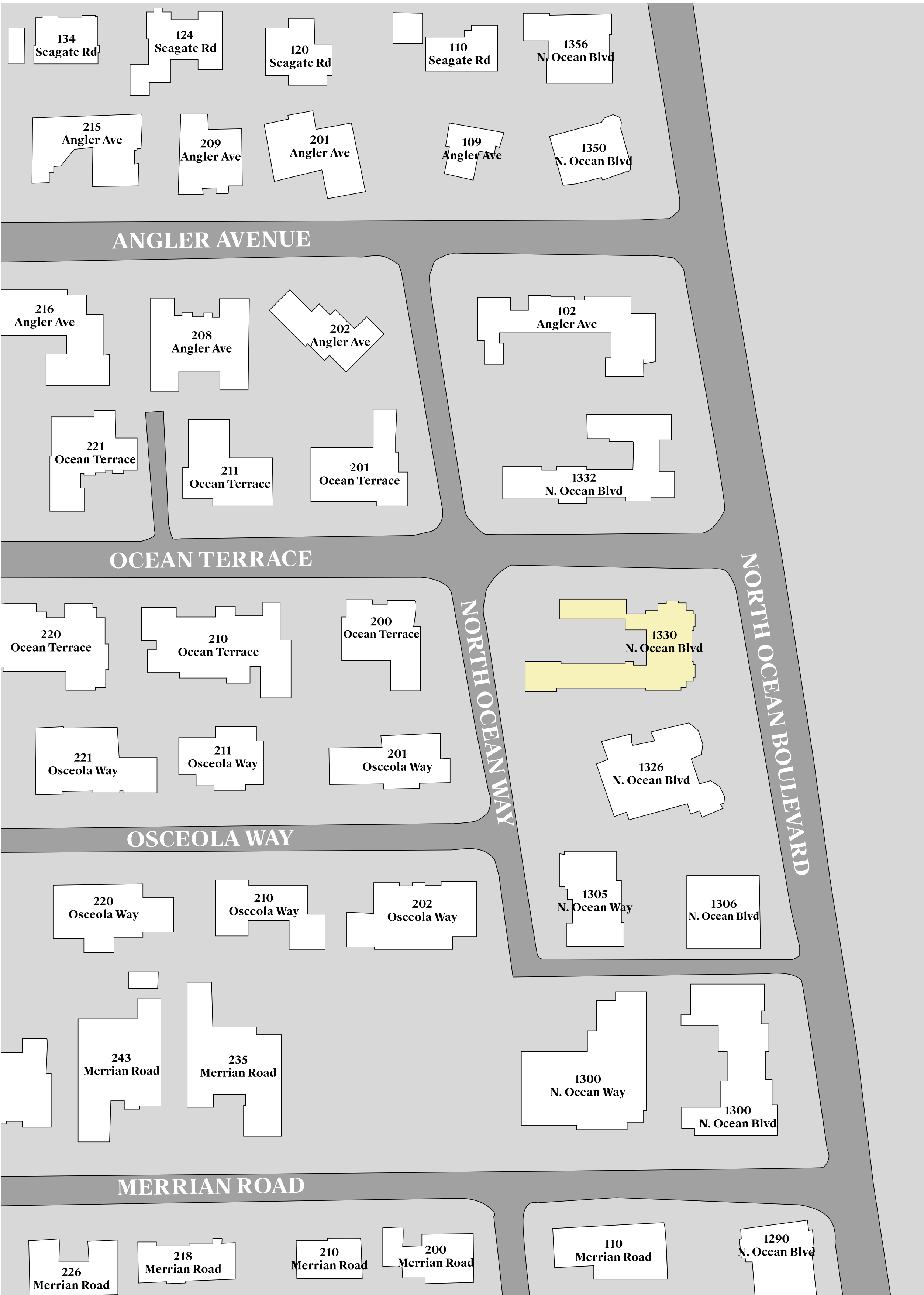





vicinity location map with 1/4 mile radius
NTS

RECEIVED
By yfigueroa at 11:27 am, Apr 12, 2024



location plan
NTS



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NEW YORK ATLANTA NASHVILLE MONTGOMERY

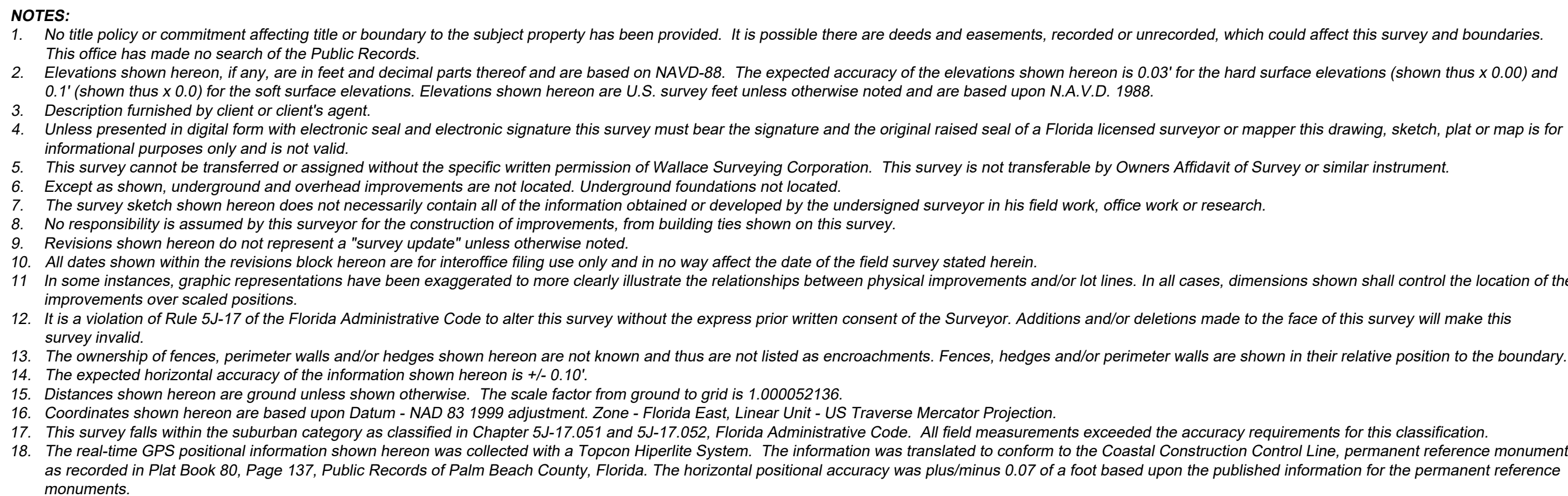
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<i>a new house</i>	PROJECT
<i>for</i>	
1330 N. OCEAN BLVD. PALM BEACH, FL 33480 ARC-24-051	
01.29.2024 02.08.2024 03.14.2024 04.01.2024 04.15.2024	DATE
FINAL DROP-OFF VICINITY LOCATION MAP & LOCATION MAP	TITLE
A0.1	SHEET No


The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.



REVISIONS:

11/03/23 SURVEY AND TIE-IN UPDATE WITH 62-B REQUIREMENTS JP3/M.B. 16-1581-6 PB356/21
 04/01/23 SPOT ELEVATIONS, SURVEY & TIE-IN UPDATE E.M./S.W. 16-1581-3 PB344/70

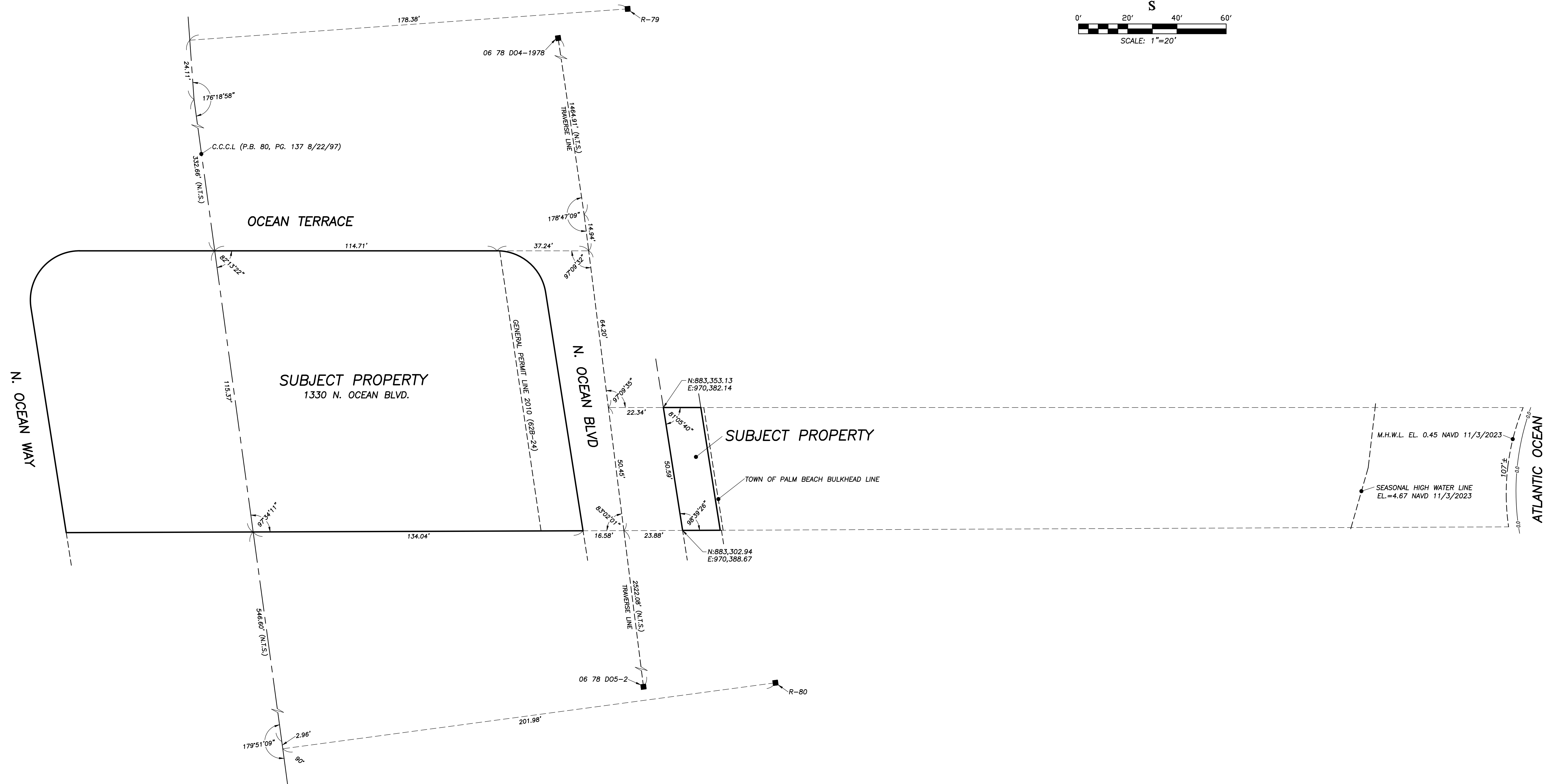
BOUNDARY SURVEY FOR:
PAUL A. KRASKER, TRUSTEE OF THE
1330 N OCEAN REVOCABLE TRUST




WALLACE SURVEYING
 CORP. LICENSED BUSINESS # 4480


5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4551

FIELD	J.P.	JOB NO: 16-1581	F.B. PB230 PG. 6
OFFICE:	J.P.	DATE: 9/24/16	DWG. NO. 16-1581-2
C/K'd	J.P.	REF: 16-1581-62B-2.DWG	SHEET 1 OF 2



BOUNDARY SURVEY FOR:
PAUL A. KRASKER, TRUSTEE OF THE
1330 N OCEAN REVOCABLE TRUST





WALLACE SURVEYING
 CORP., LICENSED SURVEYOR # 4589
 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4551

FIELD:	J.P.	JOB NO:	16-1581	F.B.	PB230	PG.	6
OFFICE:	J.P.	DATE:	9/24/16	DWG. NO.	16-1581-2		
C/K'D	J.P.	REF:	16-1581-62B-2.DWG				
		SHEET	2		OF 2		



209 ANGLER AVENUE



201 ANGLER AVENUE



109 ANGLER AVENUE



1350 NORTH OCEAN BOULEVARD



102 ANGLER AVENUE



202 ANGLER AVENUE



208 ANGLER AVENUE



211 OCEAN TERRACE



201 OCEAN TERRACE



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1330 N. OCEAN BLVD.

PALM BEACH, FL 33480

ARC-24-051

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04.15.2024

FINAL DROP-OFF
NEIGHBORHOOD
CONTEXT

A0.2

SHEET No



1332 NORTH OCEAN BOULEVARD



200 OCEAN TERRACE



200 OCEAN TERRACE (FROM OCEAN WAY)



210 OCEAN TERRACE



211 OSCEOLA WAY



201 OSCEOLA WAY



1326 NORTH OCEAN BOULEVARD



202 OSCEOLA WAY



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PALM BEACH, FL 33480
ARC-24-051

01.29.2024
02.08.2024
03.14.2024
04.01.2024
04.15.2024
DATE

FINAL DROP-OFF
NEIGHBORHOOD
CONTEXT
TITLE

A0.3
SHEET No



1305 NORTH OCEAN WAY



1306 NORTH OCEAN BOULEVARD



210 OSCEOLA WAY



235 MERRIAN ROAD



1300 NORTH OCEAN WAY



1300 NORTH OCEAN BOULEVARD



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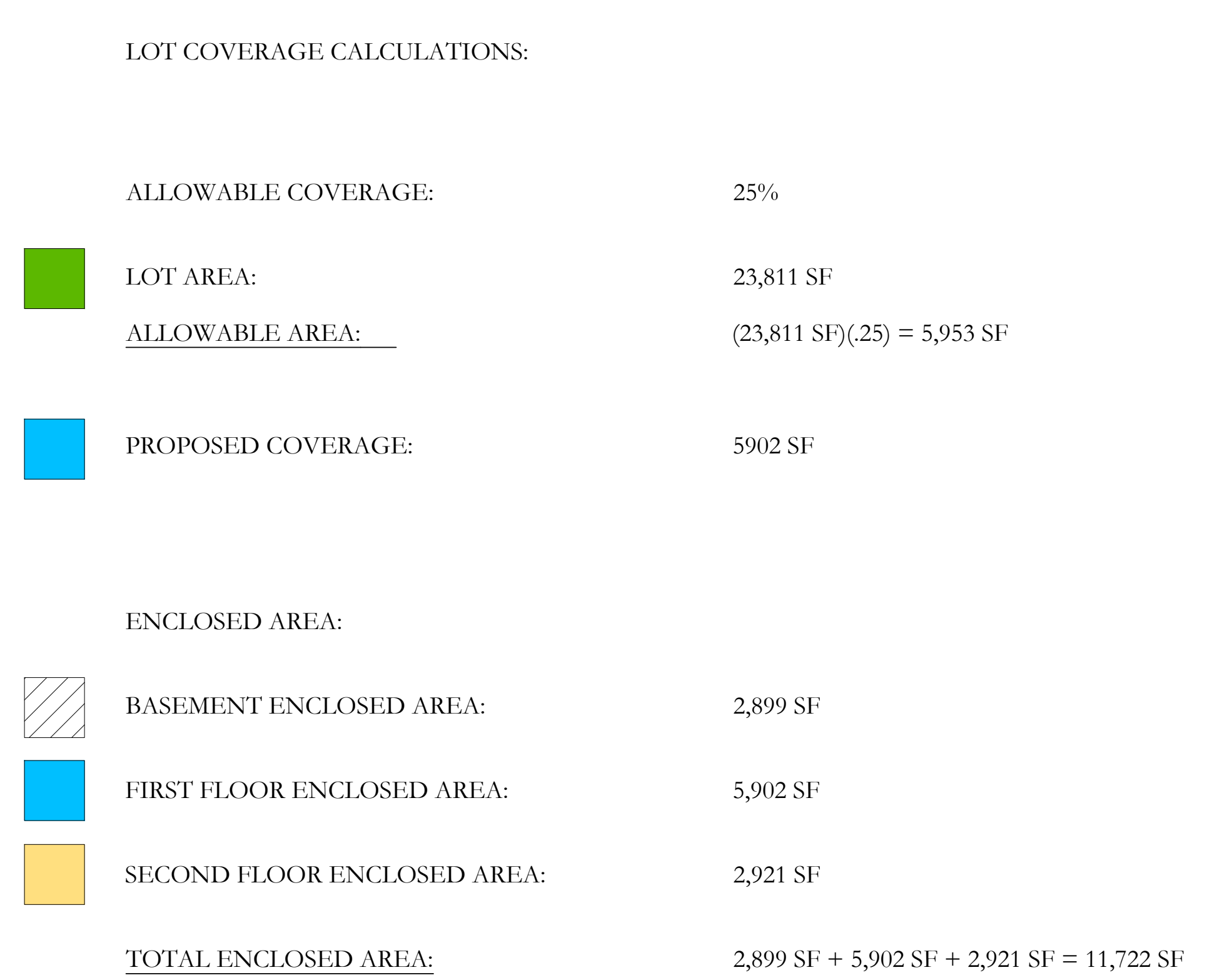
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for
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PALM BEACH, FL 33480
ARC-24-051

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04.15.2024

FINAL DROP-OFF
NEIGHBORHOOD
CONTEXT

A0.4



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	1330 N. Ocean Boulevard		
2	Zoning District:	R-B		
3	Lot Area (sq. ft.):	23,811 SF		
4	Lot Width (W) & Depth (D) (ft.):	210' x 113'-11"		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE FAMILY		
6	FEMA Flood Zone Designation:	X(@ MAIN HOUSE) VE (@ BEACH PARCEL)		
7	Zero Datum for point of meas. (NAVD)	+10.08' WEST OF CCCL; +15.9' EAST OF CCCL		
8	Crown of Road (COR) (NAVD)	+8.58' WEST OF CCCL; +13.19' EAST OF CCCL		
9		REQ'D / PERMITTED	EXISTING	
			PROPOSED	
10	Lot Coverage (Sq Ft and %)	5,953 SF (25%)	N/A	5,902 SF (24.8%)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	N/A	9,041 SF
12	*Front Yard Setback (Ft.)	25'/30' N	N/A	25'/32'-11" N
13	* Side Yard Setback (1st Story) (Ft.)	30' E	N/A	37'-8" E
14	* Side Yard Setback (2nd Story) (Ft.)	30' E	N/A	44'-3" E
15	*Rear Yard Setback (Ft.)	10'/15' S	N/A	13'-6"/15'-7" S
16	Angle of Vision (Deg.)	104 DEG	N/A	100 DEG
17	Building Height (Ft.)	22'	N/A	21'-2" W /19'-10" E
18	Overall Building Height (Ft.)	30'	N/A	28'-4"/27'-0"
19	Cubic Content Ratio (CCR) (R-B ONLY)	91,868 CF/3.86	N/A	88,629 CF/3.72
20	** Max. Fill Added to Site (Ft.)	see below	N/A	3.42' W/ 1.17' E
21	Finished Floor Elev. (FFE)(NAVD)	+15.90 FT	N/A	+15.90 FT
22	Base Flood Elevation (BFE)(NAVD)	N/A FOR FLOOD ZONE X	N/A	N/A FOR FLOOD ZONE X
23	Landscape Open Space (LOS) (Sq Ft and %)	11,905 SF/50%	23,810 SF/100%	12,017 SF/50.4%
24	Perimeter LOS (Sq Ft and %)		N/A	
25	Front Yard LOS (Sq Ft and %)	3227 SF/45%	7172 SF/100%	4619 SF/64.4%
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

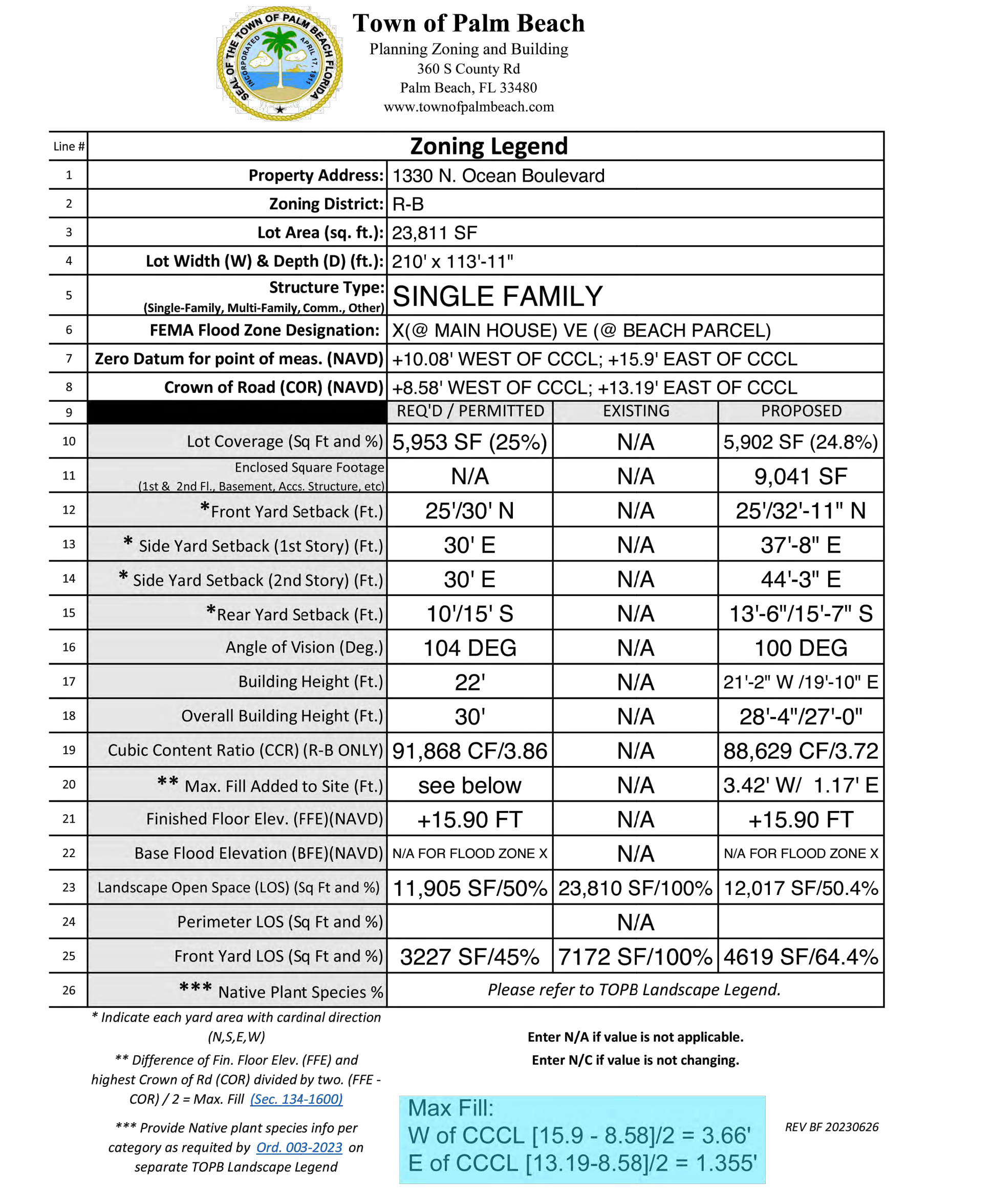
** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill [\(Sec. 134-1600\)](#)

*** Provide Native plant species info per category as required by [Ord. 003-2023](#) on separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

Max Fill:
W of CCCL $[15.9 - 8.58]/2 = 3.66'$
E of CCCL $[13.19-8.58]/2 = 1.355'$

REV BF 20230626



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for

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330 N. OCEAN BLVD.
PALM BEACH, FL 33480

ARC-24-051

01.29.2024	DATE
02.08.2024	
03.14.2024	
04.01.2024	
04.15.2024	

FINAL DROP-OFF	
CONING DIAGRAMS -	TITLE
LOT COVERAGE	

SHEET No.

A0.6

CCR CALCULATIONS

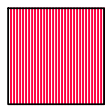
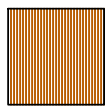
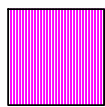
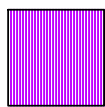
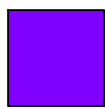
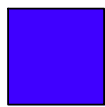
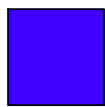
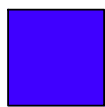
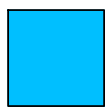
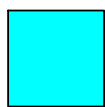
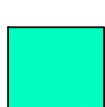
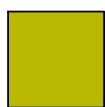
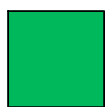

MAX CCR + VOLUME ALLOWED:

60,000 - 23,800 SF LOT = 36,200 / 50,000 = .72(.5) = .36 + 3.5 = 3.86 CCR
(3.86)(23,800 SF) = 91,868 CUBIC FEET

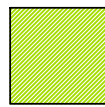
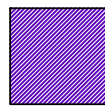
MAX CCR ALLOWED:
91,868 / 23,800 = 3.86

ENCLOSED AREA

MAIN HOUSE FIRST FLOOR SECTIONS 1-12

	SECTION 1 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 13.31'- FLOOR AREA = 127 SF- VOLUME = (127 SF)(13.31 FT) = <u>1690 CUBIC FEET</u>
	SECTION 2 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 13.81'- FLOOR AREA = 123 SF- VOLUME = (123 SF)(13.81 FT) = <u>1699 CUBIC FEET</u>
	SECTION 3 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 8'-0"- FLOOR AREA = 499 SF- VOLUME = (499 SF)(8 FT) = <u>3922 CUBIC FEET</u>
	SECTION 4 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 8'-0"- FLOOR AREA = 123 SF- VOLUME = (123 SF)(8 FT) = <u>984 CUBIC FEET</u>
	SECTION 5 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 10'-6"- FLOOR AREA = 790 SF- VOLUME = (790 SF)(10.5 FT) = <u>8295 CUBIC FEET</u>
	SECTION 6 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 10'-6"- FLOOR AREA = 116 SF- VOLUME = (116 SF)(10.5 FT) = <u>1218 CUBIC FEET</u>
	SECTION 7 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 10'-6"- FLOOR AREA = 375 SF- VOLUME = (375 SF)(10.5 FT) = <u>3938 CUBIC FEET</u>
	SECTION 8 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 10'-6"- FLOOR AREA = 155 SF- VOLUME = (155 SF)(10.5 FT) = <u>1628 CUBIC FEET</u>
	SECTION 9 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 10'-6"- FLOOR AREA = 1835 SF- VOLUME = (1835 SF)(10.5 FT) = <u>19,268 CUBIC FEET</u>
	SECTION 10 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 9'-0"- FLOOR AREA = 643 SF- VOLUME = (643 SF)(9 FT) = <u>5787 CUBIC FEET</u>
	SECTION 11 <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 14.81'- FLOOR AREA = 455 SF- VOLUME = (455 SF)(14.81 FT) = <u>6738 CUBIC FEET</u>
	GARAGE <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 8'-0"- FLOOR AREA = 637 SF- VOLUME = (637 SF)(12 FT) = <u>5096 CUBIC FEET</u>
	PLENUM 1 <ul style="list-style-type: none">- HEIGHT = 1'-6"- FLOOR AREA = 1101 SF- VOLUME = (1101)(1.5 FT) = <u>1652 CUBIC FEET</u>
	PLENUM 2 <ul style="list-style-type: none">- HEIGHT = 2'-0"- FLOOR AREA = 1645 SF- VOLUME = (1645)(2 FT) = <u>3290 CUBIC FEET</u>

MAIN HOUSE SECOND FLOOR SECTIONS A & B

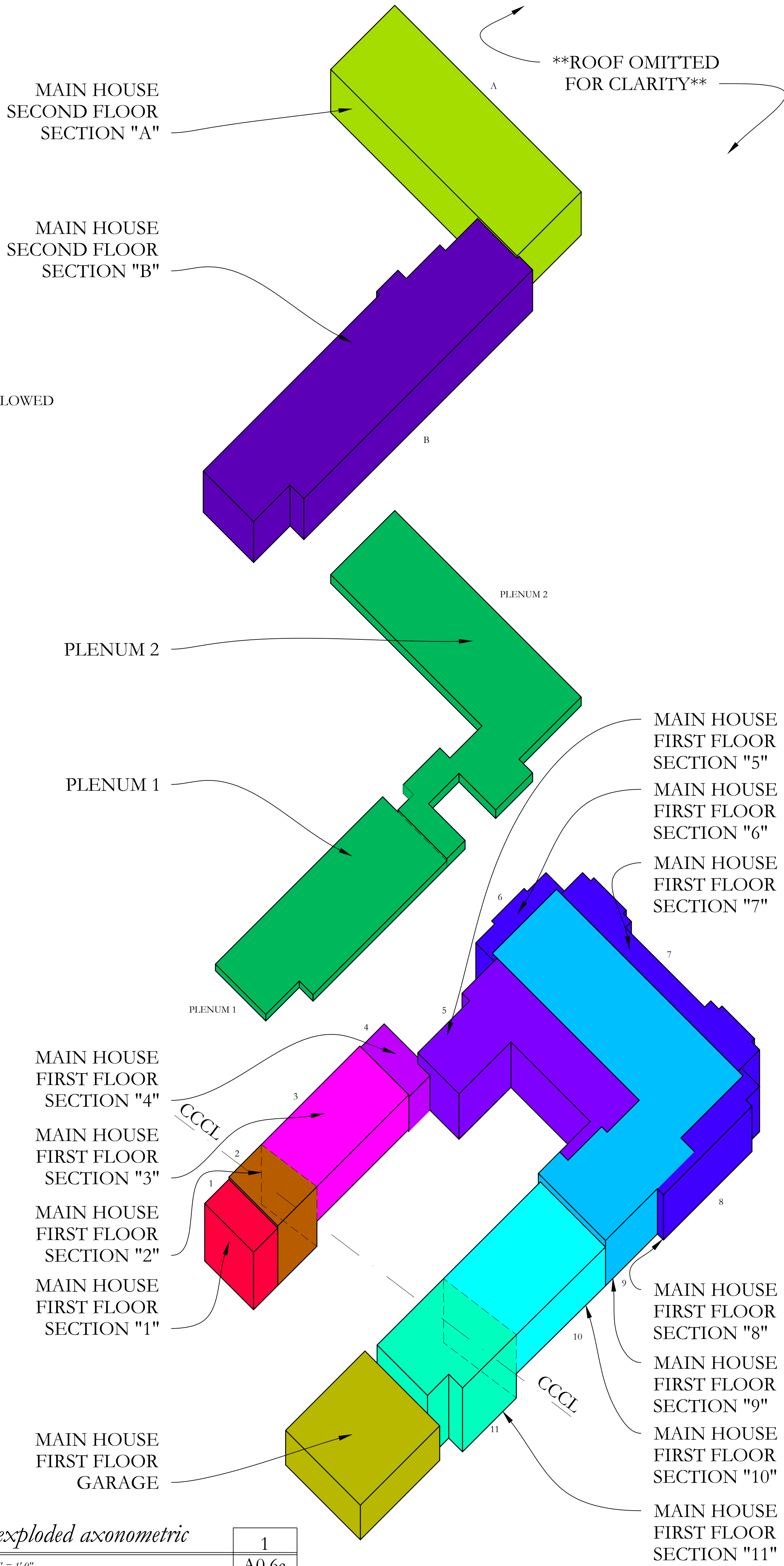
	SECTION A <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 8'-0"- FLOOR AREA = 1282 SF- VOLUME = (1282 SF)(8 FT) = <u>10,256 CUBIC FEET</u>
	SECTION B <ul style="list-style-type: none">- EXTERIOR WALL HEIGHT = 8'-0"- FLOOR AREA = 1646 SF- VOLUME = (1646 SF)(8 FT) = <u>13,168 CUBIC FEET</u>

TOTALS

ENCLOSED VOLUME = 88,629 CUBIC FEET

88,629 CUBIC FEET INTERIOR VOLUME PROPOSED > 91,868 CUBIC FEET INTERIOR VOLUME ALLOWED

CCR = 88,629 / 23,800 = 3.72 < 3.86



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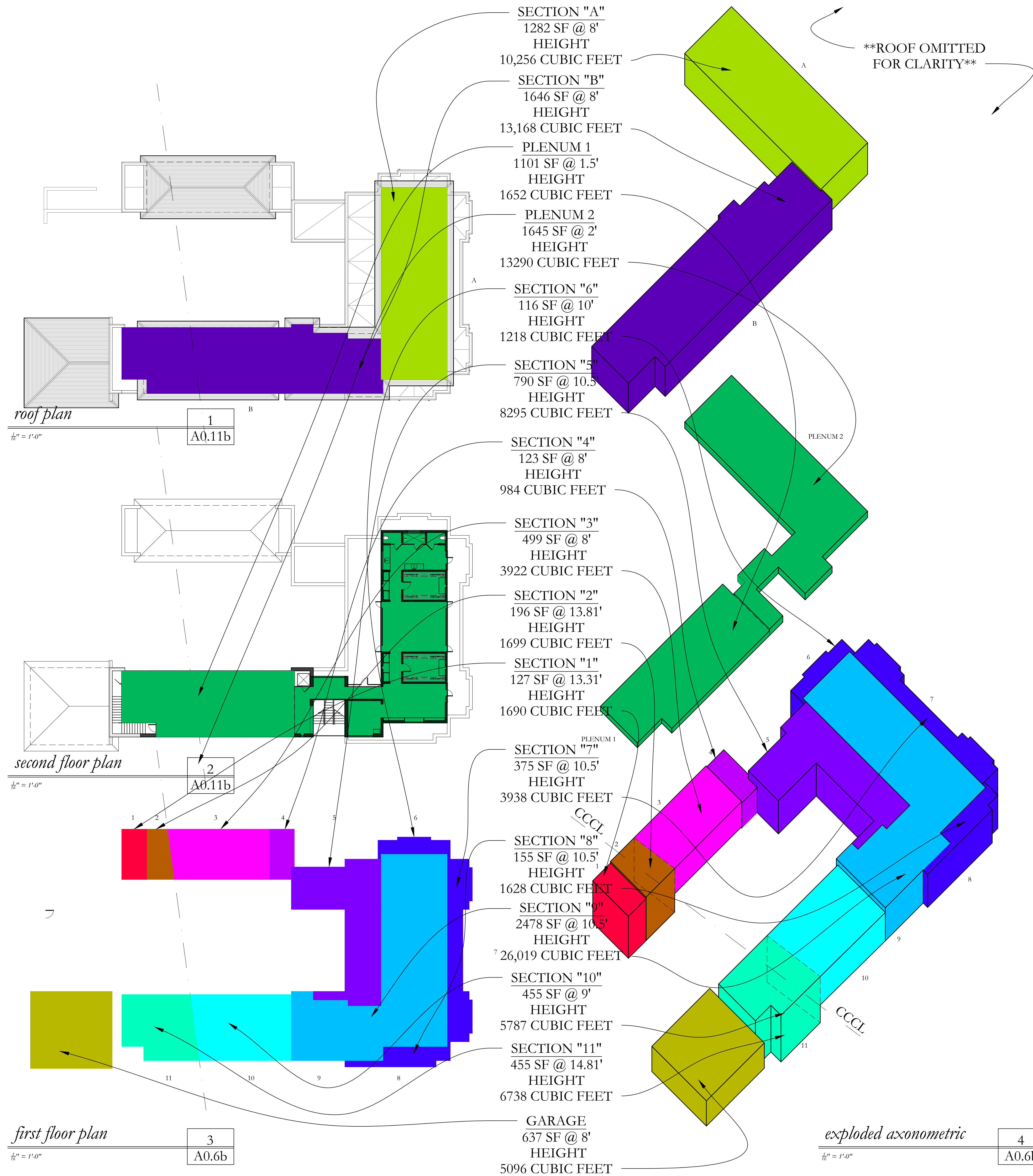
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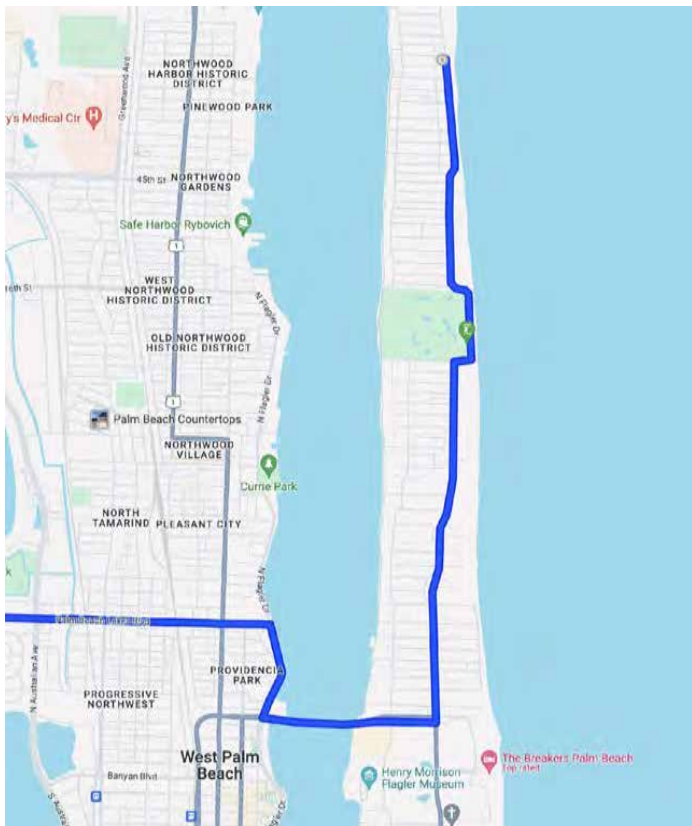
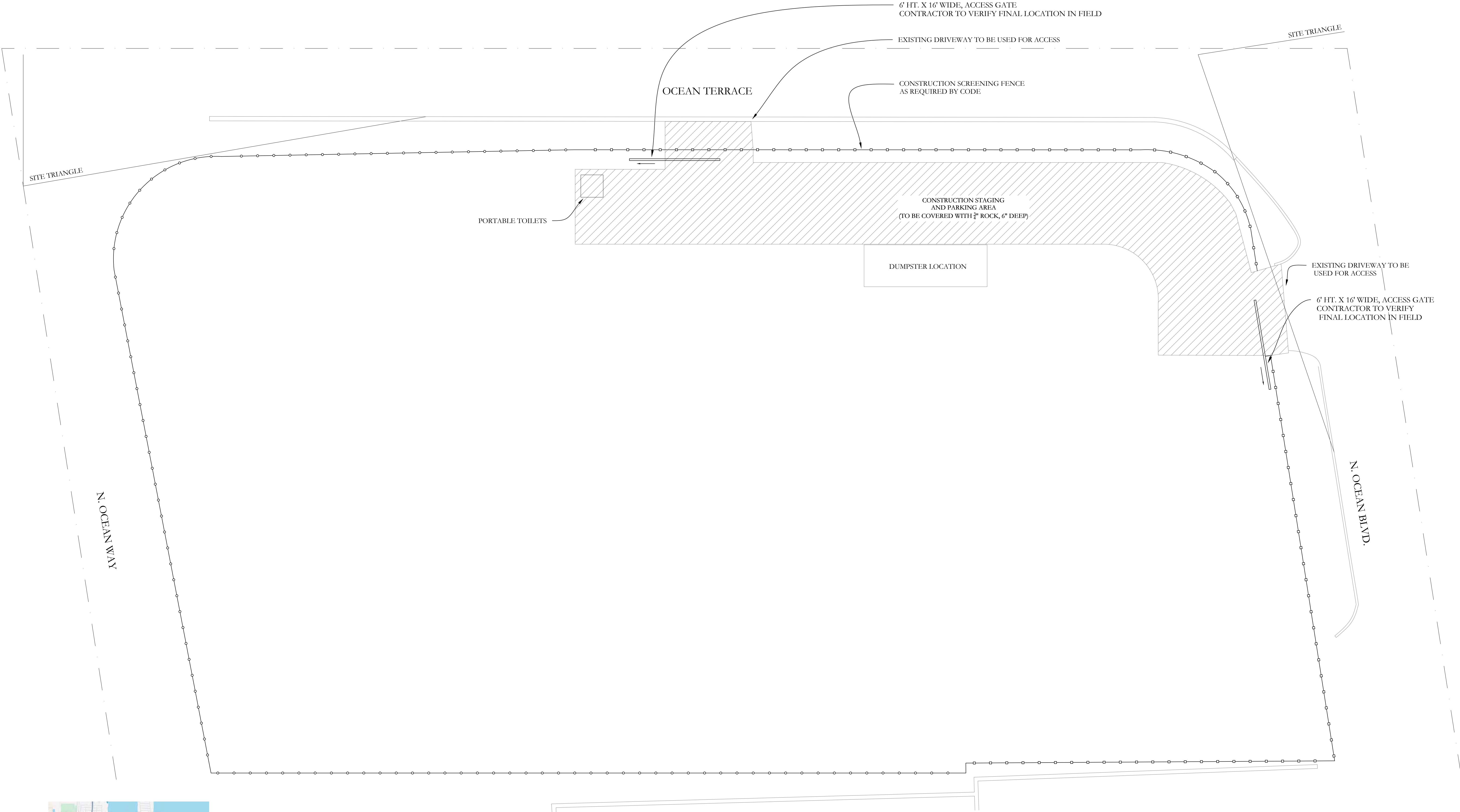
a new house
for
PROJECT
1330 N. OCEAN BLVD.
PALM BEACH, FL 33480
ARC-24-051

01.29.2024
02.08.2024
03.14.2024
04.01.2024
04.15.2024
DATE

FINAL DROP-OFF
ZONING DIAGRAMS -
CCR DIAGRAMS
TITLE

A0.6a
SHEET No





TRUCK ROUTE MAP & LOGISTICS

MAXIMUM TRUCK SIZE: 8.5' W X 54' L
BEST ROUTH TO PROPERTY:
FLAGLER MEMORIAL BRIDGE TO NORTH COUNTRY RD.,
CONTINUE TO 1330 N. OCEAN BLVD.

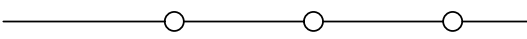
ESTIMATED NUMBER OF TRIPS: 60

first floor plan
 $\frac{1}{8}" = 1'-0"$

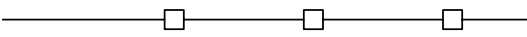
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A0.7



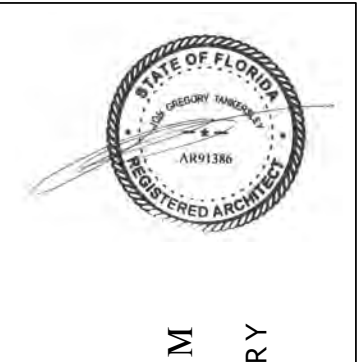
FENCE KEY:



TYPE 1: 8 FT. TALL POST AND SCREEN FENCING



TYPE 2: 8 FT. TALL POST AND SCREEN FENCING
WITH ADDITIONAL POSTS TO ALLOW FOR
CURTAIN SCREENING TO BE LIFTED TO
REQUIRED 16 FT. HEIGHT DURING
CONSTRUCTION



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ARC-24-051

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04.15.2024

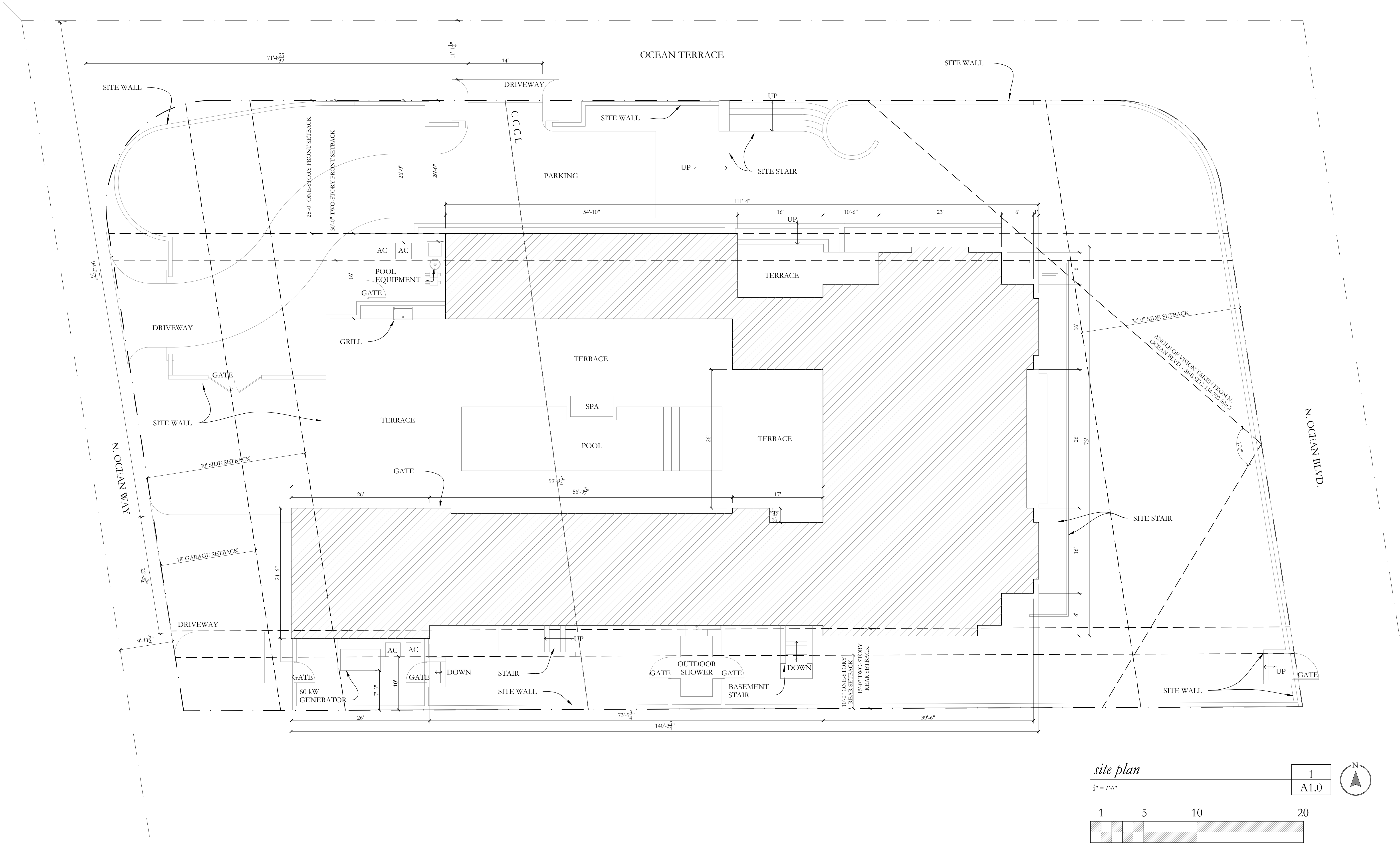
DATE

FINAL DROP-OFF
CONSTRUCTION
LOGISTICS AND
STAGING PLAN

TITLE

A0.7

SHEET No



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ARC-24-051

01.29.2024
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FINAL DROP-OFF
SITE PLAN

SITE



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ARC-24-051

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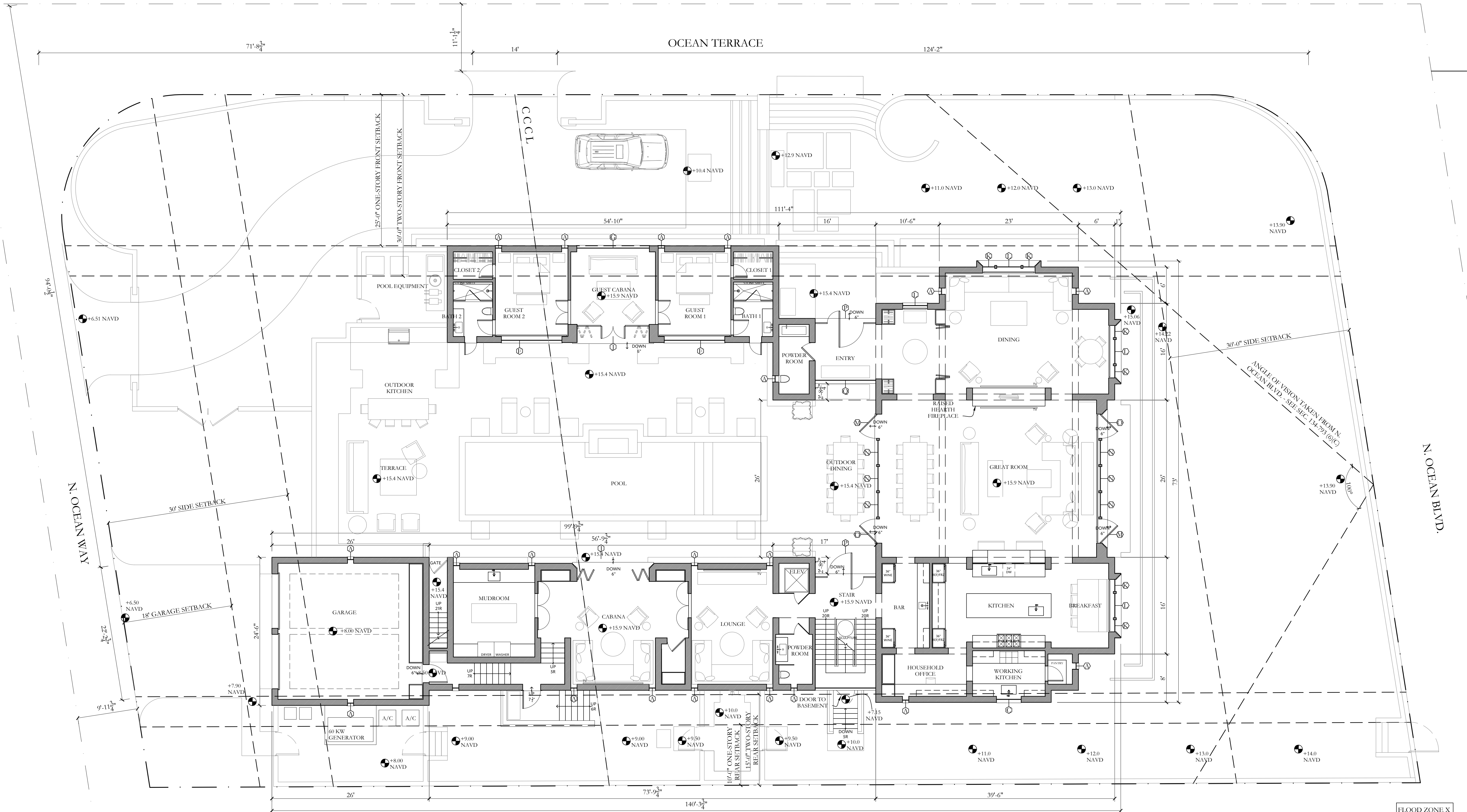
DATE

FINAL DROP-OFF
FIRST FLOOR PLAN

TITLE

A1.1

SHEET NO



first floor plan

$\frac{1}{8}'' = 1'-0''$

1

A1.1



FLOOD ZONE X

PLAN AREA INFORMATION

1ST FLOOR: 5,286 SQ. FT.
2ND FLOOR: 2,921 SQ. FT.
GARAGE: 637 SQ. FT.
BASEMENT: 2899 SQ. FT.
TOTAL: 11,743 SQ. FT.

PLAN KEY

- | | |
|--|----------------------------------|
| | SAFETY GLASS |
| | SMOKE & CARBON MONOXIDE DETECTOR |
| | DOWNSPOUT |
| | RAIN CHAIN |



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NEW YORK, NEW YORK 10010
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for

1330 N. OCEAN BLVD.

PALM BEACH, FL 33480

ARC-24-051

01.29.2024

02.08.2024

03.14.2024

04.01.2024

04.15.2024

FINAL DROP-OFF

SECOND

FLOOR PLAN

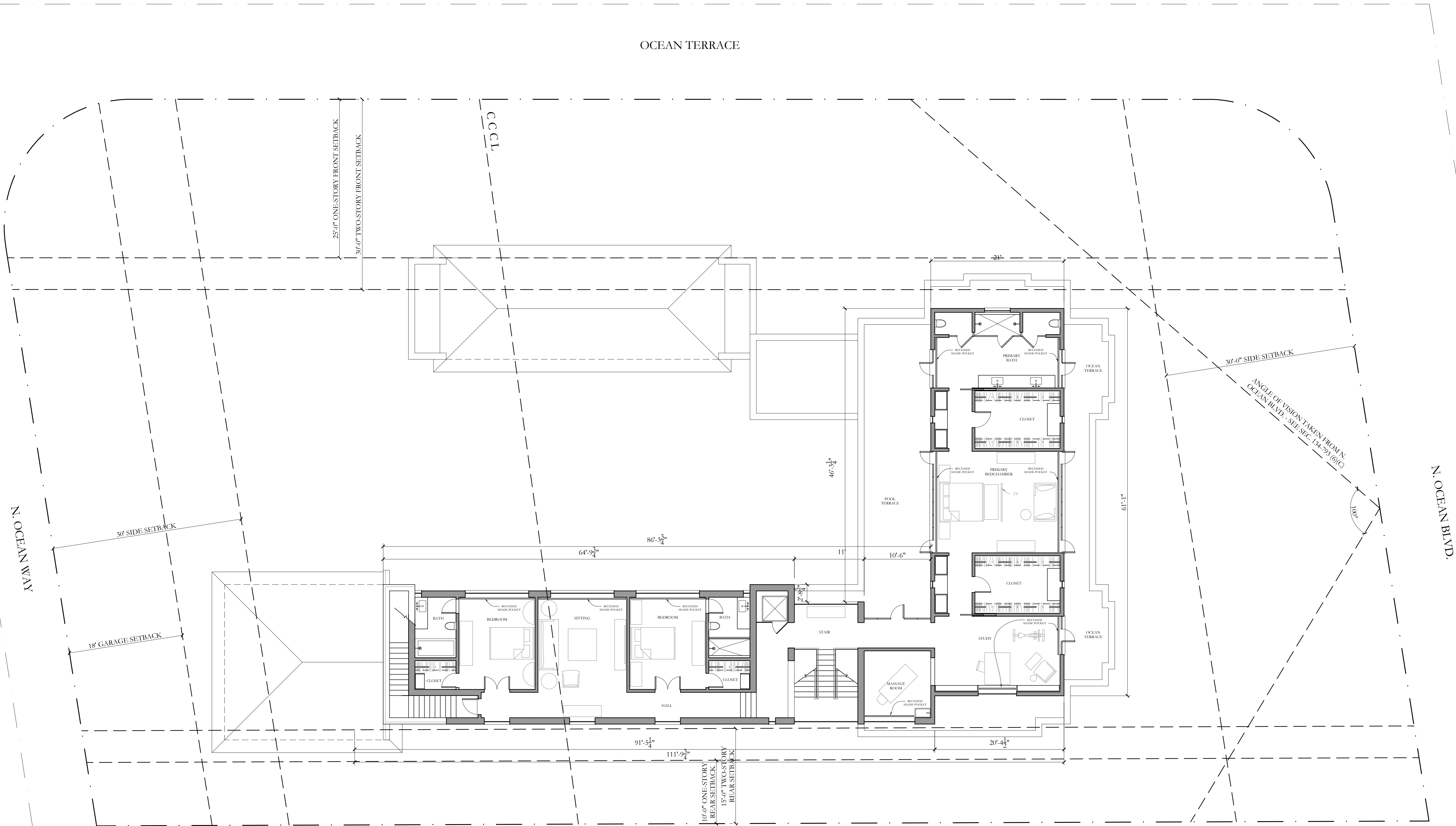
A1.2

SHEET NO

PROJECT

DATE

TITLE



second floor plan

1/4" = 1'-0"

1
A1.2



FLOOD ZONE X

PLAN AREA INFORMATION

1ST FLOOR: 5,286 SQ FT
2ND FLOOR: 2,921 SQ FT
GARAGE: 637 SQ FT
BASEMENT: 2899 SQ FT
TOTAL: 11,743 SQ FT

PLAN KEY

SG SAFETY GLASS
SD SMOKE & CARBON
CO MONOXIDE DETECTOR
DS DOWNSPOUT
RC RAIN CHAIN



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04.15.2024

FINAL DROP-OFF
ROOF PLAN

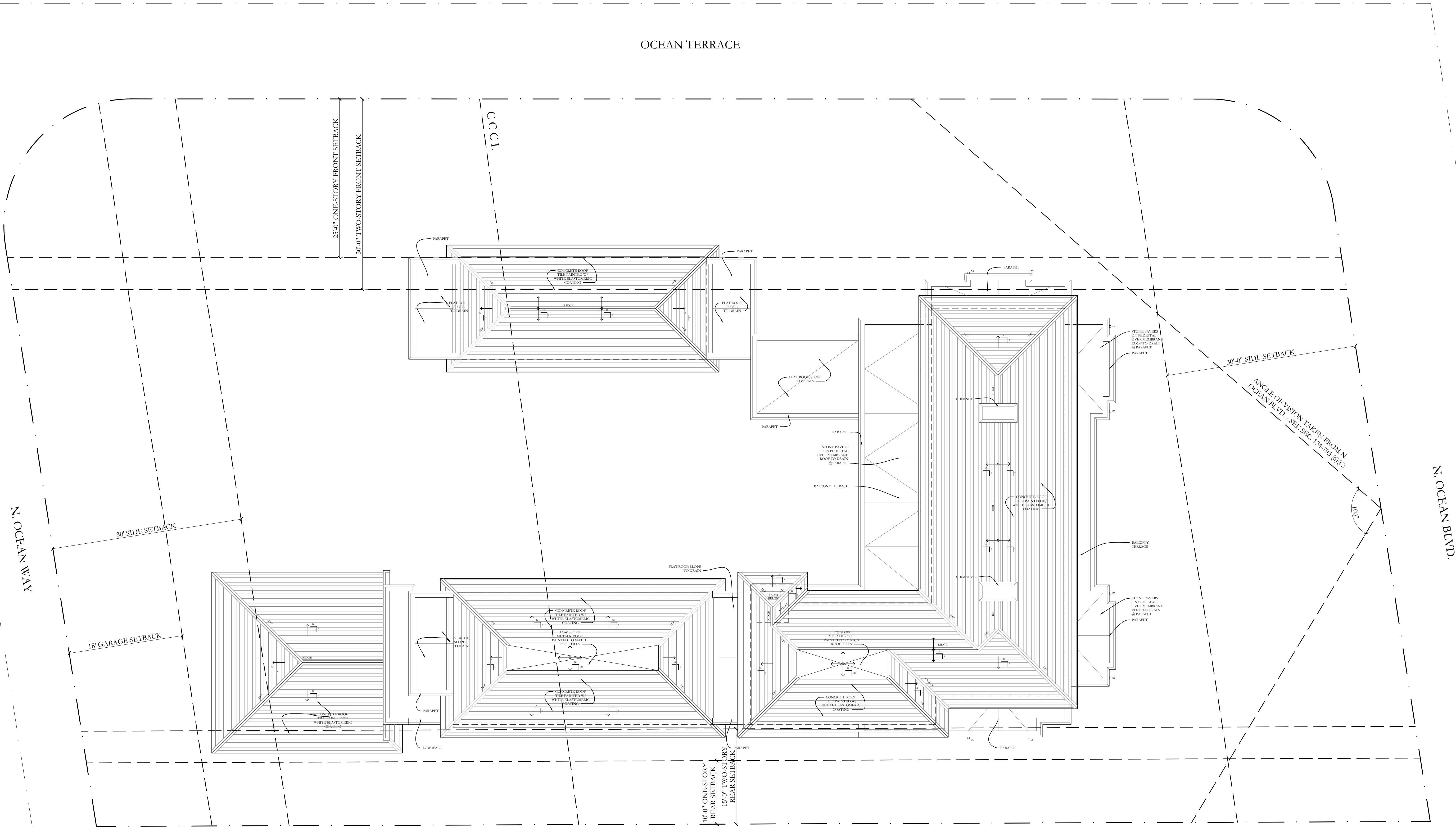
A1.3

PROJECT

DATE

TITLE

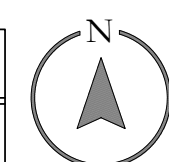
SHEET NO



roof plan

1/4" = 1'-0"

1
A1.3



FLOOD ZONE X

PLAN AREA INFORMATION

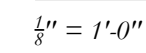
1ST FLOOR: 5,286 SQ FT
2ND FLOOR: 2,021 SQ FT
GARAGE: 637 SQ FT
BASEMENT: 2899 SQ FT
TOTAL: 11,743 SQ FT

PLAN KEY

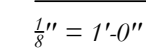
SC SAFETY GLASS
SD SMOKE & CARBON MONOXIDE DETECTOR
DS DOWNSPOUT
RC RAIN CHAIN

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET

ROOF: SMOOTH FLAT
CONCRETE ROOF TILE,
PAINTED W/ WHITE
ELASTOMERIC ROOF COATING

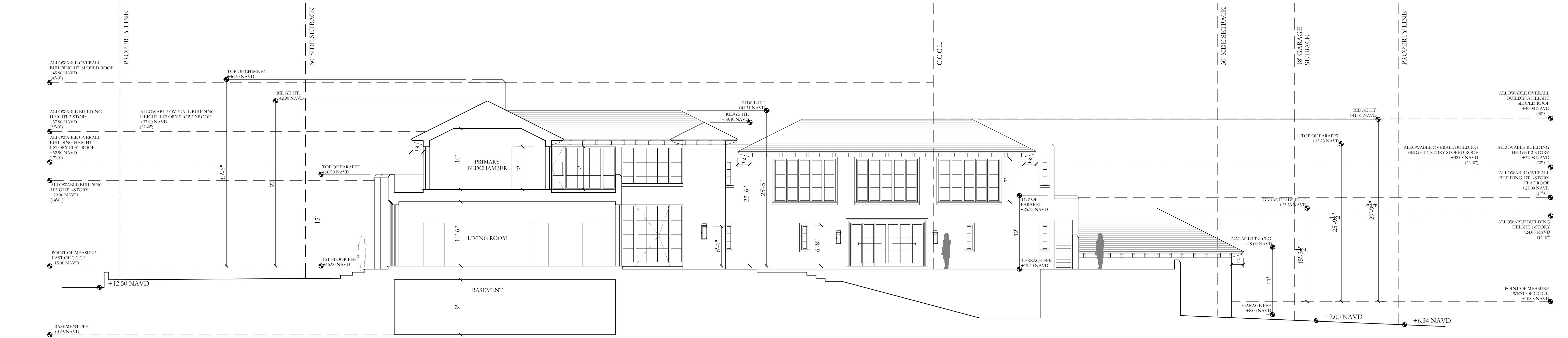


A2.1



A2.1

A2.1



kids' wing poolside elevation

1
A2.2

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN
WILLIAMS PEARLY WHITE SW-7009

ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED
W/ WHITE ELASTOMERIC ROOF COATING

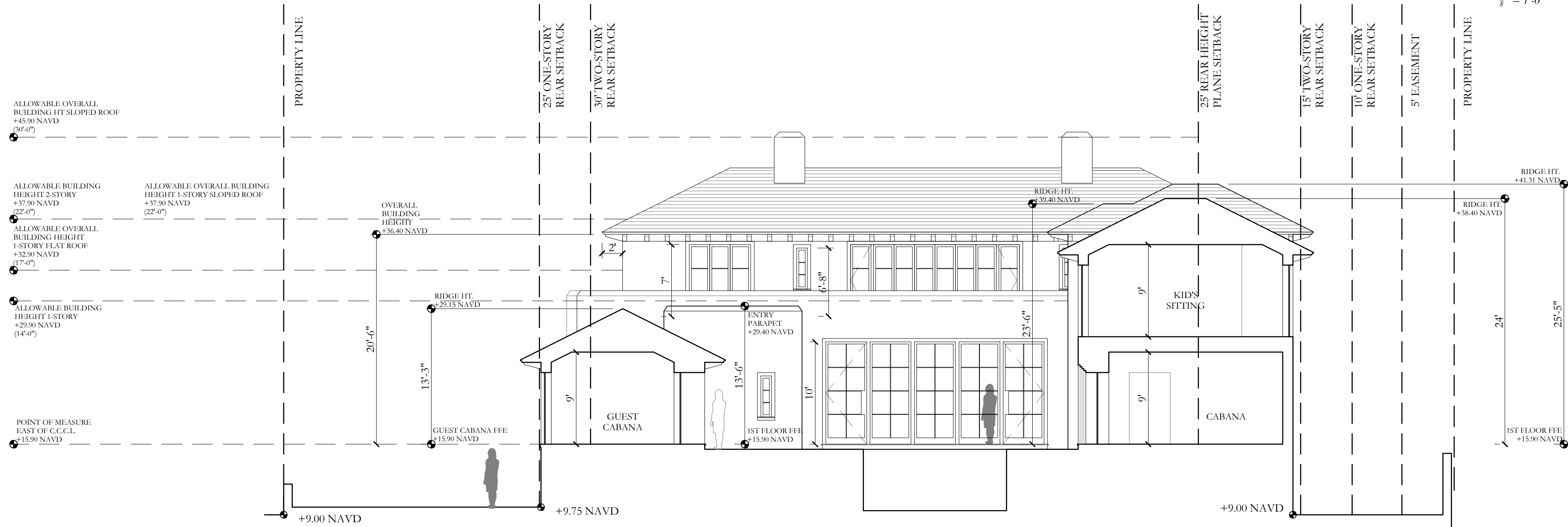
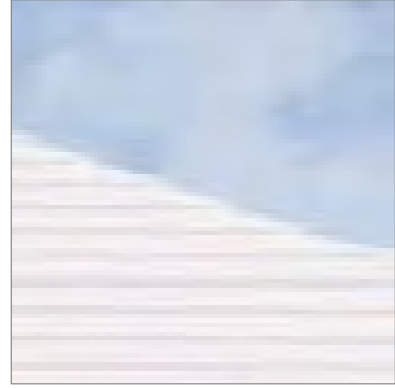
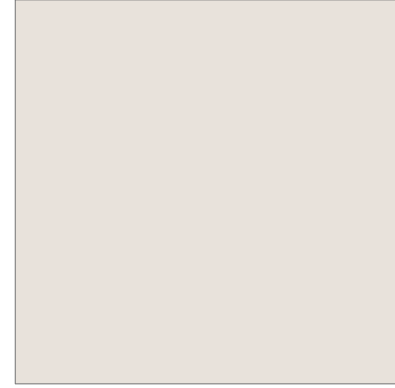
ENTRY LANTERN: CUSTOM LANTERN BY BEVELO

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL
BRACKET

COLOR SWATCHES

STUCCO: INHERENT COLOR TO
MATCH SHERWIN WILLIAMS
PEARLY WHITE SW-7009

ROOF: SMOOTH FLAT
CONCRETE ROOF TILE,
PAINTED W/ WHITE
ELASTOMERIC ROOF COATING



covered terrace & primary suite poolside elevation

2
A2.2



guest wing poolside elevation

3
A2.2



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04.15.2024

FINAL DROP-OFF
ELEVATIONS

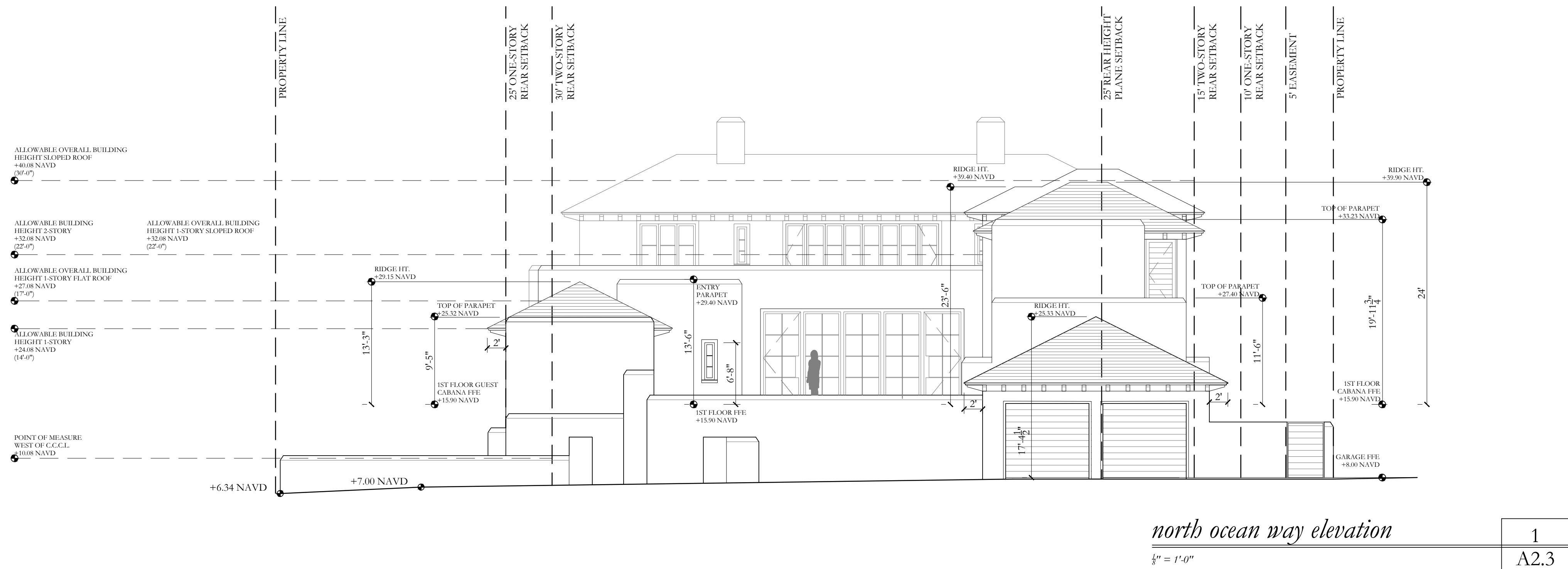
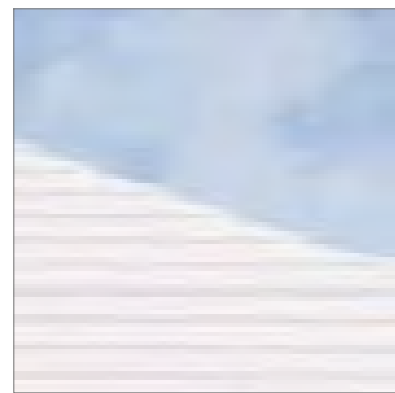
A2.2

STUCCO: INHERENT COLOR TO MATCH SHERWIN
WILLIAMS PEARLY WHITE SW-7009

ENTRY LANTERN: CUSTOM LANTERN BY BEVELO

STUCCO: INHERENT COLOR TO
MATCH SHERWIN WILLIAMS
PEARLY WHITE SW-7009

ROOF: SMOOTH FLAT
CONCRETE ROOF TILE,
PAINTED W/ WHITE
ELASTOMERIC ROOF COATING

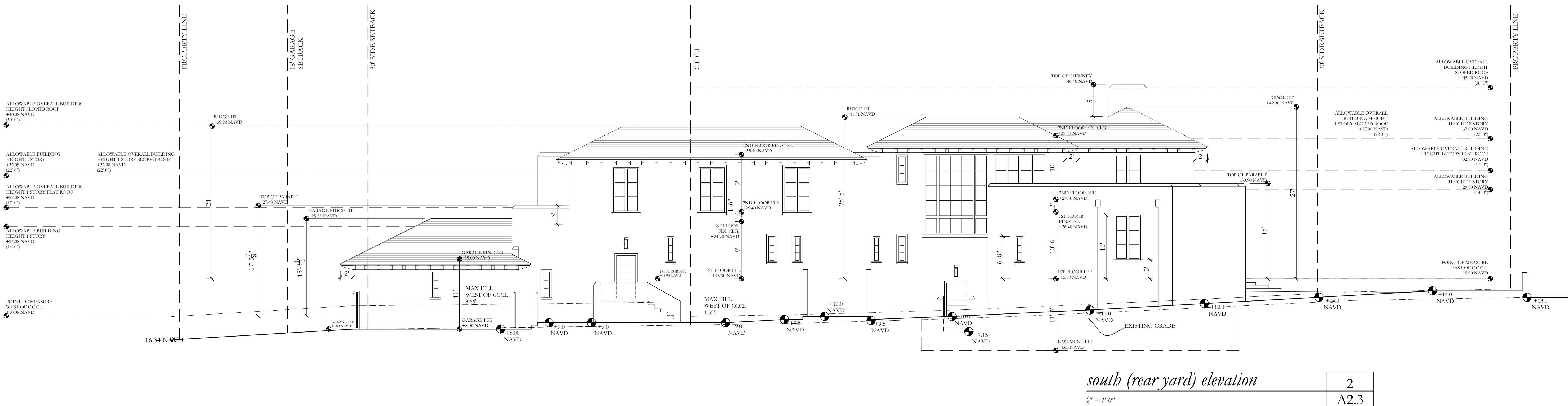


north ocean way elevation

$$\frac{I}{s}'' = I' - Q''$$

1

A2.3



south (rear yard) elevation

$$\frac{1}{8}'' = 1'-0''$$

2

A2.3



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for

330 N. OCEAN BLVD
PALM BEACH, FL 33480

ARC-24-051

1.29.2024	
2.08.2024	
3.14.2024	
4.01.2024	
4.15.2024	

FINAL DROP-OFF ELEVATIONS

1000

A2.3

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009

ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING

ENTRY LANTERN: CUSTOM LANTERN BY BEVELO

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET

COLOR SWATCHES

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009



ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING



north ocean boulevard elevation

$\frac{1}{8}'' = 1'-0''$

1

A2.4



ocean terrace elevation

$\frac{1}{8}'' = 1'-0''$

2

A2.4



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PROJECT

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ARC-24-051

01.29.2024
02.08.2024
03.14.2024
04.01.2024
04.15.2024

DATE

FINAL DROP-OFF
RENDERED
ELEVATIONS

TITLE

A2.4

SHEET No