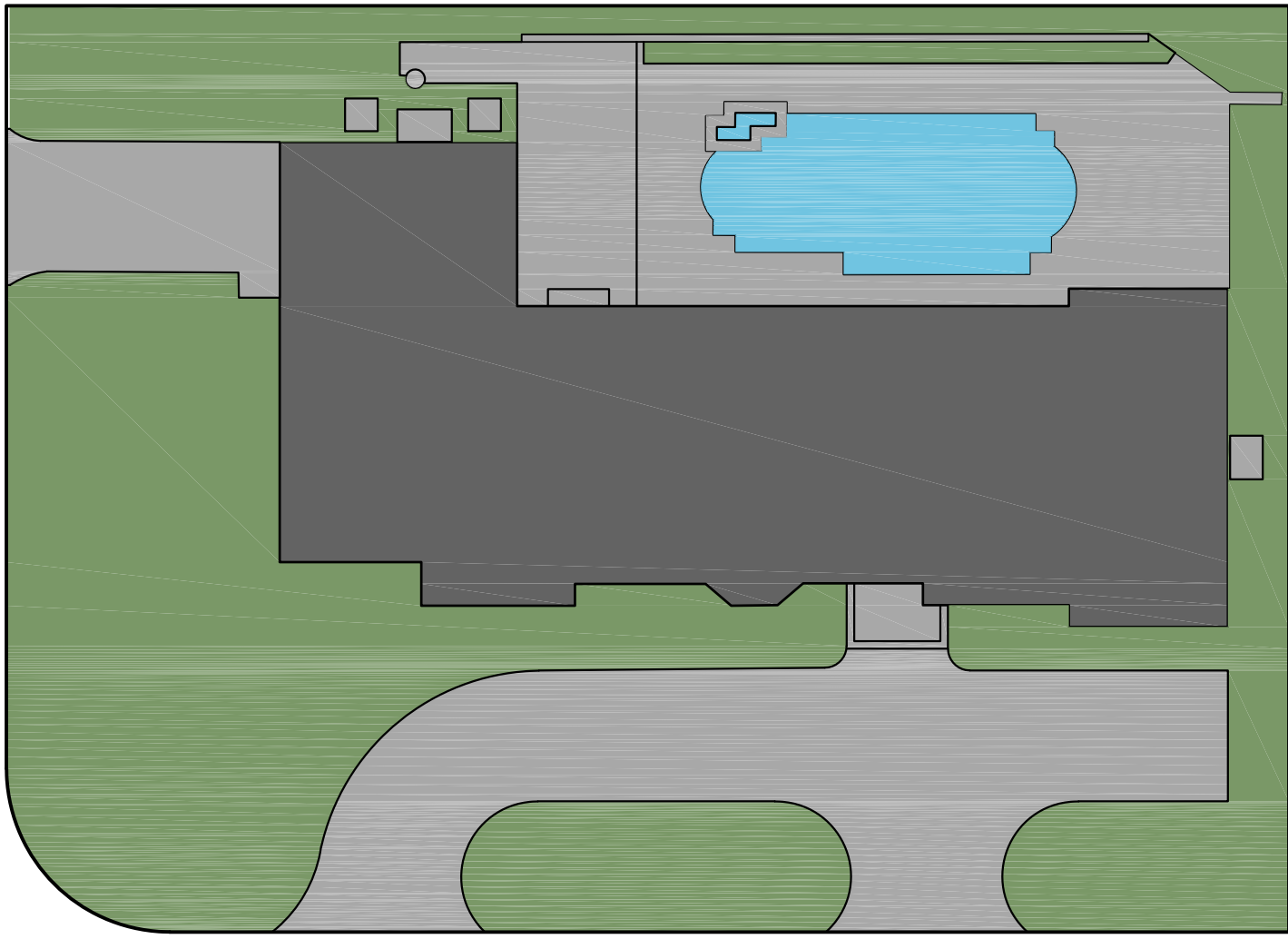
171 El Pueblo Way
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Florida

JOB #1022

LL2

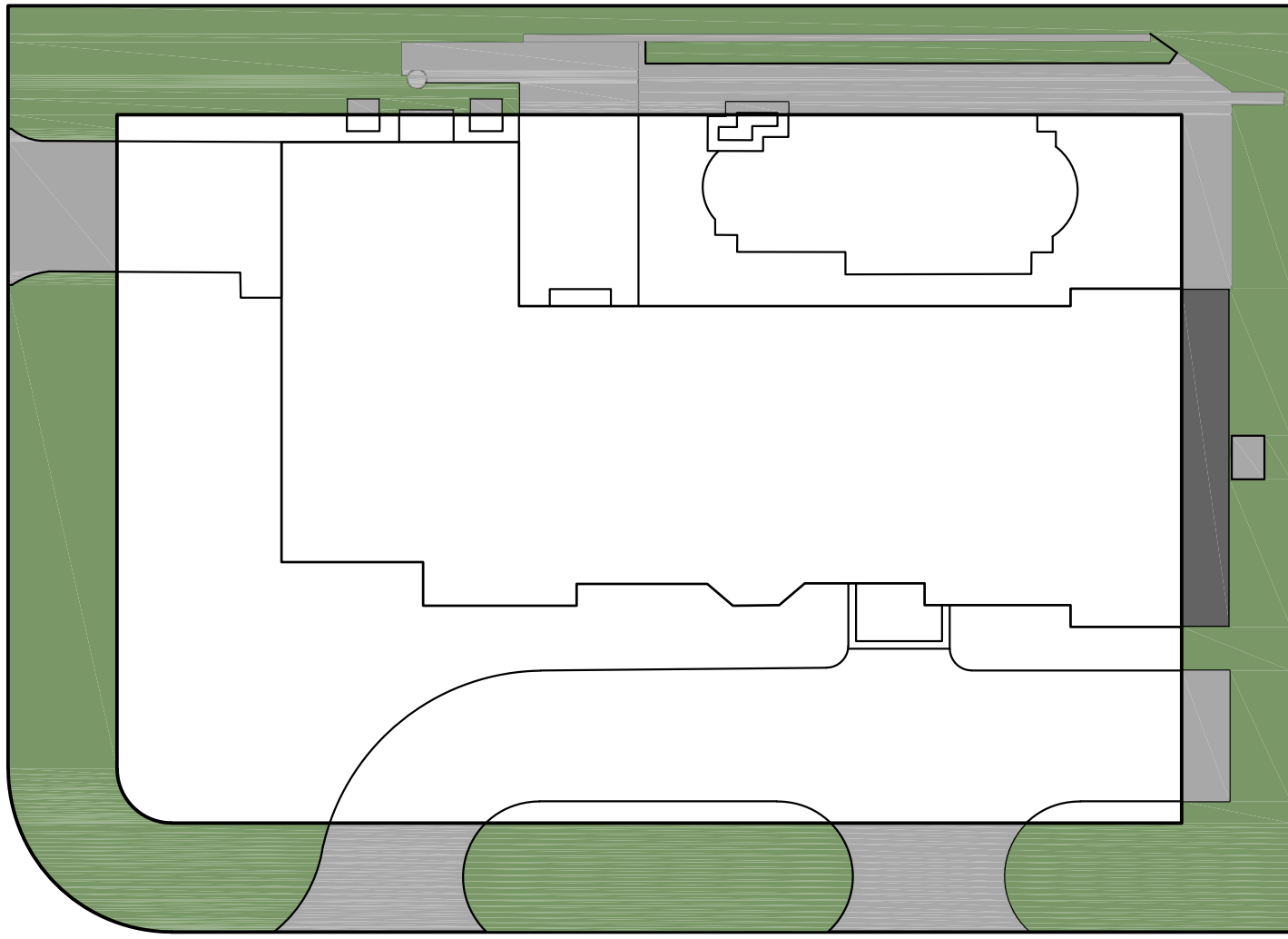


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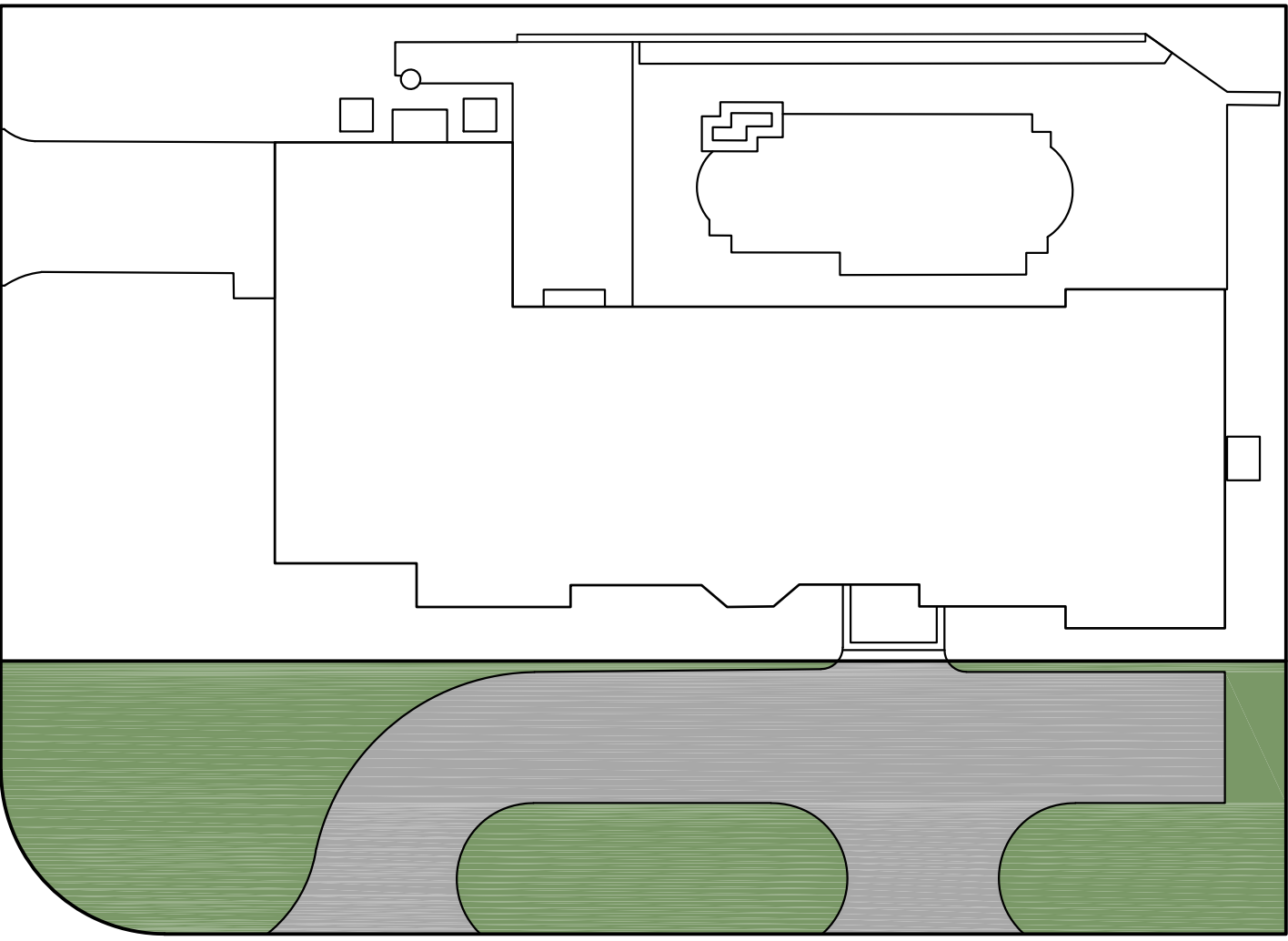
EXISTING LANDSCAPE OPEN SPACE DIAGRAM

LANDSCAPE - OVERALL (9,960.46 SQ. FT.)
- Required 4,482.21 SQ. FT. 45.00%
- Existing 3,993.23 SQ. FT. 40.09%



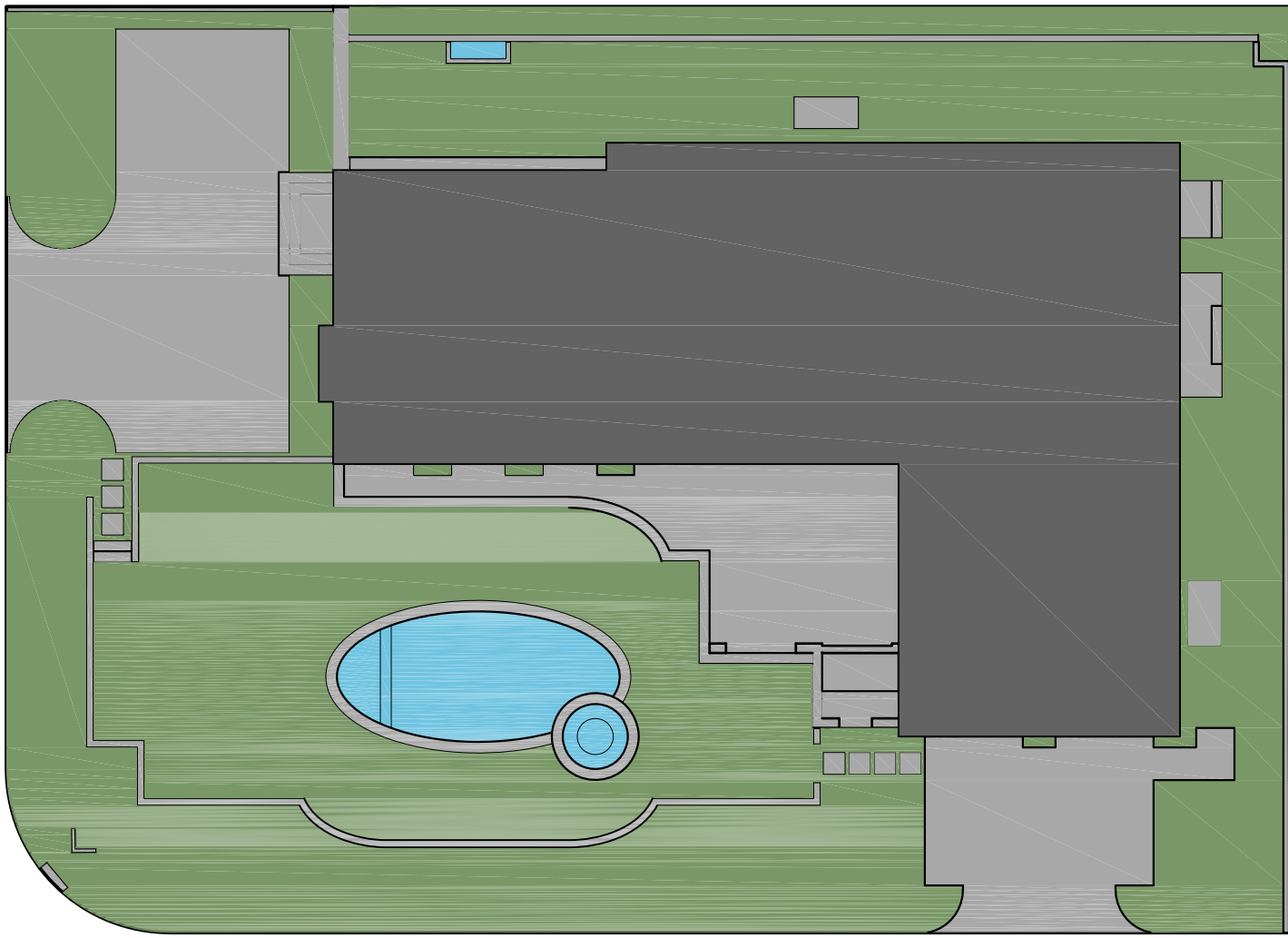
EXISTING 10' PERIMETER OPEN SPACE DIAGRAM

LANDSCAPE - 10' PERIMETER (50% of 4,482.21 SQ. FT.)
- Required 2,241.10 SQ. FT. 50.00%
- Existing 2,453.99 SQ. FT. 54.75%



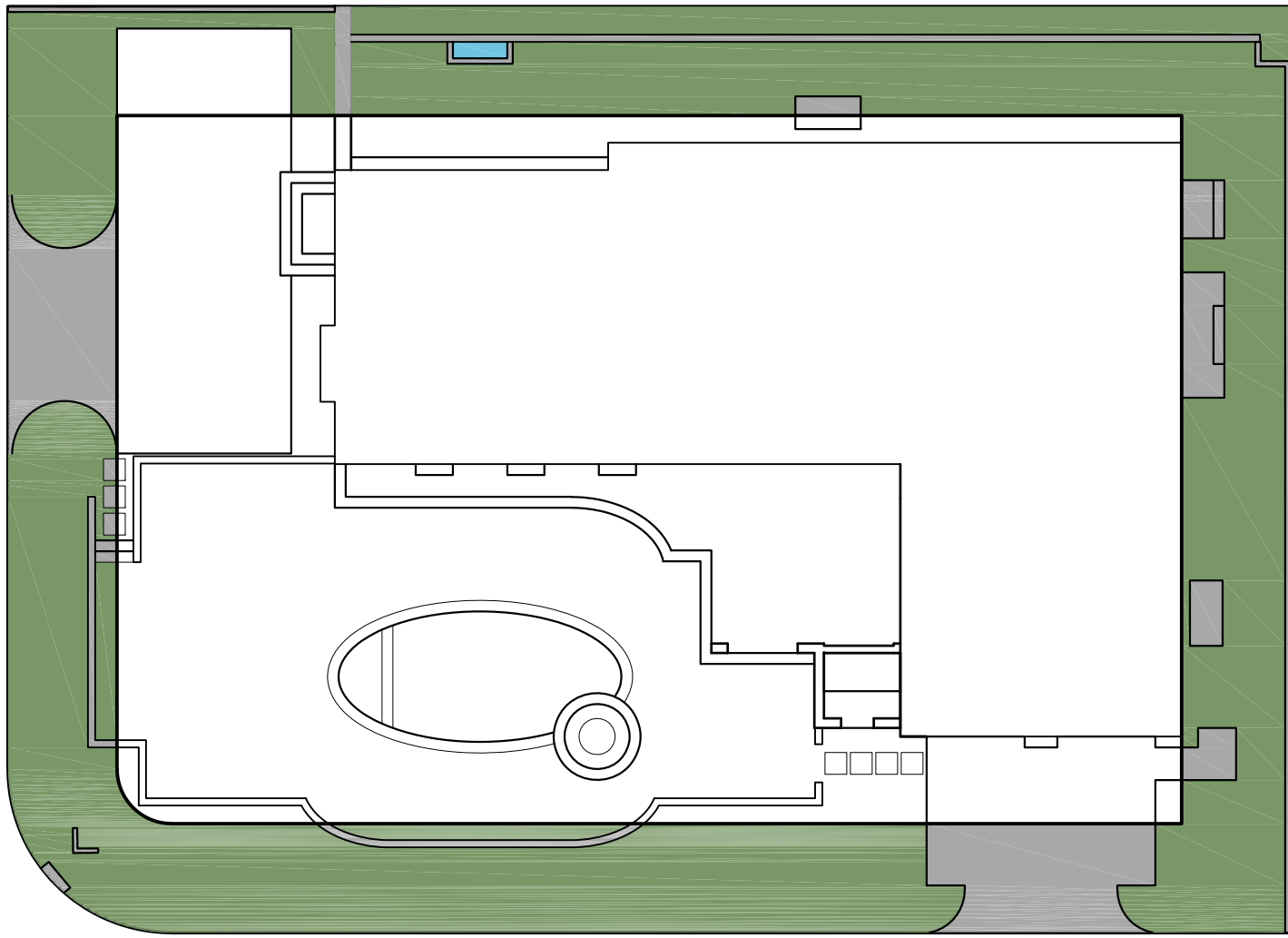
EXISTING FRONT YARD OPEN SPACE DIAGRAM

LANDSCAPE - FRONT YARD (2,895.46 SQ. FT.)
- Required 1,158.18 SQ. FT. 40.00%
- Existing 1,572.51 SQ. FT. 54.31%



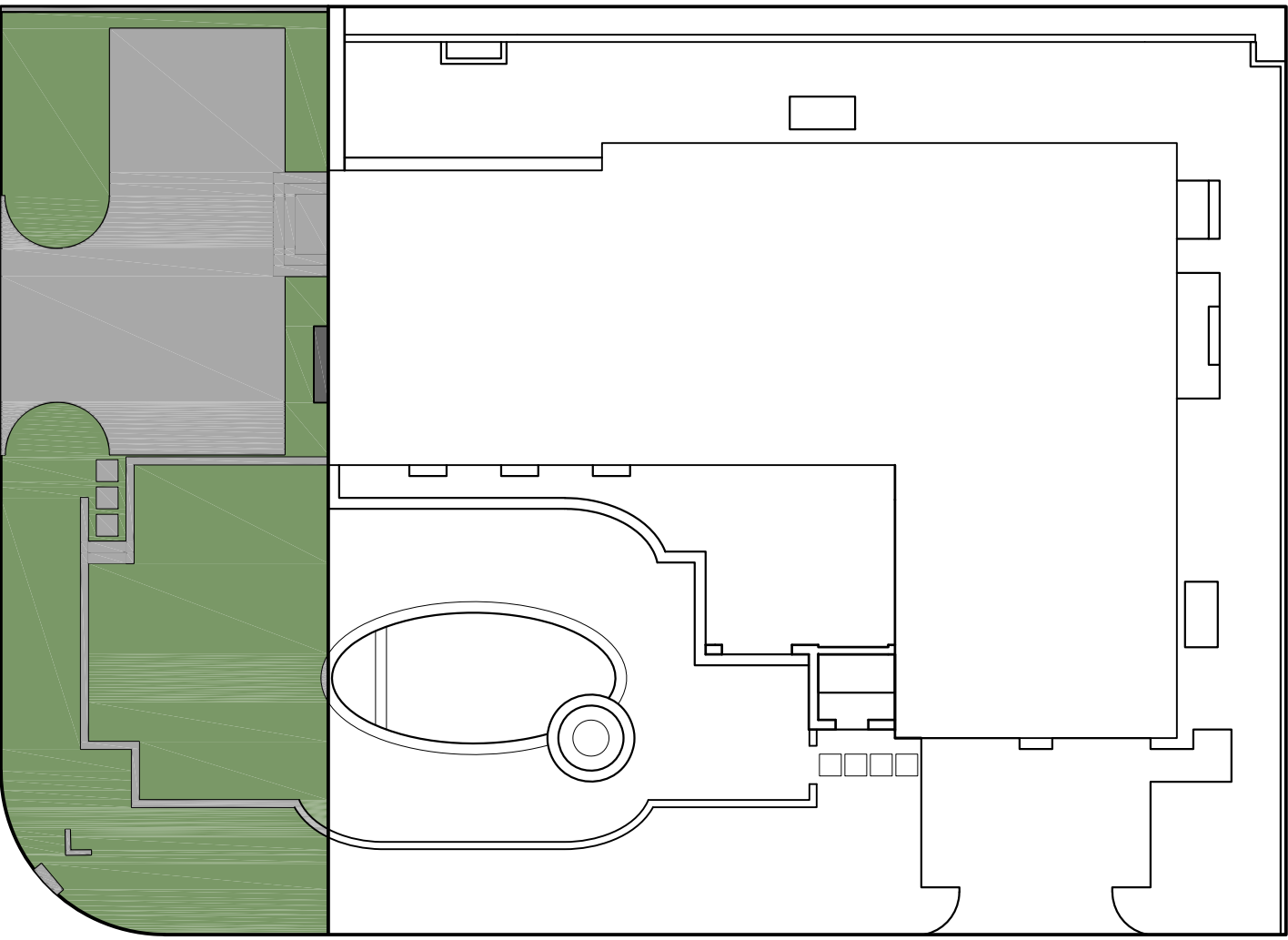
PROPOSED LANDSCAPE OPEN SPACE DIAGRAM

LANDSCAPE - OVERALL (9,960.46 SQ. FT.)
- Required 4,482.21 SQ. FT. 45.00%
- Existing 3,993.23 SQ. FT. 40.09%
- Proposed 4,591.48 SQ. FT. 46.10%



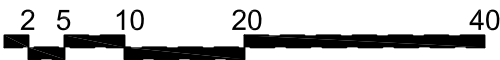
PROPOSED 10' PERIMETER OPEN SPACE DIAGRAM

LANDSCAPE - 10' PERIMETER (50% of 4,482.21 SQ. FT.)
- Required 2,241.10 SQ. FT. 50.00%
- Existing 2,453.99 SQ. FT. 54.75%
- Proposed 2,827.38 SQ. FT. 63.08%



PROPOSED FRONT YARD OPEN SPACE DIAGRAM

LANDSCAPE - FRONT YARD (2,501.71 SQ. FT.)
- Required 1,000.68 SQ. FT. 40.00%
- Existing 1,572.51 SQ. FT. 54.31%
- Proposed 1,574.17 SQ. FT. 62.92%



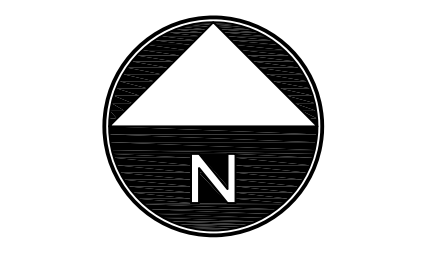
PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

SCALE: 1/16" = 1'-0"

ZONING DIAGRAMS (LOT 13)

DATE ISSUED:
April 15, 2024

DATE PLOTTED:
April 15, 2024



Z1

171 El Pueblo Way
Palm Beach
Florida

JOB #1022

1016 Clare Avenue
West Palm Beach, FL 33401
(561) 602-6277
bgspc.com
LA6666674



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PE36171

CONSTRUCTION SCREENING PLAN (PHASE 1) SCALE: 1/8" = 1'-0"

171 El Pueblo Way
Palm Beach
Florida

JOB #1022

DATE ISSUED:
April 15, 2024

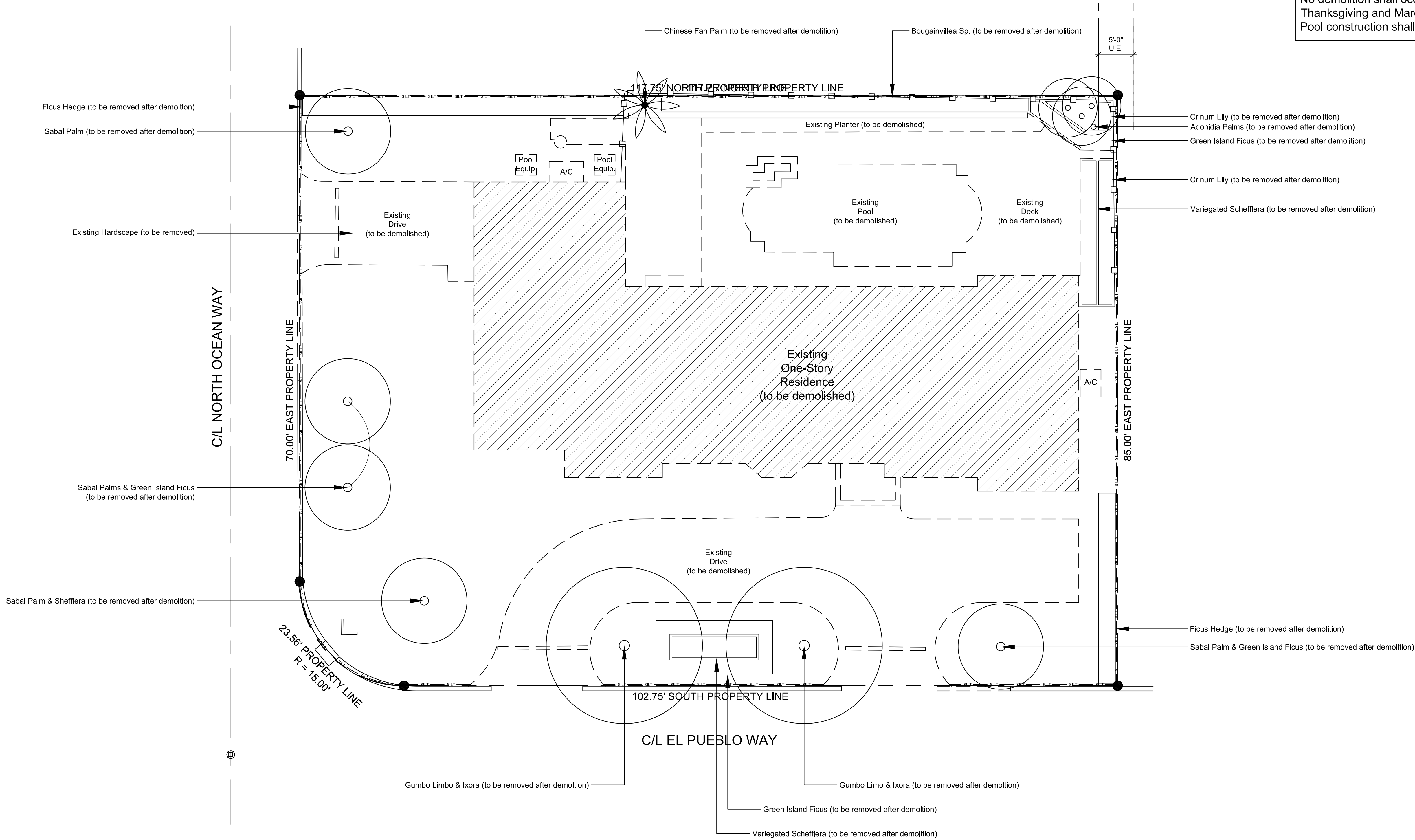
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DATE PLOTTED:
April 15, 2024



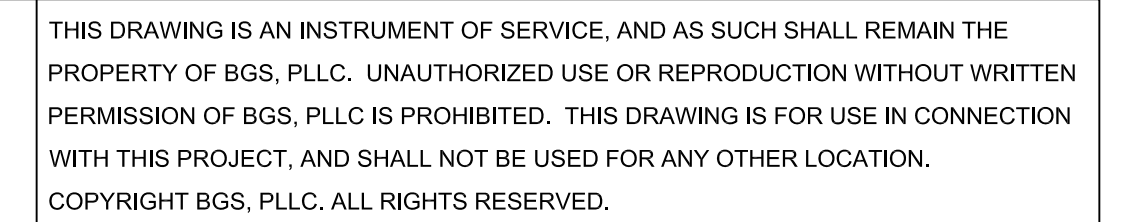
CS1.1

NOTE:
No demolition shall occur between the Monday prior to Thanksgiving and March 31.
Pool construction shall take place outside of season.

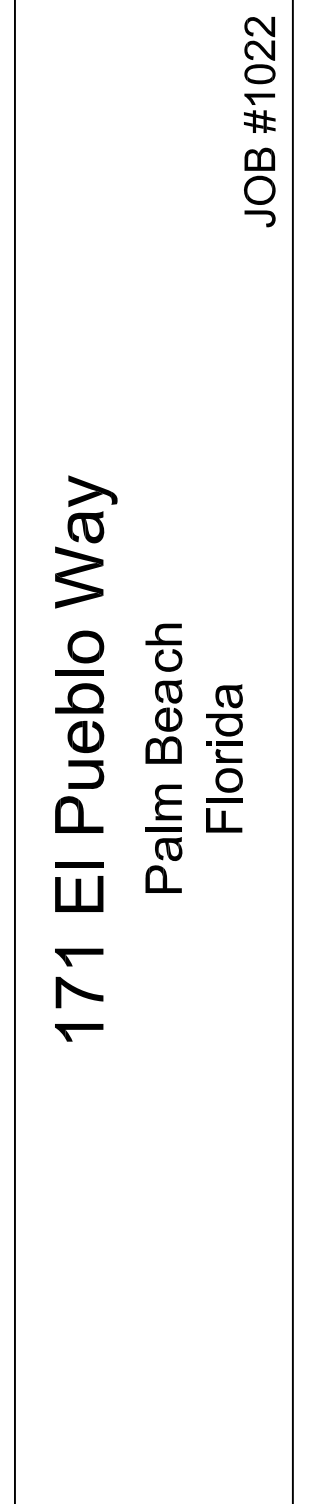


- PHASE 1
1. Install silt fence along property lines
 2. Demolish existing structure and hardscape
 3. Remove existing landscape where indicated

PRESENTATION
ARC-24-061 MAY 29, 2024
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PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024



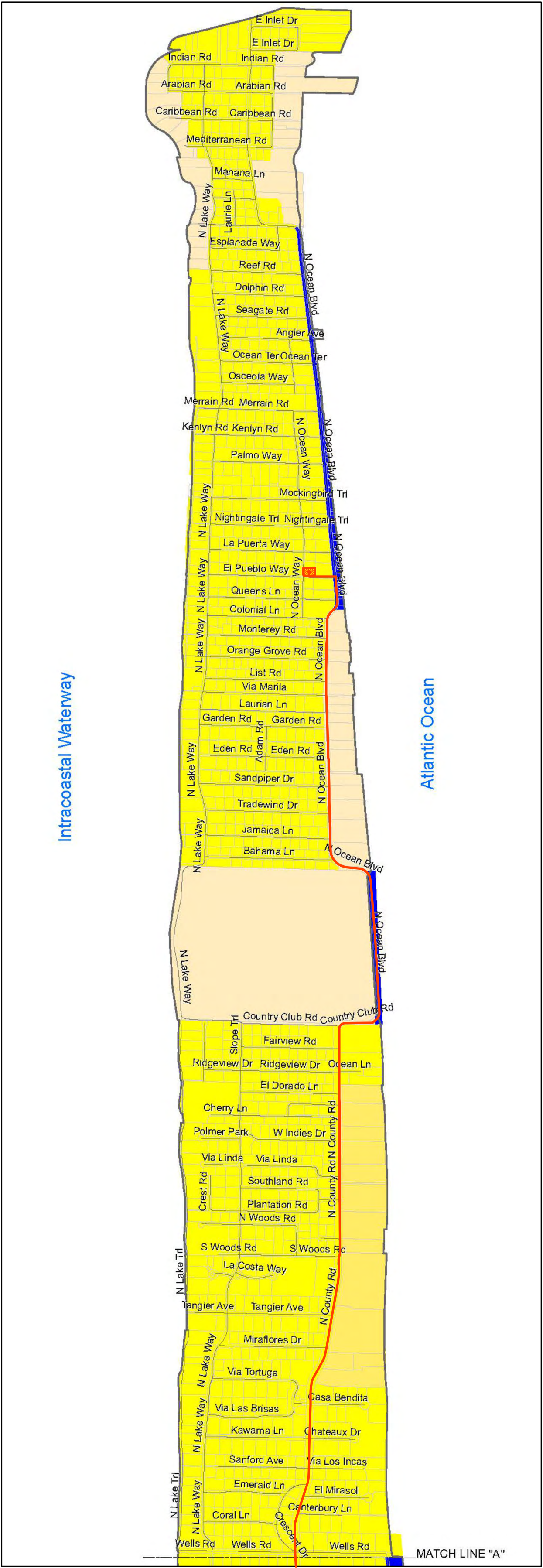
DATE ISSUED:
April 15, 2024



E PLOTTED:



CS1.2



VICINITY LOCATION MAP
N.T.S.

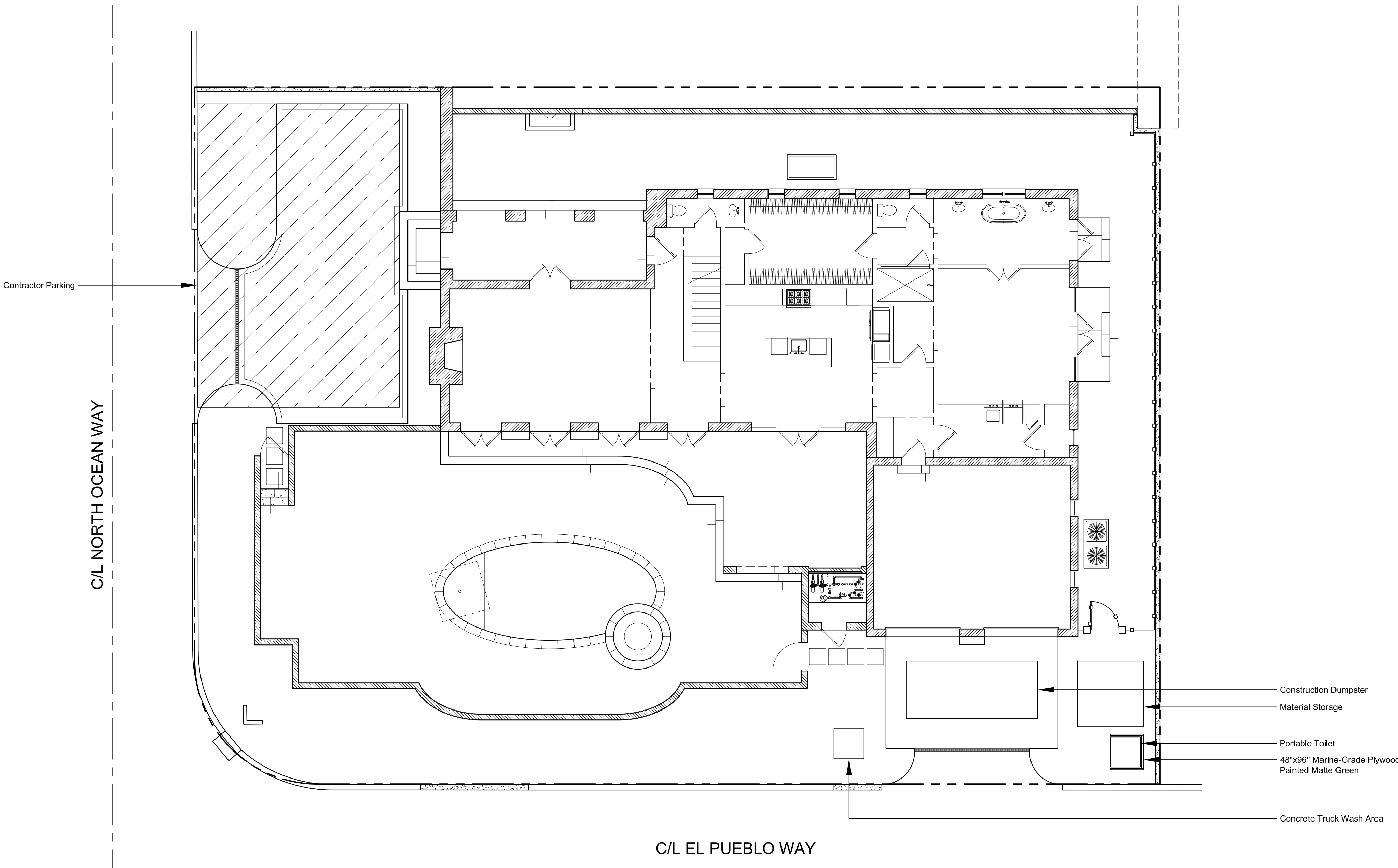
ROUTE TO SUBJECT PROPERTY:
Enter the Town of Palm Beach via Royal Poinciana Way over the Flagler Memorial bridge. Turn left (north) on North County Road. Continue north on North County Road for approximately 2.5 miles. Turn left (west) onto El Pueblo Way. Subject property will be on the right (north) side of El Pueblo Way at Ocean Way.

MAXIMUM TRUCK LENGTH:
30'

MAXIMUM NUMBER OF TRIPS TO SUBJECT PROPERTY:
50 (estimated)

CONSTRUCTION SCHEDULE (theoretical and to be determined by GC):
Month 1 Site Prep, Relocation, and Demolition
Month 2-3 Grading, Drainage, and Construction of Site Walls
Month 4-19 Construction of New Residence and Pool & Spa
Month 20 Plant Prep, Install New Landscape and Landscape Lighting
(4 month contingency for unforeseen circumstances)

NOTE:
No demolition shall occur between the Monday prior to Thanksgiving and March 31.
Pool construction shall take place outside of season.



CONSTRUCTION STAGING PLAN
N.T.S.

PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

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CONSTRUCTION STAGING PLAN
SCALE: 1/8" = 1'-0"
171 El Pueblo Way
Palm Beach
Florida
JOB #1022

DATE ISSUED:
April 15, 2024
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April 15, 2024



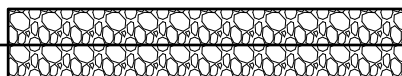



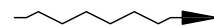


CS2

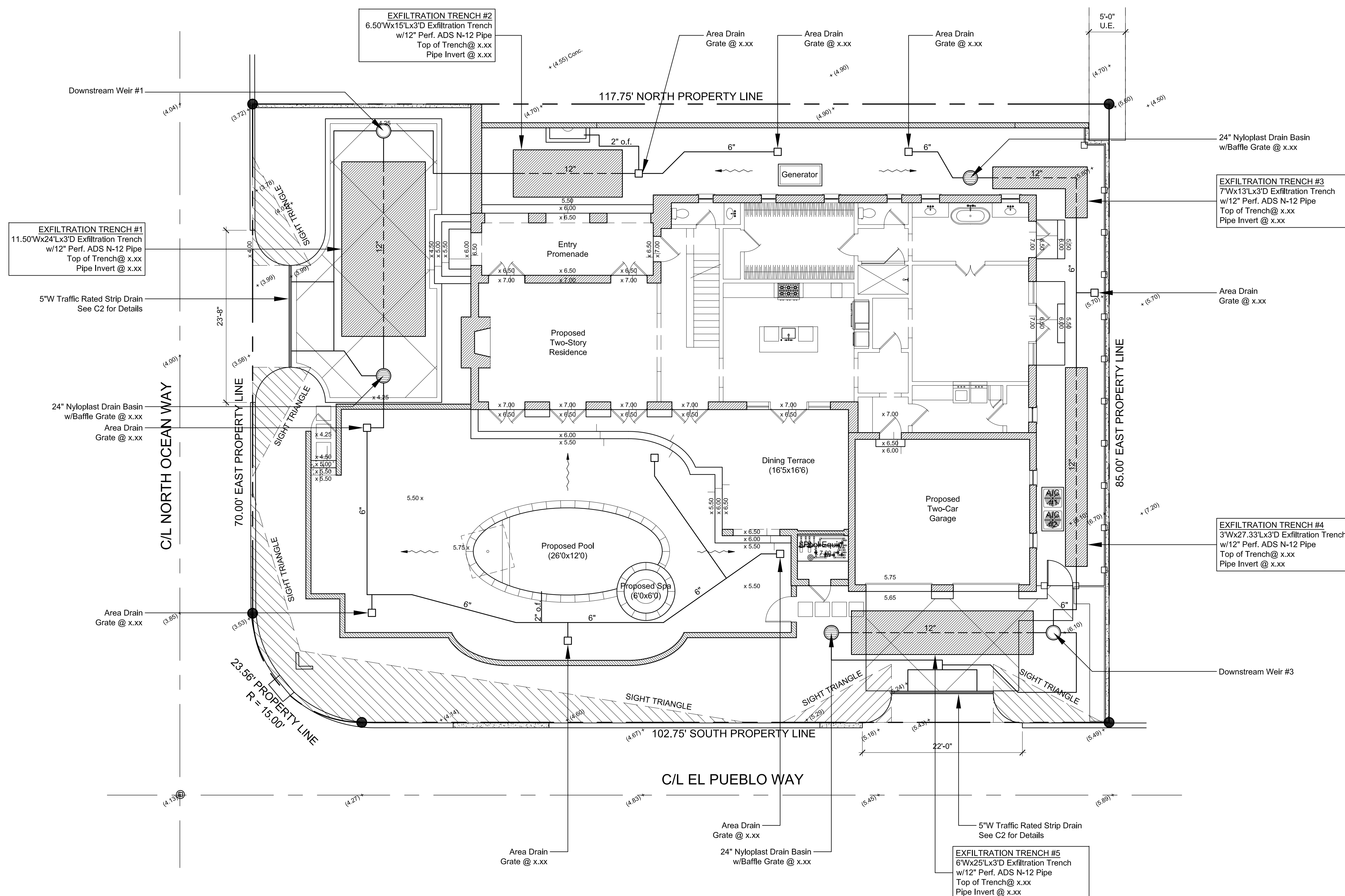
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Rationale Method, Q = C _i A			
Q1 =	0.25	cfs	peak runoff rate in cubic feet per second (impervious)
Q2 =	0.22	cfs	peak runoff rate in cubic feet per second (pervious)
Qt =	0.46	cfs	peak runoff rate in cubic feet per second (total)
Qt =	0.4573	ac-in/hr.	peak runoff rate in acre inches per hour (total)
C1 =	1		runoff coefficient impervious
C2 =	0.2		runoff coefficient pervious
i =	2	in/hr.	rainfall intensity in inches per hour
A1 =	0.122	ac	drainage area in acres (impervious)
A2 =	0.107	ac	drainage area in acres (pervious)
1 foot =	12	inches	conversion
1 acre =	43560	sf	conversion
1 hour =	3600	sec	conversion
1 cfs =	448.8	gpm	
area	8" PVC	0.34907	SF
velocity	2.17985		fps, using 3.3" Zone 10
	10" PVC	0.54542	SF
		1.3951	fps
	12" PVC	0.7854	
		0.96882	

Exfiltration Trenches G-1 from 2020 Permit Manual			
L =	2.31E+02	ft	total length of trench in feet
W =	3	ft	width of trench in feet
FS =	2		factor of safety, 2 minimum for geological uncertainties
%WQ =	50%		percent reduction in WQ treatment volume based on method, 50% for wet/dry retention
Vwq =	0.4573	ac-in/hr	volume of treatment provided by trench in 1 hour; needs to exceed runoff quantity
Vadd =	0	ac-in/hr	volume of treatment provided by trench in 1 hour in addition to Vwq;
K =	5.00E-05	cfs/ft ² -ft	hydraulic conductivity in cubic feet per second per square foot per foot of head; 5x10 ⁻⁵ default value
H2 =	3	ft	depth to water table or head on saturated surface; difference between grade and lowest elevation allowing discharge from trench or water table
Du =	2	ft	unsaturated trench depth; depth from top of trench in unsaturated zone to water table
Ds =	1	ft	saturated trench depth; depth to bottom of trench from water table

Legend - Storm Water Management

	Property Line
	Drainage Pipe
	Exfiltration Trench
	Drain Basin
	Area Drain
	Trench Drain
	Slope Direction
	Existing Elevation
	Proposed Elevation



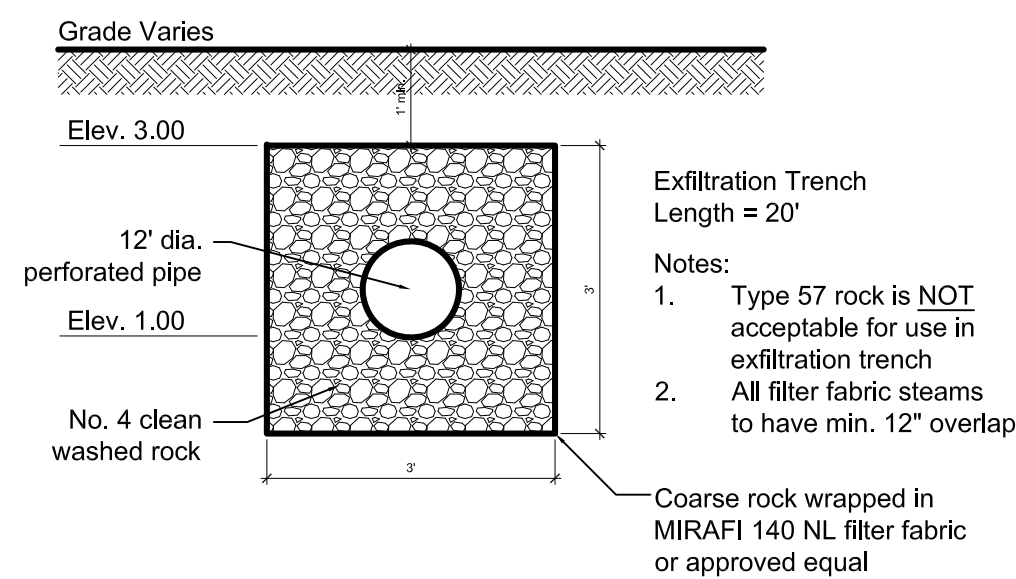
PRESENTATION
ARC-24-061 MAY 29, 2024
ZON-24-068 JUNE 12, 2024

48 HOURS BEFORE DIGGING CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction services.

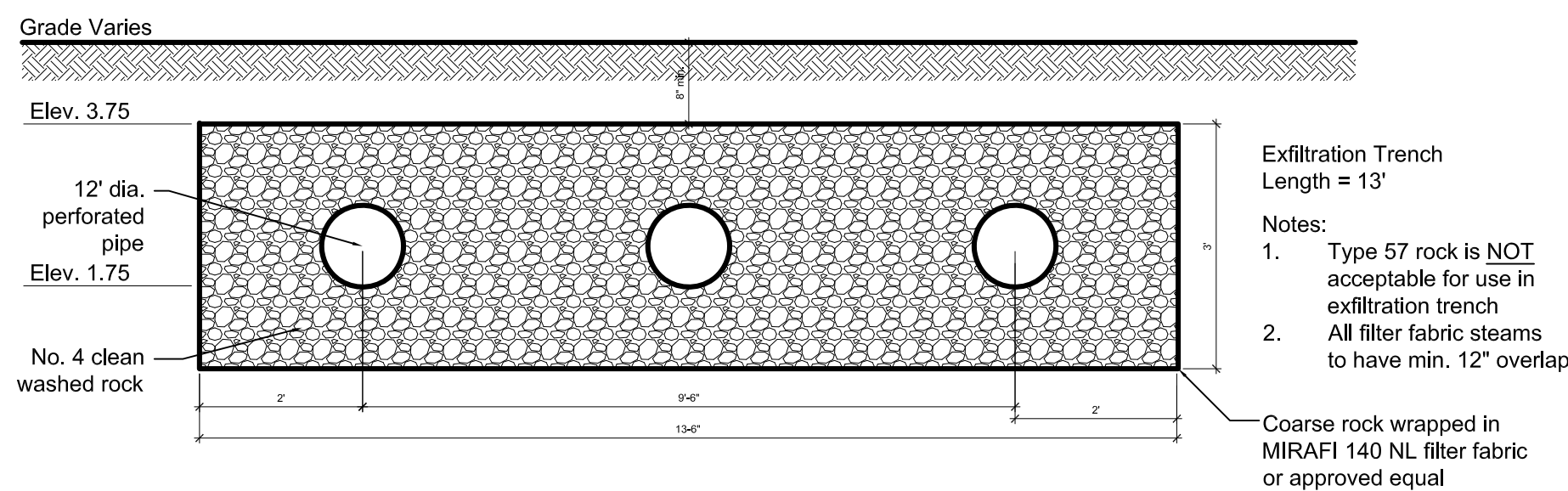
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GENERAL NOTES & SPECIFICATIONS:

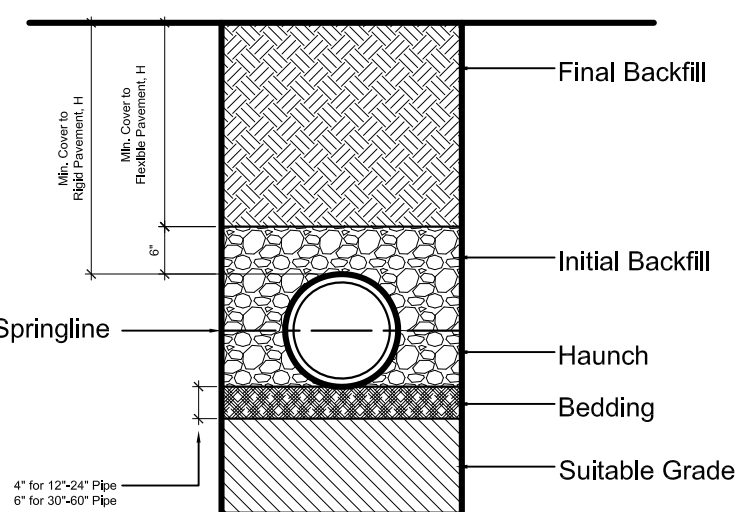
- Contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in specifications or mentioned in the specifications and not shown on the drawings, shall be of the like effect as if shown or mentioned in both.
- Figures marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors, which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, contractor shall adjust such dimensions as conditions may require.
- If contractor, in the course of work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by contractor, it shall be contractor's duty to immediately inform engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at one report to engineer any discrepancies between the executes work and the drawings.
- Engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. Contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing, or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit by any unburned remains are to be disposed of as directed by the owner or his representatives.
- Contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims for damage. Contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalks, lawns, utilities, and other items damaged by this construction activity.
- Contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by engineer. Should any test fail to meet specification as shown herein, contractor shall, at contractor's expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman-like manner and shall conform with all applicable City, County, State, and Federal regulations and/or codes. Contractor shall obtain all permits and licenses required to begin work.
- Contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed, and/or relocated, which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect completed work.
- Contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at contractor's expense.
- All work shall be accomplished in a safe and workman-like manner. Contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury, or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury, or property damage.
- Minimum Construction Inspection Checkpoints:
 - Prior to any major deviation from the approved plan
 - Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved
 - Upon completion of sub-grade compacting
 - At the time of delivery of base material
 - Upon completion of the base and prior to priming
 - Immediately prior to and upon the first and second applications of the plant mixed wearing course
 - Upon completion of construction, a final inspections will be made with project representative.
- All unsuitable material such as muck, marl, and debris shall be removed from the limits of construction and legally disposed. At the engineer's directions, much may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design, and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts, or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement(s) and repair(s) within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- Contractor shall complete "as-built" information relative to pipe lengths, materials, and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.



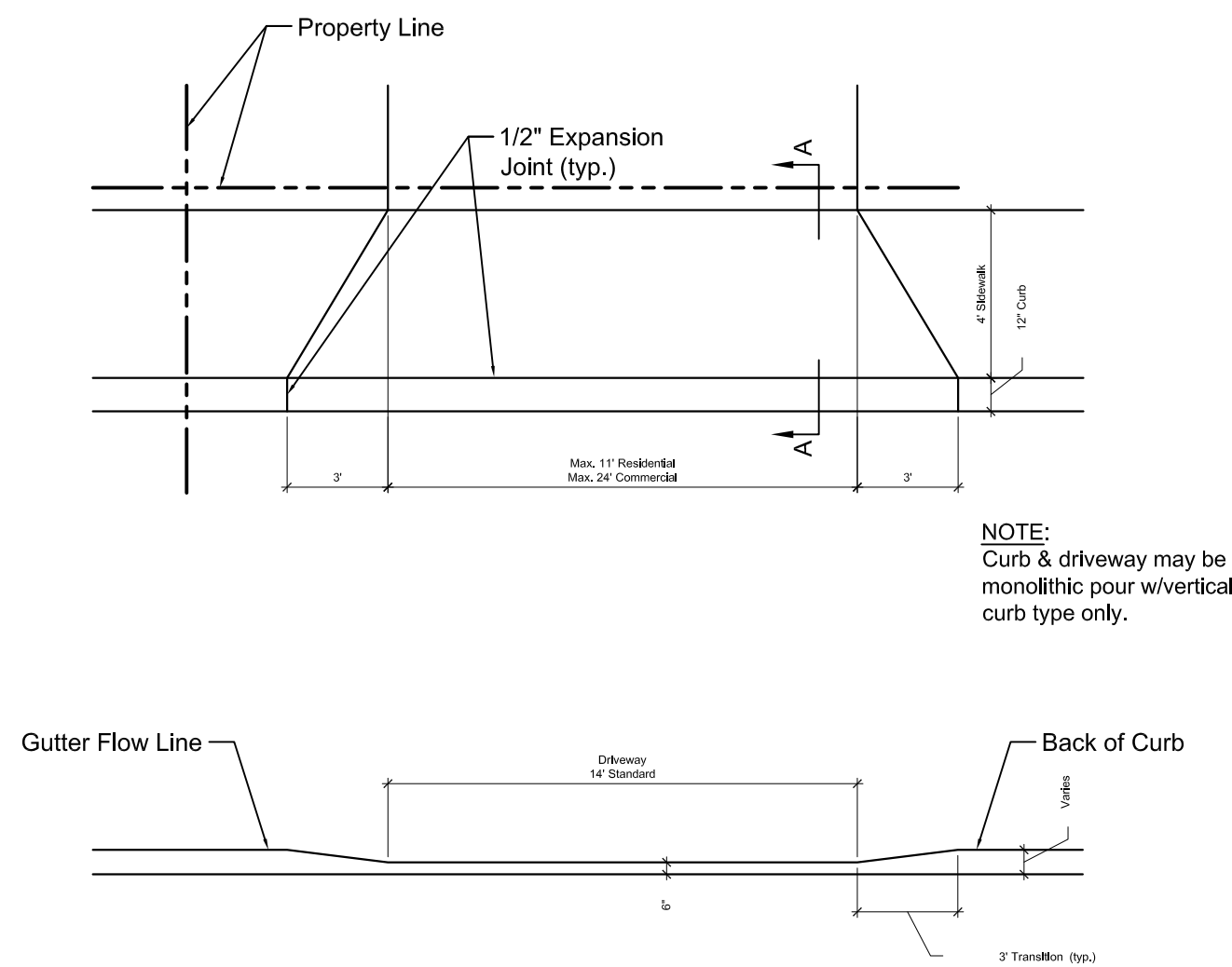
4
C2 EXFILTRATION TRENCH #1 DETAIL
N.T.S.



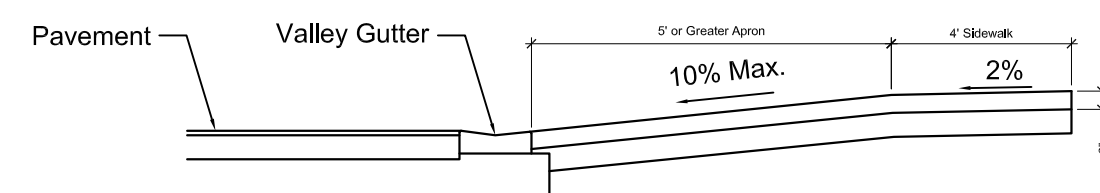
5
C2 EXFILTRATION TRENCH #2 DETAIL
N.T.S.



6
C2 TRENCH & BACKFILL DETAIL
N.T.S.



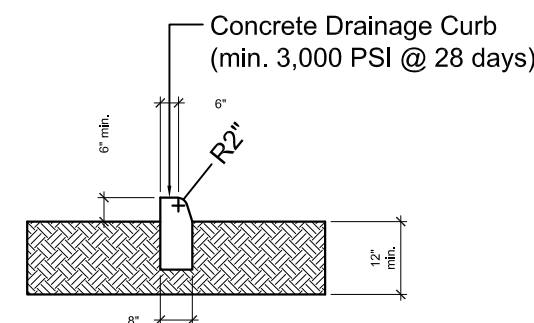
CURB TRANSITION PROFILE
N.T.S.



SECTION A-A
N.T.S.

- NOTES:
- Driveway to be Portland Cement, min. 3,000 P.S.I. @ 28 days
 - Base to be a min. 4\"/>

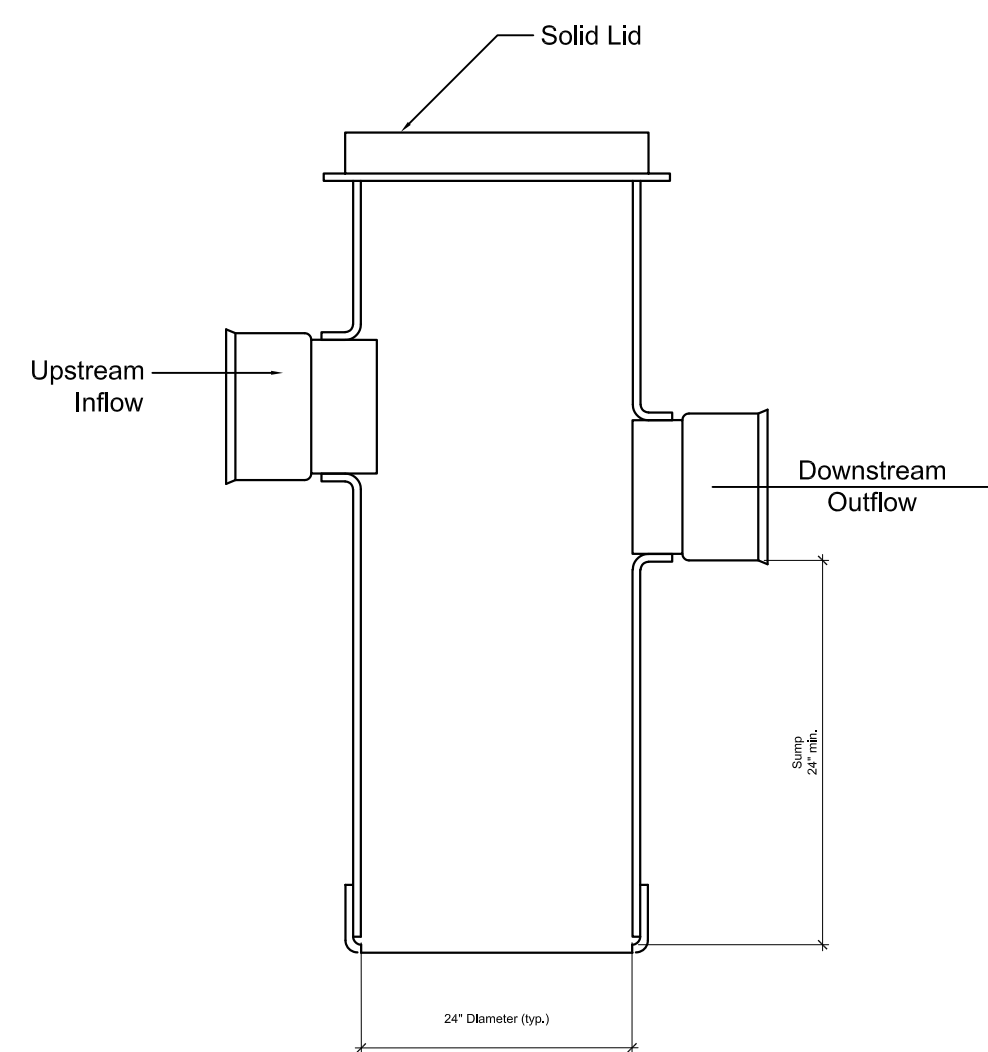
RESIDENTIAL DRIVEWAY
CURB & GUTTER SECTION (CONCRETE)
N.T.S.



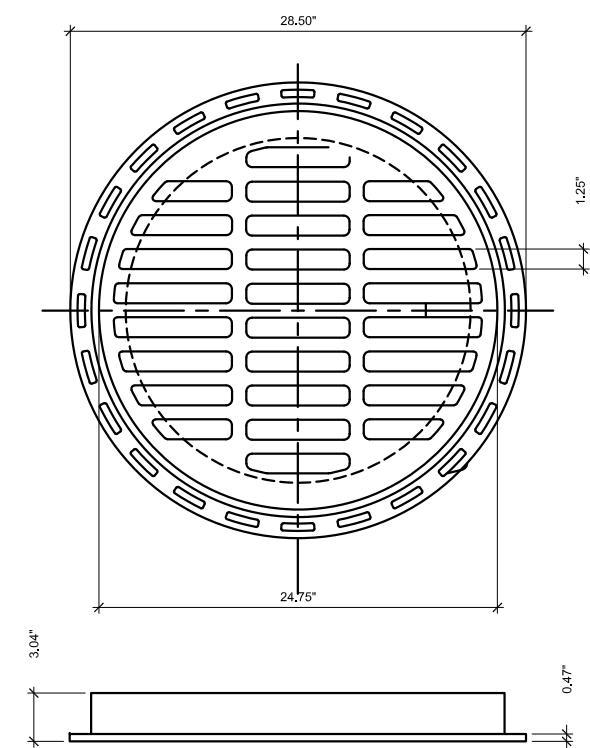
CONCRETE DRAINAGE CURB
CROSS SECTION

NOTES:

- All pipe systems shall be installed in accordance with ASTM D321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", latest addition.
- Measures should be taken to prevent migration of native fines into backfill material, when required.
- Suitable Subgrade:** Where the trench bottom is unstable, contractor shall excavate to a depth required by engineer and replace with suitable material as specified by engineer. As an alternative, and at the discretion of design engineer, trench bottom may be stabilized using geotextile material.
- Bedding:** Suitable material shall be Class I, II, or III. Contractor shall provide documentation for material specification to engineer. Unless otherwise noted by engineer, minimum bedding thickness shall be 4\"/>
- Initial Backfill:** Suitable material shall be Class I, II, or III in the pipe zone extending not less than 6\"/>
- Minimal Cover:** Minimum Cover, H in non-traffic applications (grass or landscape areas) is 12\"/>



1
C2 24\"/>



STANDARD:
Approx. Drain Area = 104.60 SQ. IN.
Approx. Weight with Frame = 124.00 LBS.
Standard Grate has H-25 heavy duty rating
Solid Cover has H-25 heavy duty rating
Pedestrian Grate has H-10 medium duty rating

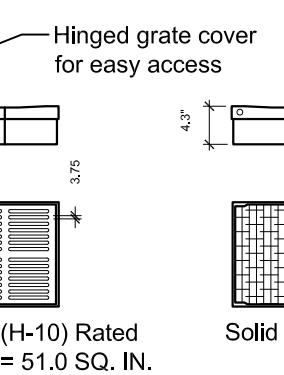
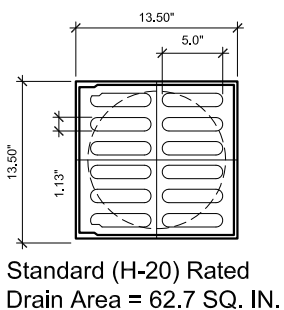
Quality: Materials shall conform to ASTM A536 Grade 70-50-05

Material: Ductile Iron

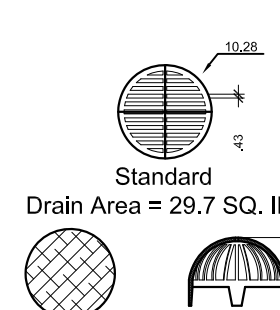
Paint: Castings are furnished with a black paint locking device available upon request. Price includes Frame & Grate/Cover

2
C2 24\"/>

12\"/>



10\"/>



Castings are rated for light wheel load traffic

Quality: Material shall conform to ASTM A48 - Class 30B

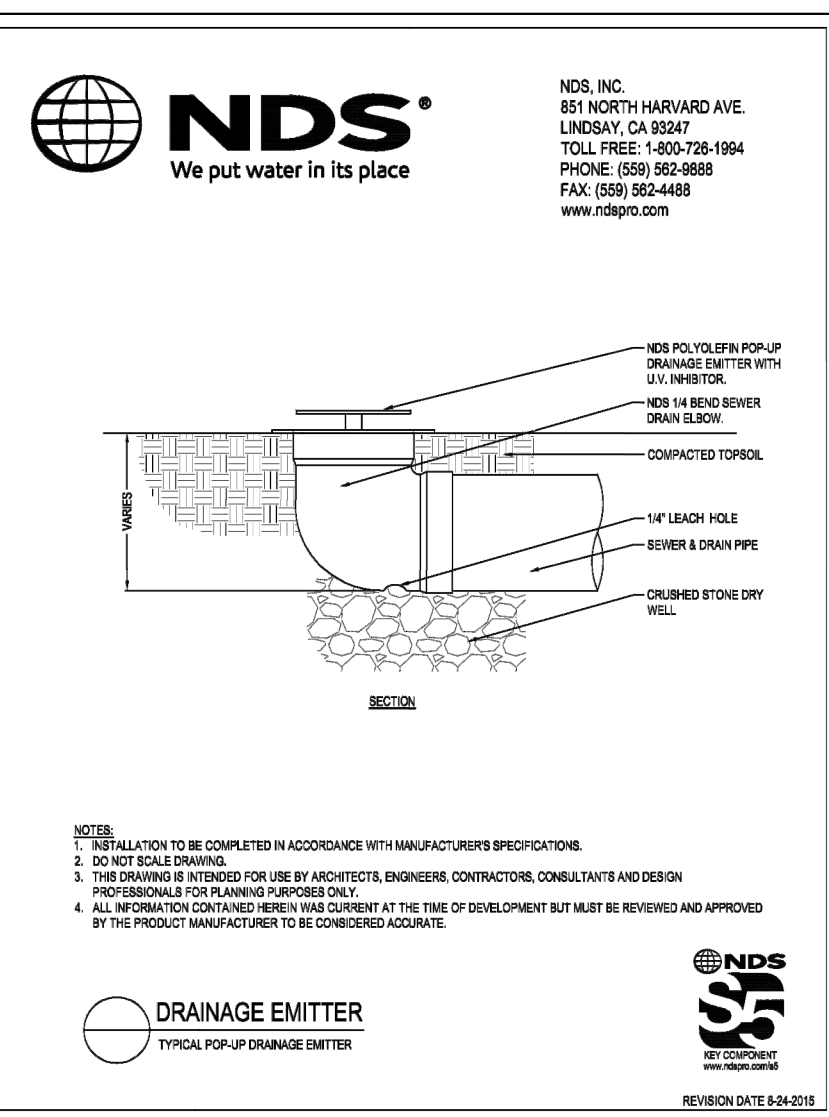
Paint: Castings are furnished with black paint

NOTE:

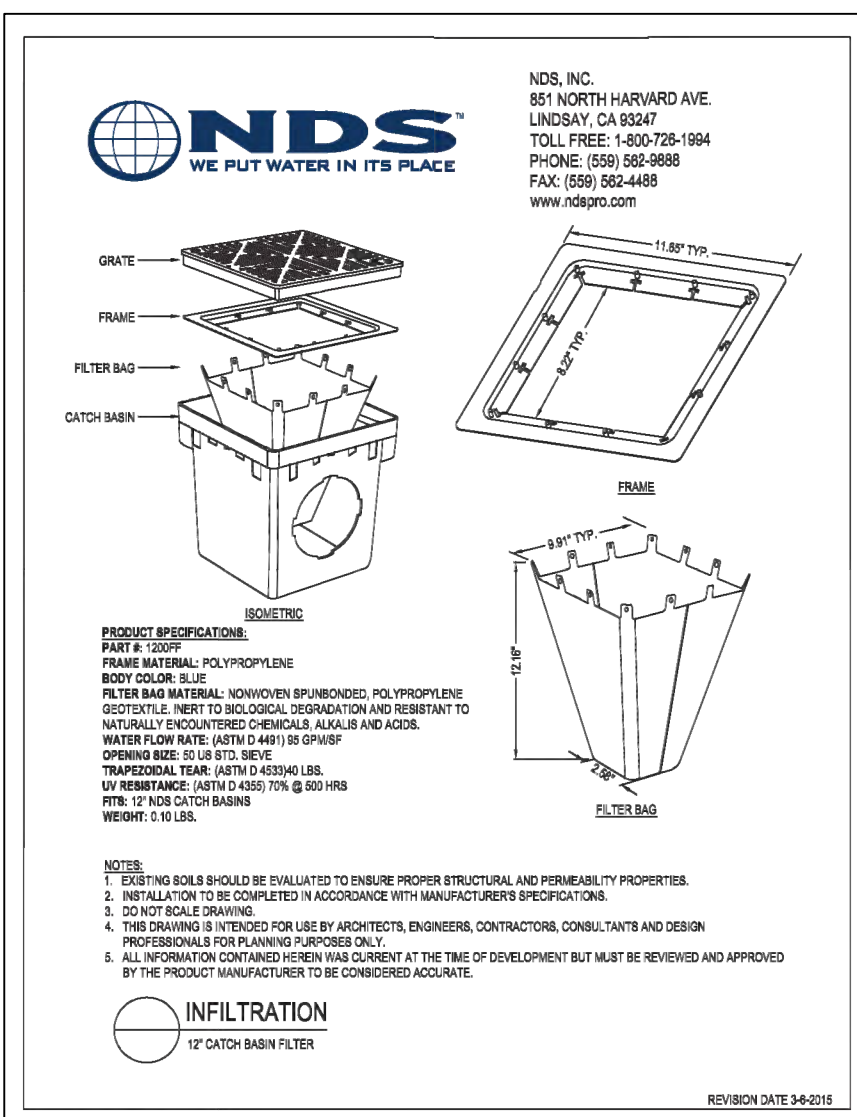
Type of grates & inlets to be coordinated with engineer & landscape architect

Pipe material may be PVC, ADS, NDS, or approved equal

3
C2 AREA DRAIN DETAILS
N.T.S.



7
C2 AREA DRAIN DETAIL
N.T.S.



8
C2 12\"/>


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C2

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